



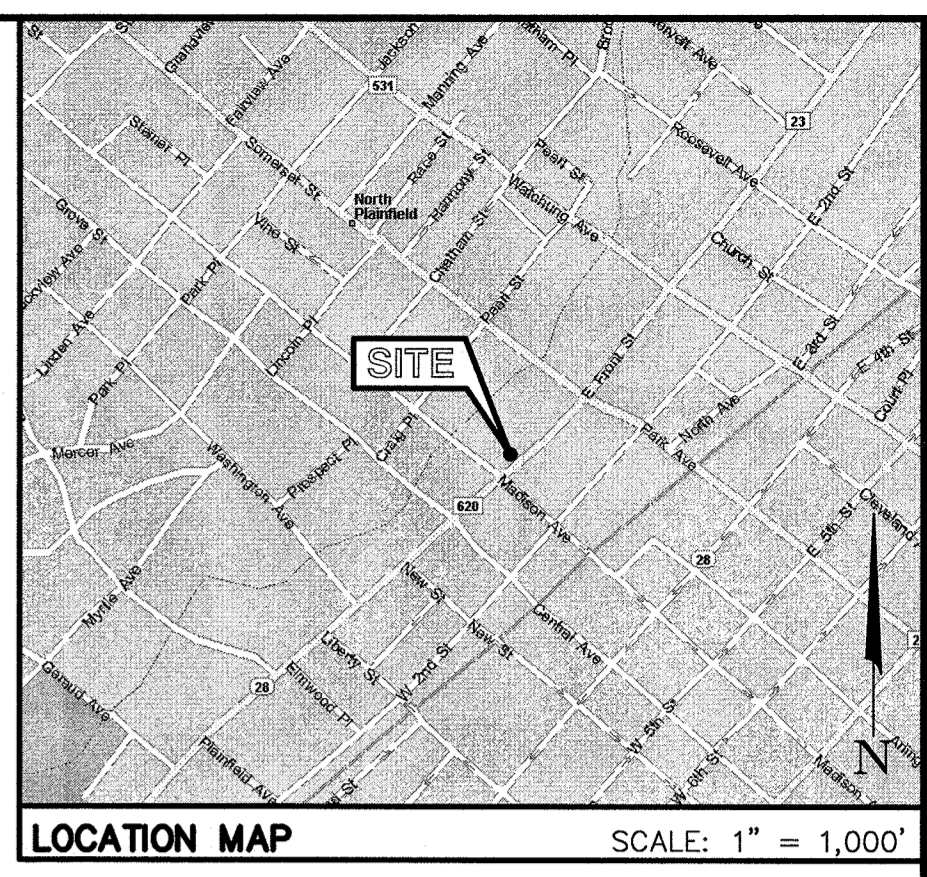
PRELIMINARY & FINAL SITE PLAN

ADULT DAY CARE

BLOCK 249, LOT 6.01

220-232 WEST FRONT STREET

CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY

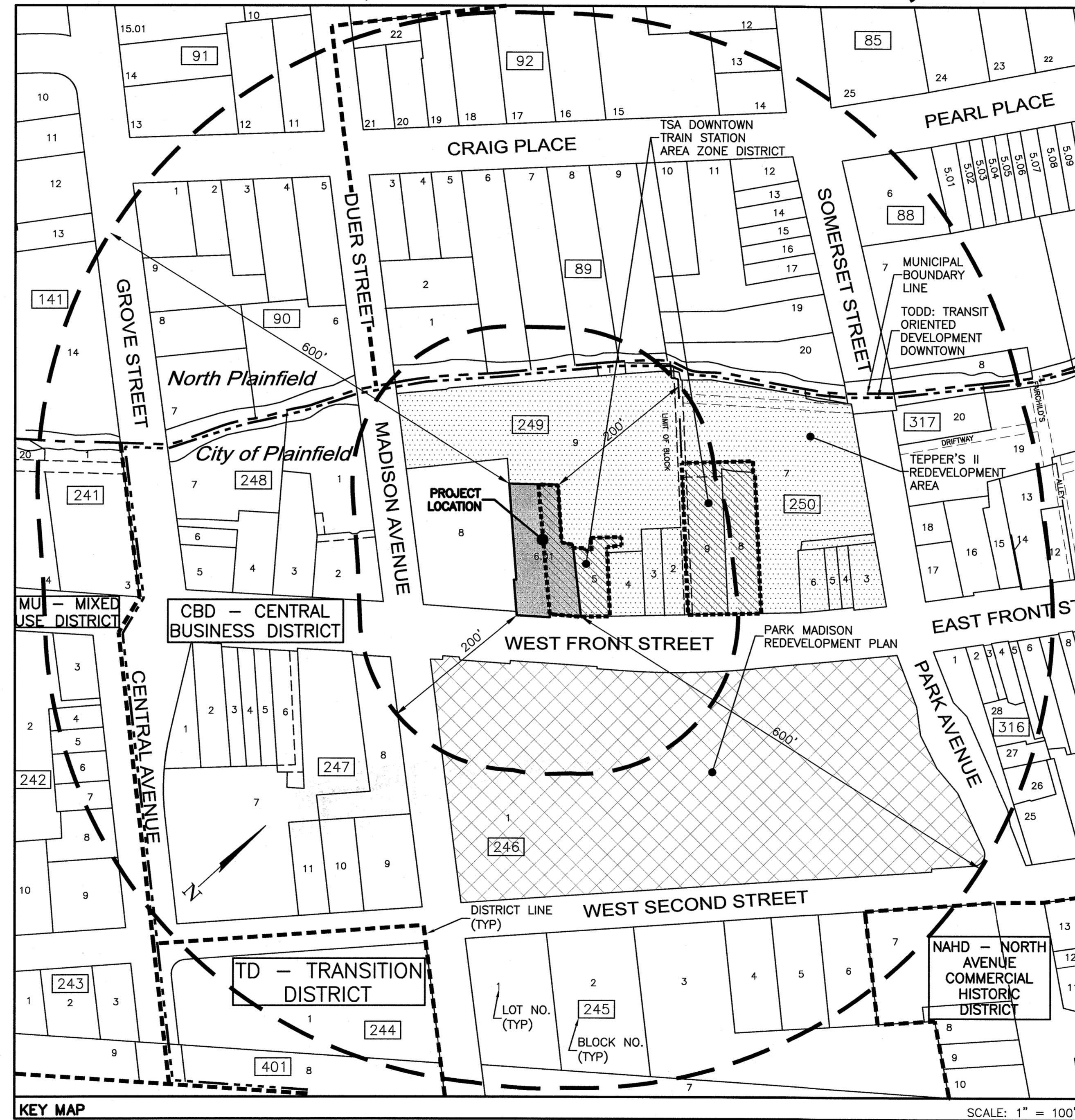


PROPERTY OWNERS WITHIN 200 FEET (AS PER CERTIFIED LIST FROM TAX ASSESSOR DATED 9-13-18)

BLOCK	LOT	PROPERTY OWNER	PROPERTY LOCATION
246	1	UNION COUNTY IMPROVEMENT AUTHORITY 10 CHERRY ST ELIZABETH, NJ 07207	107-263 W FRONT ST
247	8	PLAINFIELD MADISON PARK, LLC 33 WESTERVELT AVE STE 11 PLAINFIELD, NJ 07060	301-05 W FRONT ST
248	1	9-23 MADISON APARTMENTS, LLC 535 EAST COUNTY LINE RD LAKEWOOD, NJ 08701	9-23 MADISON AVE
248	2	FRONT STREET HOLDINGS LIMITED LIAB 535 EAST COUNTY LINE RD LAKEWOOD, NJ 08701	300-14 W FRONT ST
249	1	CITY OF PLAINFIELD 515 WATCHUNG AVE PLAINFIELD, NJ 07060	R202-14 W FRONT ST
249	2	PLAINFIELD MADISON PARK LLC 856 JOHNSTON DR WATCHUNG, NJ 07069	202-04 W FRONT ST
249	3	FY REALTY LLC 212 W FRONT ST PLAINFIELD, NJ 07060	206-08 W FRONT ST
249	4	F Y REALTY LLC 210-14 W FRONT ST PLAINFIELD, NJ 07060	210-14 W FRONT ST
249	5	FY REALTY LLC 212 W FRONT ST PLAINFIELD, NJ 07060	216-18 W FRONT ST
249	8	MC DONALDS CORP c/o A.C. ADDERLEY 3 MARQUIS COURT WEST ORANGE, NJ 07052	234-46 W FRONT ST
249	9	CITY OF PLAINFIELD 515 WATCHUNG AVE PLAINFIELD, NJ 07060	18-24 MADISON AVE
250	7.06	BOGART COMMERCE URBAN RENEWAL, LLC 3 EAST STOW ROAD, #100 MARLTON, NJ 08053	122-28 W FRONT ST
250	8	BOGART COMMERCE URBAN RENEWAL, LLC 3 EAST STOW ROAD, #100 MARLTON, NJ 08053	130-38 W FRONT ST
250	9	BOGART COMMERCE URBAN RENEWAL, LLC 3 EAST STOW ROAD, #100 MARLTON, NJ 08053	140-44 W FRONT ST

MUNICIPALITIES & UTILITIES

AMERICAN WATER SSC P.O. BOX 5627 CHERRY HILL, NJ 08034	PLAINFIELD MUNICIPAL UTILITIES AUTHORITY 127 ROOSEVELT AVENUE PLAINFIELD, NJ 07060
PUBLIC SERVICE ELECTRIC & GAS COMPANY MANAGER - CORPORATE PROPERTIES 80 PARK PLAZA, 169 NEWARK, NJ 07102	COMCAST CABLEVISION 73 ROCK AVENUE PLAINFIELD, NJ 07063
BELL ATLANTIC NJ 540 BROAD STREET NEWARK, NJ 07102	AT&T 2315 SALEM ROAD CONYERS, GA 30013 ATTN: NANCY PENCE



ZONING NOTES

1. APPLICANT: FRONT STREET OFFICES URBAN RENEWAL, LLC
675 GARFIELD AVENUE
JERSEY CITY, NJ 07305
(201) 761-0025
2. OWNER: CYCLONE, LLC
675 GARFIELD AVENUE
JERSEY CITY, NJ 07305
3. LOCATION: 220-232 WEST FRONT STREET
BLOCK 249, LOT 6.01
PLAINFIELD, NJ
TAX MAP SHEET #162
4. ZONE: TODD - TRANSIT ORIENTED DEVELOPMENT DOWNTOWN ZONES
CBD - CENTRAL BUSINESS DISTRICT- WESTERLY HALF OF LOT 6.01
TSA - DOWNTOWN TRAIN STATION AREA DISTRICT - EASTERLY HALF OF LOT 6.01
TEPPER'S TRACT REDEVELOPMENT PLAN
5. USE: EXISTING: VACANT BUILDING
PROPOSED: ADULT DAY CARE FACILITY
(PERMITTED UNDER SECTION 7.1.1 OF TEPPER'S TRACT REDEVELOPMENT PLAN)
CONSTRUCTION CLASS, BOCA CODE 3A
6. DEED RESTRICTIONS: BASED UPON CURRENT TITLE BINDER THERE ARE
NO RESTRICTIONS THAT WOULD AFFECT DEVELOPMENT
OF THE PROJECT.
7. BULK REGULATIONS (SCHEDULE 7.2d.1 OF TEPPER'S TRACT REDEVELOPMENT PLAN)

	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA (SF)	5,000	13,262.94	13,262.94
MIN. LOT WIDTH (FT)	50	61.40	61.40
MIN. LOT DEPTH (FT)	100	103.03	103.03
MIN. LOT FRONTAGE (FT)	50	81.31	81.31
MIN. FRONT SETBACK (FT)	0	0.54	0.54
MIN. SIDE YARD (TRACT BOUNDARY) (FT)	0	-2.25 (E)(V)	-2.25 (E)(V)
MIN. DISTANCE BETWEEN BUILDINGS (FT)	0	0	0
MAX. FLOOR AREA RATIO (F.A.R.)	4.5	1.52	2.09
MAX. BUILDING COVERAGE (%)	90	45.17	69.06
MAX. BUILDING HEIGHT (FT)	65		
EXISTING BUILDING		42.30	42.30
PROPOSED BUILDING		N/A	36.04
MAX. STORIES (STY)			
EXISTING BUILDING	5	3	3
PROPOSED BUILDING	5	N/A	2
MIN. OPEN SPACE (%)	0	48.46	12.15
OFF-STREET PARKING (EA)	0	0	0
8. BUILDING-MOUNTED SIGNAGE:
2.5' H x 4' WIDE SIGN MOUNTED ON FRONT & REAR OF BUILDING - EXTERNALLY ILLUMINATED
2 TOTAL SIGNS - 10 SF EA. = 20 SF TOTAL
(SEE ARCHITECTURAL ELEVATIONS)
9. BUILDING SQUARE FOOTAGE:

	EXISTING	PROPOSED
BASEMENT	5,857 SF	6,488 SF
FIRST FLOOR	6,112 SF	9,046 SF
SECOND FLOOR	4,098 SF	7,610 SF
THIRD FLOOR	4,098 SF	4,637 SF
TOTAL	20,165 SF	27,781 SF
10. OPERATION - ADULT DAY CARE
11. FLOODPLAIN: BASED UPON FEMA NATIONAL FLOOD INSURANCE PROGRAM, PLAINFIELD
COMMUNITY NO. 345312, MAP NO. 0039F, EFFECTIVE/REVISED DATE
9/20/2006, THE PROPERTY LOCATED AT 228-32 WEST FRONT STREET,
PLAINFIELD CITY, UNION COUNTY, NJ DOES NOT CONTAIN A SPECIAL
FLOOD HAZARD AREA.
12. LOADING & UNLOADING: LOADING AND UNLOADING ACTIVITIES SHALL BE CONFINED
TO THE MUNICIPAL PARKING LOT BEHIND PROPERTY.
13. OFF-STREET PARKING:
PARKING REQUIRED - THE ADULT DAY CARE USE IS NOT SPECIFICALLY LISTED IN THE CITY'S
MUNICIPAL LAND USE ORDINANCE. IT IS ANTICIPATED THAT 6 SPACES WILL
BE REQUIRED. EMPLOYEES WILL USE MASS TRANSIT MEANS TO GET TO
AND FROM WORK AND THE PARTICIPANTS WILL BE DROPPED OFF AND
PICKED UP BY A PRIVATE SERVICE.
PARKING PROPOSED - 0 SPACES. ANY PARKING REQUIREMENTS WILL BE LIMITED TO ON STREET
PARKING ALONG WEST FRONT STREET OR THE MUNICIPAL PARKING LOT
BEHIND THE PROPERTY.

N/A - NOT APPLICABLE
(E) - INDICATES AN EXISTING NON-CONFORMITY
(V) - INDICATES A VARIANCE IS REQUIRED

LEGEND

- PARK MADISON REDEVELOPMENT PLAN
- TEPPER'S II REDEVELOPMENT AREA
- TSA DOWNTOWN TRAIN STATION AREA ZONE DISTRICT

DRAWING LIST

DWG. #	DRAWING TITLE	DATED/ LAST REVISED	REV. #
C1.1	COVER SHEET	8-7-20	3
C2.1	DEMOLITION & SOIL EROSION SEDIMENT CONTROL PLAN	8-7-20	2
C2.2	SITE PLAN	8-7-20	3
C2.3	GRADING, DRAINAGE & UTILITY PLAN	8-7-20	3
C2.4	LANDSCAPE & LIGHTING PLAN	8-7-20	3
C2.5	LIGHTING INTENSITIES PLAN	8-7-20	3
C3.1	SITE DETAILS	8-7-20	3
C3.2	UTILITY DETAILS/VEHICLE CIRCULATION PLAN	8-7-20	3
SV-1	EXISTING CONDITIONS SURVEY	9-11-18	0

APPROVED BY THE PLANNING BOARD OF THE CITY OF PLAINFIELD	
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

CERTIFICATE OF AUTHORIZATION 24GAZ0608900 21M1000002800	DRAWN BY: V.L.	PROJ. MGR. B.J.S.	COVER SHEET	
CALISTO J. BERTIN, P.E. PROFESSIONAL ENGINEER CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 N.H. LIC. NO.: 9368 N.J. LIC. NO.: 28845 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694	BRIAN J. SHORTINO, P.E., L.L.A. PROFESSIONAL ENGINEER N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R LICENSED LANDSCAPE ARCHITECT N.J.L.L.A. NO.: 00607 N.Y.L.L.A. NO.: 001315-1	ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY		
			66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com	
DATE 9-17-18	SCALE AS SHOWN	REVISION NO. 3	PROJECT NO. 18-206	DWG. NO. C1.1

SOMERSET-UNION COUNTIES
SOIL EROSION AND SEDIMENT CONTROL NOTES

- The Somerset-Union Soil Conservation District shall be notified in writing 48 hours in advance of any land disturbing activity.
- Any Soil Erosion and Sediment Control practices shall be installed prior to any major soil disturbances, or in their proper sequence and maintained until permanent protection is established.
- Any disturbed areas that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding. If the season prevents the establishment of a temporary cover, the disturbed areas will be mulch with straw or equivalent material, at a rate of two (2) tons per acre, according to NJ State Standards.
- Permanent vegetation shall be seeded or sodded on all exposed areas within ten (10) days after final grading. Mulch is to be used for protection until seeding is established.
- All work shall be done in accordance with the NJ State Standards for Soil Erosion and Sediment Control in New Jersey.
- A sub-base course will be applied immediately following rough grading and installation of improvements in order to stabilize streets, roads, driveways and parking areas. In areas where no utilities are present, the sub-base shall be installed within 15 days or preliminary grading.
- Immediately following initial disturbance or rough grading all critical areas subject to erosion (i.e. steep slopes, roadway embankments) will receive a temporary seeding in combination with straw mulch or suitable equivalent, at a two (2) ton per acre, according to the NJ State Standards.
- Any steep slopes receiving pipeline installation will be backfilled and stabilized daily, as the installation proceeds (i.e.: sloped greater than 3:1).
- Traffic control standards required the installation of a 50"x30"x6" pad of 1 1/2" or 2" stone, at all construction driveways, immediately after initial site disturbance.
- At the time when the site preparation for permanent vegetation stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover, shall be removed or treated in such a way that will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- In that N.J.S.A. 4:24-39 et seq., requires that no Certificate of Occupancy be issued before the provisions of the Certified Plan for Soil Erosion and Sediment Control have been complied with for permanent measures, all site work for site plans and all work around individual lots in subdivisions, will have to be completed prior to the District issuing a Report of Compliance for the issuance of a Certificate of Occupancy by the Municipality.
- Conduit Outlet Protection must be installed at all required outfalls prior to the drainage system being operational.
- Any changes to the Certified Soil Erosion & Sediment Control Plan will require the submission of revised Soil Erosion & Sediment Control Plans to the District for re-certification. The revised plans must meet all current NJ State Soil Erosion & Sediment Control Standards.
- The Somerset-Union Soil Conservation District shall be notified of any changes in ownership.
- Mulching to the NJ Standards is required for obtaining a Conditional Report of Compliance. Conditions are only issued when the season prohibits seeding.
- Contractor is responsible for keeping all adjacent roads clean during life of construction project.
- The developer shall be responsible for remediate any erosion or sediment problems that arise as a result of ongoing construction at the request of the Somerset-Union Soil Conservation District.
- Hydro seeding is a two-way process. The first step includes seed, fertilizer, lime, etc., along with the minimal amounts of mulch to promote consistency, good seed to soil contact, and give a visual indication of coverage. Upon completion of seeding operation, hydro-mulch, as opposed to straw, is limited to optimum seeding dates as listed in the NJ Standards.
- Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operation to minimize soil transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.

