

Charter Township of Oscoda

Special Planning Commission

AGENDA

April 17, 2023 2PM
Robert J. Parks Public Library
6010 Skeel Ave
Oscoda, MI 48750

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- 1) **Call to Order –**
 - 2) **Pledge of Allegiance**
 - 3) **Welcome Guests**
 - 4) **Member Roll Call**
 - 5) **Approval of Work Session and Planning Commission Minutes – N/A**
 - 6) **Agenda – Additions, Corrections, & Approval**
 - 7) **Public Comment – (Non-Scheduled and Scheduled Agenda Items)**
 - 8) **Old Business –**
 - i. **2022 Case Updates (For informational purposes only)**
 - 202-2022 Steve & Cathy Wusterbarth- SLUP for Accessory Structure- **Approved, Construction not yet started, Land Use Permit Extended per applicants' request.**
 - 902-2022 & 903-2022 Enviro Analytical- SLUP's for Marihuana Safety Compliance Facilities- **Progressing through licensing process**
 - 205-2022 AuSable Developments- SLUP for Apartments- **Preliminary Site Plan Approved, pending final Site Plan review.**
 - 906-2022 Great Green North- SLUP for Class B Grow Facility- **Preliminary approval given, progressing through licensing process.**
 - 103-2022 John Hedstrom- Site Plan Review- **Preliminary approval given.**
 - 10) **New Business –**
 - a) **Case 104-2023- Preliminary Site Plan Review**
 - b) **Case 105-2023- Site Plan Review for façade change**
 - 11) **Public Hearing– N/A**
 - 12) **Report of the Zoning Board of Appeals Representative**
 - 12) **Report of the Township Board Representative**
 - 13) **Report of the Planning Commission Sub-Committees**
 - 14) **Report of the Economic Improvement Committee**
 - 15) **Comments of Planning Commission members**
 - 16) **Report of the Zoning Director**
 - 17) **Adjournment**

Oscoda Charter Township
110 S. State Street Oscoda, MI 48750
989-739-3211 Ext. 250
zoning@oscodatownshipmi.gov

Case# 104-2023
\$250 site plan Review Fee
\$225 special Meeting
\$35 Combining Fee Request

APPLICATION FOR: (circle one)
SPECIAL LAND USE PERMIT
SITE PLAN REVIEW
ADMINISTRATIVE REVIEW

Property owner Information:

Name: Rose Marie Kathleen MacDonald Trust
Address: P.O. Box 392 Oscoda, MI 48750
Phone: 989 916 5762

Applicant Information:

Name: Chad MacDonald
Address: 4258 N. Lake Shore Drive
Address: Black River, MI 48721
Phone: chatmacagain@gmail.com

Property Information:

Address: 119 & 201 West Dwight Ave
Zoning District: State Street & Neighborhood District
064-V70-019-001-00 (119 DWIGHT)
Parcel#: 064-V455-00-002-60 (201 DWIGHT)
069-v55-000-002-00 (LOUD)
Phone: 612 719 8055
Parcel Size: 42,452 sq ft

Engineer - Architect- Surveyor -
other consultant

Name: Peter MacDonald
Address: 1701 Kings Road
Neptune Beach, FL 36622
Phone: 612 719 8055
E-Mail: staffordmacdonald@gmail.com

Site Plan/Operational Information Submitted (2 complete copies; max. scale 1"=50', 1"=100' over 3 acres)

Project Title and Brief Description:

Proposed Remodeling of exist home at 119 W. Dwight St into a Cafe/ Inn Mixed Use Development with the addition of 26 new condominium units with underground parking. The replacing of the exist 201 and 201 1/2 W. Dwight with a two story, four unit condominium structure built on the same foot print.

Project Completion Schedule/Phasing:

Construction start proposed in Spring of 2024 with an anticipated 14 month construction period.

Please Note: The applicant or their official representative should be present at the Planning Commission's Public Hearing/Meeting to present the application and answer any questions Commission Members may have.

Applicant's Signature: I am the owner of the property included in this application or am officially acting on the owner's behalf. I hereby attest that the information on this application form, the site plan and other attachment(s) is, to the best of my knowledge, true and accurate. I hereby grant permission to the Township Staff and/or any appropriate Township Official to access this property to review the accuracy of the information submitted.



Applicant Signature

April 12, 2023

Date

Oscoda Township
Site Plan - Special Land Use Application
OFFICIAL USE ONLY

Application Submitted: 4/12/2023 Complete Application Accepted: 4/12/2023 By: nv

Zoning information reviewed and verified as: (circle one) Complying Non-Complying with basic standards of the CMU + R-4 District.

Non-Compliance(s): _____

Approval Required: (circle one) Zoning Director (see Sect. 10.1 B & C) or Planning Commission

Water - Sewer Dept. review and approval is also required:

Water-Sewer Dept. Approval: _____ Date _____

Fire Department Approval: _____ Date _____

Administrative Review: In accordance with (circle one) Section 10.1(8) or 10.1(C) of the Zoning Ordinance, I find this application meets/does not meet applicable requirements.

Therefore I hereby (circle one) **APPROVE** **DENY** this application.

Planning & Zoning Director Signature

Date

Planning Commission Review:

Public Notice Mailing Date: N/A

Publication Date: N/A

Public Hearing/Meeting Date: 4/17/2023 @ 2pm

Materials to Commission: 4/13/2023

Planning Commission Action: (circle one) Approved Denied Approved with Conditions

Conditions of Approval:

If the Special Land Use/Site Plan is approved with conditions:

I understand that I will forward documentation to the Planning Commission within 6 months attesting to the progress relative to compliance with conditions 1 through _____

Site Plan

Applicant

April 12, 2023

Date

- a. Property dimensions, including total width and depth, and a "North" arrow.
- b. All structures currently located on the property with their size(s) indicated.
- c. The exact distance(s) between all structures on the property.
- d. All roads or easements adjoining, abutting or traversing the property.
- e. An accurate depiction of the driveway access to the property and parking areas.
- f. The proposed placement of any new structure, addition or other improvement on the property, showing the dimensions of the improvements and the distances between them and other structures and the lot lines.

See attached Drawings T1, #1, and #2

Dated April 12, 2023

"I certify the above or attached drawing accurately reflects the subject property as surveyed including property lines and the height, size, and setback locations of existing and proposed structures and improvements."

226 Mr. Dwyer.

April 12, 2023

(Date)

**CHARTER TOWNSHIP OF
OSCODA**

Zoning Department

Memo

To: Planning Commission Members

From: Nichole Vallette, Planning and Zoning Director

Date: April 13, 2023

Re: Case #104-2023

Nature of Application #104-2023:

MacDonald Trust, PO Box 392, Oscoda, has submitted a Site Plan Review application to receive preliminary approval for a proposed Mixed Use Development on the properties located at: 119 W. Dwight St, 201 W. Dwight St. and W. Dwight St.

Existing Property Conditions:

The parcel #'s are 064-V70-019-001-00, 064-V55-000-002-60 and 064-V55-000-002-00. The properties are zoned as SSBN Commercial Mixed Use (119 W. Dwight St.) and R-4 (201 W. Dwight St. and W. Dwight St.). The properties (when combined) will be .906 Acre in size. There is a home on 119 and 201. At 119 W. Dwight, it is proposed to add 26 condo units and retail to the existing structure with underground parking. At 201 W. Dwight, the house would be taken down and a two story four unit condo structure is proposed, utilizing the same footprint.

Communications Received:

As of the writing, there were no communications received.

Staff Comments:

119 W. Dwight St. is zoned SSBN, Commercial Mixed Use. Retail on the bottom floor and residential units on the upper stories are allowed as a principal use and only requires site plan review. 201 W. Dwight St. is zoned R-4, High Density Residential. The proposed four unit condo structure would require a SLUP approval under letter A. Multiple Family Dwellings. They are in process of combining the three lots.

Section 7.3 Site Plan Review, Article X Section 10.3 Standards for Approval and State Street Business Neighborhood Commercial Mixed Use (CMU), must be met for Site Plan Approval.

Section 7.3 Site Plan Review:

Section 7.3.1 Intent and Purpose

This Article governs the processes and standards for all uses and structures for which site plan approval is required under other provisions of this ordinance. Site plans for permitted uses and special uses shall be approved by the Planning Commission. Site plans for planned unit developments shall receive a recommendation from the Planning Commission and a final decision by the Township Board.

(Amd. of 1-27-2022)

Section 7.3.2 General Requirements

1. **Site Plan Required:** Site plans are required for the following uses:
 - A. Any development that would, if approved, provide for the establishment of more than one (1) principal use on a parcel, such as, a single family site condominium or similar project where a single parcel is developed to include two (2) or more sites for detached single family dwellings, excluding accessory dwelling units.
 - B. Development of any commercial use and residential use with two (2) or more dwelling units.
 - C. The development or construction of any accessory uses or structures, except for uses or structures that are accessory to a residential use.
 - D. Any use or construction for which submission of a site plan is required by any provision of this Ordinance.
 - E. Establishment, expansion, or enlargement of any regulated use unless expressly exempted in this Article.
2. **Site Plan Not Required:** Site plan approval is not required for the following activities, however, payment of any or all applicable bonds is required for issuance of a land use permit.
 - A. Construction, moving, relocating or structurally altering a principal residential structure including any customarily incidental accessory structures.
 - B. Excavating, filling, or otherwise removing soil, provided that such activity is normally and customarily incidental to single family uses described in this subsection for which site plan approval is not required.
 - C. A change in the ownership of land or a structure.
 - D. A change in the use of a structure to a use allowed by right in the zoning district in which it is located, provided that no modification to the site is proposed or required by the standards of this Ordinance and that the site maintains full and continuing compliance with these regulations.
 - E. Permitted home occupations.

(Amd. of 1-27-2022)

Section 7.3.3 Standards for Site Plan Approval

The following criteria shall be used as a basis upon which site plans will be reviewed and approved:

1. **Adequacy of Information:** The site plan shall include all required information in sufficiently complete and understandable form to provide an accurate description of the proposed uses and structures.
 2. **Site Design Characteristics:** All elements of the site shall be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the
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proposed use. The site shall be developed so as not to impede the reasonable and orderly development or improvement of surrounding properties for uses permitted on such property.

3. **Site Appearance:** Landscaping, earth berms, fencing, signs, walls, structures and other site features shall be designed and located on the site so that the proposed development is maintaining a community ambience and harmonious with nearby existing or future developments.
 4. **Compliance with District Requirements:** The site plan shall comply with the district requirements for minimum floor space, height of building, lot size, open space, density and all other requirements set forth in Section 4.28 of the Zoning Ordinance, unless otherwise provided in these regulations.
 5. **Privacy:** The site design shall provide reasonable visual and sound privacy. Fences, walls, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and uses.
 6. **Emergency Vehicle Access:** All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access.
 7. **Circulation:** Every structure or dwelling unit shall be provided with adequate means of ingress and egress via public streets and walkways. The site plan shall provide a pedestrian circulation system that is insulated as completely as is reasonably possible from the vehicular circulation system. The arrangement of public and common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian ways in the vicinity of the site. The width of streets and drives shall be appropriate for the volume of traffic they will carry.
 8. **Parking:** The parking provided for an intended use shall meet the standards of Section 6.7 of this Ordinance.
 9. **Drainage:** Appropriate measures shall be taken to ensure that the removal or drainage of surface water will not adversely affect adjoining properties or the capacity of the public drainage system. Provisions shall be made for a feasible storm drainage system, the construction of storm water collection, storage and transportation facilities, and the prevention of erosion. Surface water on all paved areas shall be collected at intervals so that it will not obstruct vehicular or pedestrian traffic and will not create nuisance ponding in paved areas. Final grades may be required to conform to existing and future grades of adjacent properties. Grading and drainage plans shall be subject to review by the Township Engineer.
 10. **Soil Erosion and Sedimentation:** The proposed development shall include measures to prevent soil erosion and sedimentation during and upon completion of construction, in accordance with current Iosco County soil erosion control standards.
 11. **Exterior Lighting:** Exterior lighting shall be designed so that it is deflected away from adjoining properties, visual glare is minimized, and so that it does not impede vision of drivers along adjacent streets.
 12. **Public Services:** Adequate services and utilities, including water, sewage disposal, sanitary sewer, and storm water control services, shall be available or provided, and shall be designed with sufficient capacity and durability to properly serve the development.
 13. **Screening:** Off-street parking, loading and unloading areas, outside refuse storage areas, and other storage areas that are visible from adjacent homes or from public roads, shall be screened by walls or landscaping of adequate height. All walls must be solid and constructed of masonry and shall be subject to the approval of the code official and cannot be located in required setbacks without written authorization from the code official.
 14. **Danger from Fire and Hazards:** The level of vulnerability to injury or loss from incidents involving fire and hazardous materials or processes shall not exceed the capability of the Township to respond to such incidents so as to prevent injury and loss of life and property. In making such an evaluation, the Township shall consider the location, type, characteristics, quantities, and use of materials or processes
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in relation to the personnel, training, equipment and materials, and emergency response plans and capabilities of the Township. Sites that include significant storage of flammable or hazardous materials or waste, fuels, salt, or chemicals shall be designed to prevent spills and discharges of polluting materials to the surface of the ground, groundwater, and public sewer system.

15. **Health and Safety Concerns:** Any use in any zoning district shall comply with applicable federal, state, county, and local health and pollution laws and regulations with respect to noise; dust, smoke and other air pollutants; vibration; glare and heat; fire and explosive hazards; gases; electromagnetic radiation; radioactive materials; and, toxic and hazardous materials.
16. **Phases:** All development phases shall be designed in logical sequence to ensure that each phase will independently function in a safe, convenient and efficient manner without being dependent upon subsequent improvements in a later phase or on other sites.

(Amd. of 1-27-2022)

Section 7.3.4 Site Plan Application Requirements

An application for site plan review shall be submitted on a form provided by the Township with the required items presented in the table below. Required items shall be demonstrated on the site plan drawings, written narrative/submitted documentation, or both as indicated in the table.

SITE PLAN APPLICATION REQUIREMENTS			
Item	Description	Site Plan	Narrative
1.	The date, north arrow, and scale. Scale shall be as follows: < 3 acres: One (1) inch = fifty (50) feet > 3 acres: One (1) inch = one hundred (100) feet	✓	
2.	The boundary lines of the property, to include all dimensions, gross and net acreage, and legal description.	✓	
3.	The location and width of all abutting rights-of-way.	✓	
4.	The existing zoning district in which the site is located and the zoning of adjacent parcels. In the case of a request for a zoning change, the classification of the proposed new district must be shown.	✓	
5.	The location of all existing and proposed structures and uses on the site, including proposed drives, walkways, signs, exterior lighting, parking (showing the dimensions of a typical parking area), loading and unloading areas, common use areas and recreational areas and facilities.	✓	
6.	The location and identification of all existing structures within a two hundred (200) foot radius of the site.	✓	
7.	Natural features that will be retained, removed, and/or modified including vegetation, hillsides, drainage, streams, wetlands, shorelands, and wildlife habitat.	✓	
8.	A landscaping plan with all existing and proposed landscaping, walls and/or fences.	✓	
9.	A grading plan showing the topography of the existing and finished site, including ground floor elevations, shown by contours or spot elevations. Contours shall be shown at height intervals of two (2) feet or less.	✓	
10.	Location, type and size of all above and below grade utilities.	✓	
11.	Type, direction, and intensity of outside lighting shown on a photometric plan in compliance with exterior lighting standards.	✓	
12.	Location of any cross access management easements, if required.	✓	
13.	Location of pedestrian and non-motorized facilities, if required.	✓	

14.	An indication of how the proposed use conforms to existing and potential development patterns and any adverse effects.	✓	✓
15.	The number of units proposed, by type, including a typical floor plan for each unit, dimensions, and area in square feet.	✓	
16.	Elevations for all building facades.	✓	
17.	Phasing of the project, including ultimate development proposals.	✓	✓
18.	Sealed/stamped drawings from a licensed architect, engineer, or landscape architect.	✓	
19.	The location and description of the environmental characteristics of the site prior to development such as topography, soils, vegetative cover, mature specimen trees, drainage, streams, wetlands, shorelands, or any other unusual environmental features.	✓	✓
20.	A stormwater management plan showing all existing above and below grade drainage facilities, and proposed plans incorporating low impact development water quality technologies and other best management practices.	✓	✓
21.	Plans to control soil erosion and sedimentation, including during construction.	✓	✓
22.	The name and address of the property owner.	✓	✓
23.	Name(s) and address(es) of person(s) responsible for preparation of site plan drawings and supporting documentation.	✓	✓
24.	The method to be used to control any increase in effluent discharge to the air or any increase in noise level emanating from the site.		✓
25.	Consideration of any nuisance that would be created within the site or external to the site whether by reason of dust, noise, fumes, vibration, smoke or lights.		✓
26.	Descriptions of all existing and proposed structures referenced in item 5.		✓
27.	The description of the areas to be changed shall include their effect on the site and adjacent properties. An aerial photo may be used to delineate areas of change.		✓
28.	General description of deed restrictions and/or cross access management easements, if any or required.		✓
29.	The method to be used to serve the development with water.		✓
30.	The method to be used for sewage treatment.		✓
31.	The number of people to be housed, employed, visitors or patrons, anticipated vehicular and pedestrian traffic counts, and hours of operation.		✓
32.	Site photos from the road		✓

- A. Upon recommendation by the Zoning Director, the Planning Commission may waive any of the above required items based upon a finding that it is not applicable.
- B. The Planning Commission, Zoning Director, or other party authorized by the Township may request any additional information it deems necessary in the review of a submitted site plan. This additional information shall be requested through the Zoning Director.
- C. Evidence the plan has been submitted for review to all affected jurisdictions, including but not limited to Iosco County Road Commission, District Health Department No. 2, Oscoda Township Volunteer Fire Department, Michigan Department of Transportation (MDOT), and Michigan Department of Environment, Great Lakes, and Energy (EGLE), and Michigan Department of Natural Resources (MDNR). If an applicable review is not submitted, statement of a date certain for submission or the reason why their review is not applicable must be provided.

- D. All professionally drawn site plan drawings shall be submitted on three (3) sets of twenty four (24) inch by thirty six (36) inch sheets, ten (10) sets of eleven (11) inch by seventeen (17) inch sets, and in digital PDF format.

(Amd. of 1-27-2022)

Section 7.3.5 Site Plan Review Application Submission Procedures

1. **Pre-Application Conference:** An applicant can request a pre-application conference with the Zoning Director and/ or Planner to discuss in general the substantive requirements for the application prior to submittal.
2. **Conceptual Review:** After a pre-application conference, an applicant may submit an application for conceptual review before the Planning Commission prior to formal submittal of a site plan review application. The purpose is to gather feedback on the proposed land use and potential requirements of the Planning Commission. Feedback provided by the Planning Commission under a conceptual review is non-binding, subject to change, and is not to be construed as a guarantee for approval. A conceptual review does not include a completeness or technical review by the Zoning Director.
3. **Completeness Review:** All required application materials shall be presented to the Zoning Director's office by the property owner or their designated agent at least twenty-one (21) days prior to the Planning Commission meeting where the site plan will be considered. The Zoning Director shall review the application for completeness in order to determine if the application has been properly submitted and the applicant has corrected all deficiencies. Completeness reviews are solely for the purpose of determining whether the preliminary information required for submission of the application is sufficient to allow further processing and shall not constitute a decision as to whether an application complies with the provisions of this Ordinance.
4. **Technical Review:** An application determined to be complete will undergo a technical review by the Zoning Director or Township designee to determine compliance with applicable standards. This review may include distributing the plan to other local agencies or departments with jurisdiction for comment on any issues the plans might present and shall result in a report submitted to the Planning Commission with the site plan review application. Once the technical review is complete, the application will be placed on the next regularly scheduled Planning Commission meeting agenda.

(Amd. of 1-27-2022)

Section 7.3.6 Site Plan Application Review

Site plan review applications shall be reviewed by the Planning Commission or Development Review Committee as determined by the criteria below.

1. **Development Review Committee:** The Development Review Committee may review and make a decision on a qualifying site plan review application. The Development Review Committee shall consist of the Zoning Director, Planning Commission Chair, a Planning Commissioner and the Economic Improvement Director, and shall perform the duties of the Planning Commission prescribed in this Article when conducting an development review. No part of this subsection shall prohibit the Zoning Director, Development Review Committee or Applicant from requesting the site plan be submitted to the Planning Commission for review and approval. A site plan review application qualifying for development review shall meet all of items A.—D., or item E.
 - A. The proposed use is permitted by right in the established zoning district;
 - B. The proposed use will result in less than three thousand (3,000) square feet of new development or construction;
 - C. The proposed use will be located at least five hundred (500) feet from AuSable River and Van Etten Lake.

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- D. The proposed use will generate less than five hundred (500) additional trip ends per day as determined by the proposed land use activity based on the most recent edition of the Trip Generation Manual published by the Institute of Transportation Engineers;
 - E. The proposed use is a shoreline stabilization structure along Lake Huron.
2. **Planning Commission Review:** All other uses requiring a site plan shall be reviewed and decided upon by the Planning Commission.

(Amd. of 1-27-2022)

Section 7.3.7 Site Plan Application Determinations

Upon review of a site plan review application, the Planning Commission or Development Review Committee shall make a determination to approve the application, require any conditions it may find necessary, or deny the application.

1. **Approval:** The site plan shall be approved upon determination that it is in compliance with the standards of this Ordinance, other Township planning documents, other applicable ordinances, and state and federal statutes.
2. **Conditional Approval:** The Planning Commission may approve a site plan, subject to any conditions to address necessary modifications, obtain variances, or approvals from other agencies. Conditions imposed shall meet each of the following objectives:
 - A. Be designed to protect natural resources, the health, safety, and welfare, as well as the social and economic well-being, of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole;
 - B. Be related to the valid exercise of the police power and purposes which are affected by the proposed use or activity;
 - C. Be necessary to meet the intent and purpose of the zoning requirements, be related to the standards established in the zoning ordinance for the land use or activity under consideration, and be necessary to ensure compliance with those standards.
3. **Denial:** If the Planning Commission determines that a proposed site plan does not meet the standards of this Ordinance, or otherwise will tend to be injurious to the public health, safety, welfare or orderly development of the Township, it shall deny the application by a written decision which clearly sets forth the reason for such denial.

Section 10.3 - Standards for Approval:

A site plan shall be reviewed and approved by the Planning Commission upon finding that the following conditions are met.

1. That the proposed use will not be detrimental to the adjacent properties or the surrounding neighborhood.

2. That there is a proper relationship between existing roads and highways and proposed deceleration lanes, service drives, ingress and egress drives, and parking areas to assure the safety and convenience of pedestrian and vehicular traffic.
3. That buildings, structures, parking areas, utility areas, walls, and fences are so designed and located to minimize the adverse effects of such development on users of such development and occupants of adjacent properties.
4. That any adverse effects of the proposed development and activities which will impact adjoining occupants or owners shall be minimized by appropriate landscaping, fencing, or other screening.
5. That as many natural landscape features possible are retained, particularly where they provide a barrier or buffer between the development and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood or help control soil erosion or the discharge of storm water.
6. The proposed development provides for the proper development of public utilities and infrastructure.
7. All buildings or groups of buildings are arranged to permit emergency vehicle access.
8. That the plan for soil erosion control, storm water discharge, wells, and septic systems have been approved by appropriate public agencies.
9. The Planning Commission may further require landscaping, fences, and walls in pursuit of these objectives and same shall be provided and maintained as a condition of the establishment and the continued maintenance of any use to which they are appurtenant.
10. In approving a site plan, the Planning Commission may recommend marginal access drives. For a narrow frontage, which will require a single outlet, the Planning Commission may recommend that escrow money be placed with the Township so as to provide for a marginal service drive equal in length to the frontage of the property involved. Zoning compliance permits shall not be issued until the improvement is physically provided or monies having been deposited with the Township Treasurer. The Planning Commission shall require marginal access drives for all subdivisions having residential lots facing onto major thoroughfares. Where practical, the Planning Commission shall require a rear lot relationship to major thoroughfares.
11. Where the Township has adopted specific area or neighborhood improvement or redevelopment plans and recommendations involving, but not limited to, public rights-of-way, utilities and storm drainage, parking facilities, building placement, access drives, floor space density allocations, building facade and architectural treatment, no site plan shall be approved unless there is general compliance with such Township plan.

Section 4.13 State Street Business and Neighborhood District (SSBN):

Section 4.13.1 Intent

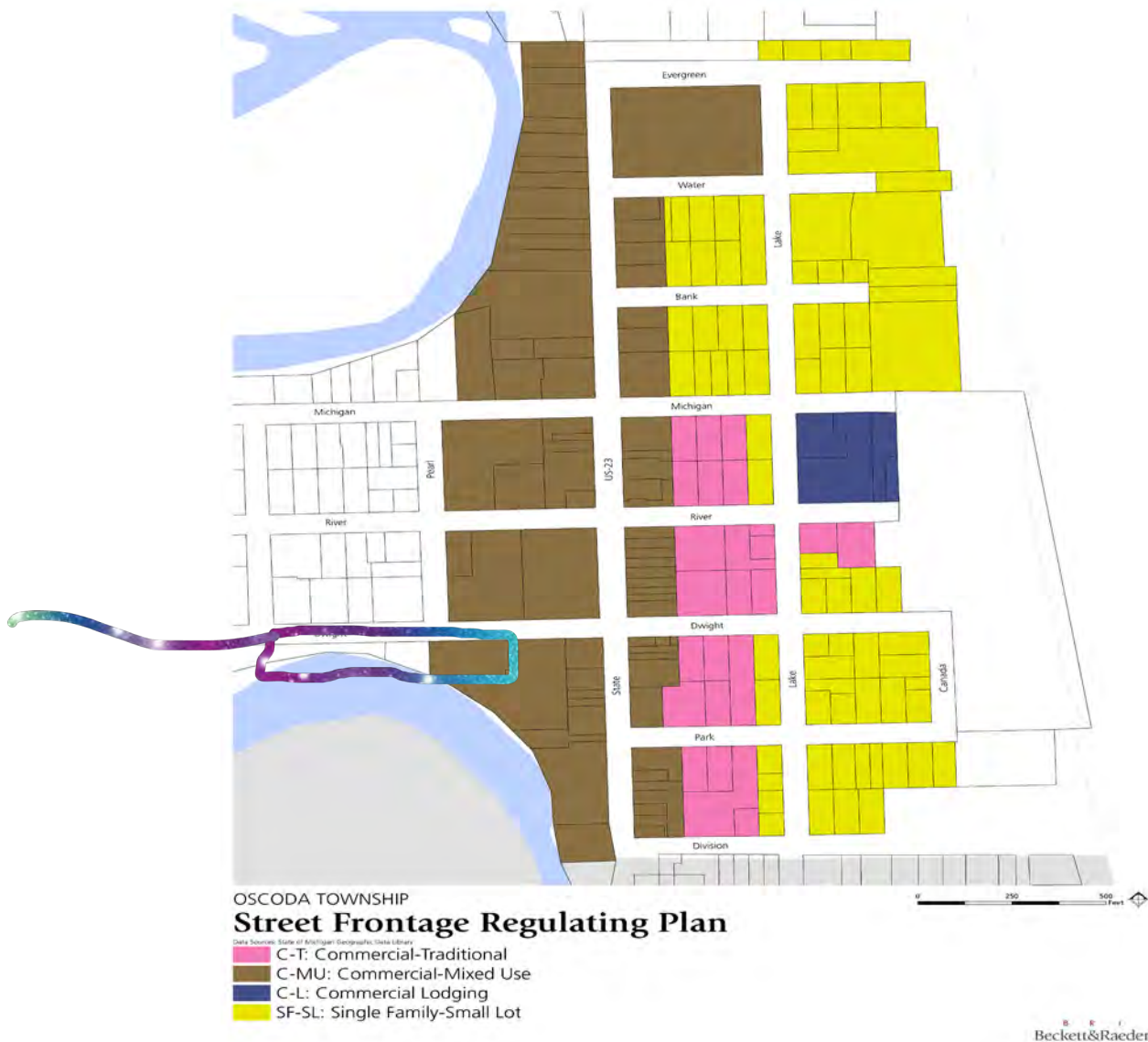
The State Street Business and Neighborhood District dates back to late the 1800's when the southeast corner of Oscoda Township was platted as a traditional village business and residential neighborhood. The 1895 Sanborn-Perris Map Company map for this area graphically delineated a well-defined grid pattern of streets fronted with narrow building lots with structures built adjacent to the public right-of-way.

The State Street Business and Neighborhood District zoning is a departure from traditional zoning in that it focuses less on the use of a parcel and more on how to integrate private and public spaces. The State Street Business and Neighborhood District (SSBN) zoning intends to merge public infrastructure standards with private development regulations to create a viable business district that is equally shared between cars and pedestrians. Key elements include better land use balance, expanding the uses permitted by right, expediting the review process, bringing buildings closer to the street to facilitate walkability, and increasing density of residential dwelling units.

The context of the SSBN District is to create a high density commercial and mixed-use district along State Street (US-23), focused on pedestrians, both resident and tourist. The scope of development envisioned for the SSBN will necessitate the continuation of on-street parking on streets perpendicular to State Street (US-23) and along Lake Street. Off-street parking, although needed, is not as critical as the building mass. The mass and density of buildings is the highest along the State Street (US-23) corridor and subsequently reduces in scale from west to east.

The SSBN also extends along Lake Street and the side streets that connect with State Street (US-23) between Division and Evergreen Streets. The rationale for inclusion in the SSBN is to integrate the adjacent residential neighborhoods with the commercial district and create a walkable connection between the commercial district and Lake Huron.

Section 4.13.1.2 Street Frontage Regulating Plan



(Amd. of 1-27-2020; Amd. of 9-9-2021; Amd. of 2-10-2022)

Section 4.13.2 Regulated Uses, General Standards, Special Use Permit Standards, and Splicing

4.13.2.1 Purpose

The purpose of the State Street Business and Neighborhood District (SSBN) is to create a memorable, walkable, vibrant, and economically viable business district which accommodates residents and tourists, and pedestrians and vehicles. The SSBN specifically addresses one (1) of the goals in the Oscoda Township Strategic Plan: Create an environment where residents, development, and businesses can be successful.

The text and diagrams for the State Street Business District (SSBN) address the location and extent of land uses that implement the vision articulated by the community through several public sessions focused on strategic planning and downtown revitalization.