BASIN COMPACTION NOTES

- Immediately prior to seeding, the surface should be scarified 6" to 12" where there has been soil compaction. This practice is permissible only where there is no danger to underground utilities (cables, irrigation systems, etc.).
- Inspect site just before seeding. If traffic has left soil compacted, the area must be retiled and firmed in accordance with above.
- Immediately prior to topsoiling, the surface should be scarified 6" to 12" where there has been soil compaction. This will help insure a good bond between the topsoil and subsoil. This practice is permissible only where there is not danger to underground utilities (cables, irrigation systems, etc.).
- Soil compaction resulting from land grading activities can impact the infiltration rate of soil. Restoration of compacted solid through deep tillage (6" to 12") and the addition of organic matter may be required in planned previous areas to enhance the infiltration rate of the disturbed soil. This practice is only where there is not danger to underground utilities (cables, irrigation systems, etc.).
- To prevent compaction of the subsoil which will reduce its infiltration capacity, basins should be excavated with light earth moving equipment, preferably with tracks or over-sized tires rather than the normal rubber tires. Once the final construction phase is reached, the floor of the basin shall be deeply tilled with a rotary tiller or disc harrow and smoothed over with a leveling drag or equivalent grading equipment.
- For basins, annual tilling operation maintain infiltration capacity. These tilled areas should be re-vegetated immediately to prevent erosion. Deep tilling can be used to breakup clogged surface layers followed by regrading and leveling. Sand or organic matter can be tilled into the basin floor to promote a restored infiltration capacity. Sediment removal procedures should not be undertaken until the basin is thoroughly dry. The top layer should be removed by light equipment to prevent compaction. The remaining soil can be retiled and disturbed vegetation replanted.

TOPSOIL STOCKPILE PROTECTION

- Construct temporary diversion berm and/or hay bale barrier around stockpiled area as required.
- Apply limestone at a rate of 90 lbs./1000 S.F.
- Apply fertilizer (10-20-10) at a rate of 11 lbs./1000 S.F.
- Apply Perennial Ryegrass at a rate of 1 lb./1000 S.F. 5. Mulch with rotted salt hay or small grain straw immediately after seeding. Apply at a rate of 90 lbs./1000 S.F.

TEMPORARY STABILIZATION SPECIFICATIONS

- Apply ground limestone at a rate of 90 lbs./1000 S.F.
- Apply fertilizer (10-20-10) at a rate of 14 lbs./1000 S.F. and work into soil 4" deep.
- Apply seed mixture: PERENNIAL RYEGRASS AT 20 LBS./ACRE PERENNIAL RYEGRASS CREEPING RED FESCUE AT 15 LBS./ACRE OR AT 40 LBS./ACRE OR CHEWING RED FESCUE AT 15 LBS./ACRE OR APPROVED EQUAL.
- Mulch with rotted salt hay or small grain straw immediately after seeding. Apply at a rate of 90 lbs./1000 S.F. and secure by approved methods (i.e. Peg and Twine, Mulch netting, or liquid mulch binder).
- Plant seed between Mar. 1 & May 15 or between Aug. 15 and Oct. 1, if possible.

PERMANENT STABILIZATION SPECIFICATIONS

- Apply topsoil to a depth of 4".
- Apply ground limestone at a rate of 90 lbs./1000 S.F.
- Apply fertilizer (10-20-10) at a rate of 14 lbs./1000 S.F.
- Apply seed mixture: PERENNIAL RYEGRASS AT 20 LBS./ACRE PERENNIAL RYEGRASS CREEPING RED FESCUE AT 15 LBS./ACRE OR 40 LBS./ACRE OR KENTUCKY BLUEGRASS AT 20 LBS./ACRE OR OTHER APPROVED EQUAL.
- Mulch with rotted salt hay or small grain straw immediately after seeding. Apply at a rate of 90 lbs./1000 S.F. according to the N.J. Standards.

NOTE: 72 HOURS PRIOR TO ANY SOIL DISTURBANCE, NOTICE OF SUCH IN WRITING SHALL BE GIVEN TO THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.

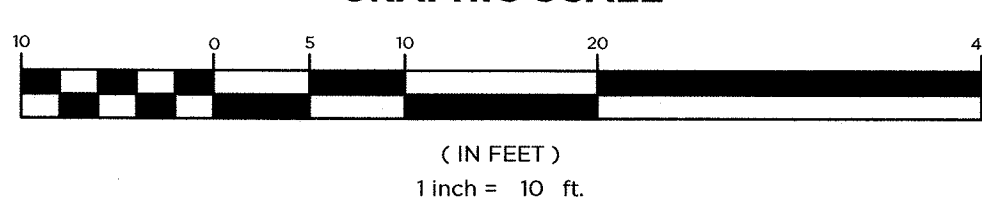
PRE-CONSTRUCTION NOTES:

- UTILITY LOCATIONS SHOWN ON PLANS ARE FOR REFERENCE ONLY AND MUST BE VERIFIED IN FIELD PRIOR TO CONSTRUCTION. ON SITE UTILITIES LOCATION BASED ON FIELD OBSERVATION. ACTUAL CONDITIONS MAY VARY.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL:
 - THOROUGHLY FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS.
 - REVIEW THE SURVEY AND SITE PLANS FOR INCONSISTENCIES WITH ACTUAL CONDITIONS.
 - VERIFY FINISHED FLOOR ELEVATIONS OF EXIST. STRUCTURES TO REMAIN WITH RESPECT TO STREET ELEVATIONS SHOWN.
 - VERIFY LOCATION, DEPTH AND ELEVATION OF UTILITY CONNECTIONS.
- STAKE OUT NEW BUILDINGS AND VERIFY THEIR LOCATION TO PROPERTY LINES WITH RESPECT TO DIMENSIONS SHOWN ON PLANS.
- REVIEW ALL LOCAL, COUNTY AND STATE PERMIT REQUIREMENTS FOR THE PROJECT.

SEQUENCE OF CONSTRUCTION:

- INSTALL SILT FENCE AND STABILIZED CONSTRUCTION ENTRANCE. 2 DAYS
 - CLEAR DEVELOPMENT AREA. 4 DAYS
 - DEMOLISH EXISTING BUILDINGS. 2 WEEKS
 - CLEAR DEMOLISHED MATERIAL. 2 DAYS
- DEMOLITION TO LAST APPROXIMATELY 3 WEEKS
- INSTALL BUILDING FOUNDATION. 1 MONTH
 - INSTALL UNDERGROUND UTILITIES. 2 WEEKS
 - CONSTRUCT NEW BUILDING. 2 MONTHS
 - INSTALL CURBING AND DRAINAGE STRUCTURES. 2 WEEKS
 - INSTALL INLET FILTERS. 1 DAY
 - INSTALL PAVEMENT. 2 WEEKS
 - INSTALL LANDSCAPING & LIGHTING FIXTURES. 2 WEEKS
 - REMOVE ALL SOIL EROSION CONTROL DEVICES. 1 DAY
- * CONSTRUCTION TO LAST APPROXIMATELY 5 MONTHS BUT NOT TO CONFLICT WITH CONTRACTUAL SCHEDULE.

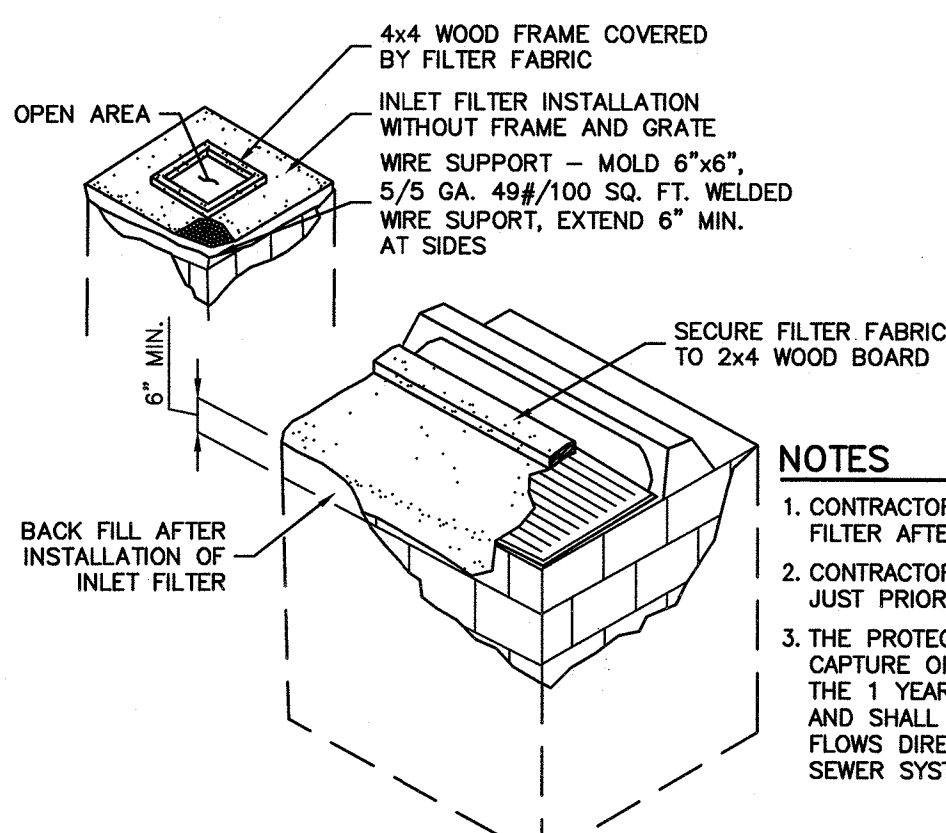
GRAPHIC SCALE



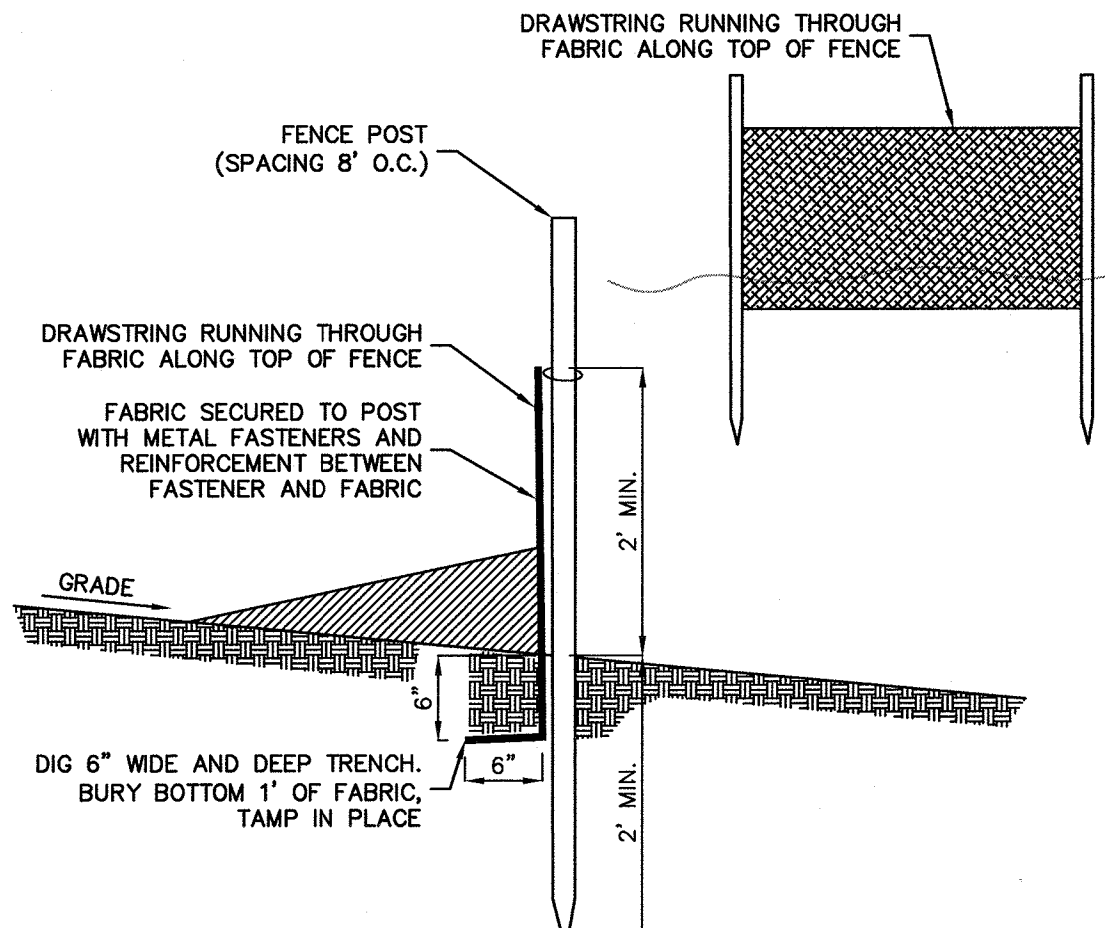
NOTES

- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EACH STORM.
- CONTRACTOR TO REMOVE FABRIC JUST PRIOR TO PAVING.
- THE PROTECTION IS DESIGNED TO CAPTURE OR FILTER RUNOFF FROM THE 1 YEAR, 24 HOUR STORM EVENT AND SHALL SAFELY CONVEY HIGH FLOWS DIRECTLY INTO THE STORM SEWER SYSTEM.