4.13.2.2 Regulated Uses

Regulated uses are identified for each zone either as a Permitted Use (P) or a use requiring a Special Land Use Permit (SUP). All SUP uses must address the General Standards listed below. If the SUP has additional standards over and above the General Standards, the special provision column references that specific section of the Zoning Ordinance. Otherwise, SUP uses must meet the General Standards below. All uses will require the submission of a site plan pursuant to Article X, and Section 10.5 of the Zoning Ordinance.

4.13.2.3 General Standards for Special Land Use Permits

The Planning Commission shall review each application for the purpose of determining that each proposed use meets the following standards, and in addition, shall find adequate evidence that each use on the proposed location will:

- a. Be designed, constructed, operated, and maintained so as to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- b. Protect the natural environment and conserve natural resources and energy to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner.
- c. Be designed to protect natural resources, the health, safety, and welfare and the social and economic wellbeing of those who will use the land use or activity under consideration, residents, and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
- d. Be related to the valid exercise of the police power, and purposes which are affected by the proposed use or activity.
- e. Be necessary to meet the intent and purpose of the zoning ordinance, be related to the standards established in the ordinance for the land use or activity under consideration and be necessary to ensure compliance with those standards.
- f. Meet the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured. The applicant shall have the plan reviewed and approved by the Oscoda Township Fire Department prior to the review by the Planning Commission.
- g. Meets the intent to establish interconnected, walkable and a mixed-use neighborhood.

4.13.2.4 Splicing

The State Street Business District (SSBD) focuses attention on the development and form of public and private properties and spaces within the area designated on the Regulating Plan referenced in Section 4.13.1. Requirements regarding site development standards such as parking, lighting, and encroachments included in this Ordinance will take precedence over the requirements in the Oscoda Township Zoning Ordinance.

The State Street Business and Neighborhood District (SSBN) will replace Section 4.13 Central Business District of the Oscoda Township Zoning Ordinance.

All other provisions of the Oscoda Township Zoning Ordinance remain intact and valid.

4.13.2.5 Properties Currently Developed and Occupied

- a. Occupied and vacant buildings that exist at the time of ordinance adoption do not need to comply with this Section until such time they are renovated.
- b. Occupied or vacant buildings that exist at the time of ordinance adoption that undergo renovation, exceeding one hundred (100) percent of the taxable valuation in the year of the renovation, shall comply with all provisions of the ordinance except Section 4.13.5.2.
- c. Buildings that are demolished and newly constructed shall comply with all provisions of this Section.

(Amd. of 1-27-2020; Amd. of 9-9-2021)

Section 4.13.3 Regulating Plan Categories



CMU (Commercial-Mixed Use)	
Intent	To provide for a flexible mixture of retail, office, commercial, residential and institutional uses within walkable and connected neighborhoods. The objective is to create an environment where residents can live, work and shop for day-to-day amenities in the same area.
Distinguishing Characteristics	Retail, workplace and civic activities mixed with attached housing types such as lofts and apartments all developed at a community scale. Commercial and office uses are allowed on the first floor and upper stories of the structure. Residential uses are prohibited on the first floor adjacent to any public right-of-way. Residential uses may be allowed on the first floor in the rear of the structure. Buildings would be constructed with durable and traditional building materials close to the right-of-way with parking in the rear of the building or adjacent public parking lots. Use of dryvit/EIFS can be used only on upper stories, and shall not exceed 30% of the exterior surface.
General Character	Predominantly attached buildings, landscaping within the public right-of-way, substantial pedestrian activity.
Desired Form	Mixed Use.
Building Placement	Small or no setbacks, buildings oriented to street with placement and character defining a street wall.
Frontage Types	Commercial uses front onto thoroughfare.
Typical Building Heights	1 to 4 stories on the west and east side of State Street (US-23).

Section 4.13.4 Land Use Table

4.13.4.1 Regulated Uses

Regulated uses are identified either as a Permitted Use (P) or a use requiring a Special Use Permit (SUP). If a use is blank with no designation or not listed, it means it is not permitted in that zone. All uses requiring a Special Use Permit must address the General Standards in 6.6.2.3. If the SUP has additional standards over and above the General Standards the special provision column references that specific section of the Zoning Ordinance.

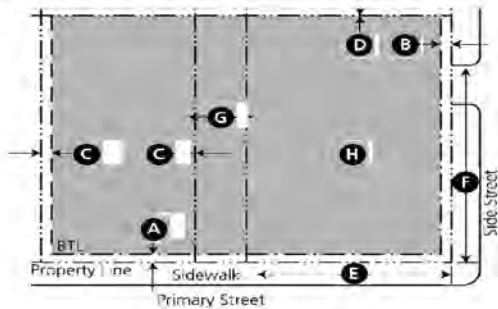
Land Use Table				
Type	CT	CMU	C-L	SF-SL
Public and Private				
Outdoor Public Owned Parks and Recreation Facilities	P	SUP		P
Public and Private Schools				
Public Uses: Critical, Supporting and Essential	P	P	P	P
Churches with and without Assembly Halls				P
Transportation/Utilities				
Parking (Public or Private)	P	P	P	P
Wireless Telecommunication Facilities (not in R.O.W.)				
Public Transit Stop or Station	P	P	P	
Office				
Professional Offices	P	P		
Medical/Dental Offices	P	P		
Medical Urgent Care Facilities	P			
Veterinary Clinic	P			
Commercial				
Mixed Use with Residential above the 1st floor	P	P	P	
Bar/Tavern	P	P	SUP	
Child Care Facilities	P	P		
Drug Stores	P	P		
General Retail; except with the following features	P	P		
a. Alcoholic beverages	SUP	SUP		
b. Floor area over 10,000 sq. ft.	SUP	P		
c. On-site production of items sold in or out of store locations	SUP	P		
d. Operating hours between 10 pm and 7 am	SUP	SUP		
e. Outdoor sales and storage of cars, boats, trucks and RV's				
Fraternal Clubs and Organizations	P	P		
Funeral Homes				
Restaurant, cafe and coffee shop except with the following features	P	P	P	P

a. Drive-thru facilities				
b. Drive-In facilities				
Micro brewery, Small Winery and Distillery	P	P		
Movie & Performance Theaters	P	P		
Convenience market less than 3,500 sq. ft.	P	P		
Personal Services (Salons)	P	P		
Farmers Market	P	P		
Banks and Financial; except with the following features	P	P		
a. Drive-thru facilities	P			
Shopping Centers				
Grocery Stores; except with the following features	P	P		
a. Floor area over 10,000 sq. ft	SUP	SUP		
b. Gasoline Service Station				
Gasoline Service Station				
Automotive Supply & Parts	P			
Automotive Service				
Lodging				
Hotel; except with the following features		P	P	
a. Greater than 120 rooms	SUP	SUP	SUP	
b. Conference and convention facilities	SUP	SUP	P	
Residential				
Single Family				P
Single Family Attached Townhome				P
Upper Story Residential Unit	P	P	SUP	
Live/Work Units	P	P		P
Duplex (Side-by-Side)				P
Home Occupation 1-Person		P		P
Home Occupation 2 or more		P		
Tourist Homes				P
Short-Term Rentals		P		P

Section 4.13.5 Lot and Building Placement

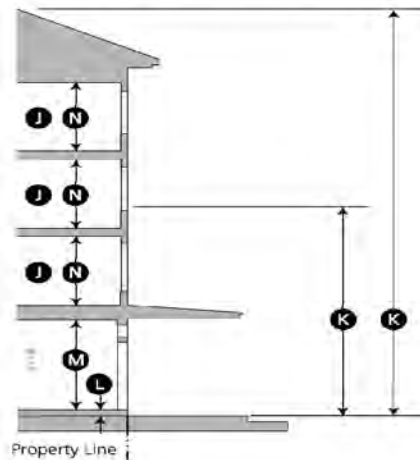
4.13.5.1 Terminology

LOT AND BUILDING TERMINOLOGY	
Build-to-Line (BTL) A	
A line parallel to the property line where the facade of the building is required to be located.	
Setback D	
The distance by which a building must be separated from the property line or ROW, typically defined, and regulated as a minimum.	
Primary Street built to BTL E	
The percent of the building facade which must occupy the width of the lot adjacent to the Primary Street.	
Side Street, Corner Lot built to BTL F	
The percent of the building which must occupy the side lot line when the building is on a corner lot.	
Maximum Lot Width G	
The largest allowed distance between lot corners along the front ROW.	
Minimum Lot Width G	
The smallest allowed distance between lot corners along the front ROW.	
Lot Depth	
The minimum depth of lot expressed in feet.	
Lot Coverage H	
The percent of the lot covered by buildings and accessory structures.	



Key	
Property Line	Setback Line
Build-to Line (BTL)	Building Area

Impervious Coverage	
The percent of the lot covered by impervious surfaces including roofs, patios, driveways, and other hard surfaces which result in water runoff.	
Upper Story J	
Building level above first floor.	
Minimum Building Height K	
The shortest allowed vertical distance between the sidewalk and the top point of reference for a building facade along the front ROW.	
Maximum Building Height K	
The largest allowed vertical distance between the sidewalk and the top point of reference for a building.	
Ground Floor Finished Level Height L	
The vertical distance allowed between the sidewalk and the top of the finished floor on the ground level, regulated as a minimum. Threshold is subject to ADA compliance.	
Minimum Ground-Floor Ceiling Height M	
The smallest allowed vertical distance between the finished floor and ceiling on the ground floor of a building.	
Minimum Upper-Floor Ceiling Height N	
The smallest allowed vertical distance between the finished floor and ceiling on the upper story floor of a building.	



4.13.5.2 Building Placement, Density and Parking

Building Placement	CT	CMU	C-L	SF-SL
Built-to Line (BTL) Distance from Property Line				
Front	A	10'—12'	12'—15'	20'
Side Street, corner lot	B	5'	5'	10'
Setbacks				
Side	C	NA	10'	5'
Rear	D	NA	NA	25'
Building front facade as a % of Lot Width (Min.)	E	100%	80%	NA
Side Street Facade as a % of Lot Depth (Min.)	F	50%	50%	NA
Building Form				

Lot Width (minimum)	G	NA	NA	NA	50'
Lot Width (maximum)	G	100'	NA	NA	100'
Lot Depth (maximum)	H	NA	NA	NA	125'
Lot Coverage		NA	NA	70%	35%
Height					
Building Maximum (Stories/Height)	K	1/25'	4/55'	4/55'	2/35'
Story Height difference between adjacent buildings		NA	1	NA	NA
Ground Floor Finish Level above site grade	L	6"	6"	6"	6"
First Floor ceiling height	M	15'	15'	15'	NA
Upper Floor(s) ceiling height (not including span)	N	NA	10'	10'	NA
Garage					
Attached Garage	Attached garages allowed on side or behind dwelling				
Detached Garage	Detached garage allowed behind dwelling				
Impervious Coverage - Buildings and Pavements					
Impervious Coverage		100%	100%	85%	40%
Walkway Width					
Width of walkway (includes ROW and Private)		8'—10'	10'—12'	8'	4'
	Walkways may be wider when outdoor dining and seating areas are provided				
Density					
Maximum Dwelling Units per acre		10	30	NA	4
Parking					
On-Street allowed to count toward guest parking		Yes	No	Yes	Yes
Notes					
1. All floors must have a primary ground-floor entrance that faces the primary side of the street.					
2. Residential uses with a primary ground-floor entrance must face the primary side of the street.					
3. Any section along the BTL not defined by a building must be defined by a 3'6" high masonry screen wall setback back 5'0" from the BTL unless it is an existing parking lot and in that instance the screening wall can be located adjacent to the sidewalk. The area between the BTL and the setback shall be landscaped, if practical.					
4. Buildable Density is determined by the sum of square footage or acreage used for building(s) and the amount of required parking or Effective Parking located within the maximum lot coverage area.					
5. Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.					

6. Air compressors, mechanical pumps, exterior water heaters, utility and telephone company transformers, meters or boxes, garbage cans / dumpsters, storage tanks, and similar equipment shall not be stored or located within any area adjacent to a street right-of-way.

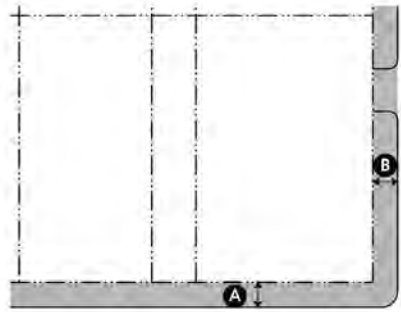
7. Roof mounted equipment shall be placed behind and away from any required building line and be screened from view from the street.

4.13.5.3 Land Use by Floor

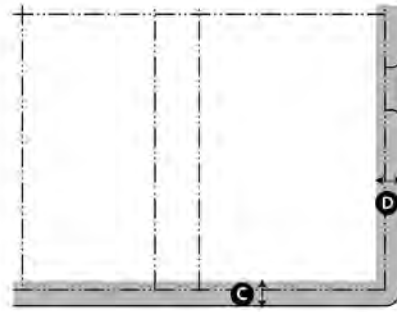
Land Use		CT	CMU	C-L	SF-SL
Ground Floor	①				
a. Residential Uses		Rear Only	Rear Only	Yes	Yes
b. Public and Institutional Uses		Yes	Yes	No	No
c. Transportation/Utilities		No	Yes	No	No
d. Office		Yes	Yes	No	No
e. Commercial		Yes	Yes	Yes	No
f. Lodging		No	Yes	Yes	No
Upper Floor(s)	②				
a. Residential Uses		No	Yes	Yes	Yes
b. Public and Institutional Uses		No	Yes	No	No
c. Transportation/Utilities		No	No	No	No
d. Office		No	Yes	No	No
e. Commercial		No	Yes	No	No
f. Lodging		No	Yes	Yes	No

(Amd. of 1-27-2020; Amd. of 9-9-2021)

Section 4.13.6 Special Provisions



Key
 - - - - - Property Line ■ Encroachment Area



Key
 - - - - - Property Line ■ Encroachment Area

4.13.6.1 Encroachments

Type 1: Not Located in Right-of-Way

Front	0'	A
Side Street	0'	B

Type 2: Located in Right-of-Way

Front	5'	C
Side Street	5'	D

4.13.6.2 Canopies and Awnings

Canopies and awnings can be required and may encroach over the BTL

Front	5'	E
Side	5'	F
Rear	5'	G



Key
 - - - - - Property Line - - - - - Setback Line
 - - - - - Build-to Line (BTL) ■ Awning Area

4.13.6.3 Site Lighting

Streetlights shall be a general type specified by the Township.

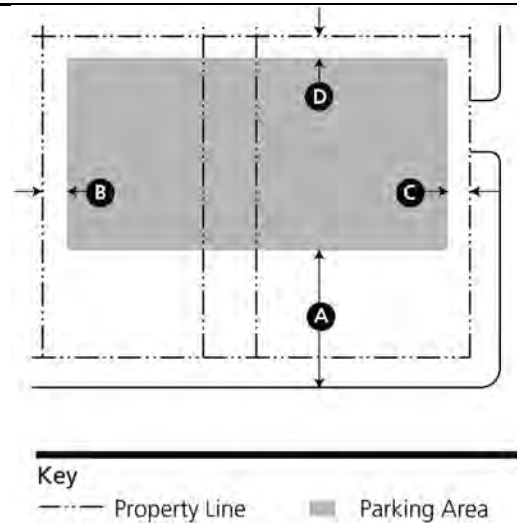
Wall pack lighting shall only be used on the rear or side of the building to illuminate exits and loading facilities.		
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Front facade illumination lighting may be used but will require the approval of the Planning Commission.		
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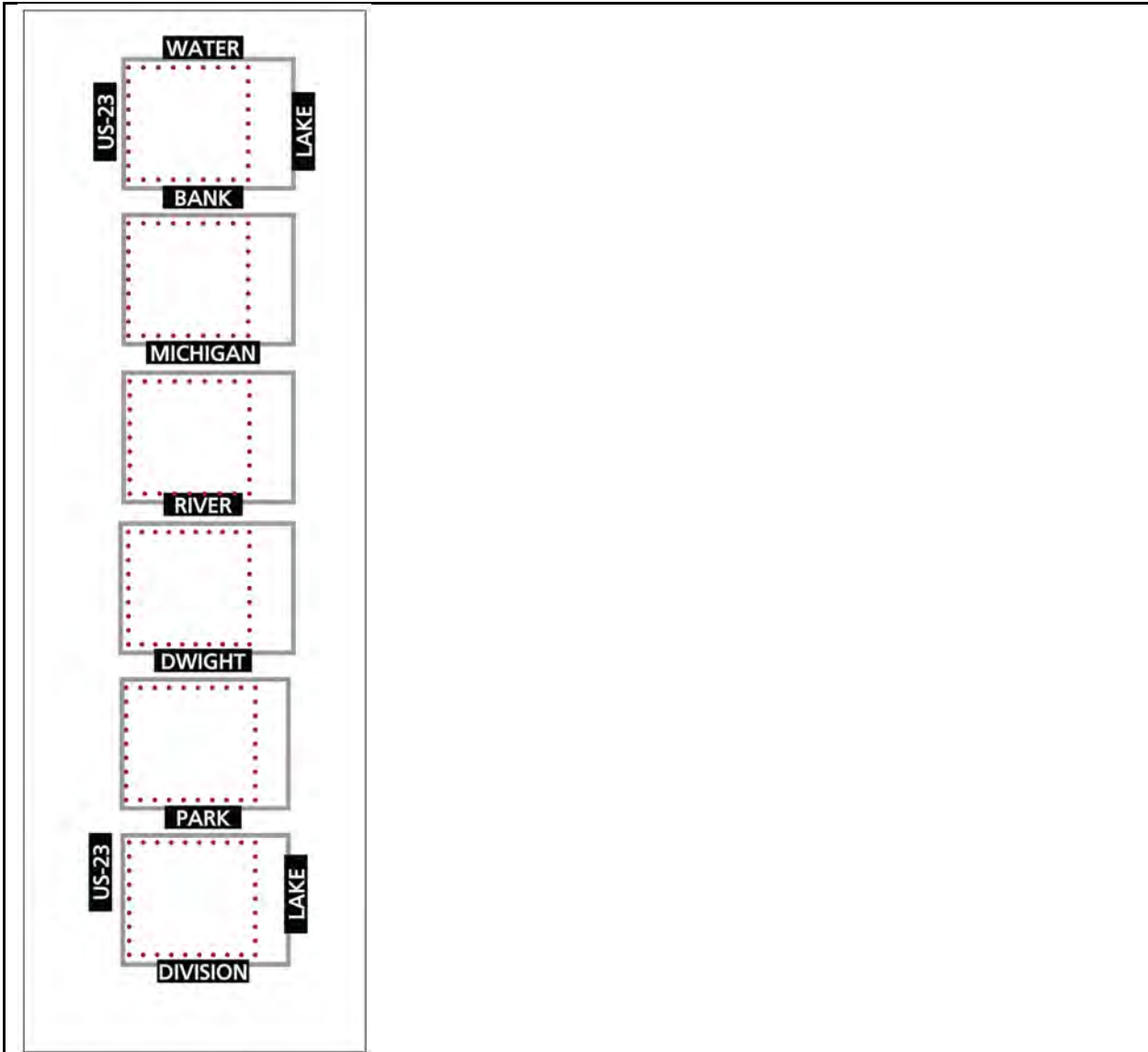
Parking lot lighting pole height (including luminaire) shall not exceed the height of the building or 22 feet whichever is less.		
C-L and SF-SL: No lighting level measured at the BTL shall exceed	1.0	fc
CT and CMU Zone: No lighting level measured at the BTL shall exceed	2.0	fc
4.13.6.4 Signs		
Signs shall conform to Article 3 where a freestanding signs shall not exceed 6 feet in height.		
4.13.6.5 Water Quality and Storm Water		
All projects shall incorporate low impact development (LID) water quality technologies. Low impact development water quality technologies shall include, but are not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered stormwater structures.		
4.13.6.6 Facade Components and Materials (All Buildings Except 1st Floor Residential)		
Windows and Transparency		
A minimum of 75% of the ground floor story front facade between 2 feet and 8 feet above the sidewalk must be comprised of transparent, non-reflective windows into the nonresidential space.		
A minimum of 30% of the upper story facade measured floor to floor shall have transparent, non-reflective, vertically oriented windows.		
Facade Ornamentation		
All visible elevations shall include decorative features such as cornices, pilasters, and friezes. Building recesses and protrusions will be required on larger buildings to break long uninterrupted building walls.		
Facade Massing		
Front facades 60 feet wide or wider shall incorporate wall offsets of at least two feet in depth (projections or recesses) a minimum of every 40 feet. Each required offset shall have a minimum width of 20 feet.		
Roofs/Rooftops		
When flat roofs are used, parapet walls with three-dimensional cornice treatments shall be used to conceal the roof.		
Asymmetric or dynamic roof forms allude to motion, provide variety and flexibility in nonresidential building design, and allow for unique buildings. Asymmetric or dynamic roof forms shall be permitted on nonresidential buildings as an alternative to Flat Roofs.		
All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (with the exception of chimneys), shall be located on the rear elevations or screened with a parapet wall having a three-dimensional cornice treatment so as to have a minimal visual impact as seen from public street, existing single family uses, and land zoned for residential and agricultural uses.		
Outdoor rooftop dining and lounges are allowed in the CT (Commercial-Traditional), and CMU (Commercial-Mixed Use) and C-L (Commercial-Lodging) categories subject to meeting applicable building and fire codes.		
Customer Entrances		

Each side of a building facing a public street shall include at least one customer entrance, except that no building shall be required to provide entrances on more than two sides of the structure that face public streets.		
Buildings shall have clearly defined, highly visible customer entrances that include no less than three of the following design features:		
a) Canopies/porticos above the entrance;		
b) Roof overhangs above the entrance;		
c) Entry recesses/projections;		
d) Arcades that are physically integrated with the entrance;		
e) Raised corniced parapets above the entrance;		
f) Gabled roof forms or arches above the entrance;		
g) Outdoor plaza adjacent to the entrance having seating and a minimum depth of 20 feet;		
h) Display windows that are directly adjacent to the entrance; or		
i) Architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above and/or directly adjacent to the entrance.		
Building Materials		
Use of durable and traditional building materials shall be used. Materials such as exterior insulation finish system (EIFS), fluted concrete masonry units, concrete panels, panel brick, and scored concrete masonry unit block are not considered durable and traditional building materials.		
4.13.6.7 Off-Street Parking		
Off-street parking shall be required. However, there are some properties within the SSBN District, due to their limited width and square footage are exempt from providing on-site off-street parking. Those properties exempt from the off-street parking requirements are noted on the graphic entitled, " Off-Street Parking Exemption Area. " Properties located within the dotted block are those properties exempt from the off-street parking requirements. In the event a property owner elects to provide off-street parking on their property they will be required to follow the provisions outlined in this section.		
4.13.6.8 Parking Setbacks		
Location (Distance from Property Line)		
Front Setback (parking to be located behind the building)		
Front Setback (when adjacent to the building)		
- the setback would be measured from the front facade of the building	10'	A
Adjacent to a common Property Line	10'	B
Side Street Setback		
- when a masonry screen wall is installed	5'	C
- landscape only	10'	C
Rear Setback	5'	D

note: where a parking lot abuts an interior and/or common property line, the property owner shall provide a cross access easement for the purpose of connecting adjacent parking lots.



Off-Street Parking Exemption Area Graphic



4.13.6.9 Shared Parking

Parking Calculations: The Shared parking Factor for two Functions, when divided into the sum of the two amounts as listed on the Required Parking table below produces the Effective Parking needed. For example, residential parking is calculated at 12 spaces and retail parking is calculated at 32. Summed they equal 44. Using the Shared Parking Table this amount is divided by 1.2 to derive an Effective Parking amount of 36.6 or 37 parking spaces.

	Function			
Function	Residential	Lodging	Office	Retail
Residential	1.0	1.1	1.4	1.2
Lodging	1.1	1.0	1.7	1.3
Office	1.4	1.7	1.0	1.2
Retail	1.2	1.3	1.2	1.0

4.13.6.10 Required Parking (Minimum and Maximum)		
Residential (per dwelling unit)		
Single Family	2.0	
Duplex	2.0	
Multiple Family	1.5	
Live/Work Unit	2.0	
Residential above 1st Floor in Mixed Use buildings (C and CF Zones)	1.5	
Lodging (per bedroom/hotel room)		
Bed & Breakfast	1.2	
Inn	1.2	
Hotel/Motel	1.0	
Office (per 1,000 usable square feet)		
Individual enclosed offices	2.0	
Open office concept	3.0	
Retail (per 1,000 usable square feet)		
CT Zone Retail	2.0	
CMU Zone Retail	2.0	
Civic/Assembly - Determined by Section 6.7.2.D		
Parking Notes		
Parking shall conform to Section 6.7, except the provisions in 6.72 which refer to Parking Space Requirements.		
Parking may be shared using the shared parking method outlined in Shared Parking.		
4.13.6.11 Site Amenities		
Bicycle parking and loops/racks must be provided on site based on a ratio of 1 bicycle stall per 10 vehicular parking spaces. For those properties within the Off-Street Parking Exemption Area, the number of required bicycle parking stalls will be based on the number of parking spaces that would have been required if the property wasn't exempt based on Section 4.13.6.10. Parking stalls and loops can be located in a designated parking space in the right-of-way is allowed by the Township, in lieu of on-site.		
Benches may be required at the discretion of the Planning Commission.		

(Amd. of 1-27-2020; Amd. of 9-9-2021)



SITE PLAN REVIEW: PIETY HILL INN & CONDOMINIUMS



119 WEST DWIGHT ST
OSCODA MI, 48750
612 719 8055



Piety Hill Inn and Condominiums
119 West Dwight Street Oscoda Mi 48750

Township Site Plan Review April 17, 2023

T1

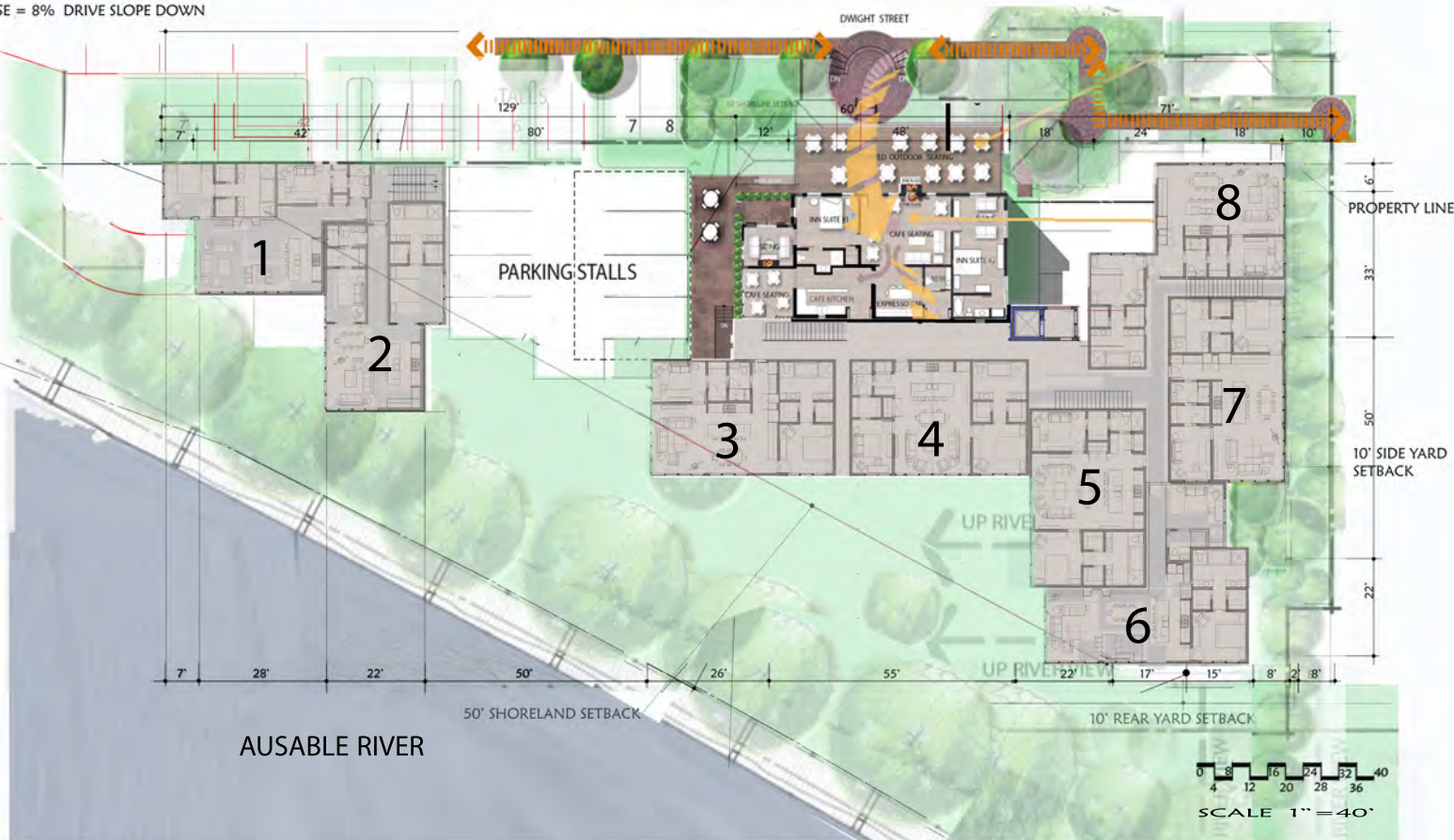


PROPOSED 96' RUN 8' RISE = 8% DRIVE SLOPE DOWN

WEST DWIGHT STREET

PIETY HILL INN

DWIGHT STREET



ZONING ANALYSIS:
DENSITY: 30 DWELLING UNITS PER ACRE ALLOWED
SITE AREA: = 42452 SQ.FT* = 30 UNITS ALLOWED
30 CONDOMINIUM UNITS PROPOSED
PARKING: 1.5 PARKING STALLS PER UNIT REQUIRED:
30 X 1.5 = 45 REQUIRED 74 PROVIDED