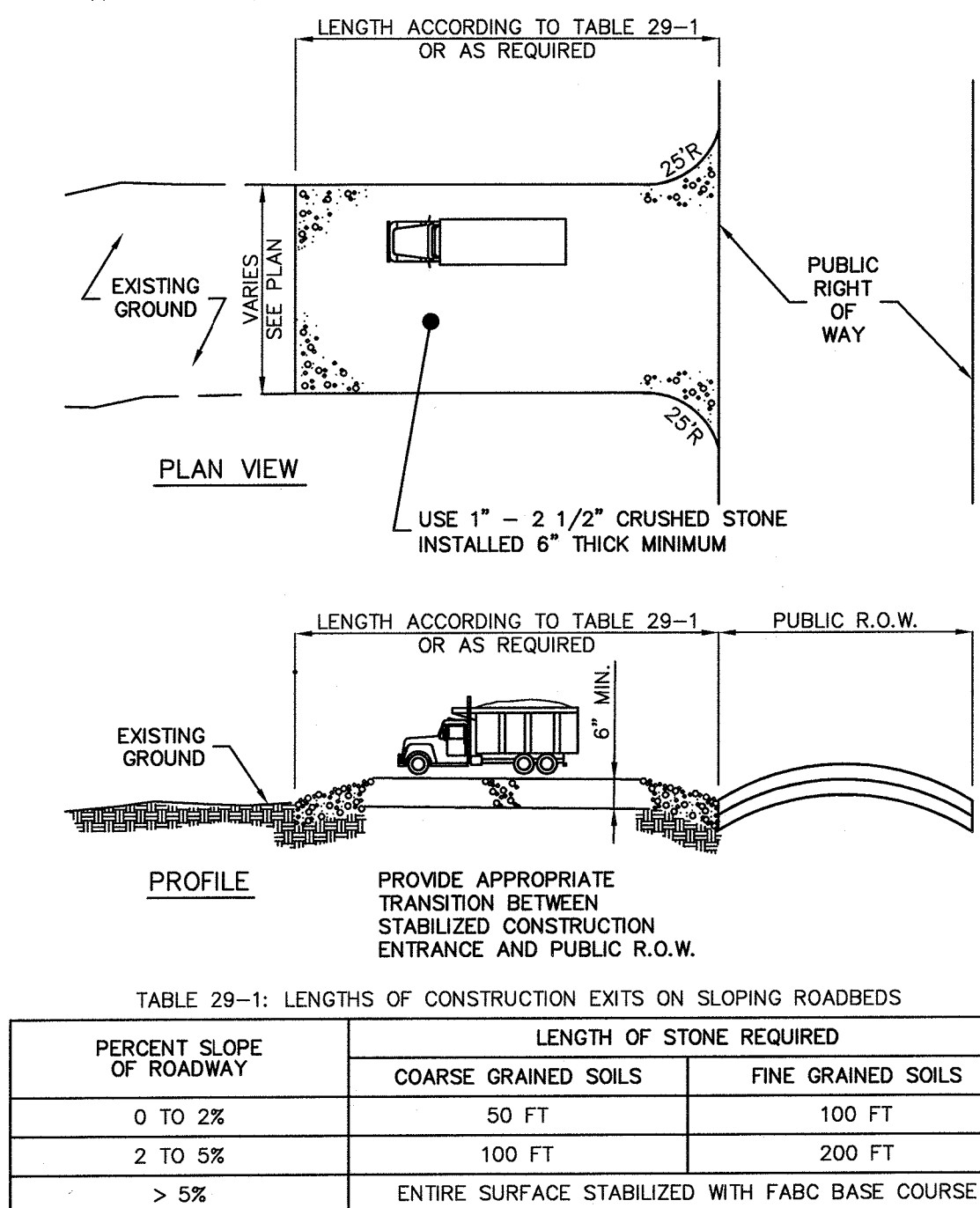
INLET FILTER



SILT FENCE

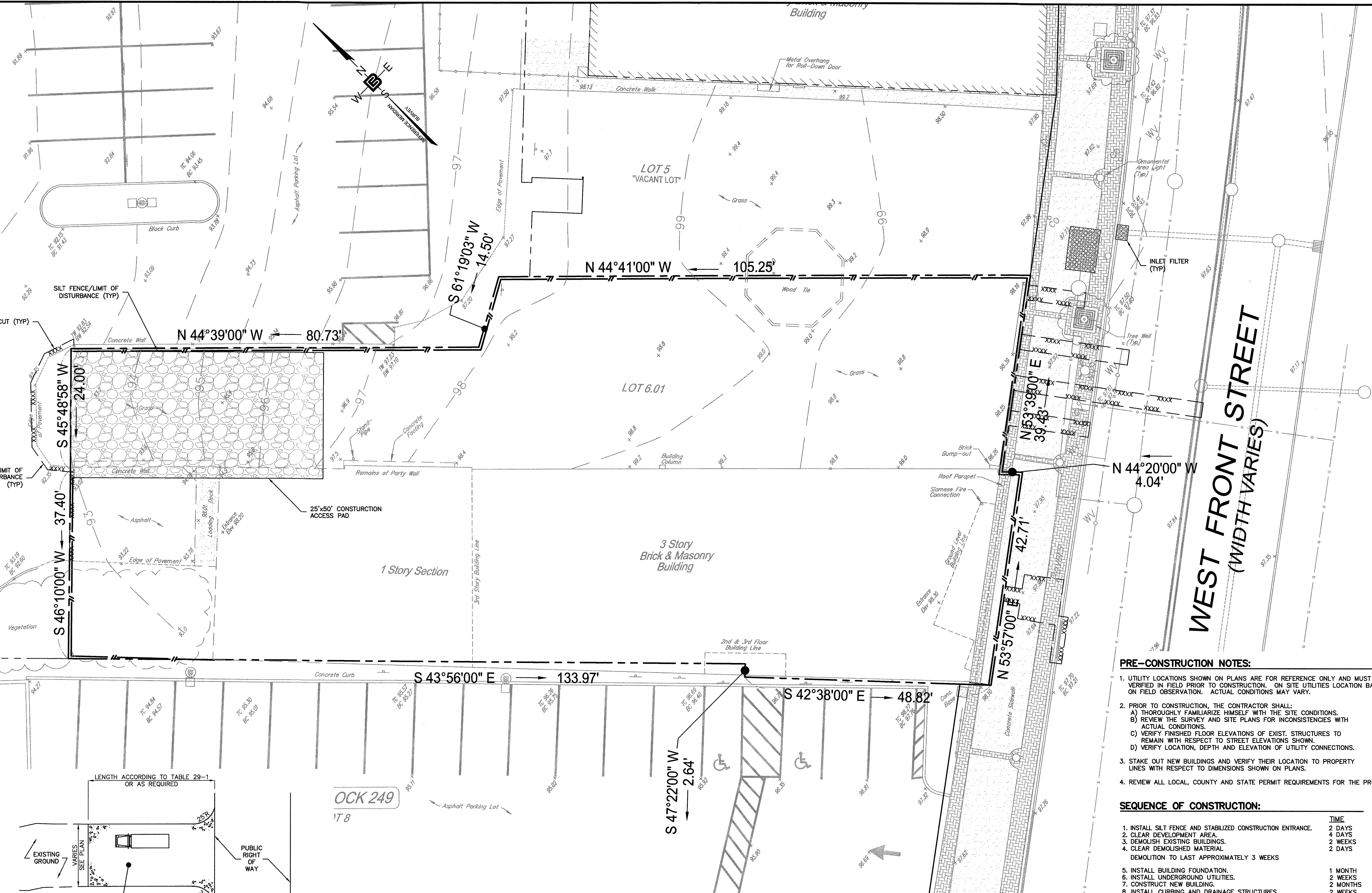


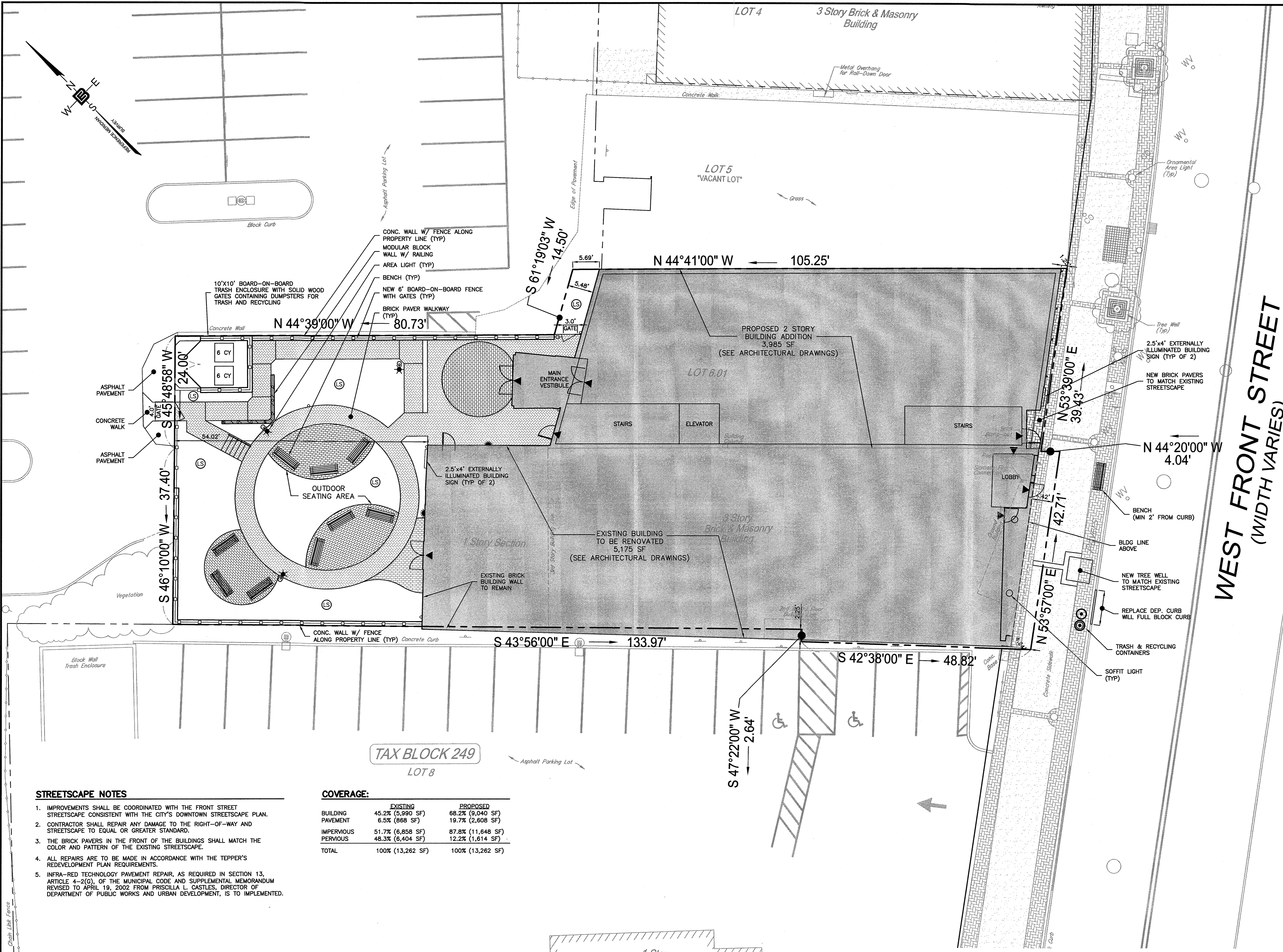
STABILIZED CONSTRUCTION ACCESS



OCK 249
178

WEST FRONT STREET
(WIDTH VARIES)





- GENERAL NOTES:**
1. SITE PLAN BASED ON: "EXISTING CONDITIONS SURVEY OF 220-232 WEST FRONT STREET, LOT 6.01 IN BLOCK 249, CITY OF PLAINFIELD, COUNTY OF UNION, NJ", PREPARED FOR LANDMARK DEVELOPERS, PREPARED BY BERTIN ENGINEERING, 66 GLEN AVENUE, GLEN ROCK, NJ 07452, MILOSLAV REHAK, NJPLS LIC NO. 43233, DWG NO. SV-1, FILE NO. 18-206, DATED 9-11-18.
 2. ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. PROPOSED FEATURES AS SHOWN IN FULL TONE. EXISTING FEATURES ARE SHOWN IN HALF TONE. EXISTING FEATURES TO BE REMOVED ARE SHOWN AS DASHED, OR ARE NOTED.
 3. LOCATION OF ALL UNDERGROUND UTILITIES IS APPROXIMATE AND SHOULD BE VERIFIED BEFORE EXCAVATION OR CONSTRUCTION BEGINS. CALL DIG HOTLINE 1-800-272-1000.
 4. UNLESS OTHERWISE NOTED, MAINTAIN EXISTING YARD GRADES AND SLOPES.
 5. ALL UTILITY CONNECTIONS ARE TO BE IN ACCORDANCE WITH LOCAL CODE.
 6. ALL DIMENSIONS AND RADII ARE SHOWN TO THE FRONT FACE OF THE CURB, AS APPROPRIATE.
 7. UNLESS OTHERWISE NOTED ALL RADII ARE 2'.
 8. ALL UTILITIES SHALL BE UNDERGROUND, AND ALL UTILITIES FOUND TO BE INADEQUATE SHALL BE UPGRADED AS DETERMINED TO BE NECESSARY BY THE PLANNING BOARD ENGINEER.

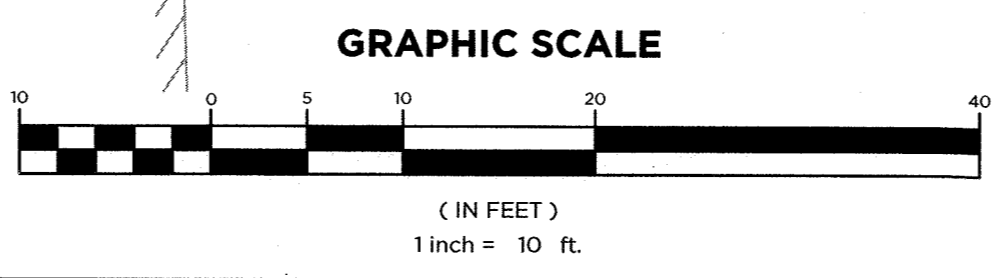
LEGEND	
EOP	EXISTING EDGE OF PAVEMENT
EOG	EXISTING EDGE OF GRAVEL
TS	TRAFFIC SIGN
AL	AREA LIGHT
FH	FIRE HYDRANT
UP	UTILITY POLE
SE	SPOT ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
CV	GAS VALVE
VO	WATER VALVE
SM	SANITARY MANHOLE
DM	DRAINAGE MANHOLE
MW	MONITORING WELL
TB	TELEPHONE BOOTH
TL	TREELINE
CC	EXISTING CONTOUR
OH	EXISTING OVERHEAD WIRE
GS	EXISTING GAS MARK-OUT
WM	EXISTING WATER MARK-OUT
EL	EXISTING ELECTRIC MARK-OUT
E.O.P.	PROPOSED EDGE OF PAVEMENT
R	HANDICAP RAMP
L	HANDICAP LANDING
SW	SIDEWALK
CW	CROSSWALK
TD	TRENCH DRAIN
TS	TRAFFIC SIGN
DA	DIRECTIONAL ARROW
FH	FIRE HYDRANT
DM	DRAINAGE MANHOLE
CI	CURB INLET
YI	YARD INLET
IF	INLET FILTER
SM	SANITARY MANHOLE
E	ELECTRIC LINE
G	GAS LINE
W	WATER LINE
S	PROPOSED SANITARY LINE
D	DRAINAGE LINE (UNDER 12")
D	DRAINAGE LINE (12" & UP)
XXXXX	SAWCUT LINE
+ 14.18	PROPOSED SPOT ELEVATION
14	PROPOSED CONTOUR LINE
MEG	MEET EXISTING GRADE
ETR	EXISTING TO REMAIN
TS	TRAFFIC SIGN
AL	AREA LIGHT
SO	SOFFIT LIGHT
6	NUMBER OF PARKING SPACES
LS	LANDSCAPE
DS	DOWNSPOUT
FF	SILT FENCE
BPW	BRICK PAVEMENT WALKWAY
BPSS	BRICK PAVEMENT SITTING AREA
VIF	VERIFY IN FIELD
FF	FINISHED FLOOR

WEST FRONT STREET
(WIDTH VARIES)

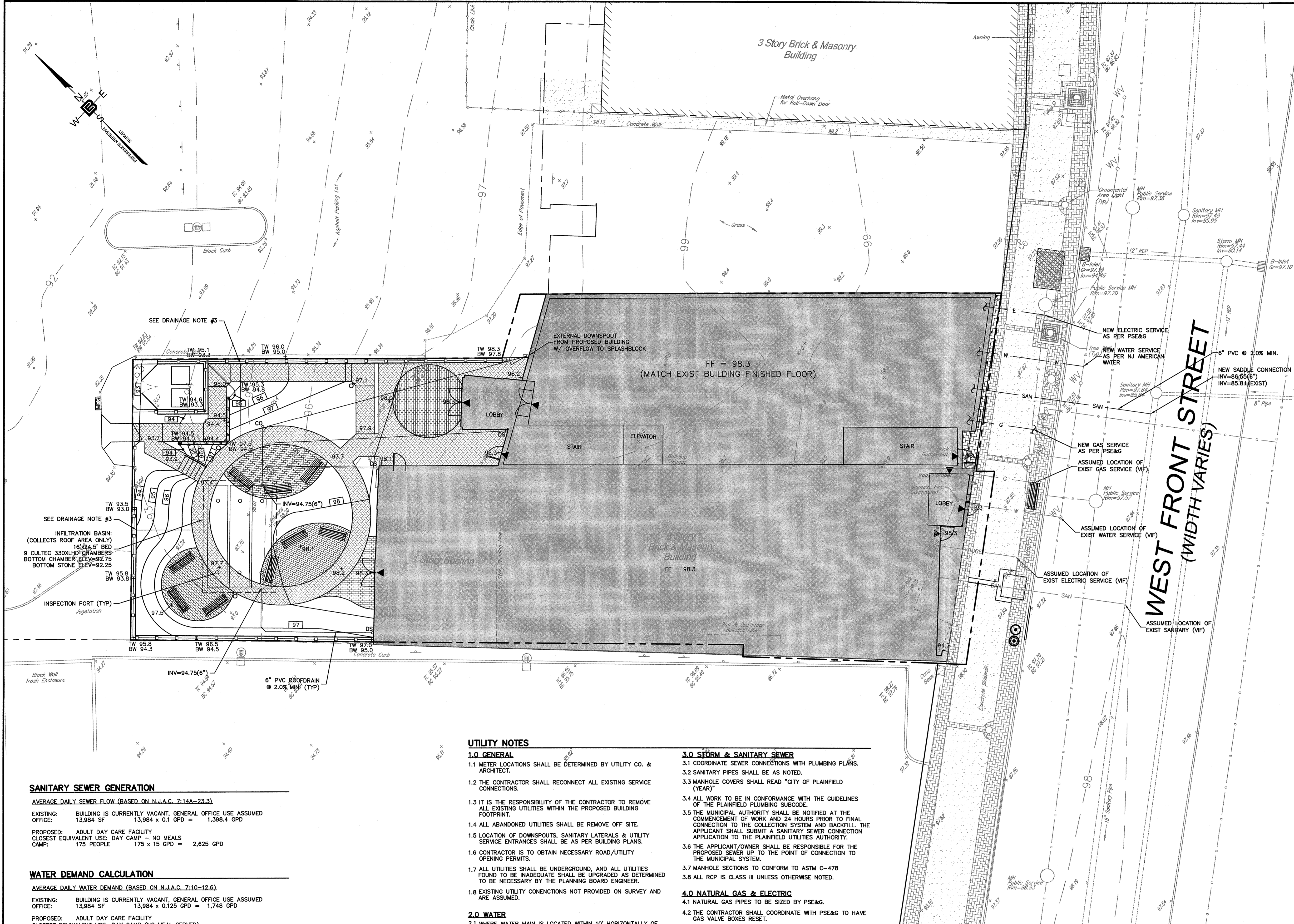
- STREETSCAPE NOTES**
1. IMPROVEMENTS SHALL BE COORDINATED WITH THE FRONT STREET STREETSCAPE CONSISTENT WITH THE CITY'S DOWNTOWN STREETSCAPE PLAN.
 2. CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE RIGHT-OF-WAY AND STREETSCAPE TO EQUAL OR GREATER STANDARD.
 3. THE BRICK PAVERS IN THE FRONT OF THE BUILDINGS SHALL MATCH THE COLOR AND PATTERN OF THE EXISTING STREETSCAPE.
 4. ALL REPAIRS ARE TO BE MADE IN ACCORDANCE WITH THE TEPPER'S REDEVELOPMENT PLAN REQUIREMENTS.
 5. INFRA-RED TECHNOLOGY PAVEMENT REPAIR, AS REQUIRED IN SECTION 13, ARTICLE 4-2(G), OF THE MUNICIPAL CODE AND SUPPLEMENTAL MEMORANDUM REVISED TO APRIL 19, 2002 FROM PRISCILLA L. CASTLES, DIRECTOR OF DEPARTMENT OF PUBLIC WORKS AND URBAN DEVELOPMENT, IS TO BE IMPLEMENTED.

COVERAGE:		
	EXISTING	PROPOSED
BUILDING	45.2% (5,990 SF)	68.2% (9,040 SF)
PAVEMENT	6.5% (868 SF)	19.7% (2,608 SF)
IMPERVIOUS	51.7% (6,858 SF)	87.8% (11,648 SF)
PERVIOUS	48.3% (6,404 SF)	12.2% (1,614 SF)
TOTAL	100% (13,262 SF)	100% (13,262 SF)

APPROVED BY THE PLANNING BOARD OF THE CITY OF PLAINFIELD	
CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE



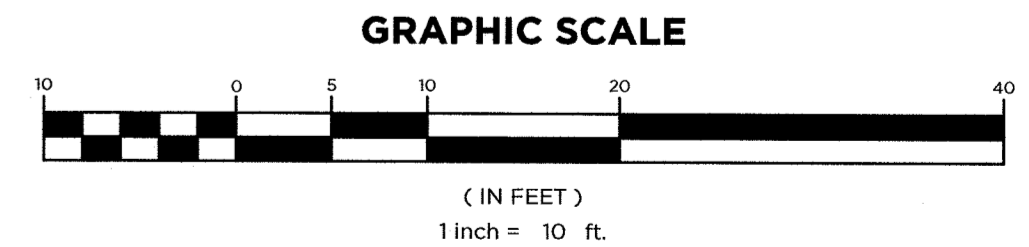
24GA28068900 21MH00002800		DRAWN BY: V.L.	PROJ. MGR. B.J.S.	SITE PLAN			
CALISTO J. BERTIN, P.E. PROFESSIONAL ENGINEER CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 N.H. LIC. NO.: 9368 N.J. LIC. NO.: 28845 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694		BRIAN J. SHORTINO, P.E., L.L.A. PROFESSIONAL ENGINEER N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R LICENSED LANDSCAPE ARCHITECT N.J.L.L.A. NO.: 00607 N.Y.L.L.A. NO.: 001315-1		ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY			
3 8-7-20 ADD BENCH & TRASH CONTAINERS TO STREETSCAPE		V.L.					
2 4-30-20 CLARIFY RETAINING WALLS IN REAR		M.B.L.					
1 2-20-19 ADD BUILDING MOUNTED SIGNAGE		M.B.L.					
NO.	DATE	REVISION		DATE	SCALE		
				9-17-18	1"=10'		
				REVISION NO.	PROJECT NO.		
				3	18-206		
				DWG. NO.	C2.2		



LEGEND	
EOP	EXISTING EDGE OF PAVEMENT
EOG	EXISTING EDGE OF GRAVEL
—+—	TRAFFIC SIGN
□	AREA LIGHT
⊗	FIRE HYDRANT
⊕	UTILITY POLE
x 00.00	SPOT ELEVATION
x TC 00.00	TOP OF CURB
x BC 00.00	BOTTOM OF CURB
GV	GAS VALVE
WV	WATER VALVE
⊙	SANITARY MANHOLE
⊕	DRAINAGE MANHOLE
⊙	MONITORING WELL
⊕	TELEPHONE BOOTH
—	TREELINE
—	EXISTING CONTOUR
—OH—	EXISTING OVERHEAD WIRE
—GAS—	EXISTING GAS MARK-OUT
—WATER—	EXISTING WATER MARK-OUT
—E—	EXISTING ELECTRIC MARK-OUT
E.O.P.	PROPOSED EDGE OF PAVEMENT
R	HANDICAP RAMP
L	HANDICAP LANDING
SW	SIDEWALK
CW	CROSSWALK
TD	TRENCH DRAIN
→	TRAFFIC SIGN
→	DIRECTIONAL ARROW
⊗	FIRE HYDRANT
⊕	DRAINAGE MANHOLE
⊕	CURB INLET
⊕	YARD INLET
⊕	INLET FILTER
⊕	SANITARY MANHOLE
—E—	ELECTRIC LINE
—G—	GAS LINE
—W—	WATER LINE
—S—	PROPOSED SANITARY LINE
—	DRAINAGE LINE (UNDER 12")
—	DRAINAGE LINE (12" & UP)
—	SAWOUT LINE
+ 14.18	PROPOSED SPOT ELEVATION
14	PROPOSED CONTOUR LINE
MEG	MEET EXISTING GRADE
ETR	EXISTING TO REMAIN
—	TRAFFIC SIGN
⊕	AREA LIGHT
⊕	AREA LIGHT W/HOUSE SIDE SHIELD
⊕	NUMBER OF PARKING SPACES
⊕	LANDSCAPE
DS	DOWNSPOUT
—	SILT FENCE
BRICK PAVEMENT	BRICK PAVEMENT
BRICK PAVEMENT	BRICK PAVEMENT

FLOODPLAIN NOTE
BASED UPON FEMA NATIONAL FLOOD INSURANCE PROGRAM, PLAINFIELD COMMUNITY NO. 345312, MAP NO. 0039F, EFFECTIVE/REVISED DATE 9/20/2006, THE PROPERTY LOCATED AT 228-32 WEST FRONT STREET, PLAINFIELD CITY, UNION COUNTY, NJ DOES NOT CONTAIN A SPECIAL FLOOD HAZARD AREA.