PARTIAL SITE PLAN

FIRST FLOOR PLAN



119 WEST DWIGHT ST
OSCODA MI, 48750
612 719 8055



Piety Hill Inn and Condominiums

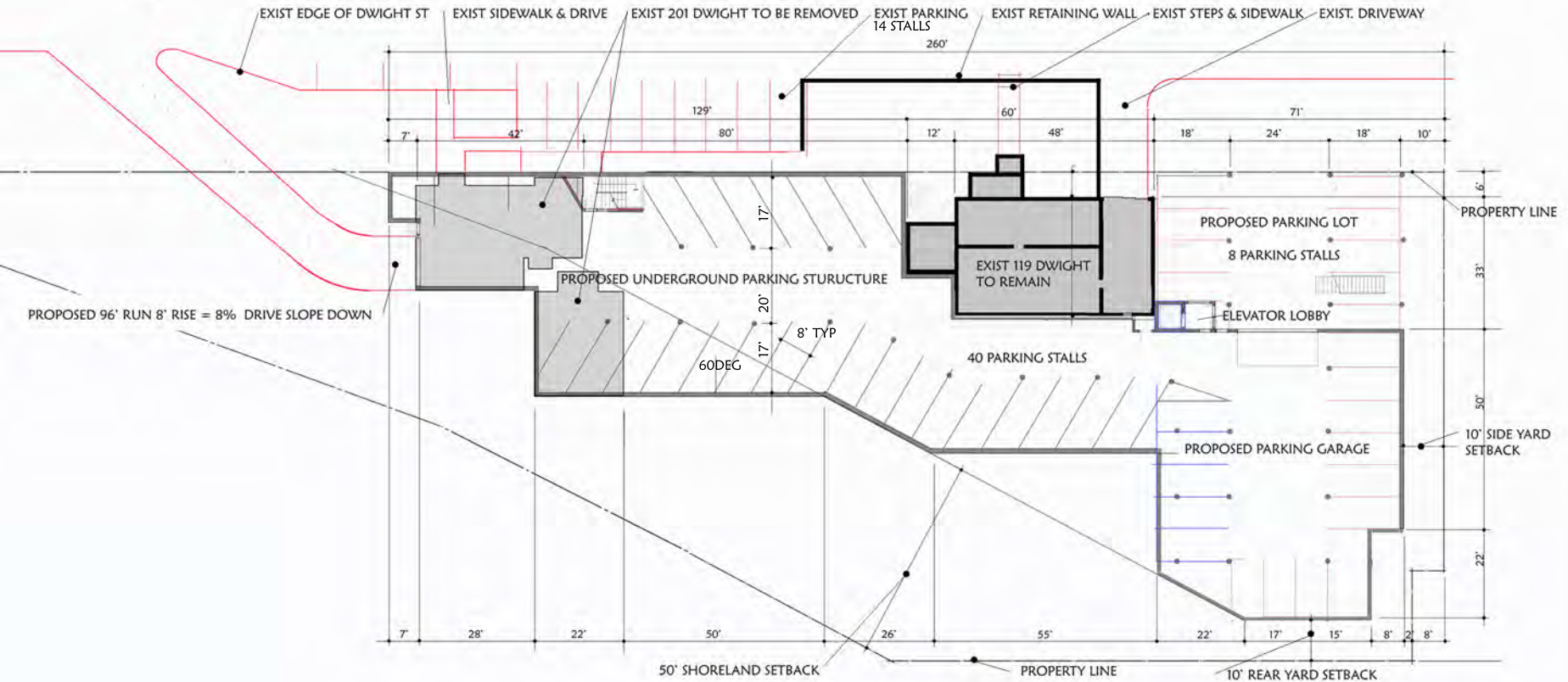
119 West Dwight Street Oscoda Mi 48750

Township Site Plan Review April 17, 2023

2



SITE PLAN



B.Principal Building: Building Height, one-family dwelling units, two-family dwelling units, and multiple-family dwelling units shall not exceed 35 feet maximum 2 B.Principal Building: Building Height, one-family dwelling units, two-family dwelling units, and multiple-family dwelling units shall not exceed 35 feet maximum 2

ZONING ANALYSIS:
DENSITY: 30 DWELLING UNITS PER ACRE ALLOWED
SITE AREA: = 42452 SQ.FT* = 30 UNITS ALLOWED
30 CONDOMINIUM UNITS PROPOSED
PARKING: 1.5 PARKING STALLS PER UNIT REQUIRED:
30 X 1.5 = 45 REQUIRED 74 PROVIDED

PARTIAL SITE PLAN

BASEMENT / WALKOUT FLOOR PLAN

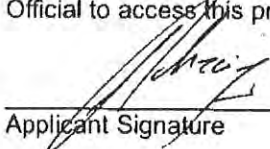
SCALE 1" = 40'

Oscoda Charter Township

110 S. State Street Oscoda, MI 48750

989-739-3211 Ext. 250

zoning@oscodatownshipmi.gov

Case# 105-2023**APPLICATION FOR: (circle one)
SPECIAL LAND USE PERMIT
SITE PLAN REVIEW
ADMINISTRATIVE REVIEW****Property owner Information:**Name: Oscoda Hotels, LLC
Address: 2369 Franklin Rd
Bloomfield Hills MI 48302
Phone: 248.601.2500**Property Information:**Address: 114 N. Lake St
Zoning District: _____
Parcel#: 064-V10 005 007 00.
Phone: 248.401.2500
Parcel Size: _____**Applicant Information:**Name: Hurbaugh Construction
Address: 2365 Franklin Rd
Bloomfield Hills MI 48302
Phone: 248.601.2500**Engineer - Architect - Surveyor -
other consultant**Name: James Schneider
Address: 2365 Franklin Rd
Bloomfield Hills, MI 48302
Phone: 248.986.3359
E-Mail: james.schneider@hurbaughconstruction.net**Site Plan/Operational Information Submitted (2 complete copies; max. scale 1"=50', 1"=100' over 3 acres)****Project Title and Brief Description:**90 room 4 story Holiday Inn Express**Project Completion Schedule/Phasing:****Please Note:** The applicant or their official representative should be present at the Planning Commission's Public Hearing/Meeting to present the application and answer any questions Commission Members may have.**Applicant's Signature:** I am the owner of the property included in this application or am officially acting on the owner's behalf. I hereby attest that the information on this application form, the site plan and other attachment(s) is, to the best of my knowledge, true and accurate. I hereby grant permission to the Township Staff and/or any appropriate Township Official to access this property to review the accuracy of the information submitted.
Applicant Signature04/07/23
Date

Oscoda Township
Site Plan - Special Land Use Application
OFFICIAL USE ONLY

Application Submitted: 4/7/2023 Complete Application Accepted: 4/11/2023 By: MC
Zoning information reviewed and verified as: (circle one) Complying Non-Complying with basic standards of the SSB District.
Non-Compliance(s): Proposing to use EFIS for facade instead of brick/stone

Approval Required: (circle one) Zoning Director (see Sect. 10.1 B & C) or Planning Commission

Water - Sewer Dept. review and approval is also required:

Water-Sewer Dept. Approval: _____ Date _____

Fire Department Approval: _____ Date _____

Administrative Review: In accordance with (circle one) Section 10.1(8) or 10.1(C) of the Zoning Ordinance, I find this application meets/does not meet applicable requirements.
Therefore I hereby (circle one) **APPROVE** **DENY** this application.

Planning & Zoning Director Signature _____ Date _____

Planning Commission Review: 4/17/2023

Public Notice Mailing Date: N/A

Publication Date: N/A

Public Hearing/Meeting Date: 4/17/2023

Materials to Commission: 4/13/2023

Planning Commission Action: (circle one) Approved Denied Approved with Conditions

Conditions of Approval:

If the Special Land Use/Site Plan is approved with conditions:

I understand that I will forward documentation to the Planning Commission within 6 months attesting to the progress relative to compliance with conditions 1 through _____

Applicant

Date

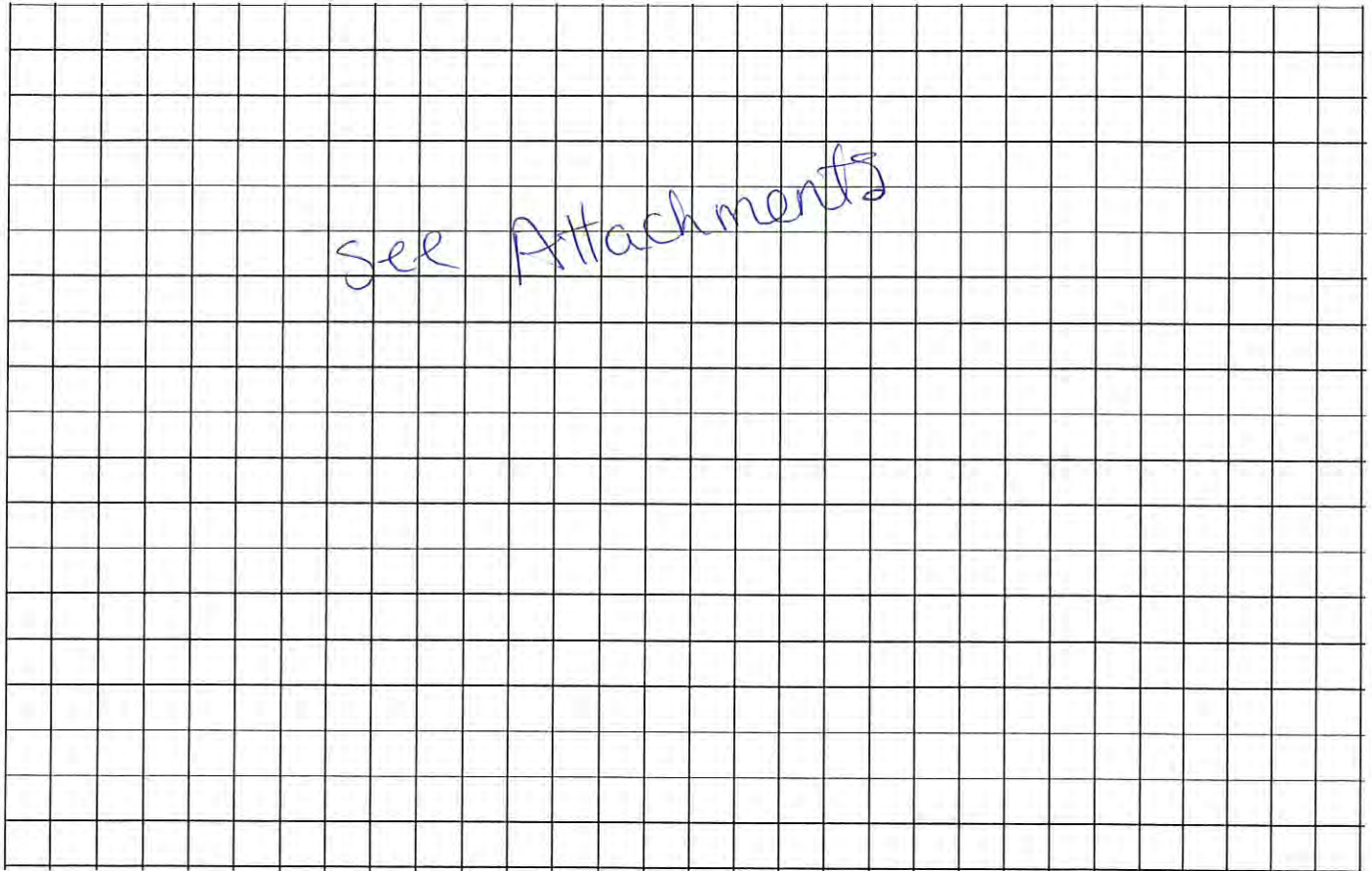
Oscoda Township Land Use Permit
SITE PLAN DRAWING

Page 03 of 03

As part of a Land Use Permit application, an accurate site plan must be submitted, including:

- a. Property dimensions, including total width and depth, and a "North" arrow.
- b. All structures currently located on the property with their size(s) indicated.
- c. The exact distance(s) between all structures on the property.
- d. All roads or easements adjoining, abutting or traversing the property.
- e. An accurate depiction of the driveway access to the property and parking areas.
- f. The proposed placement of any new structure, addition or other improvement on the property, showing the dimensions of the improvements and the distances between them and other structures and the lot lines.

Note: It is preferred that the site plan information be included on, or with, a copy of a **property survey**. However, if a survey is not available, the applicant may use the grid area below, or a similar format, to provide the required drawing information.



see Attachments

APPLICANT CERTIFICATION

"I certify the above or attached drawing accurately reflects the subject property as surveyed including property lines and the height, size, and setback locations of existing and proposed structures and improvements."

Signature (Applicant)

(Date)

CHARTER TOWNSHIP OF OSCODA

Zoning Department

Memo

To: Planning Commission Members

From: Nichole Vallette, Planning and Zoning Director

Date: April 13, 2023

Re: Case #105-2023

Nature of Application #105-2023:

Oscoda Hotels LLC, 2369 Franklin Rd., Bloomfield Hills, MI has submitted a Site Plan Review application for a proposed façade material change to the Holiday Inn Express at 114 N. Lake St.

Existing Property Conditions:

The parcel # is 064-V10-005-007-00. The property is zoned SSBN Commercial Lodging (C-L). The property 1.8 Acres in size. They started construction of the 4 story hotel last year. At a November 2021 Planning Commission meeting, they received site plan approval with conditions. The conditions were:

- Brick and stone façade were submitted as part of the site plan, that is the material to be used.
 - The final site plan conforms to all local, state and federal codes and ordinances
 - That all the key components such as the bicycle rack, ADA compliant ramps, Handicap parking, the water, sanitary sewer, storm draining and fire suppression plans which are all to be part of the final plan that will be accepted by Rowe Engineering if all requirements are met.
 - Ms. Hopcroft amended the motion to add that the façade conform with our ordinance meaning there is the required variation/offset every 40 feet.

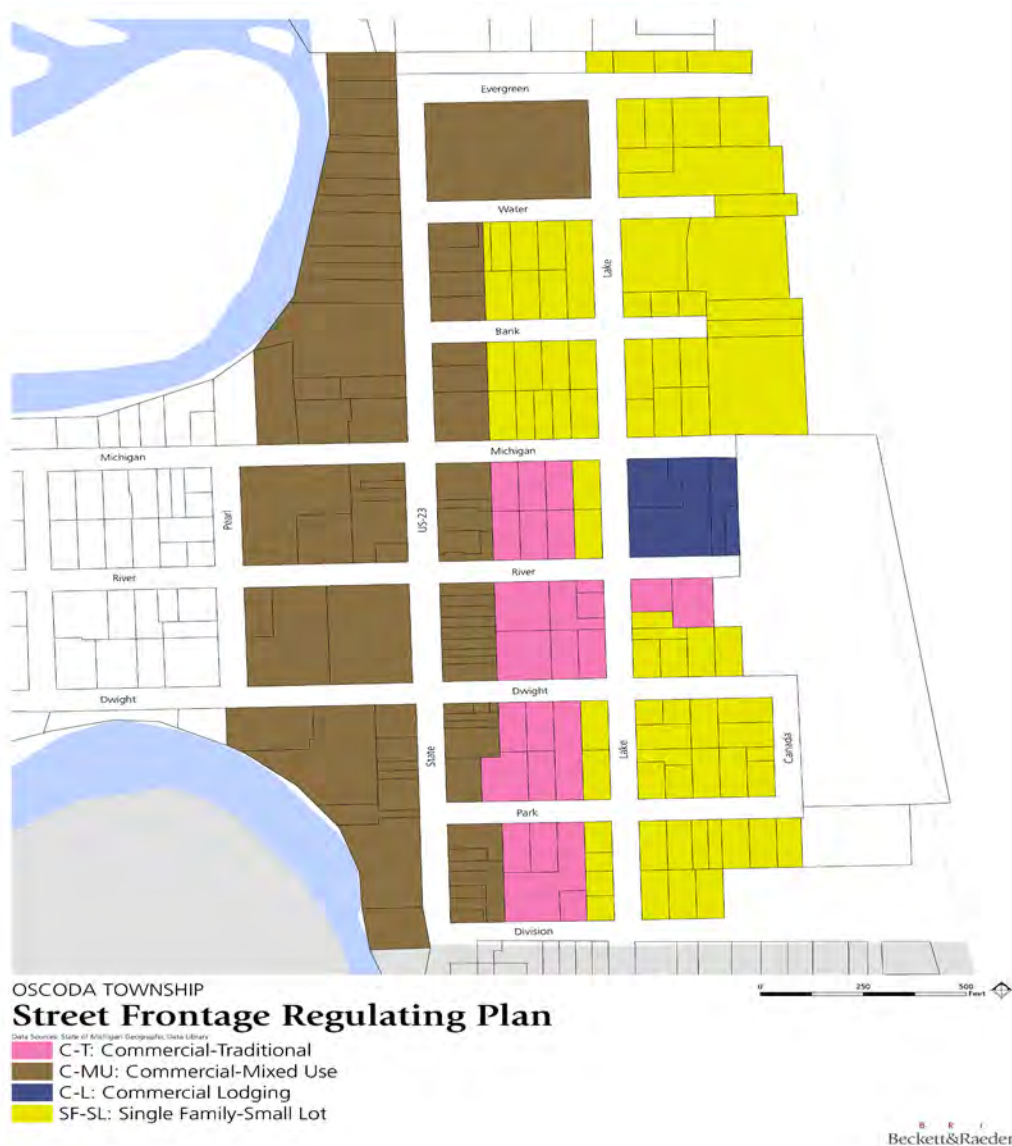
Communications Received:

As of the writing, there were no communications received.

Staff Comments:

114 N. Lake St. is zoned SSBN, Commercial Lodging. Hotels are a principal use in this district. The Ordinance states: Use of dryvit/EIFS can be used only on upper stories, and shall not exceed 30% of the exterior surface. The applicant is asking the Planning Commission if they can now use

EIFS instead of the approved brick and stone. Attached is an example of what the building would look like with the EIFS façade.



(Amd. of 1-27-2020; Amd. of 9-9-2021; Amd. of 2-10-2022)

Section 4.13.2 Regulated Uses, General Standards, Special Use Permit Standards, and Splicing

4.13.2.1 Purpose

The purpose of the State Street Business and Neighborhood District (SSBN) is to create a memorable, walkable, vibrant, and economically viable business district which accommodates residents and tourists, and pedestrians and vehicles. The SSBN specifically addresses one (1) of the goals in the Oscoda Township Strategic Plan: Create an environment where residents, development, and businesses can be successful.

The text and diagrams for the State Street Business District (SSBN) address the location and extent of land uses that implement the vision articulated by the community through several public sessions focused on strategic planning and downtown revitalization.

4.13.2.2 Regulated Uses

Regulated uses are identified for each zone either as a Permitted Use (P) or a use requiring a Special Land Use Permit (SUP). All SUP uses must address the General Standards listed below. If the SUP has additional standards over and above the General Standards, the special provision column references that specific section of the Zoning Ordinance. Otherwise, SUP uses must meet the General Standards below. All uses will require the submission of a site plan pursuant to Article X, and Section 10.5 of the Zoning Ordinance.

4.13.2.3 General Standards for Special Land Use Permits

The Planning Commission shall review each application for the purpose of determining that each proposed use meets the following standards, and in addition, shall find adequate evidence that each use on the proposed location will:

- a. Be designed, constructed, operated, and maintained so as to ensure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity.
- b. Protect the natural environment and conserve natural resources and energy to ensure compatibility with adjacent uses of land, and to promote the use of land in a socially and economically desirable manner.
- c. Be designed to protect natural resources, the health, safety, and welfare and the social and economic wellbeing of those who will use the land use or activity under consideration, residents, and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.
- d. Be related to the valid exercise of the police power, and purposes which are affected by the proposed use or activity.
- e. Be necessary to meet the intent and purpose of the zoning ordinance, be related to the standards established in the ordinance for the land use or activity under consideration and be necessary to ensure compliance with those standards.
- f. Meet the standards of other governmental agencies where applicable, and that the approval of these agencies has been obtained or is assured. The applicant shall have the plan reviewed and approved by the Oscoda Township Fire Department prior to the review by the Planning Commission.
- g. Meets the intent to establish interconnected, walkable and a mixed-use neighborhood.

4.13.2.4 Splicing

The State Street Business District (SSBD) focuses attention on the development and form of public and private properties and spaces within the area designated on the Regulating Plan referenced in Section 4.13.1. Requirements regarding site development standards such as parking, lighting, and encroachments included in this Ordinance will take precedence over the requirements in the Oscoda Township Zoning Ordinance.

The State Street Business and Neighborhood District (SSBN) will replace Section 4.13 Central Business District of the Oscoda Township Zoning Ordinance.

All other provisions of the Oscoda Township Zoning Ordinance remain intact and valid.

4.13.2.5 Properties Currently Developed and Occupied

- a. Occupied and vacant buildings that exist at the time of ordinance adoption do not need to comply with this Section until such time they are renovated.
- b. Occupied or vacant buildings that exist at the time of ordinance adoption that undergo renovation, exceeding one hundred (100) percent of the taxable valuation in the year of the renovation, shall comply with all provisions of the ordinance except Section 4.13.5.2.
- c. Buildings that are demolished and newly constructed shall comply with all provisions of this Section.

(Amd. of 1-27-2020; Amd. of 9-9-2021)

Section 4.13.3 Regulating Plan Categories



C-L (Commercial-Lodging)	
Intent	To provide for lodging and dining accommodations which complement the scale of surrounding properties and take advantage of adjacent natural and recreational amenities.
Distinguishing Characteristics	Typically, a single, multi-story structure with ample outdoor amenities such as large porches, decks, plazas, and seating areas.
General Character	Predominantly single building using durable building materials such as brick, limestone, scored CMU's, wood, and fiber-cement siding. Use of dryvit/EIFS can be used only on upper stories, and shall not exceed 30% of the exterior surface.
Desired Form	Single Building.
Building Placement	Small or no setbacks. Placement on the property to encourage views of Lake Huron and adjacent open spaces.
Frontage Types	Not Applicable. Site specific.
Typical Building Heights	3 to 4 stories.

Section 4.13.4 Land Use Table

4.13.4.1 Regulated Uses

Regulated uses are identified either as a Permitted Use (P) or a use requiring a Special Use Permit (SUP). If a use is blank with no designation or not listed, it means it is not permitted in that zone. All uses requiring a Special Use Permit must address the General Standards in 6.6.2.3. If the SUP has additional standards over and above the General Standards the special provision column references that specific section of the Zoning Ordinance.

Land Use Table				
Type	CT	CMU	C-L	SF-SL
Public and Private				

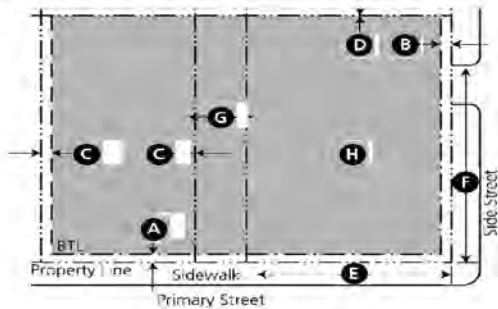
Outdoor Public Owned Parks and Recreation Facilities	P	SUP		P
Public and Private Schools				
Public Uses: Critical, Supporting and Essential	P	P	P	P
Churches with and without Assembly Halls				P
Transportation/Utilities				
Parking (Public or Private)	P	P	P	P
Wireless Telecommunication Facilities (not in R.O.W.)				
Public Transit Stop or Station	P	P	P	
Office				
Professional Offices	P	P		
Medical/Dental Offices	P	P		
Medical Urgent Care Facilities	P			
Veterinary Clinic	P			
Commercial				
Mixed Use with Residential above the 1st floor	P	P	P	
Bar/Tavern	P	P	SUP	
Child Care Facilities	P	P		
Drug Stores	P	P		
General Retail; except with the following features	P	P		
a. Alcoholic beverages	SUP	SUP		
b. Floor area over 10,000 sq. ft.	SUP	P		
c. On-site production of items sold in or out of store locations	SUP	P		
d. Operating hours between 10 pm and 7 am	SUP	SUP		
e. Outdoor sales and storage of cars, boats, trucks and RV's				
Fraternal Clubs and Organizations	P	P		
Funeral Homes				
Restaurant, cafe and coffee shop except with the following features	P	P	P	P
a. Drive-thru facilities				
b. Drive-In facilities				
Micro brewery, Small Winery and Distillery	P	P		
Movie & Performance Theaters	P	P		
Convenience market less than 3,500 sq. ft.	P	P		
Personal Services (Salons)	P	P		

Farmers Market	P	P		
Banks and Financial; except with the following features	P	P		
a. Drive-thru facilities	P			
Shopping Centers				
Grocery Stores; except with the following features	P	P		
a. Floor area over 10,000 sq. ft	SUP	SUP		
b. Gasoline Service Station				
Gasoline Service Station				
Automotive Supply & Parts	P			
Automotive Service				
Lodging				
Hotel; except with the following features		P	P	
a. Greater than 120 rooms	SUP	SUP	SUP	
b. Conference and convention facilities	SUP	SUP	P	
Residential				
Single Family				P
Single Family Attached Townhome				P
Upper Story Residential Unit	P	P	SUP	
Live/Work Units	P	P		P
Duplex (Side-by-Side)				P
Home Occupation 1-Person		P		P
Home Occupation 2 or more		P		
Tourist Homes				P
Short-Term Rentals		P		P

Section 4.13.5 Lot and Building Placement

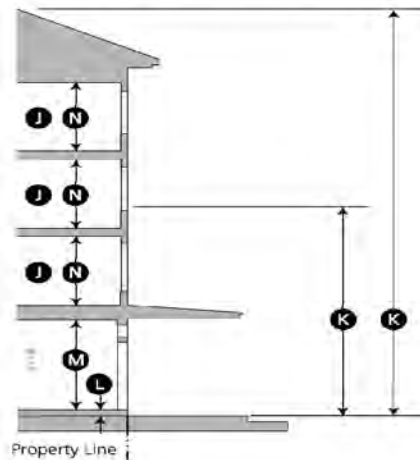
4.13.5.1 Terminology

LOT AND BUILDING TERMINOLOGY	
Build-to-Line (BTL) A	
A line parallel to the property line where the facade of the building is required to be located.	
Setback D	
The distance by which a building must be separated from the property line or ROW, typically defined, and regulated as a minimum.	
Primary Street built to BTL E	
The percent of the building facade which must occupy the width of the lot adjacent to the Primary Street.	
Side Street, Corner Lot built to BTL F	
The percent of the building which must occupy the side lot line when the building is on a corner lot.	
Maximum Lot Width G	
The largest allowed distance between lot corners along the front ROW.	
Minimum Lot Width G	
The smallest allowed distance between lot corners along the front ROW.	
Lot Depth	
The minimum depth of lot expressed in feet.	
Lot Coverage H	
The percent of the lot covered by buildings and accessory structures.	



Key	
Property Line	Setback Line
Build-to Line (BTL)	Building Area

Impervious Coverage	
The percent of the lot covered by impervious surfaces including roofs, patios, driveways, and other hard surfaces which result in water runoff.	
Upper Story J	
Building level above first floor.	
Minimum Building Height K	
The shortest allowed vertical distance between the sidewalk and the top point of reference for a building facade along the front ROW.	
Maximum Building Height K	
The largest allowed vertical distance between the sidewalk and the top point of reference for a building.	
Ground Floor Finished Level Height L	
The vertical distance allowed between the sidewalk and the top of the finished floor on the ground level, regulated as a minimum. Threshold is subject to ADA compliance.	
Minimum Ground-Floor Ceiling Height M	
The smallest allowed vertical distance between the finished floor and ceiling on the ground floor of a building.	
Minimum Upper-Floor Ceiling Height N	
The smallest allowed vertical distance between the finished floor and ceiling on the upper story floor of a building.	



4.13.5.2 Building Placement, Density and Parking

Building Placement		CT	CMU	C-L	SF-SL
Built-to Line (BTL) Distance from Property Line					
Front	A	10'—12'	12'—15'	20'	20'
Side Street, corner lot	B	5'	5'	20'	10'
Setbacks					
Side	C	NA	10'	10'	5'
Rear	D	NA	NA	25'	15'
Building front facade as a % of Lot Width (Min.)	E	100%	80%	NA	NA
Side Street Facade as a % of Lot Depth (Min.)	F	50%	50%	NA	NA
Building Form					

Lot Width (minimum)	G	NA	NA	NA	50'
Lot Width (maximum)	G	100'	NA	NA	100'
Lot Depth (maximum)	H	NA	NA	NA	125'
Lot Coverage		NA	NA	70%	35%
Height					
Building Maximum (Stories/Height)	K	1/25'	4/55'	4/55'	2/35'
Story Height difference between adjacent buildings		NA	1	NA	NA
Ground Floor Finish Level above site grade	L	6"	6"	6"	6"
First Floor ceiling height	M	15'	15'	15'	NA
Upper Floor(s) ceiling height (not including span)	N	NA	10'	10'	NA
Garage					
Attached Garage	Attached garages allowed on side or behind dwelling				
Detached Garage	Detached garage allowed behind dwelling				
Impervious Coverage - Buildings and Pavements					
Impervious Coverage		100%	100%	85%	40%
Walkway Width					
Width of walkway (includes ROW and Private)		8'—10'	10'—12'	8'	4'
	Walkways may be wider when outdoor dining and seating areas are provided				
Density					
Maximum Dwelling Units per acre		10	30	NA	4
Parking					
On-Street allowed to count toward guest parking		Yes	No	Yes	Yes
Notes					
1. All floors must have a primary ground-floor entrance that faces the primary side of the street.					
2. Residential uses with a primary ground-floor entrance must face the primary side of the street.					
3. Any section along the BTL not defined by a building must be defined by a 3'6" high masonry screen wall setback back 5'0" from the BTL unless it is an existing parking lot and in that instance the screening wall can be located adjacent to the sidewalk. The area between the BTL and the setback shall be landscaped, if practical.					
4. Buildable Density is determined by the sum of square footage or acreage used for building(s) and the amount of required parking or Effective Parking located within the maximum lot coverage area.					
5. Rear-facing buildings, loading docks, overhead doors, and other service entries are prohibited on street-facing facades.					

6. Air compressors, mechanical pumps, exterior water heaters, utility and telephone company transformers, meters or boxes, garbage cans / dumpsters, storage tanks, and similar equipment shall not be stored or located within any area adjacent to a street right-of-way.

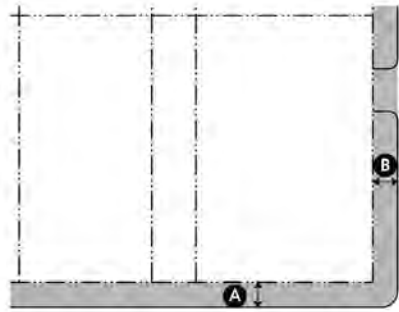
7. Roof mounted equipment shall be placed behind and away from any required building line and be screened from view from the street.