DRAINAGE NOTES
1. THE EXISTING BUILDING WILL UTILIZE EXTERIOR DOWNSPOUTS TO ADDRESS ROOF DRAINAGE. THE NEW BUILDING WILL UTILIZE AN INTERNAL ROOF DRAINAGE SYSTEM & UTILITY EXTERIOR DOWNSPOUTS. BOTH BUILDINGS TO TIE INTO A NEW INFILTRATION SYSTEM BEHIND THE EXISTING BUILDING.
2. AN INSPECTION OF THE EXCAVATION SHALL BE MADE BY THE CITY ENGINEER PRIOR TO THE INSTALLATION OF THE INFILTRATION BASIN.
3. LOCATIONS OF THE DRAIN PIPE TIED INTO INFILTRATION BASIN TO BE COORDINATED DURING CONSTRUCTION.



UTILITY NOTES

1.0 GENERAL

- 1.1 METER LOCATIONS SHALL BE DETERMINED BY UTILITY CO. & ARCHITECT.
- 1.2 THE CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICE CONNECTIONS.
- 1.3 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL EXISTING UTILITIES WITHIN THE PROPOSED BUILDING FOOTPRINT.
- 1.4 ALL ABANDONED UTILITIES SHALL BE REMOVE OFF SITE.
- 1.5 LOCATION OF DOWNSPOUTS, SANITARY LATERALS & UTILITY SERVICE ENTRANCES SHALL BE AS PER BUILDING PLANS.
- 1.6 CONTRACTOR IS TO OBTAIN NECESSARY ROAD/UTILITY OPENING PERMITS.
- 1.7 ALL UTILITIES SHALL BE UNDERGROUND, AND ALL UTILITIES FOUND TO BE INADEQUATE SHALL BE UPGRADED AS DETERMINED TO BE NECESSARY BY THE PLANNING BOARD ENGINEER.
- 1.8 EXISTING UTILITY CONENCTIONS NOT PROVIDED ON SURVEY AND ARE ASSUMED.

2.0 WATER

- 2.1 WHERE WATER MAIN IS LOCATED WITHIN 10' HORIZONTALLY OF THE SEWER MAIN, IT SHALL BE AT LEAST 18" HIGHER OR CONCRETE ENCASED.
- 2.2 ALL EXPOSED WATER LATERALS SHALL BE INSULATED AND HEAT TRACED.
- 2.3 SITUATIONS WHERE THE PROPOSED WATER SERVICE CONFLICTS WITH OTHER UTILITIES, THE CONTRACTOR WILL BE DIRECTED BY THE ENGINEER TO LOOP OVER OR UNDER THE UTILITY AS THE CASE MAY BE. IN ADDITION, THE CONTRACTOR SHALL CONTACT THE OWNER, CITY ENGINEER, AND UTILITY COMPANIES TO ARRANGE FOR PROPER REMOVAL, RELOCATION, AND / OR REPAIRS OF ANY UNDERGROUND OR ABOVE GROUND UTILITIES AND OTHER SERVICES, WHICH MAY INTERFERE THROUGHOUT THE COURSE OF CONSTRUCTION.
- 2.4 THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE WATER DEPARTMENT TO HAVE WATER VALVE BOXES RESET.
- 2.5 WATER LATERALS TO BE SIZED BY MECHANICAL ENGINEER.

3.0 STORM & SANITARY SEWER

- 3.1 COORDINATE SEWER CONNECTIONS WITH PLUMBING PLANS.
- 3.2 SANITARY PIPES SHALL BE AS NOTED.
- 3.3 MANHOLE COVERS SHALL READ "CITY OF PLAINFIELD (YEAR)"
- 3.4 ALL WORK TO BE IN CONFORMANCE WITH THE GUIDELINES OF THE PLAINFIELD PLUMBING SUBCODE.
- 3.5 THE MUNICIPAL AUTHORITY SHALL BE NOTIFIED AT THE COMMENCEMENT OF WORK AND 24 HOURS PRIOR TO FINAL CONNECTION TO THE COLLECTION SYSTEM AND BACKFILL. THE APPLICANT SHALL SUBMIT A SANITARY SEWER CONNECTION APPLICATION TO THE PLAINFIELD UTILITIES AUTHORITY.
- 3.6 THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR THE PROPOSED SEWER UP TO THE POINT OF CONNECTION TO THE MUNICIPAL SYSTEM.
- 3.7 MANHOLE SECTIONS TO CONFORM TO ASTM C-478
- 3.8 ALL RCP IS CLASS III UNLESS OTHERWISE NOTED.

4.0 NATURAL GAS & ELECTRIC

- 4.1 NATURAL GAS PIPES TO BE SIZED BY PSE&G.
- 4.2 THE CONTRACTOR SHALL COORDINATE WITH PSE&G TO HAVE GAS VALVE BOXES RESET.
- 4.3 THE CONTRACTOR SHALL INSTALL PROTECTIVE BLOCKING, BRACING OR SHEETING TO SUPPORT ANY EXPOSED GAS UTILITIES IN ACCORDANCE WITH PSE&G REGULATIONS.
- 4.4 TELEPHONE, ELECTRIC, AND GAS AND STRUCTURE LOCATIONS SHOWN ON THE PLANS ARE TENTATIVE AND MAY CHANGE PER UTILITY COMPANY DIRECTION. THE CONTRACTOR SHALL COORDINATE FINAL LOCATIONS AND INSTALLATION REQUIREMENTS WITH THE APPLICABLE UTILITY COMPANIES.
- 4.5 PRIOR TO CONSTRUCTION ALL UTILITY POLE RELOCATIONS AND BUILDING CONNECTIONS TO BE COORDINATED BY THE CONTRACTOR AND GOVERNING UTILITY AUTHORITY.

SANITARY SEWER GENERATION

AVERAGE DAILY SEWER FLOW (BASED ON N.J.A.C. 7-14A-23.3)

EXISTING: BUILDING IS CURRENTLY VACANT, GENERAL OFFICE USE ASSUMED
OFFICE: 13,984 SF 13,984 x 0.1 GPD = 1,398.4 GPD
PROPOSED: ADULT DAY CARE FACILITY
CLOSEST EQUIVALENT USE: DAY CAMP - NO MEALS
CAMP: 175 PEOPLE 175 x 15 GPD = 2,625 GPD

WATER DEMAND CALCULATION

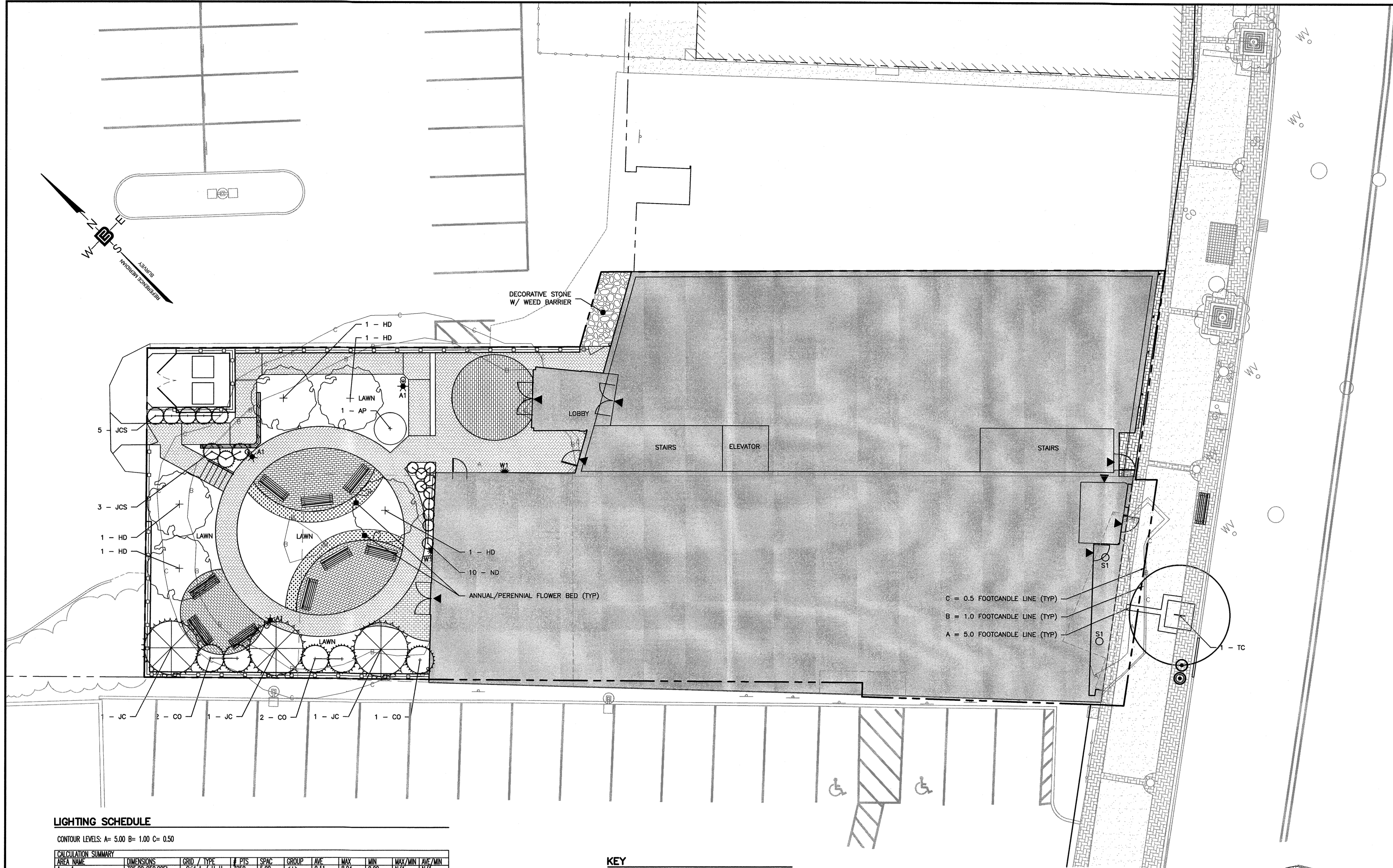
AVERAGE DAILY WATER DEMAND (BASED ON N.J.A.C. 7-10-12.6)

EXISTING: BUILDING IS CURRENTLY VACANT, GENERAL OFFICE USE ASSUMED
OFFICE: 13,984 SF 13,984 x 0.125 GPD = 1,748 GPD
PROPOSED: ADULT DAY CARE FACILITY
CLOSEST EQUIVALENT USE: DAY CAMP (NO MEAL SERVED)
CAMP: 175 PEOPLE 175 x 15 GPD = 2,625 GPD

APPROVED BY THE PLANNING BOARD OF THE CITY OF PLAINFIELD

CHAIRMAN	DATE
SECRETARY	DATE
ENGINEER	DATE

CERTIFICATE OF AUTHORIZATION 24GA28068900 21MH00002800		DRAWN BY: V.L.	PROJ. NO.:
CALISTO J. BERTIN, P.E.		BRIAN J. SHORTINO, P.E., L.L.A.	B.J.S.
PROFESSIONAL ENGINEER		PROFESSIONAL ENGINEER	
CT. LIC. NO.: 12950		N.J. LIC. NO.: 33942	
MA. LIC. NO.: 40595		PA. LIC. NO.: 042076-R	
N.H. LIC. NO.: 9368			
N.J. LIC. NO.: 28845		LICENSED LANDSCAPE	
N.Y. LIC. NO.: 60022		ARCHITECT	
R.I. LIC. NO.: 6694		N.J.L.L.A. NO.: 00607	
		N.Y.L.L.A. NO.: 001315-1	
3	8-7-20	ADDED TOE DRAIN PIPES INTO INFILTRATION BASIN & DRAINAGE NOTES #2 & #3	M.B.L.
2	4-30-20	ADD UTILITIES TO NEW BUILDING, INFILTRATION SYSTEM & SANITARY & WATER DEMAND CALCULATIONS	M.B.L.
1	2-20-19	ADD EXTERIOR DOWNSPOUTS & DRAINAGE NOTE	M.B.L.
NO.	DATE	REVISION	BY
GRADING, DRAINAGE & UTILITY PLAN			
ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY			
B BERTIN ENGINEERING			
66 GLEN AVENUE GLEN ROCK, NJ 07452 P-201.670.6588 F-201.670.9788 www.bertinengineering.com			
DATE:	SCALE:	REVISION NO.:	PROJECT NO.:
9-17-18	1"=10'	3	18-206
			DWG. NO.:
			C2.3



LANDSCAPE NOTES

1. ALL LANDSCAPED AREAS TO RECEIVE A SIX INCH (6") LAYER OF COMPACTED TOPSOIL.
2. ALL PLANT MATERIAL TO BE BALLED & BURLAPPED AND CONFORM TO U.S.A. STANDARD FOR NURSERY STOCK U.S.A. Z 60.1-1969.
3. SHRUBS SHALL BE PLANTED IN PITS WITHIN THE BED ONE FOOT GREATER THAN THE SPREAD OF THE ROOTS AND 18" DEEP BELOW FINISH GRADE OR AS DEEP AS IS NECESSARY TO PROPERLY SET THE PLAN AT FINISH GRADE. THE DEPTH OF THE PLANTING PIT SHALL BE ADJUSTED AS NECESSARY TO PERMIT A MINIMUM OF (3") THREE INCHES OF TOPSOIL UNDER BALL OF ALL PLANTS.
4. TOP SOIL USED FOR PLANTING SHALL BE A MIXTURE OF THREE PARTS TOP SOIL TO ONE PART PEAT.
5. IMMEDIATELY AFTER PLANTING OPERATIONS ARE COMPLETED, ALL TREE & SHRUB PITS SHALL BE MULCHED WITH A (4") FOUR INCH LAYER OF ROOT MULCH. THE LIMIT OF THIS MULCH FOR TREES SHALL BE AREA OF THE PIT & FOR SHRUBS IN BEDS, THE ENTIRE AREA OF SHRUB BED.
6. ALL TREES SHALL BE STAKED IN ACCORDANCE WITH ACCEPTED NURSERY STANDARDS.
7. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL. NYLON ROPE AND OR NYLON BALLING MATERIAL IS NOT ACCEPTABLE.
8. LOCATE GUY WIRES SO THAT THEY WILL NOT PULL CROTCH APART.
9. IF THERE IS A DISCREPANCY BETWEEN THE PLANT COUNT SHOWN IN THE PLANT LIST AND THE PLANTING GRAPHIC, THE GRAPHIC SHALL TAKE PRECEDENCE.
10. IF THE CONTRACTOR DETERMINES THE SUB-GRADE SOIL CONDITIONS ARE DELETERIOUS TO PLANT GROWTH OR WILL INHIBIT DRAINAGE, THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY AND PRIOR TO INSTALLATION OF PLANT MATERIAL.
11. PLANT GROUNDCOVERS IN 8" DEEP TOPSOIL BED CONSISTING OF 3 PARTS TOPSOIL AND 1 PART HUMUS. PLANT BULBS IN NATURALIZED DRIFTS.
12. TOPSOIL AND SEED ALL AREAS DISTURBED AS A RESULT OF ANY AND ALL CONSTRUCTION DISTURBANCES, OR STORAGE OF EQUIPMENT, WHETHER SUCH AREAS ARE SHOWN ON THE PLANS OR NOT. CONTRACTOR TO FIELD VERIFY AREAS OF SEED AND OF SOD PRIOR TO SUBMITTING BID.