4.13.5.3 Land Use by Floor

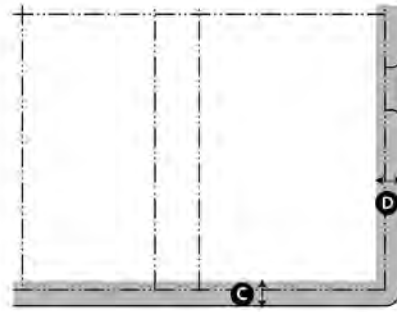
Land Use		CT	CMU	C-L	SF-SL
Ground Floor	❶				
a. Residential Uses		Rear Only	Rear Only	Yes	Yes
b. Public and Institutional Uses		Yes	Yes	No	No
c. Transportation/Utilities		No	Yes	No	No
d. Office		Yes	Yes	No	No
e. Commercial		Yes	Yes	Yes	No
f. Lodging		No	Yes	Yes	No
Upper Floor(s)	❷				
a. Residential Uses		No	Yes	Yes	Yes
b. Public and Institutional Uses		No	Yes	No	No
c. Transportation/Utilities		No	No	No	No
d. Office		No	Yes	No	No
e. Commercial		No	Yes	No	No
f. Lodging		No	Yes	Yes	No

(Amd. of 1-27-2020; Amd. of 9-9-2021)

Section 4.13.6 Special Provisions



Key
 - - - Property Line ■ Encroachment Area



Key
 - - - Property Line ■ Encroachment Area

4.13.6.1 Encroachments

Type 1: Not Located in Right-of-Way

Front	0'	A
Side Street	0'	B

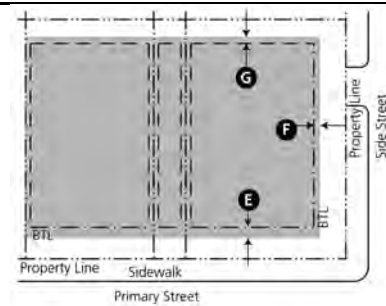
Type 2: Located in Right-of-Way

Front	5'	C
Side Street	5'	D

4.13.6.2 Canopies and Awnings

Canopies and awnings can be required and may encroach over the BTL

Front	5'	E
Side	5'	F
Rear	5'	G



Key
 - - - Property Line - - - Setback Line
 - - - Build-to Line (BTL) ■ Awning Area

4.13.6.3 Site Lighting

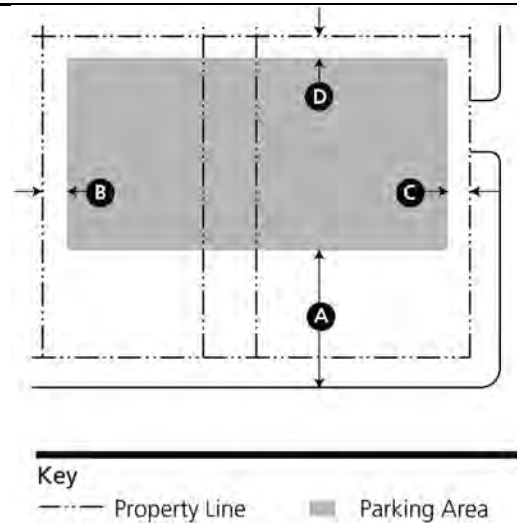
Streetlights shall be a general type specified by the Township.

Wall pack lighting shall only be used on the rear or side of the building to illuminate exits and loading facilities.		
Front facade illumination lighting may be used but will require the approval of the Planning Commission.		

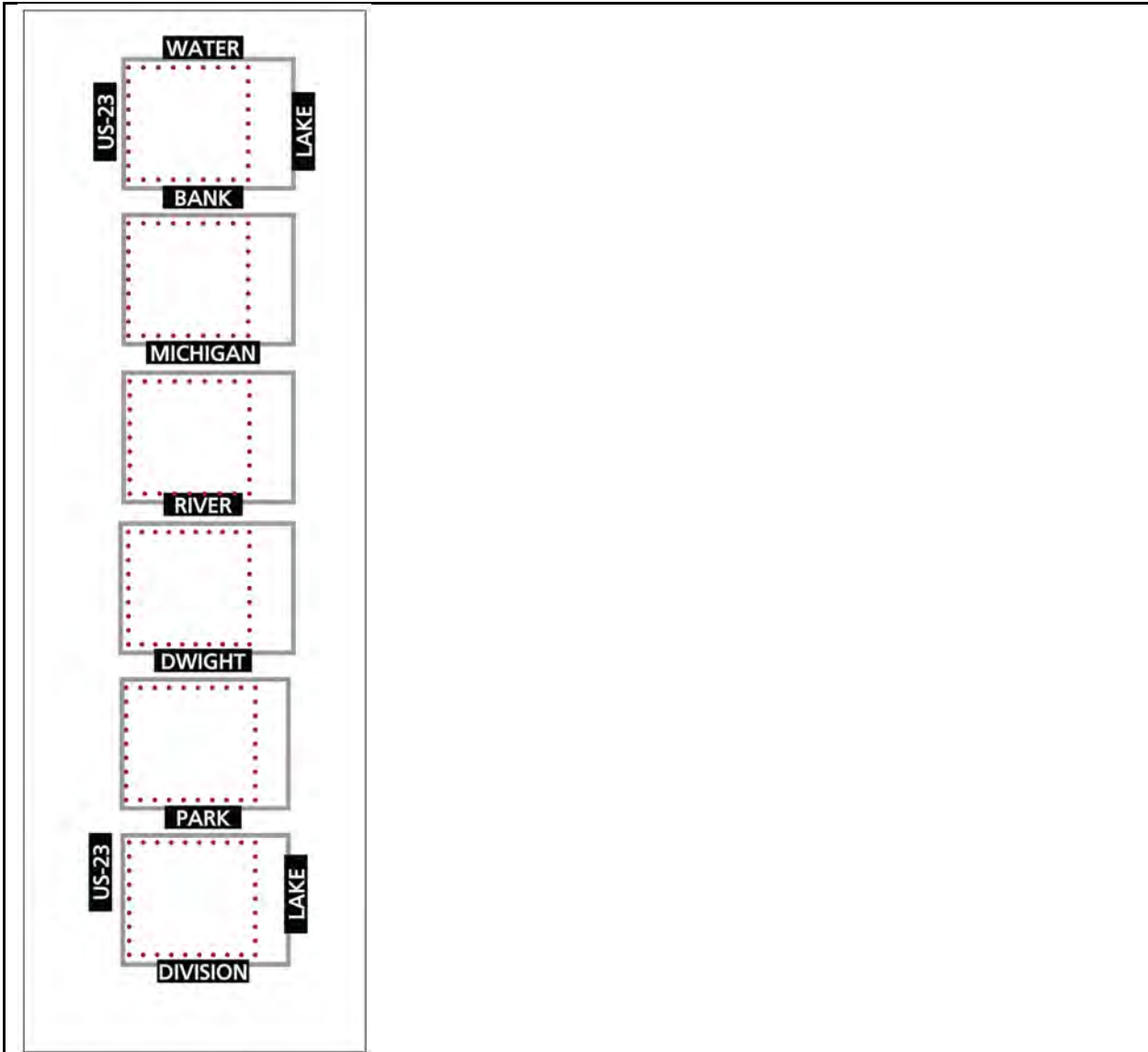
Parking lot lighting pole height (including luminaire) shall not exceed the height of the building or 22 feet whichever is less.		
C-L and SF-SL: No lighting level measured at the BTL shall exceed	1.0	fc
CT and CMU Zone: No lighting level measured at the BTL shall exceed	2.0	fc
4.13.6.4 Signs		
Signs shall conform to Article 3 where a freestanding signs shall not exceed 6 feet in height.		
4.13.6.5 Water Quality and Storm Water		
All projects shall incorporate low impact development (LID) water quality technologies. Low impact development water quality technologies shall include, but are not limited to, rain gardens, rooftop gardens, vegetated swales, cisterns, permeable pavers, porous pavement, and filtered stormwater structures.		
4.13.6.6 Facade Components and Materials (All Buildings Except 1st Floor Residential)		
Windows and Transparency		
A minimum of 75% of the ground floor story front facade between 2 feet and 8 feet above the sidewalk must be comprised of transparent, non-reflective windows into the nonresidential space.		
A minimum of 30% of the upper story facade measured floor to floor shall have transparent, non-reflective, vertically oriented windows.		
Facade Ornamentation		
All visible elevations shall include decorative features such as cornices, pilasters, and friezes. Building recesses and protrusions will be required on larger buildings to break long uninterrupted building walls.		
Facade Massing		
Front facades 60 feet wide or wider shall incorporate wall offsets of at least two feet in depth (projections or recesses) a minimum of every 40 feet. Each required offset shall have a minimum width of 20 feet.		
Roofs/Rooftops		
When flat roofs are used, parapet walls with three-dimensional cornice treatments shall be used to conceal the roof.		
Asymmetric or dynamic roof forms allude to motion, provide variety and flexibility in nonresidential building design, and allow for unique buildings. Asymmetric or dynamic roof forms shall be permitted on nonresidential buildings as an alternative to Flat Roofs.		
All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (with the exception of chimneys), shall be located on the rear elevations or screened with a parapet wall having a three-dimensional cornice treatment so as to have a minimal visual impact as seen from public street, existing single family uses, and land zoned for residential and agricultural uses.		
Outdoor rooftop dining and lounges are allowed in the CT (Commercial-Traditional), and CMU (Commercial-Mixed Use) and C-L (Commercial-Lodging) categories subject to meeting applicable building and fire codes.		
Customer Entrances		

Each side of a building facing a public street shall include at least one customer entrance, except that no building shall be required to provide entrances on more than two sides of the structure that face public streets.		
Buildings shall have clearly defined, highly visible customer entrances that include no less than three of the following design features:		
a) Canopies/porticos above the entrance;		
b) Roof overhangs above the entrance;		
c) Entry recesses/projections;		
d) Arcades that are physically integrated with the entrance;		
e) Raised corniced parapets above the entrance;		
f) Gabled roof forms or arches above the entrance;		
g) Outdoor plaza adjacent to the entrance having seating and a minimum depth of 20 feet;		
h) Display windows that are directly adjacent to the entrance; or		
i) Architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above and/or directly adjacent to the entrance.		
Building Materials		
Use of durable and traditional building materials shall be used. Materials such as exterior insulation finish system (EIFS), fluted concrete masonry units, concrete panels, panel brick, and scored concrete masonry unit block are not considered durable and traditional building materials.		
4.13.6.7 Off-Street Parking		
Off-street parking shall be required. However, there are some properties within the SSBN District, due to their limited width and square footage are exempt from providing on-site off-street parking. Those properties exempt from the off-street parking requirements are noted on the graphic entitled, " Off-Street Parking Exemption Area. " Properties located within the dotted block are those properties exempt from the off-street parking requirements. In the event a property owner elects to provide off-street parking on their property they will be required to follow the provisions outlined in this section.		
4.13.6.8 Parking Setbacks		
Location (Distance from Property Line)		
Front Setback (parking to be located behind the building)		
Front Setback (when adjacent to the building)		
- the setback would be measured from the front facade of the building	10'	A
Adjacent to a common Property Line	10'	B
Side Street Setback		
- when a masonry screen wall is installed	5'	C
- landscape only	10'	C
Rear Setback	5'	D

note: where a parking lot abuts an interior and/or common property line, the property owner shall provide a cross access easement for the purpose of connecting adjacent parking lots.



Off-Street Parking Exemption Area Graphic



4.13.6.9 Shared Parking

Parking Calculations: The Shared parking Factor for two Functions, when divided into the sum of the two amounts as listed on the Required Parking table below produces the Effective Parking needed. For example, residential parking is calculated at 12 spaces and retail parking is calculated at 32. Summed they equal 44. Using the Shared Parking Table this amount is divided by 1.2 to derive an Effective Parking amount of 36.6 or 37 parking spaces.

	Function			
Function	Residential	Lodging	Office	Retail
Residential	1.0	1.1	1.4	1.2
Lodging	1.1	1.0	1.7	1.3
Office	1.4	1.7	1.0	1.2
Retail	1.2	1.3	1.2	1.0

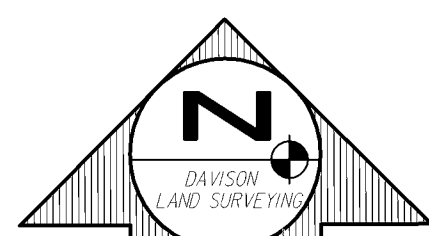
4.13.6.10 Required Parking (Minimum and Maximum)		
Residential (per dwelling unit)		
Single Family	2.0	
Duplex	2.0	
Multiple Family	1.5	
Live/Work Unit	2.0	
Residential above 1st Floor in Mixed Use buildings (C and CF Zones)	1.5	
Lodging (per bedroom/hotel room)		
Bed & Breakfast	1.2	
Inn	1.2	
Hotel/Motel	1.0	
Office (per 1,000 usable square feet)		
Individual enclosed offices	2.0	
Open office concept	3.0	
Retail (per 1,000 usable square feet)		
CT Zone Retail	2.0	
CMU Zone Retail	2.0	
Civic/Assembly - Determined by Section 6.7.2.D		
Parking Notes		
Parking shall conform to Section 6.7, except the provisions in 6.72 which refer to Parking Space Requirements.		
Parking may be shared using the shared parking method outlined in Shared Parking.		
4.13.6.11 Site Amenities		
Bicycle parking and loops/racks must be provided on site based on a ratio of 1 bicycle stall per 10 vehicular parking spaces. For those properties within the Off-Street Parking Exemption Area, the number of required bicycle parking stalls will be based on the number of parking spaces that would have been required if the property wasn't exempt based on Section 4.13.6.10. Parking stalls and loops can be located in a designated parking space in the right-of-way is allowed by the Township, in lieu of on-site.		
Benches may be required at the discretion of the Planning Commission.		