LANDSCAPE MAINTENANCE NOTES

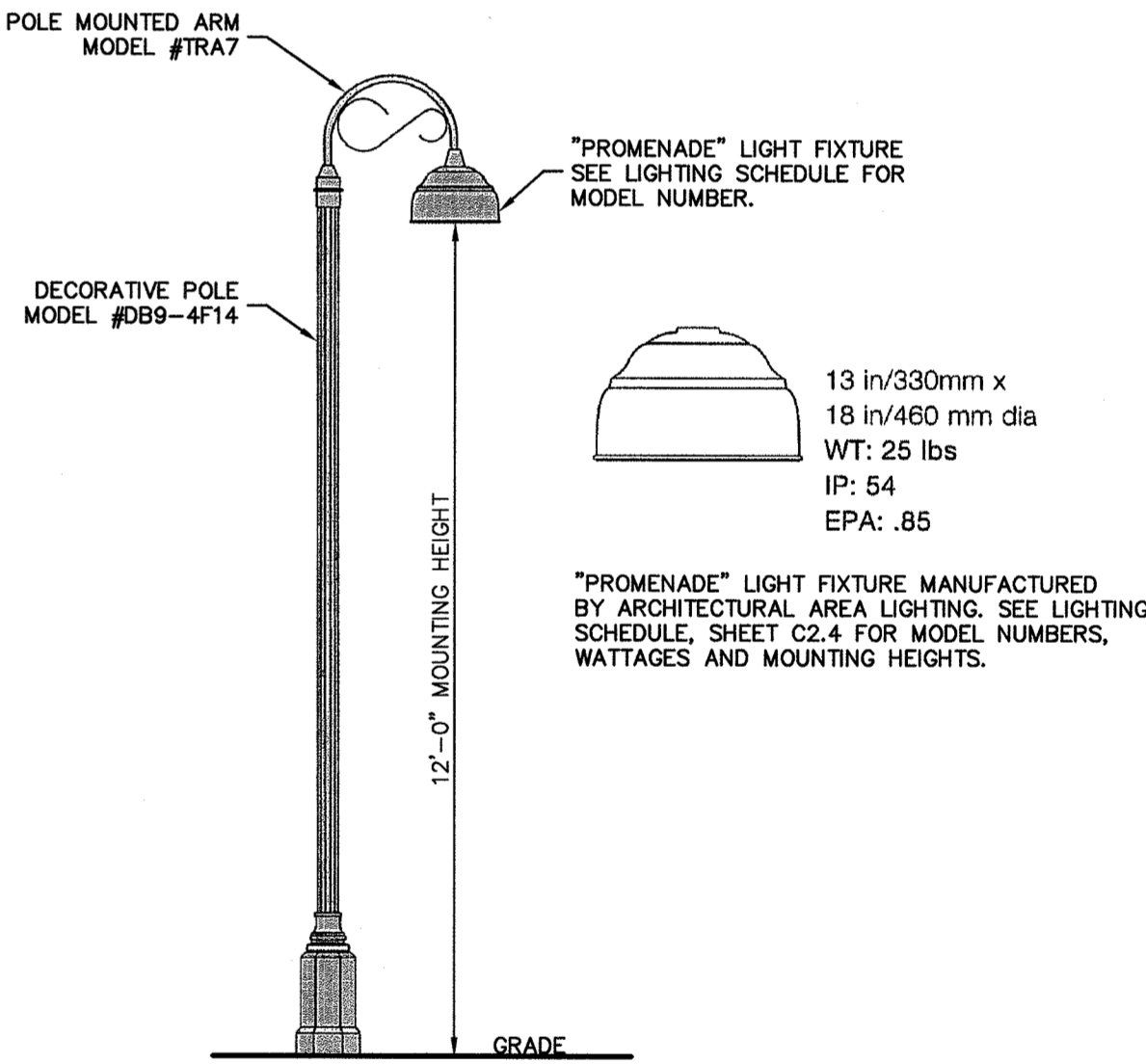
PROPERTY OWNER WILL BE RESPONSIBLE FOR MAINTENANCE OF ALL LANDSCAPING.

TREES AND SHRUBS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES AND GUY SUPPORTS, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS.

MAINTENANCE PERIOD: 12 MONTHS FROM DATE OF SUBSTANTIAL COMPLETION.

GROUND COVER AND PLANTS: MAINTAIN FOR THE FOLLOWING MAINTENANCE PERIOD BY WATERING, WEEDING, FERTILIZING, AND OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS.

MAINTENANCE PERIOD: SIX MONTHS FROM DATE OF SUBSTANTIAL COMPLETION.



AREA LIGHT & WALL LIGHT DETAIL

NOT TO SCALE

LIGHTING SCHEDULE

CONTOUR LEVELS: A= 5.00 B= 1.00 C= 0.50

AREA NAME	DIMENSIONS	GRID / TYPE	# PITS	SPAC	GROUP	AVE	MAX	MIN	MAX/MIN AVE/MIN
Area 1	325.00x250.00FT	Grid 1 / H-H	3250	5.00	<+>	0.11	8.04	0.00	N/A N/A

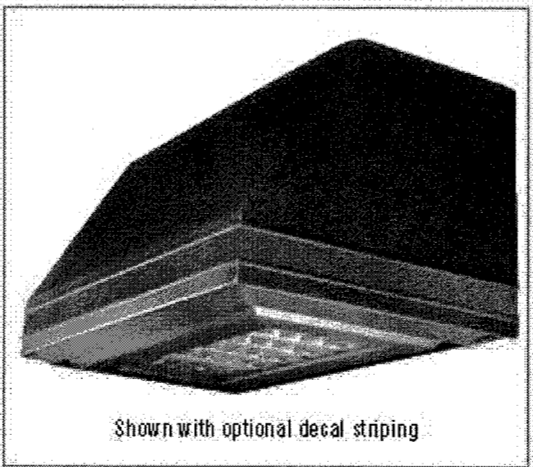
TYPE	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	ULF	QTY
A1	✱	ARCHITECTURAL AREA LIGHTING Area Light PRMS-H3-50MH	(1) MH/50/U MOG	3100	12 FL, 50W Metal Halide	0.75	3
S1	○	LITHONIA GOTHAM Spot Light 8" AHZ 100W BAR 120	(1) MP100/C/U/MED	7900	17.5 FL, 100W Metal Halide	0.75	2
WT	✱	LSI INDUSTRIES Wall Light XGBWM3-FT-LED-28-350-NW-UE	(1) LED	2891	10.5 FL, 28 LED 4000K	0.75	2

PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTING HEIGHT	ROOT	SPACING
AP	1	ACER PALMATUM "CRIMSON QUEEN"	CRIMSON QUEEN JAPANESE MAPLE	24" - 36"	#3 CONT. (SPREADING)	AS SHOWN
CO	5	CHAMAECYPARIS OBTUSA "GRACILIS"	SLENDER HINOKI FALSE CYPRESS	4' - 6'	#10 CONT.	AS SHOWN
HD	5	HALESIA DIPTERA VAR. MAGNIFLORA	TWO WINGED SILVERBELL	5' - 6' 1" - 1 1/2" CAL.	B & B	AS SHOWN
JC	3	JUNIPERUS CHINENSIS "SPARTAN"	SPARTAN JUNIPER	6' - 8'	B & B	AS SHOWN
JCS	8	JUNIPERUS CHINENSIS "SARGENTI"	SARGENTI JUNIPER	18" - 24"	#3 CONT.	3' O.C.
ND	10	NANDINA DOMESTICA "HARBOR DWARF"	HARBOR DWARF NANDINA	15" - 18"	#1 CONT.	2' O.C.
TC	1	TILIA CORDATA "GREENSPIRE"	GREENSPIRE LITTLELEAF LINDEN	10' - 12' 2" - 2 1/2" CAL.	B & B	AS SHOWN

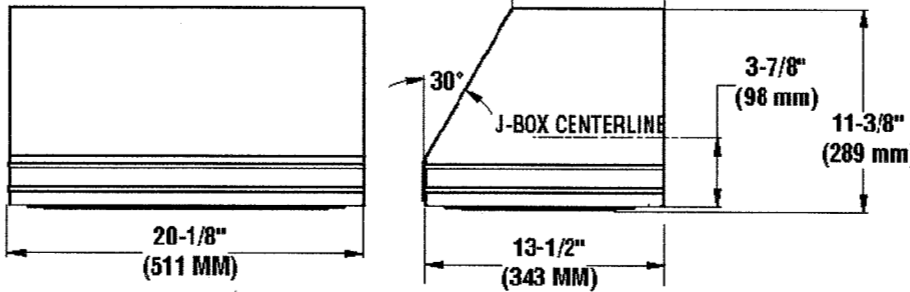
KEY

- MAJOR DECIDUOUS TREE
- SMALL FLOWERING TREE OR LARGE SHRUB
- EVERGREEN TREE
- DECIDUOUS OR FLOWERING SHRUBS
- EVERGREEN SHRUBS
- ANNUAL/PERENNIAL BED
- DECORATIVE STONE



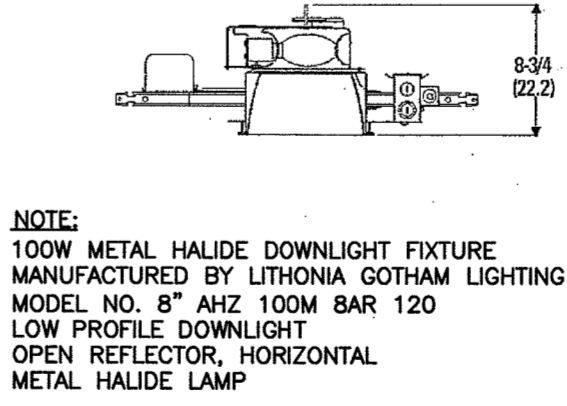
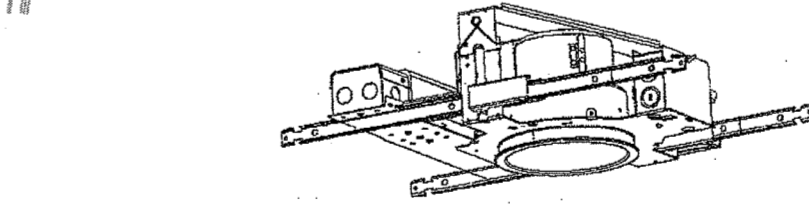
LED GREENBRIAR WALL SCONCE (XGBWM3) MANUFACTURED BY LSI INDUSTRIES

DIMENSIONS



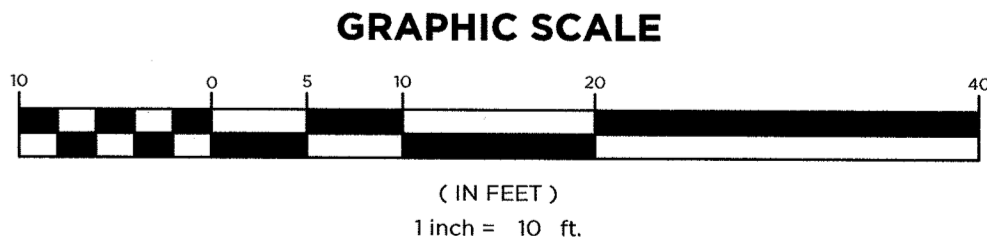
WALL LIGHT DETAIL

NOT TO SCALE



SOFFIT LIGHT

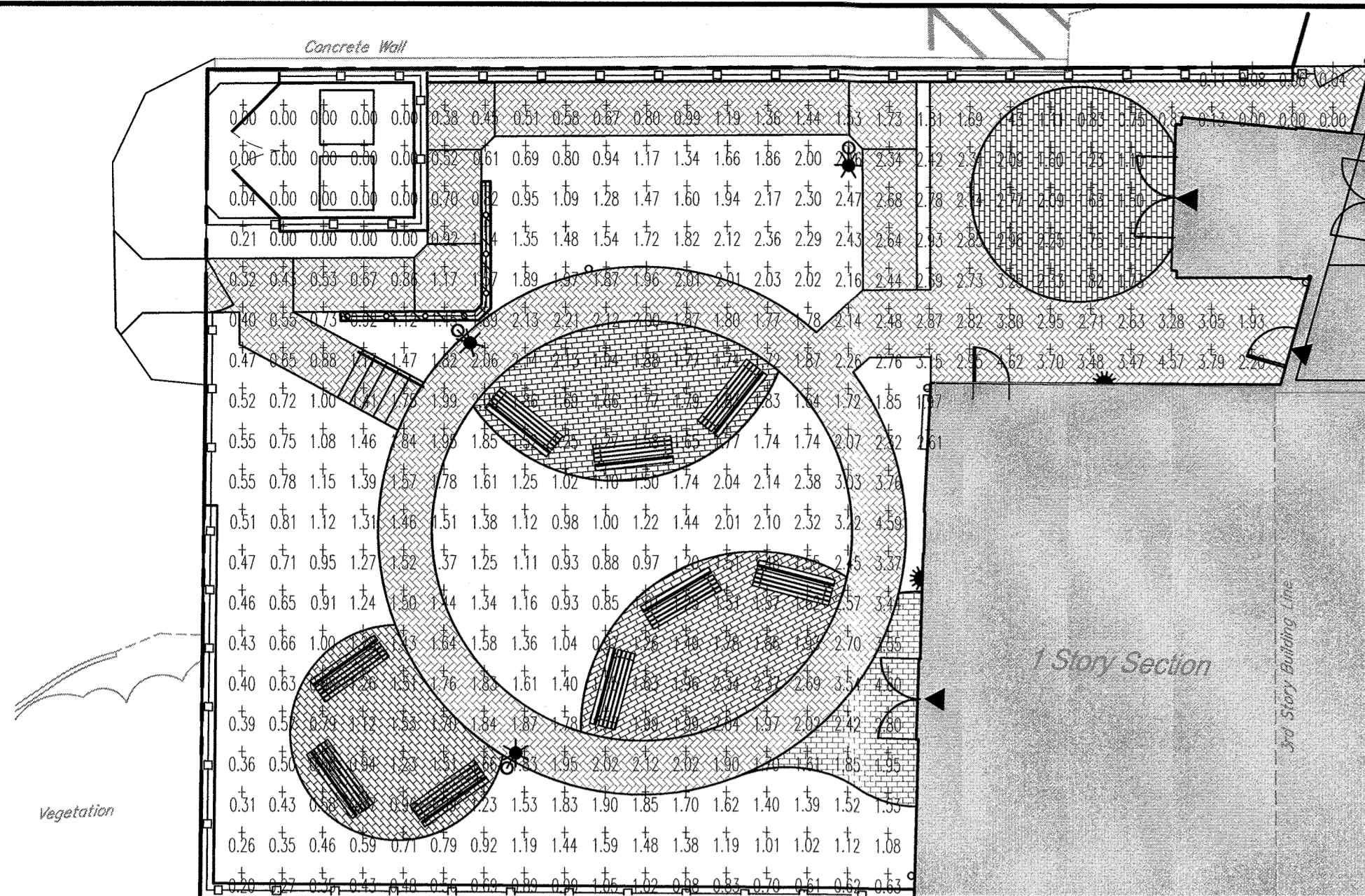
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GRAPHIC SCALE

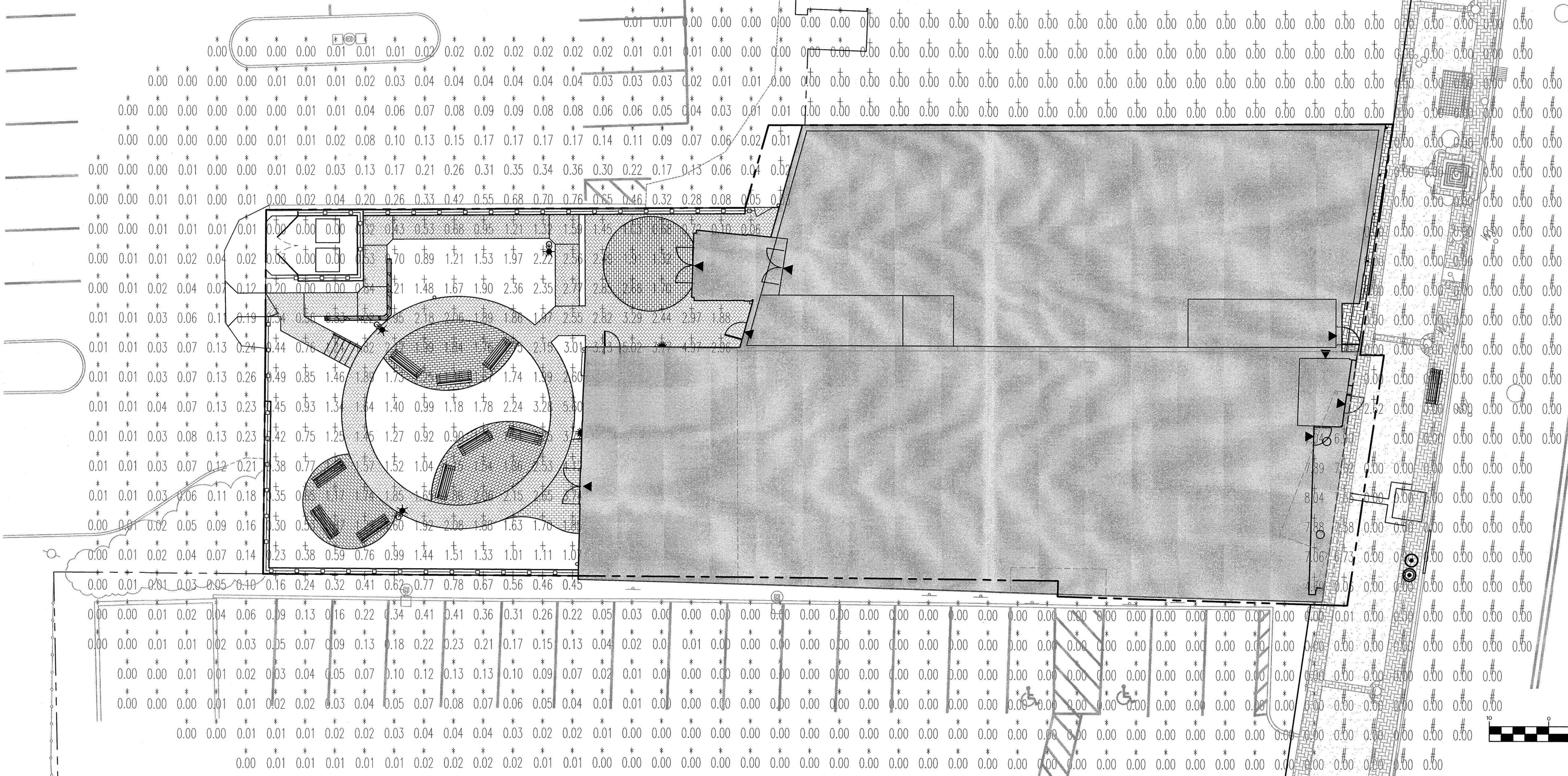
1 inch = 10 ft.

3 8-7-20 REVISE PER SITE PLAN		V.L.	CERTIFICATE OF AUTHORIZATION 24GA28068900 21W4H00022800		DRAWN BY: B.J.S.	PROJ. NO.:		LANDSCAPE & LIGHTING PLAN		
2 4-30-20 REVISE PLANT LIST		M.B.L.	CALISTO J. BERTIN, P.E. PROFESSIONAL ENGINEER CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 N.H. LIC. NO.: 9368 N.J. LIC. NO.: 28845 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694		BRIAN J. SHORTINO, P.E., L.L.A. PROFESSIONAL ENGINEER N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R		LICENSED LANDSCAPE ARCHITECT		ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY	
1 2-20-19 REVISE AS PER SITE PLAN		M.B.L.	BY: [Signature]		[Signature]		N.J.L.L.A. NO.: 00607 N.Y.L.L.A. NO.: 001315-1		B BERTIN ENGINEERING 66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com	
NO. DATE REVISION		BY	DATE: 9-17-18		SCALE: 1"=10'	REVISION NO.: 3	PROJECT NO.: 18-206	DWS. NO.: C2.4		



LIGHTING INTENSITIES AT PEDESTRIAN AREA

SCALE: 1" = 10'



LIGHTING INTENSITIES EXTENDING 30' BEYOND PROPERTY LINES

SCALE: 1" = 10'

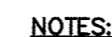
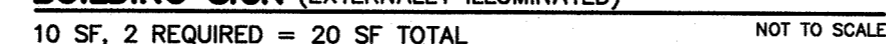
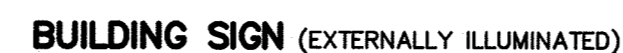
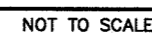
SUMMARY OF LIGHTING INTENSITIES AT PEDESTRIAN AREA

CALCULATION SUMMARY	DIMENSIONS	GRID / TYPE	# FTS	SPAC	GROUP	Avg	MAX	MIN	MAX/MIN	Avg/MIN
Area 1	325.00x250.00ft	Grid ped / H-H	305	3.00	<1>	1.49	4.82	0.00	N/A	N/A

SUMMARY OF LIGHTING INTENSITIES EXTENDING 30' BEYOND PROPERTY LINES

CALCULATION SUMMARY	DIMENSIONS	GRID / TYPE	# FTS	SPAC	GROUP	Avg	MAX	MIN	MAX/MIN	Avg/MIN
Area 1	325.00x250.00ft	Grid 30ft / H-H	305	5.00	<1> on-site	1.06	8.04	0.00	N/A	N/A
			474	5.00	<2> off-site private	0.05	0.76	0.00	N/A	N/A
			158	5.00	<3> off-site public	0.00	0.00	0.00	N/A	N/A

3 8-7-20 REVISE PER SITE PLAN		V.L.	CERTIFICATE OF AUTHORIZATION 24GA0068900 21MH000002800		DRAWN BY: V.L.	PROJ. MGR: B.J.S.	LIGHTING INTENSITIES PLAN	
2 4-30-20 REVISE AS PER SITE PLAN		M.B.L.	CALISTO J. BERTIN, P.E. PROFESSIONAL ENGINEER CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 NJ. LIC. NO.: 9368 N.J. LIC. NO.: 28845 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694		BRIAN J. SHORTINO, P.E., L.L.A. PROFESSIONAL ENGINEER N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R LICENSED LANDSCAPE ARCHITECT N.J.L.L.A. NO.: 00607 N.Y.L.L.A. NO.: 001315-1		ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY	
1 2-20-19 REVISE AS PER SITE PLAN		M.B.L.	B BERTIN ENGINEERING		66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com		DATE: 9-17-18 SCALE: 1"=10' REVISION NO.: 3 PROJECT NO.: 18-206 DWG. NO.: C2.5	
NO. DATE REVISION		BY: RJS						



1. ANY PAVEMENT REPAIR OR REPLACEMENT WITHIN THE ADJACENT ROADWAYS SHALL UTILIZE INFRARED PAVEMENT REPAIR.

ASPHALT PAVEMENT DETAIL

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



CONCRETE SIDEWALK DETAIL

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



STREETSCAPE DETAILS



1. BENCH MANUFACTURER: DUMOR, INC., 138 SERIES PL RECYCLED PLASTIC BENCH, MODEL NO. 138-60PL, OR EQUAL.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
3. PAINT WITH SHERWIN-WILLIAMS MACROPOXY 646 FAST CURE EPOXY OR EQUIVALENT.
4. SLAT COLOR/STYLE TO BE DETERMINED BY OWNER.

BENCH DETAIL

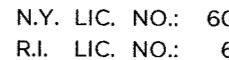
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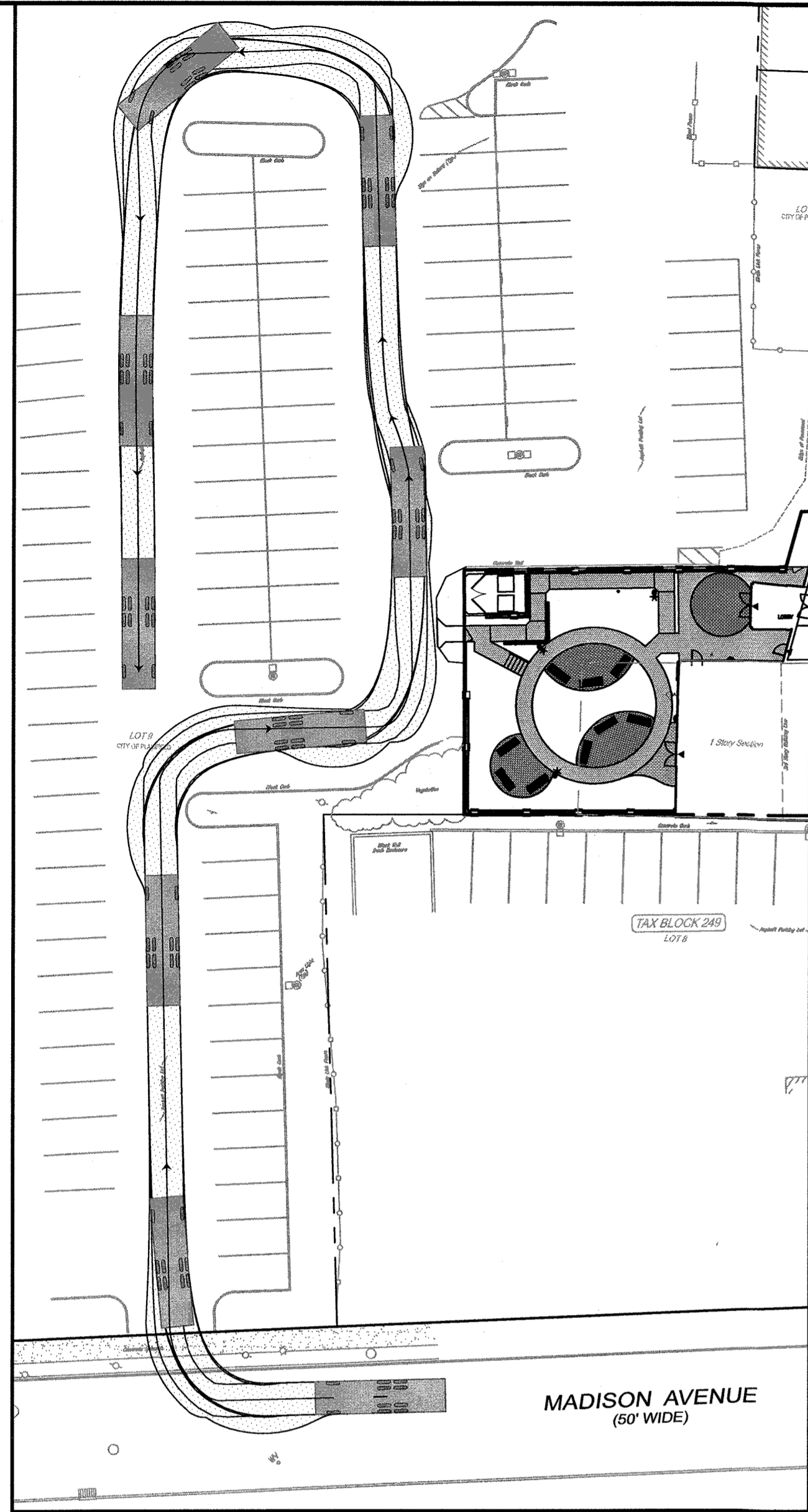


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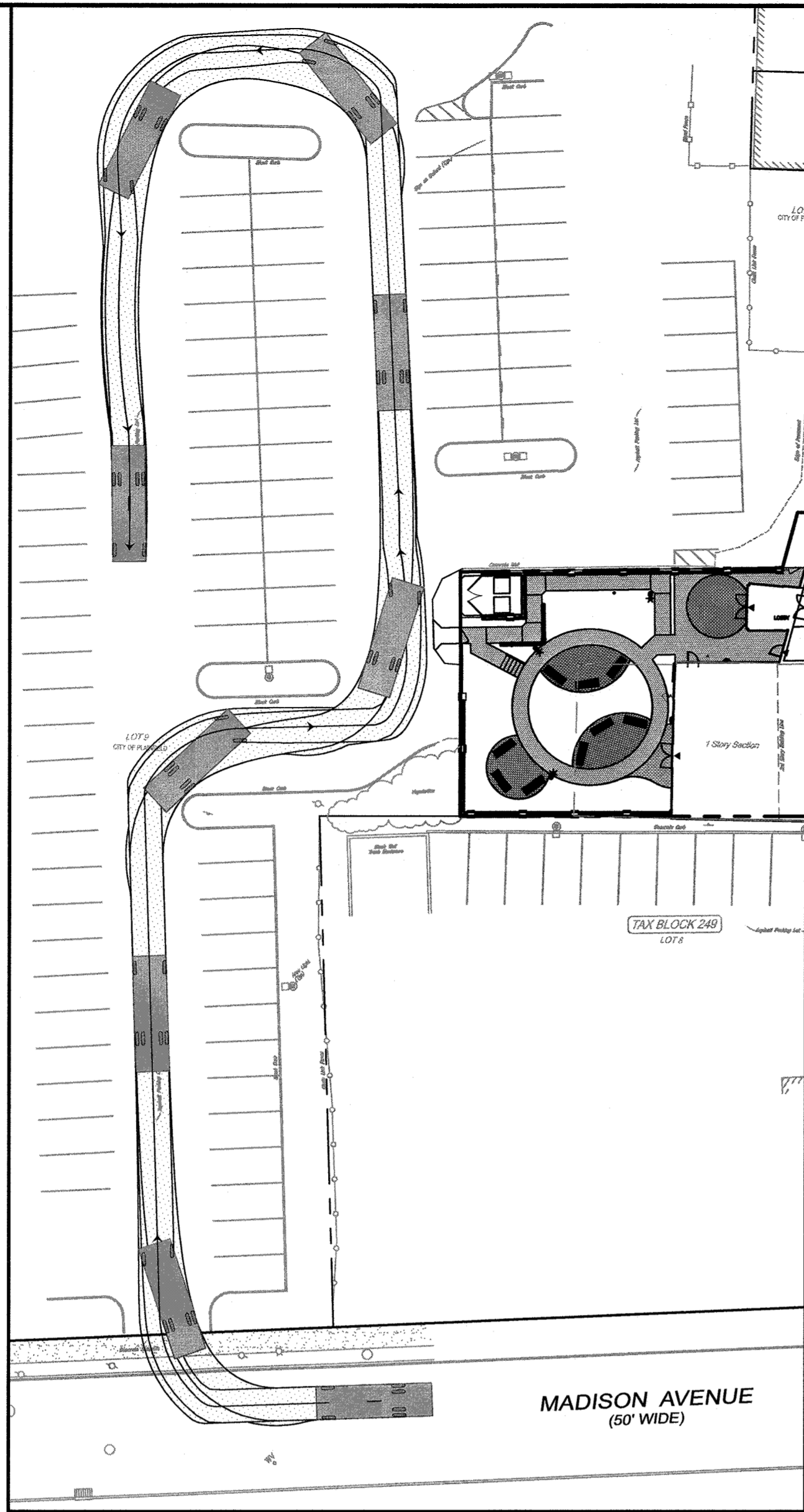
NOT TO SCALE

			NOT TO SCALE		CERTIFICATE OF AUTHORIZATION 24GAZ8068900 21MH00002800				DRAWN BY: V.L.		PROJ. NUMBER: B.J.S.		SITE DETAILS				NOT TO SCALE			
					CALISTO J. BERTIN, P.E.		BRIAN J. SHORTINO, P.E., L.L.A.		ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY				<div><div></div><div>BERTIN ENGINEERING</div></div> <div>66 GLEN AVENUE GLEN ROCK, NJ 07452 P 201.670.6688 F 201.670.9788 www.bertinengineering.com</div>							
					PROFESSIONAL ENGINEER		PROFESSIONAL ENGINEER													
					CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 N.H. LIC. NO.: 9368 N.J. LIC. NO.: 28845 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694		N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R LICENSED LANDSCAPE ARCHITECT N.J.L.L.A. NO.: 00667 N.Y.L.L.A. NO.: 001351-1													
3 8-7-20 ADD STREETScape DETAILS			V.L.						DATE: 9-17-18				SCALE: AS SHOWN		REVISION NO.: 3		PROJECT NO.: 18-206		DWS- NO.:	
2 4-30-20 ADD CONC. RETAINING WALL, CONC. SIDEWALK, ASPHALT PAVEMENT, TREE GRATE & GRANITE BLOCK CURB DETAILS			M.B.L.																	
1 2-20-19 ADD BUILDING SIGN DETAIL & RETAINING WALL W/ HANDRAIL DETAIL			M.B.L.																	
NO. DATE REVISION			BY																	
													C3.1							



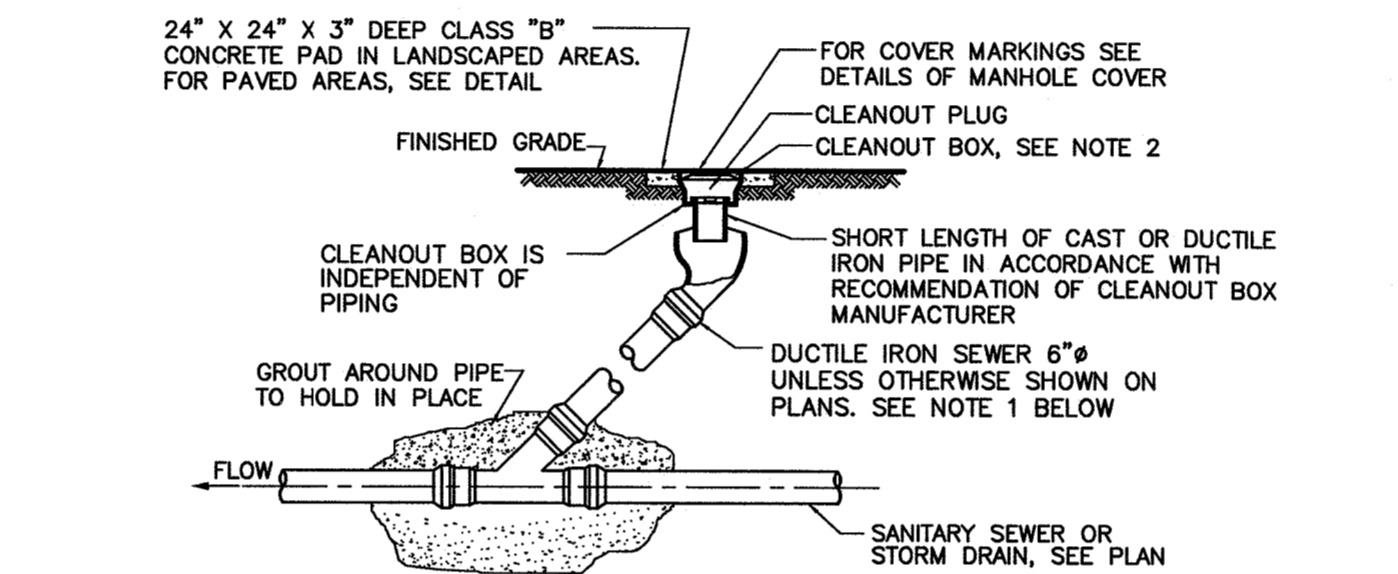
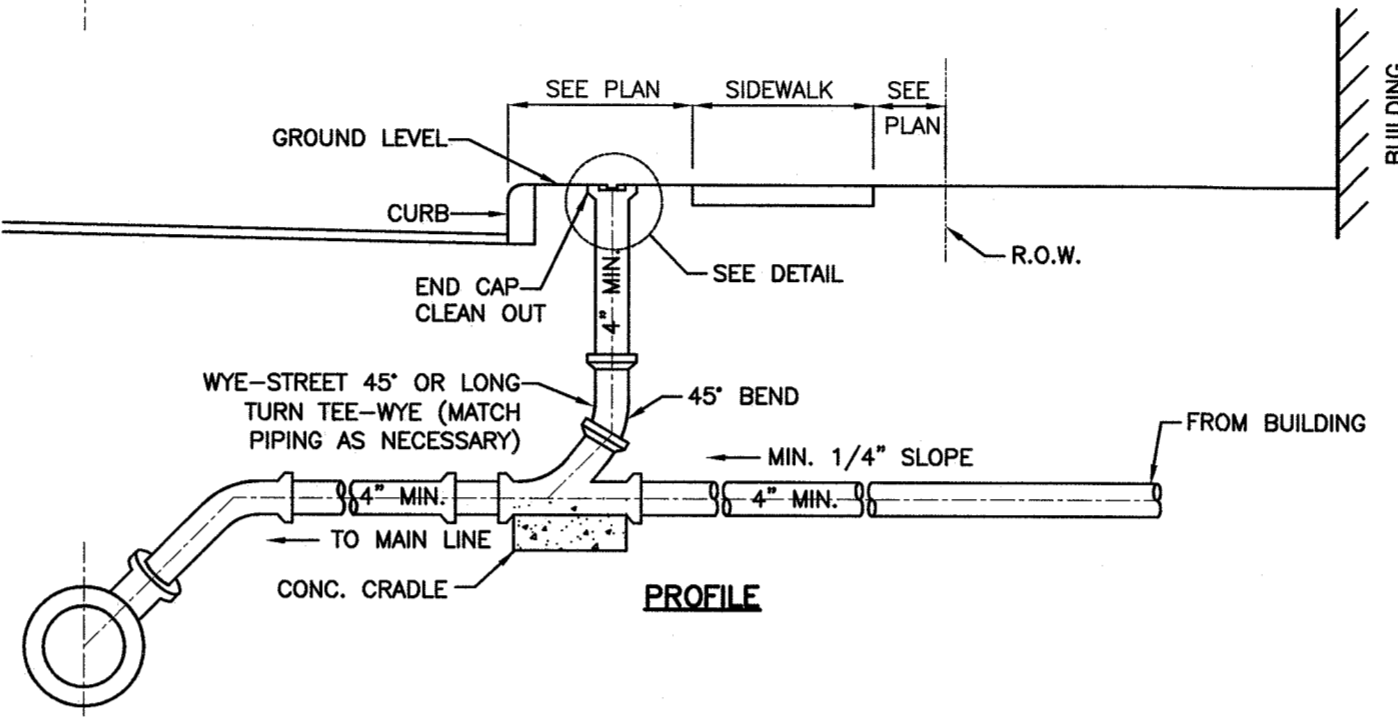
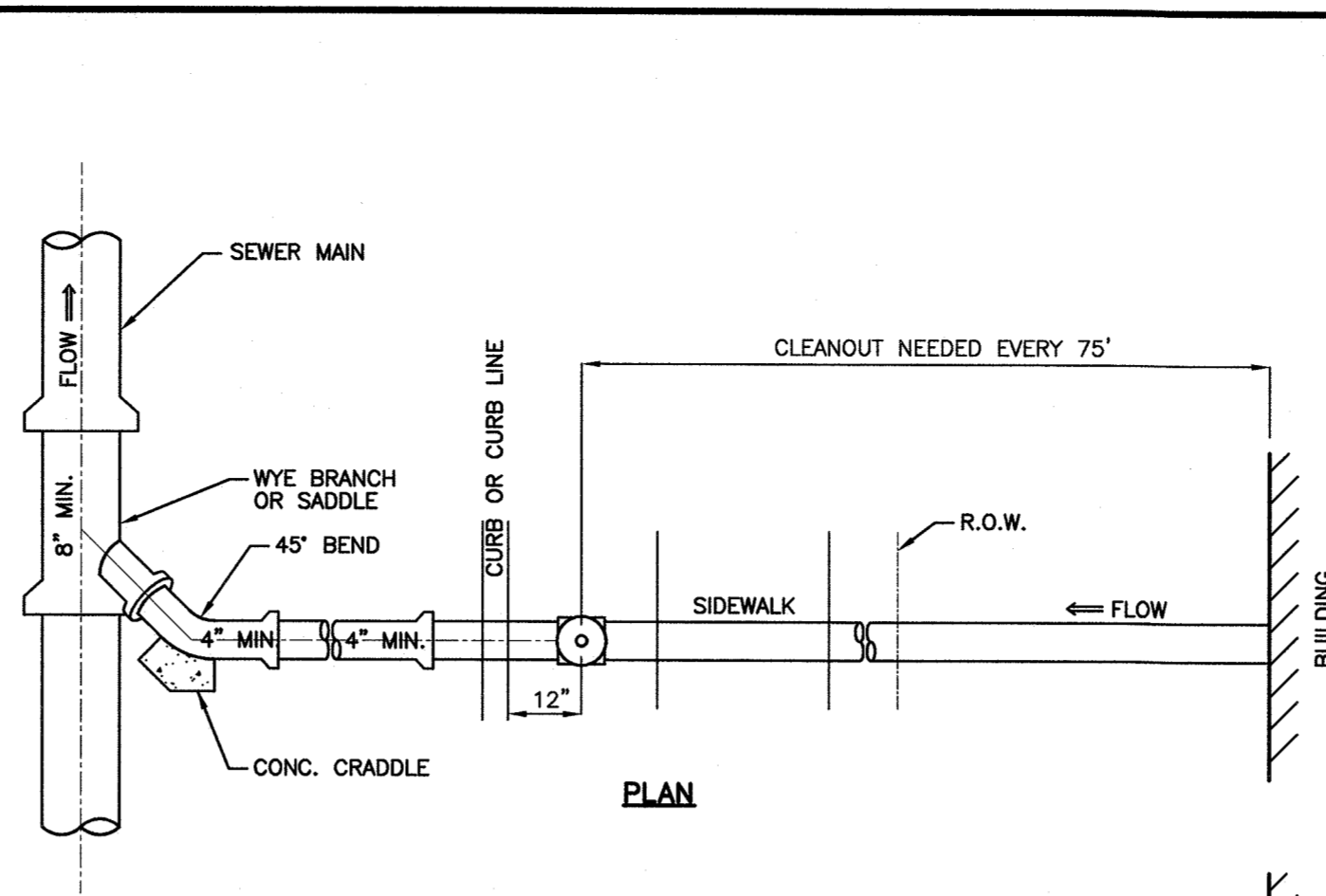
GARBAGE TRUCK ROUTE

SCALE: 1"=30'



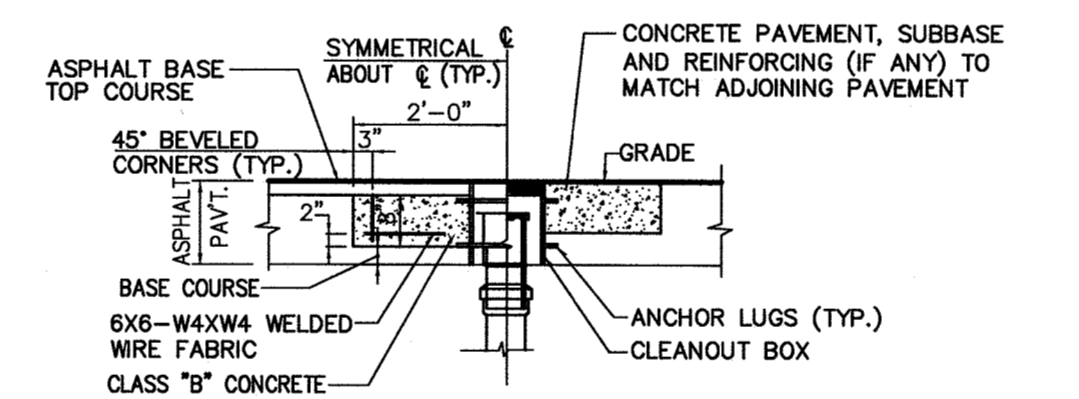
PARTICIPANT DROP OFF/DELIVERY ROUTE & PICK UP

SCALE: 1"=30'



PIPE CLEANOUT ELEVATION

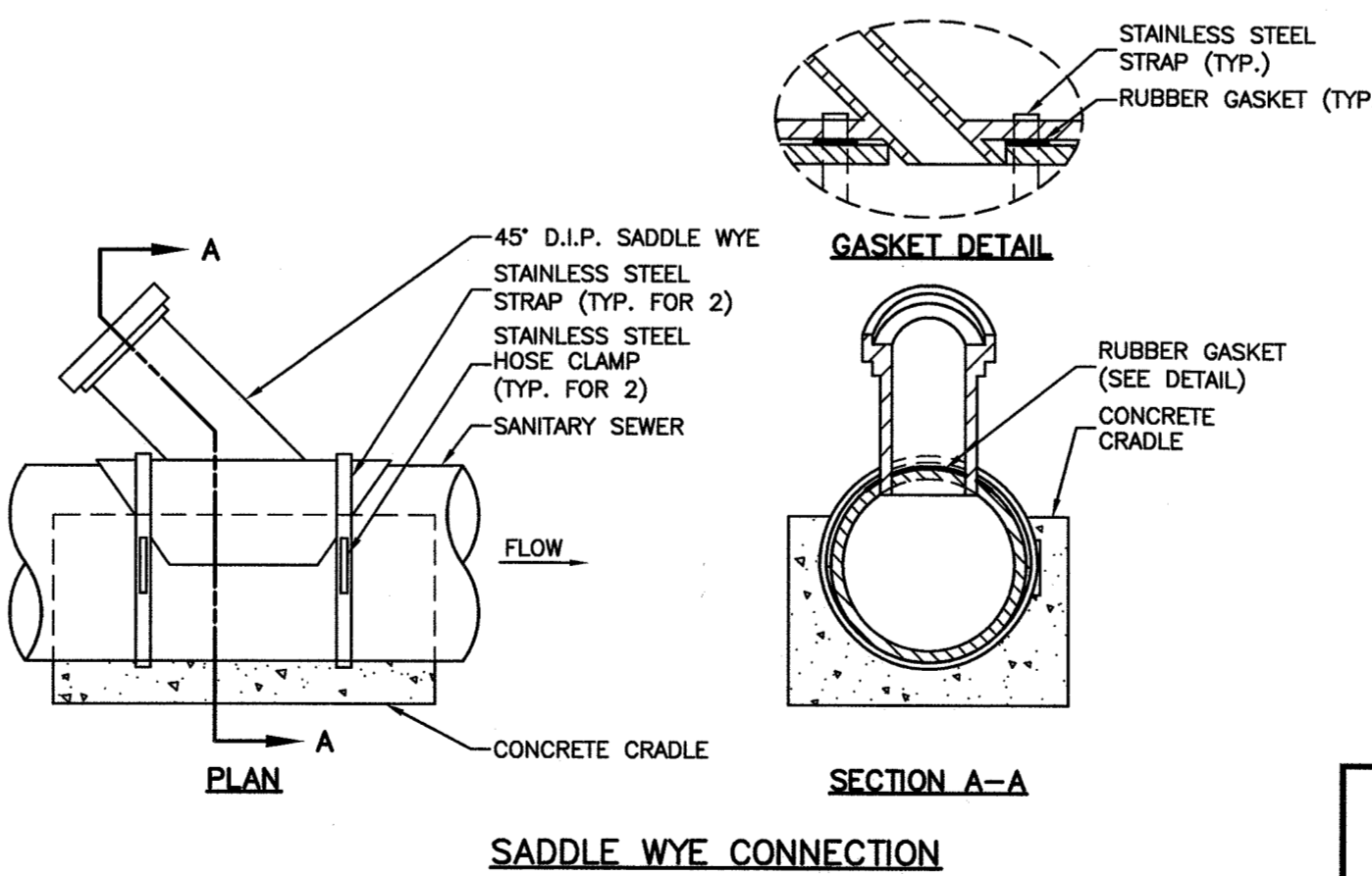
- NOTES:
1. CLEANOUT PIPING ASTM A746 CLASS 50 WITH PUSH ON, GASKETED JOINTS. CONTRACTOR SHALL PROVIDE BENDS OR OTHER SPECIAL FITTINGS FOR UNDERGROUND PIPING AS REQUIRED TO FOLLOW ALIGNMENT SHOWN ON PLAN AND TO CONNECT TO SEWER OR DRAIN.
 2. HEAVY DUTY CAST IRON FRAME AND COVER DESIGNED FOR HS25 HIGHWAY LOADING. SUBMIT DETAILS FOR APPROVAL.



FOR FLEXIBLE (ASPHALT) PAVEMENTS

FOR RIGID (CONCRETE) PAVEMENTS

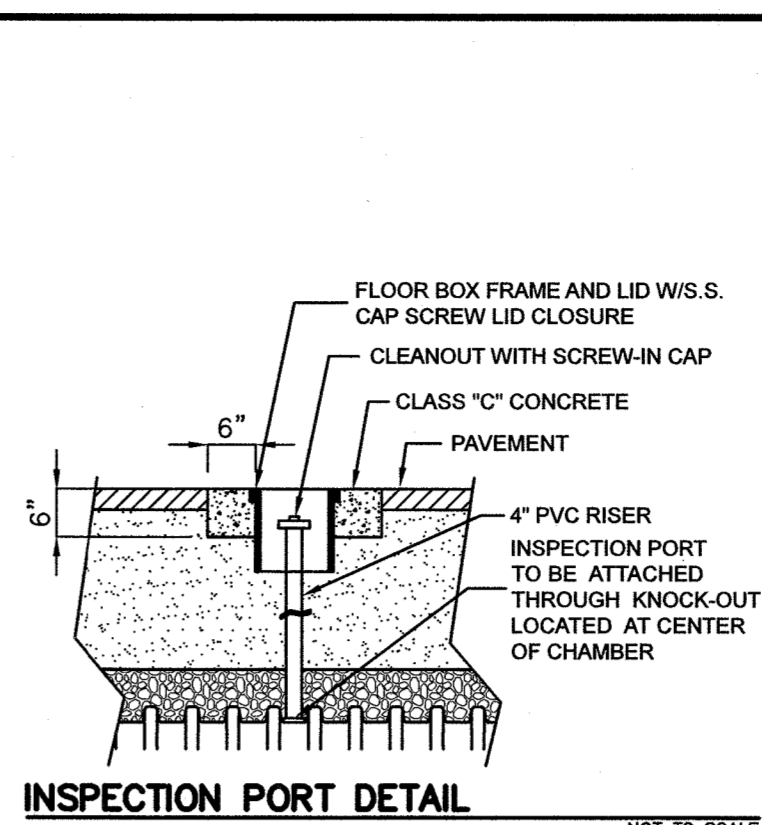
PIPE CLEANOUT DETAIL IN PAVED AREAS



- NOTES:
1. SEE PLAN FOR PIPE SIZES, SLOPE AND LOCATIONS.
 2. MAINTAIN 1% MIN SLOPE. USE 2% SLOPE UNLESS OTHERWISE SPECIFIED ON PLAN.
 3. CLEANOUTS TO BE AS SHOWN ON PLAN, BUT NOT GREATER THAN 75' O.C. FOR 4" LATERAL.

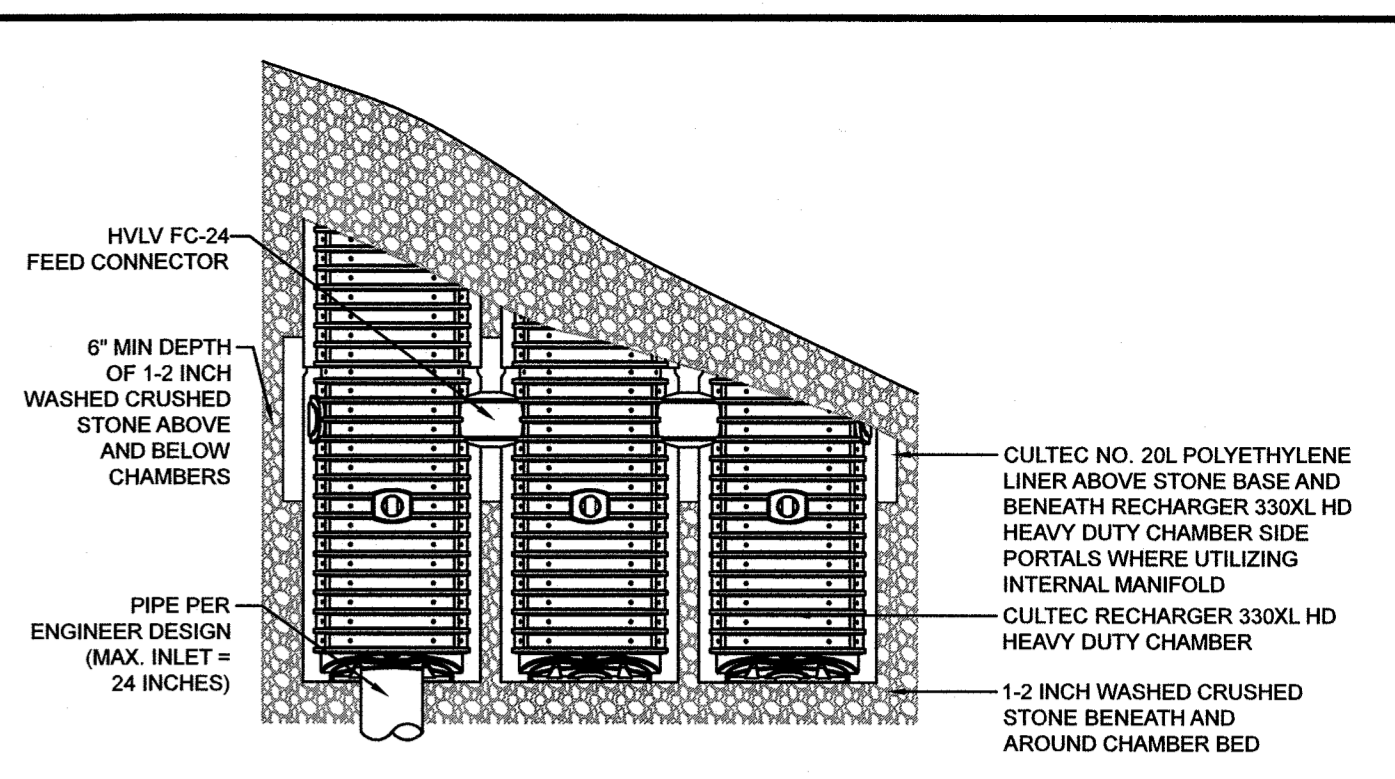
BUILDING SEWER CONNECTION AND CLEANOUT DETAIL

NOT TO SCALE



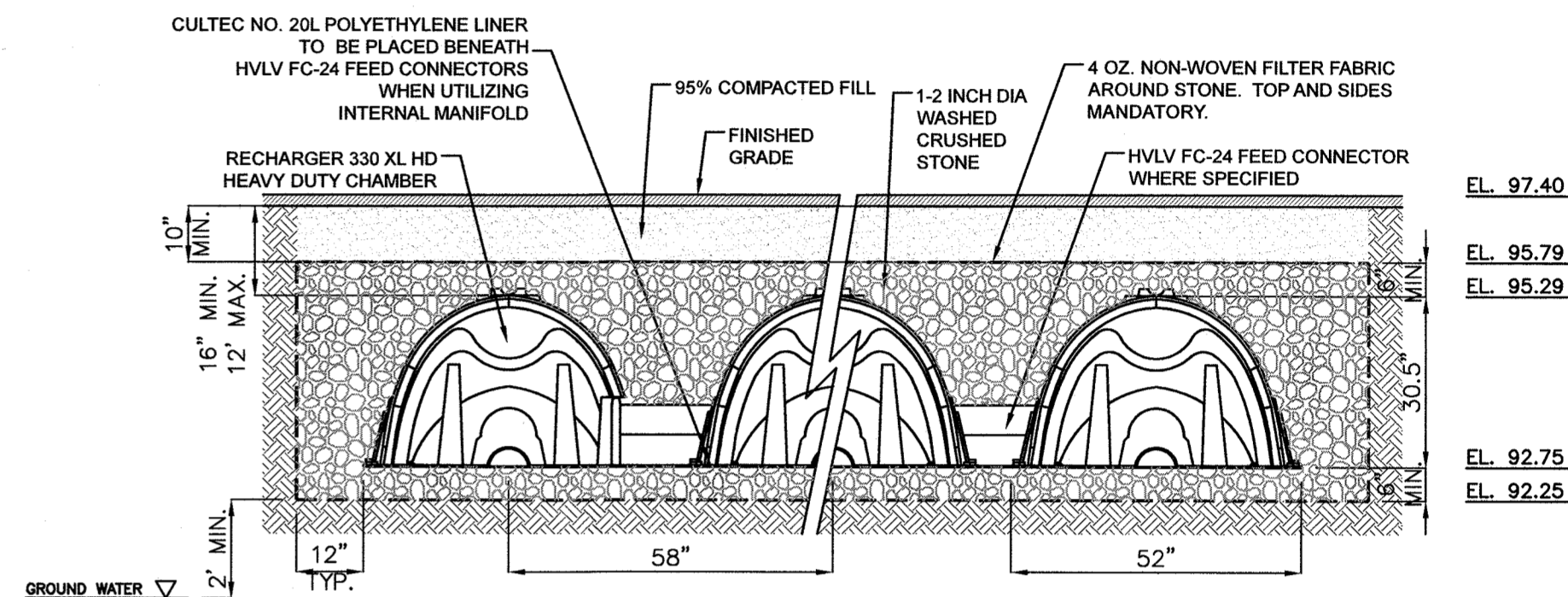
INSPECTION PORT DETAIL

NOT TO SCALE



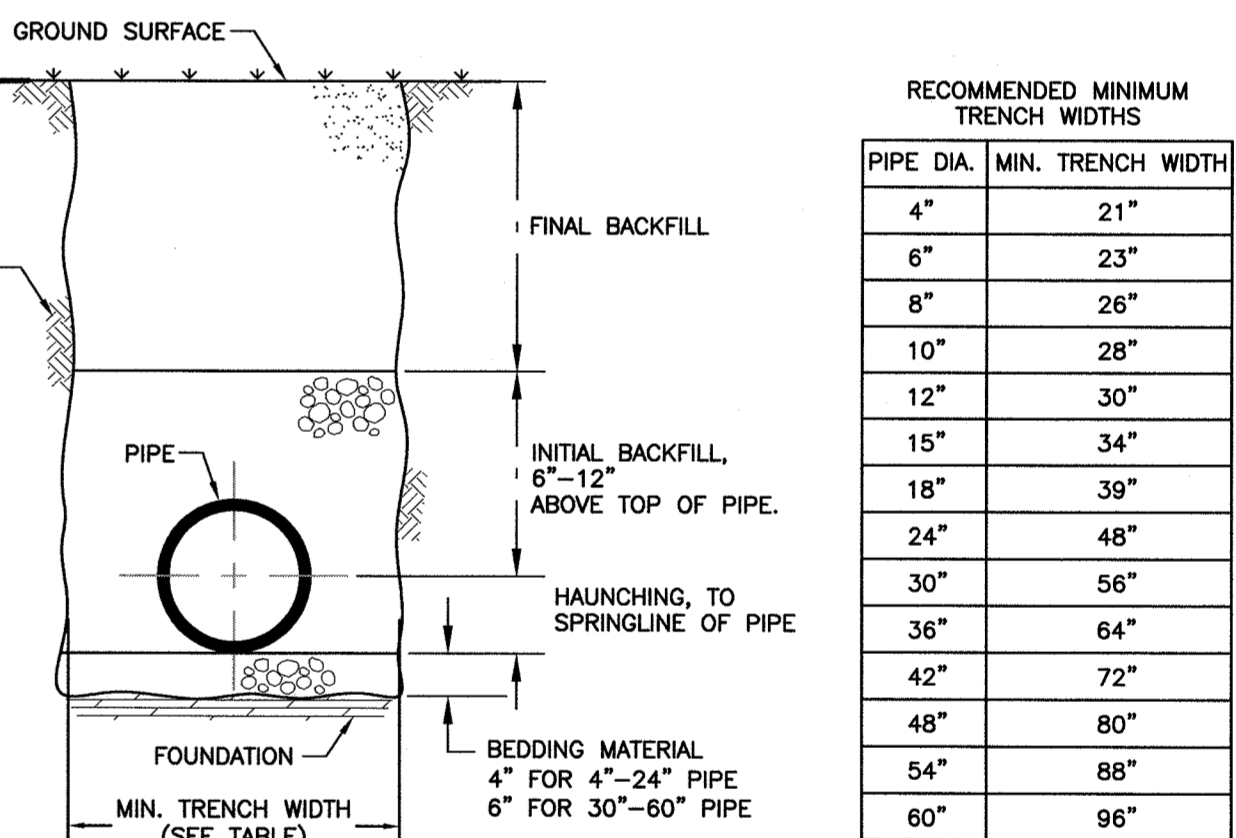
CULTEC RECHARGER 330XLHD HEAVY DUTY PLAN VIEW

NOT TO SCALE



CULTEC RECHARGER 330XLHD HEAVY DUTY TYPICAL CROSS SECTION

NOT TO SCALE



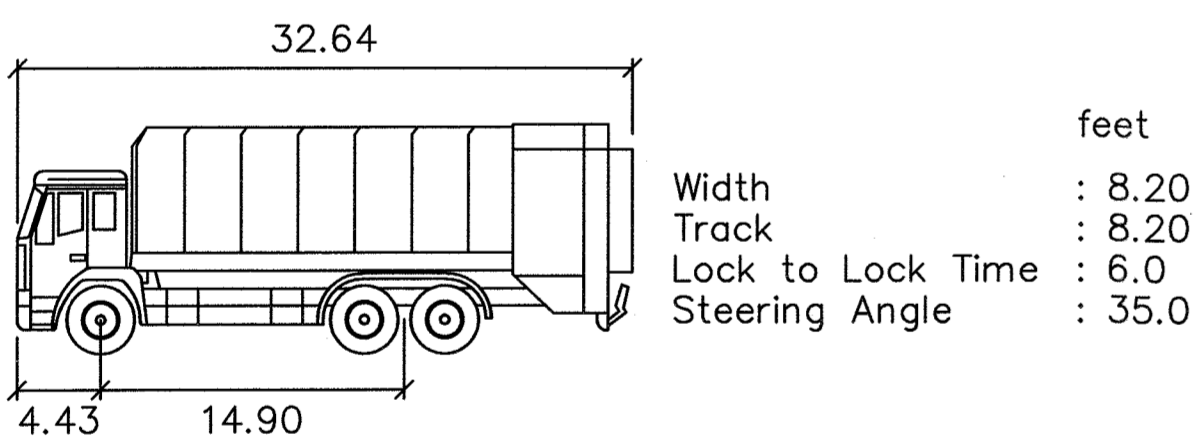
RECOMMENDED MINIMUM TRENCH WIDTHS	
PIPE DIA.	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

NOTES:

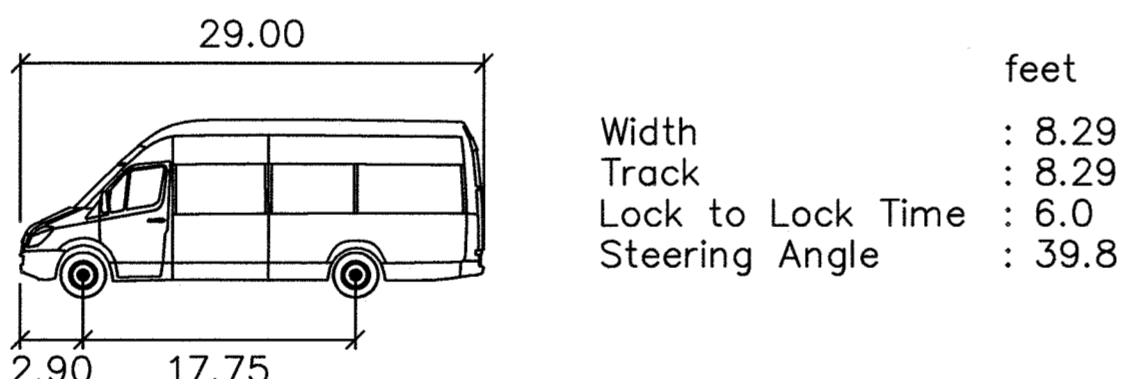
1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST ADDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" FOR 4"-24"; 6" FOR 30"-60".
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR 54"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

TYPICAL TRENCH CROSS-SECTION

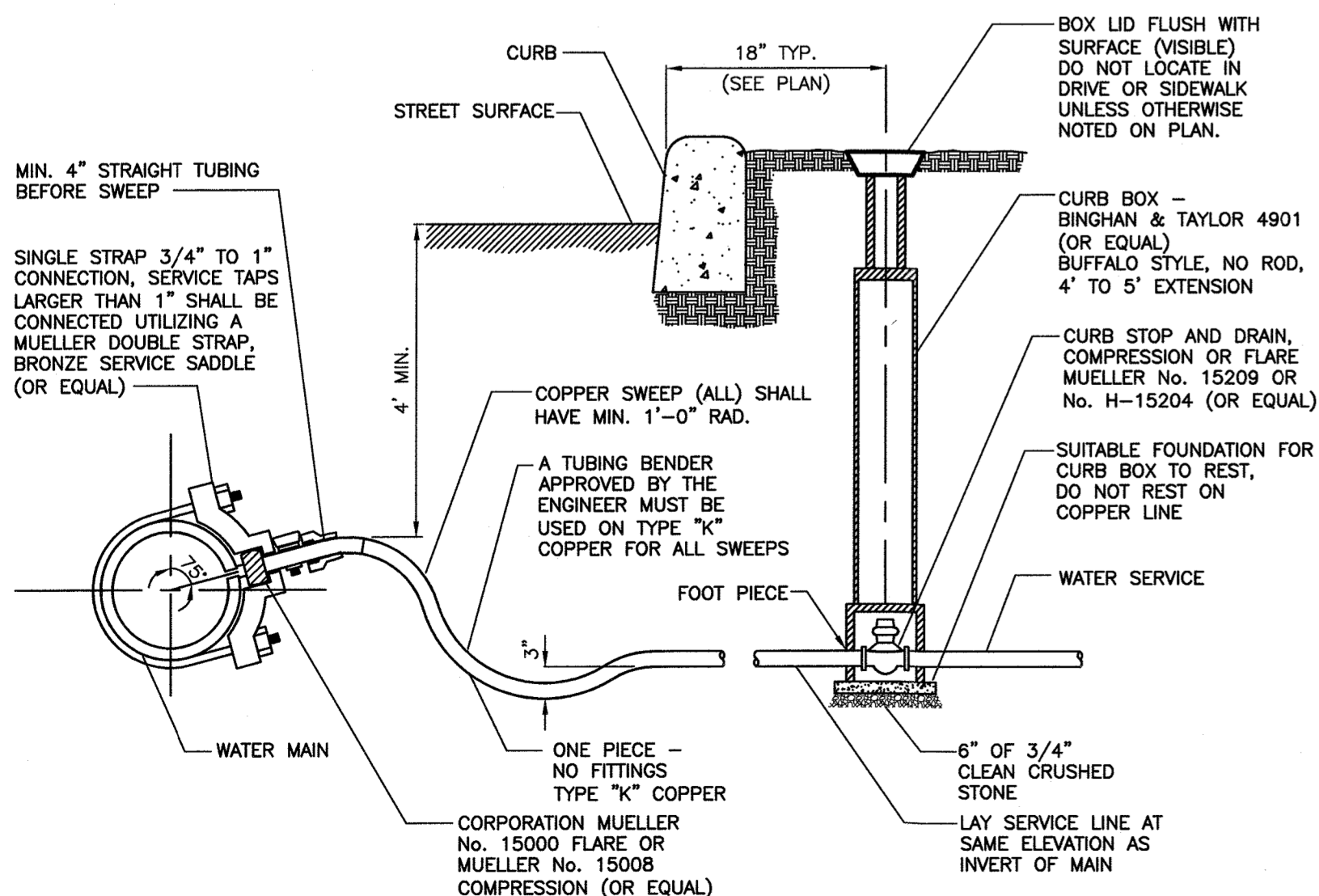
NOT TO SCALE



Garbage Truck



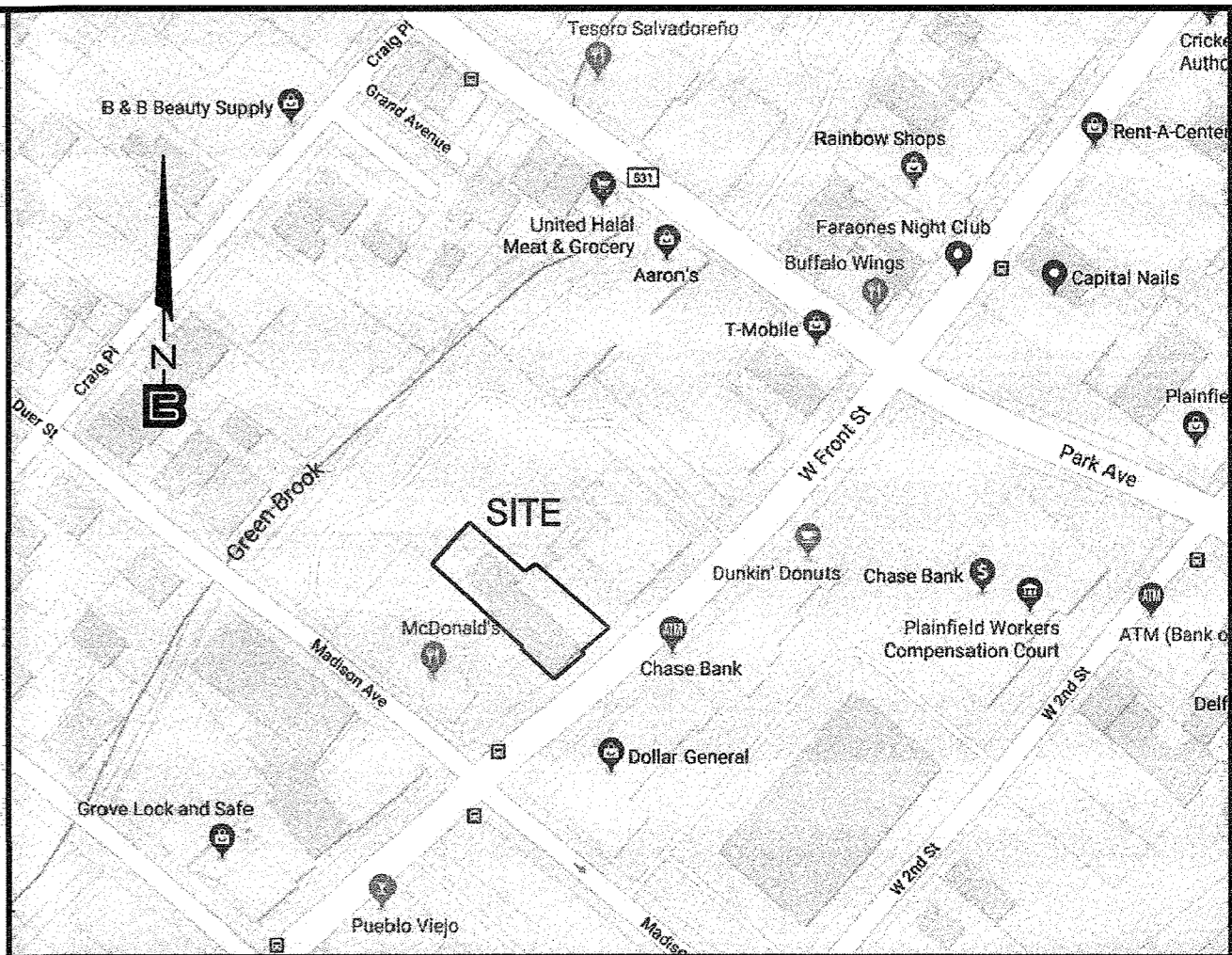
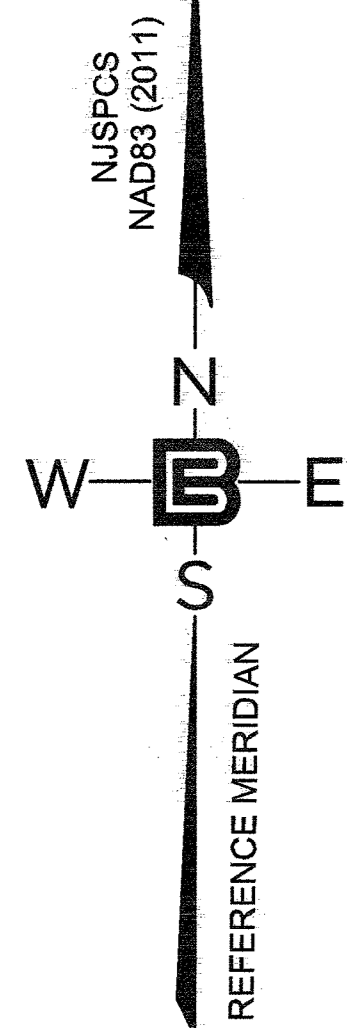
Private Service Bus



WATER SERVICE CONNECTION (3/4" TO 2" NPS)

NOT TO SCALE

CERTIFICATE OF AUTHORIZATION 24GA28068900 21MH00002800		DRAWN BY: V.L.	PROJ. HURL: B.J.S.	UTILITY DETAILS/VEHICLE CIRCULATION PLAN			
CALISTO J. BERTIN, P.E. PROFESSIONAL ENGINEER CT. LIC. NO.: 12950 MA. LIC. NO.: 40595 N.H. LIC. NO.: 9368 N.J. LIC. NO.: 28945 N.Y. LIC. NO.: 60022 R.I. LIC. NO.: 6694		BRIAN J. SHORTINO, P.E., L.L.A. PROFESSIONAL ENGINEER N.J. LIC. NO.: 33942 PA. LIC. NO.: 042076-R LICENSED LANDSCAPE ARCHITECT N.J.L.L.A. NO.: 00607 N.Y.L.L.A. NO.: 001315-1		ADULT DAY CARE BLOCK 249, LOT 6.01 220-232 WEST FRONT STREET CITY OF PLAINFIELD, COUNTY OF UNION, NEW JERSEY			
3 8-7-20 ADD GROUND WATER NOTE TO CULTEC SECTION DETAIL		M.B.L.					
2 4-30-19 ADD INFILTRATION BASIN DETAILS		M.B.L.					
1 2-20-19 ADD VEHICLE CIRCULATION PLAN		M.B.L.					
NO. DATE REVISION		BY					
DATE 9-17-18		SCALE AS SHOWN		REVISION NO. 3	PROJECT NO. 18-206		
				DWS. NO. C3.2			

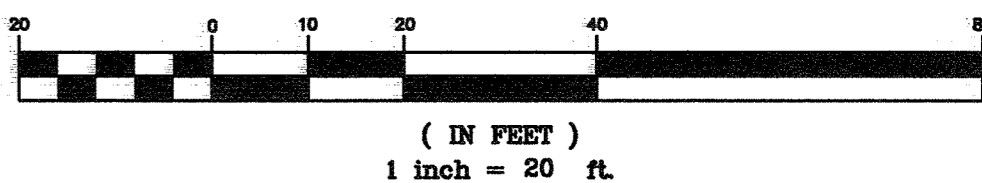


KEY MAP
N.T.S.

LEGEND:

- UTILITY POLE W/STREET LIGHT
- UTILITY POLE
- MANHOLE
- STORM INLET
- WATER VALVE
- GAS VALVE
- CLEAN-OUT
- SIGN
- SPOT SHOT
- CONTOUR
- GAS LINE
- WATER LINE
- ELECTRIC LINE
- OVERHEAD WIRES
- CHAIN LINK FENCE
- WOOD FENCE
- DECIDUOUS TREE

GRAPHIC SCALE



NOTES: certification continued;

- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. BOUNDARIES SHOWN ARE PER A SURVEY PREPARED BY JOHN J. VIDA, P.L.S. (REF. NO.1) AND ARE SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS AND AGREEMENTS OF RECORD THAT AN ACCURATE AND THOROUGH TITLE SEARCH MAY DISCLOSE.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO N.J.A.C. 13:40-5.1(D).
- LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- HORIZONTAL DATUM BASED ON NAD 83, VIA GLOBAL POSITIONING SYSTEMS (GPS). THE GEOGRAPHIC AND STATE PLANE COORDINATES CONTAINED HEREON WERE THE RESULT OF A SURVEY USING R.T.K. DUAL FREQUENCY G.P.S./G.N.S.S. RECEIVERS AND HAVING A POSITIONAL TOLERANCE LESS THAN 2 CM AT THE 95% CONFIDENCE LEVEL. REFERENCE MONUMENTS PROVIDED BY MULTIPLE KEYNET VIRTUAL BASE STATIONS OBSERVED ON AUGUST 21, 2018.
- VERTICAL DATUM BASED ON NAVD 88, GEOID 12A.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.

REFERENCES

- A CERTAIN MAP ENTITLED, "ARCHITECTURAL SURVEY IN CITY OF PLAINFIELD, COUNTY OF UNION, N.J." PREPARED BY JOHN J. VIDA, P.L.S.
- TAX MAP OF CITY OF PLAINFIELD, SHEET 162.

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

MILOSLAV REHAK
MILOSLAV REHAK
N.J. PROFESSIONAL LAND SURVEYOR
NO. 43233

REV. NO.	DESCRIPTION:	DRAWN:	DATE:
0	08/21/2018		
EXISTING CONDITIONS SURVEY			
OF			
220-232 WEST FRONT STREET			
LOT 6.01 IN BLOCK 249			
CITY OF PLAINFIELD COUNTY OF UNION, N.J.			
PREPARED FOR			
LANDMARK DEVELOPERS			
DRAWN: P.A.P. M.K. M.T.			
CHECKED: M.R.			
DATE: SEPTEMBER 11, 2018			
SCALE: 1"=20'			
FILE NO. 18-206			
DWG NO. SV-1			