(Amd. of 1-27-2020; Amd. of 9-9-2021)



LEGAL DESCRIPTION SEE SHEET 3 SURVEY

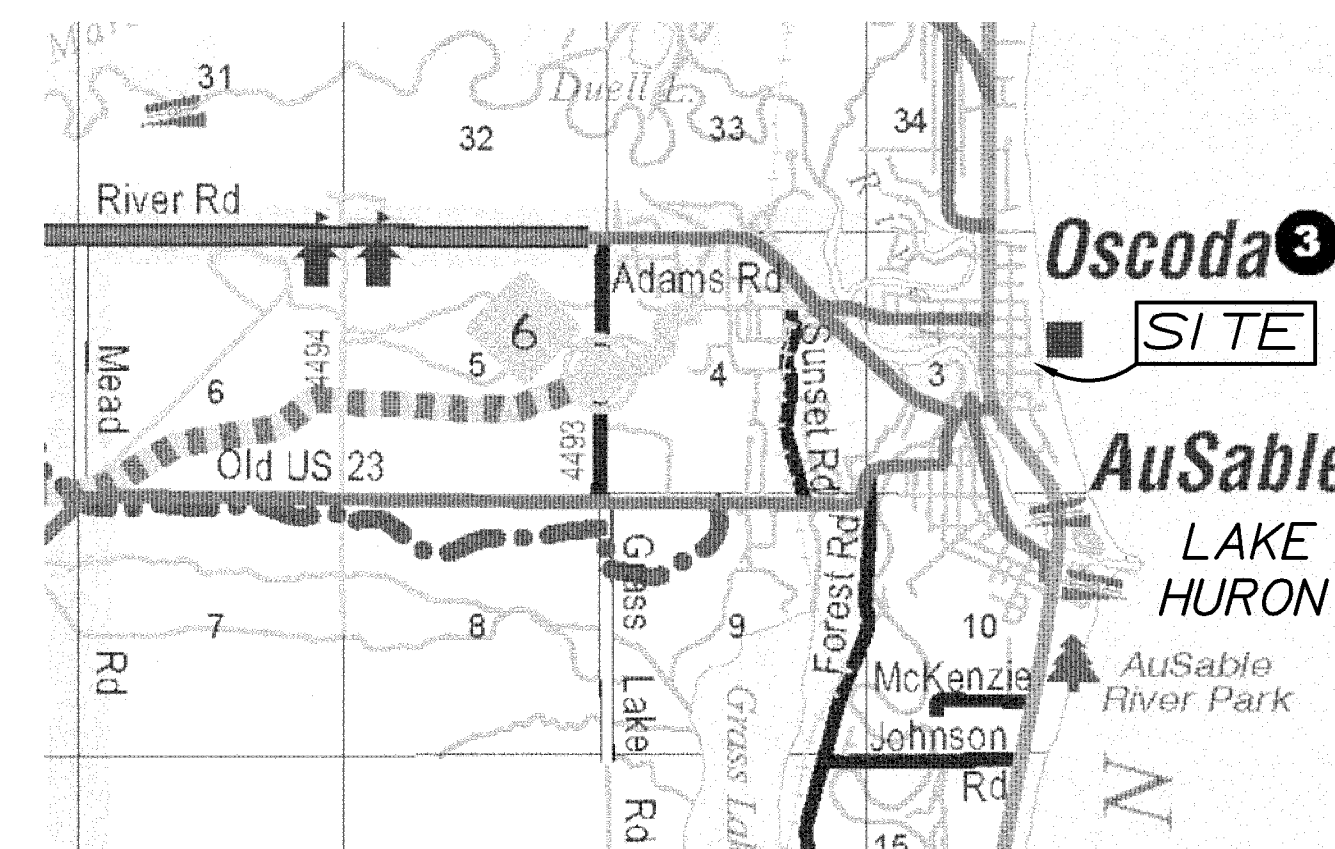
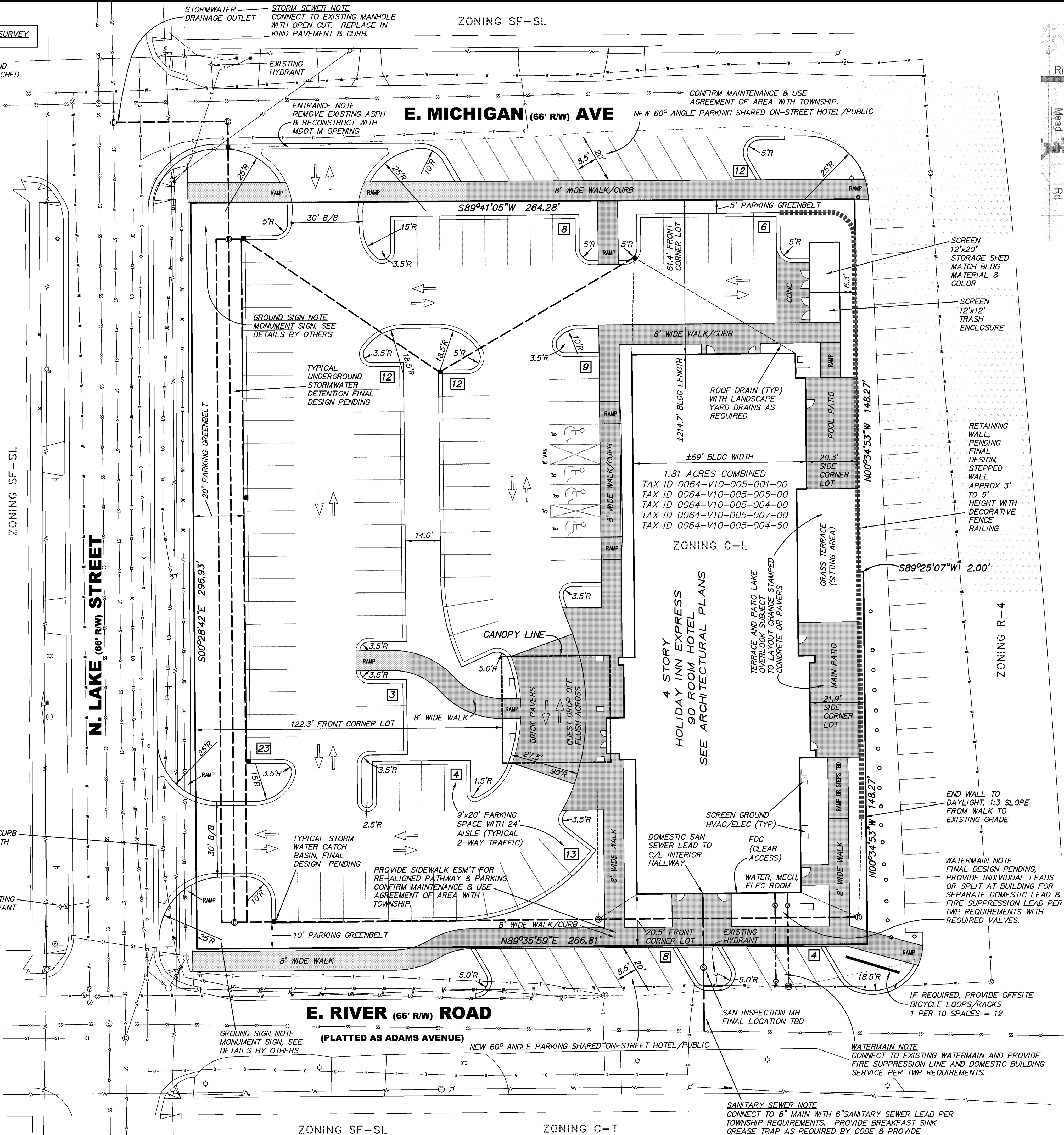
NOTE: TOPOGRAPHICAL SURVEY INFORMATION PROVIDED BY RIGG LAND SURVEYING. SEE ALTA SURVEY ATTACHED FOR ORIGINAL INFORMATION.



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



Know what's below.
Call before you dig.



LOCATION MAP
NO SCALE

PROJECT INFORMATION

ITEM	REQUIRED	PROVIDED
ZONING & USE	SSBN WITH C-L	SSBN WITH C-L
SITE ACREAGE	N/A	1.81 AC.
BUILDING COVERAGE	70%	19%
IMPERVIOUS COVERAGE	85%	77%
BUILDING HEIGHT	4 STORIES / 55'	4 STORIES / 45' (53.5')
FRONT BLDG SETBACK	20'	122.3' TO CANOPY
SIDE BLDG SETBACK	20' (CORNER LOT)	20.3' & 20.5' & 61.4'
REAR BLDG SETBACK	25'	N/A CORNER LOT
PARKING SETBACK	5' & 10'	5' & 10' & 20'
PARKING SPACES	1.0 PER ROOM (90)	90 OR 114 SEE NOTES **

**PARKING CALCULATION FOR HOTEL

1 SPACE PER GUEST ROOM WITH 90 ROOMS = 90 TOTAL
ADDITIONAL PROVIDED NEW ON-STREET SHARED PARKING = 24
GRAND TOTAL = 114

SITE NOTES

1. SITE DESIGN SUBJECT TO A FINAL CIVIL DESIGN WITH UTILITY ENGINEERING WITH GRADING & DRAINAGE PLAN DESIGN & SOIL EROSION. THIS PLAN IS NOT FOR CONSTRUCTION.
2. PLAN SUBJECT TO ALL LOCAL AND STATE APPROVALS.

LEGEND

EXISTING	PROPOSED
STORM SEWER & MANHOLE	STORM SEWER & MANHOLE
SANITARY SEWER & MANHOLE	SANITARY SEWER & MANHOLE
WATERMAIN, HYDRANT, & GATE VALVE	WATERMAIN, HYDRANT, & GATE VALVE
GAS MAIN & VALVE	GAS MAIN & VALVE
BURIED TELEPHONE (MISS DIG MARKERS = (-))	BURIED TELEPHONE (MISS DIG MARKERS = (-))
UNDERGROUND ELECTRIC (MISS DIG MARKERS = (-))	UNDERGROUND ELECTRIC (MISS DIG MARKERS = (-))
OVERHEAD ELECTRIC POLE & GUY WIRE	OVERHEAD ELECTRIC POLE & GUY WIRE
CATCH BASIN (CURB & ROUND)	CATCH BASIN (CURB & ROUND)
785	785
CONTOUR LINE	CONTOUR LINE
FENCE	FENCE
GUARD RAIL	GUARD RAIL
WELL	WELL
LIGHT POLE	LIGHT POLE
POST	POST
SIGN	SIGN
WALKWAY	WALKWAY
STREET SIGN	STREET SIGN
CONCRETE	CONCRETE
ASPHALT	ASPHALT

SHEET INDEX

1. SITE PLAN
2. AERIAL PHOTO OVERLAY & SITE PLAN DETAILS
3. ALTA/NSPS TITLE & TOPO SURVEY (BY OTHERS)
4. LANDSCAPE PLAN (BY OTHERS)
5. LIGHTING PLAN (BY OTHERS)
- 6-7. A200-A201 EXTERIOR ELEVATIONS (BY OTHERS)

DEVELOPER

OSCODA HOTELS, LLC
2369 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302
TEL: (248) 601-2500
FAX: (248) 651-0717

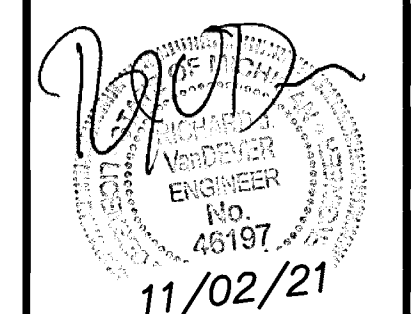


Davison Land Surveying, Inc.
1063 South State Street, Suite 9
Davison, MI 48423
Office (810) 653-5969 Fax (810) 658-9388



REVISIONS

No.	Description	Date	By



SURVEYOR:

Drawn by: R.J.V.	Field: N/A
Designed by: R.J.V.	Checked by: R.J.V.
Date: 11/02/21	Date Revised:

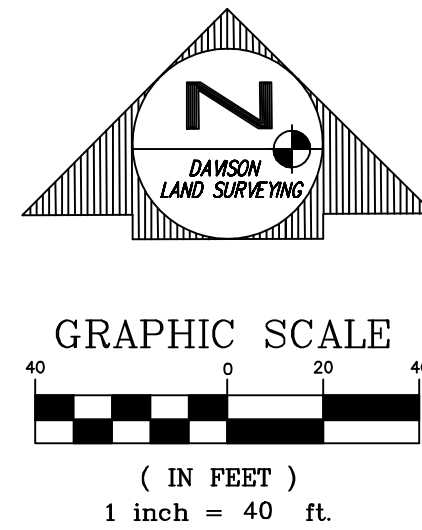
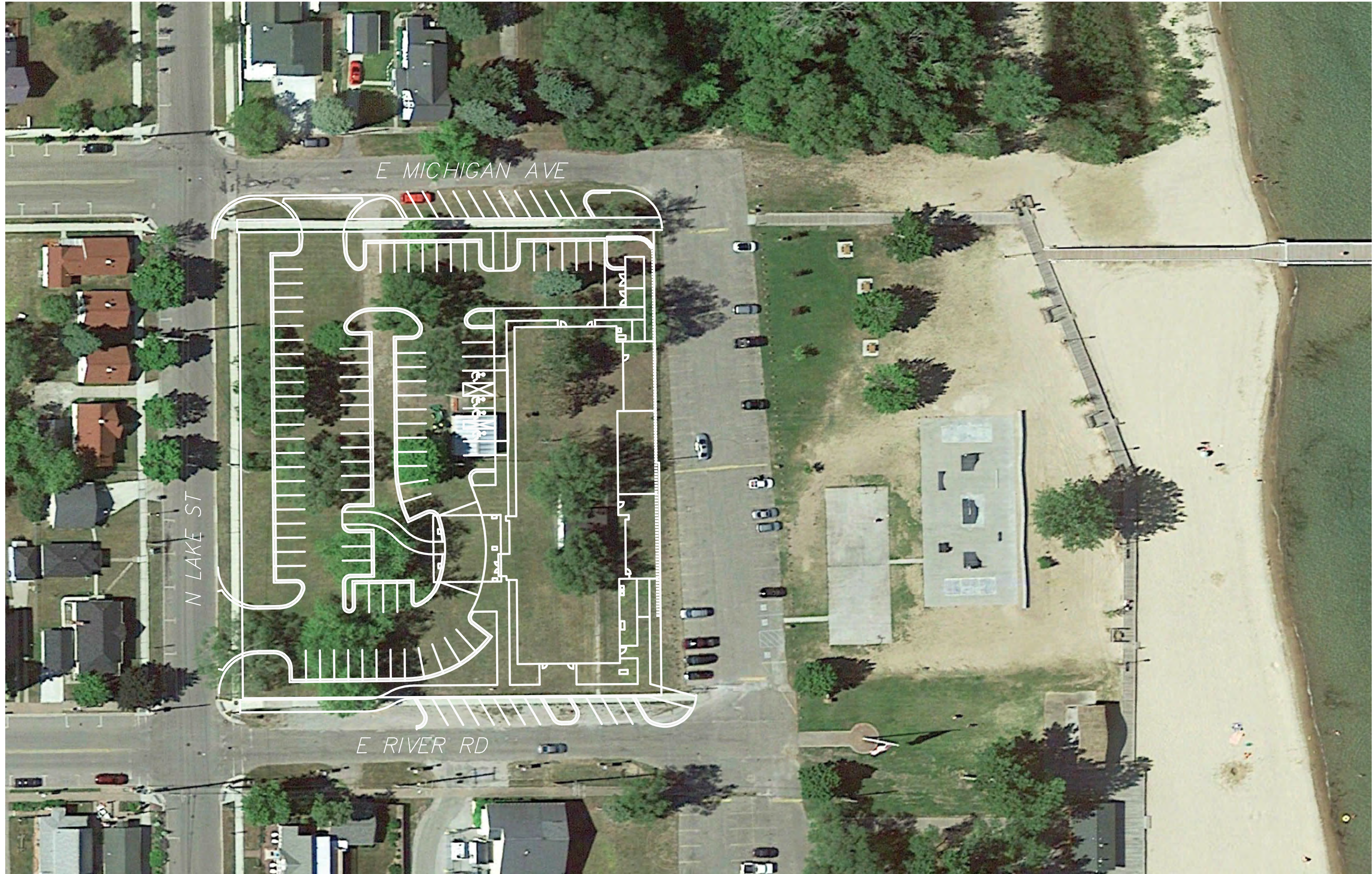
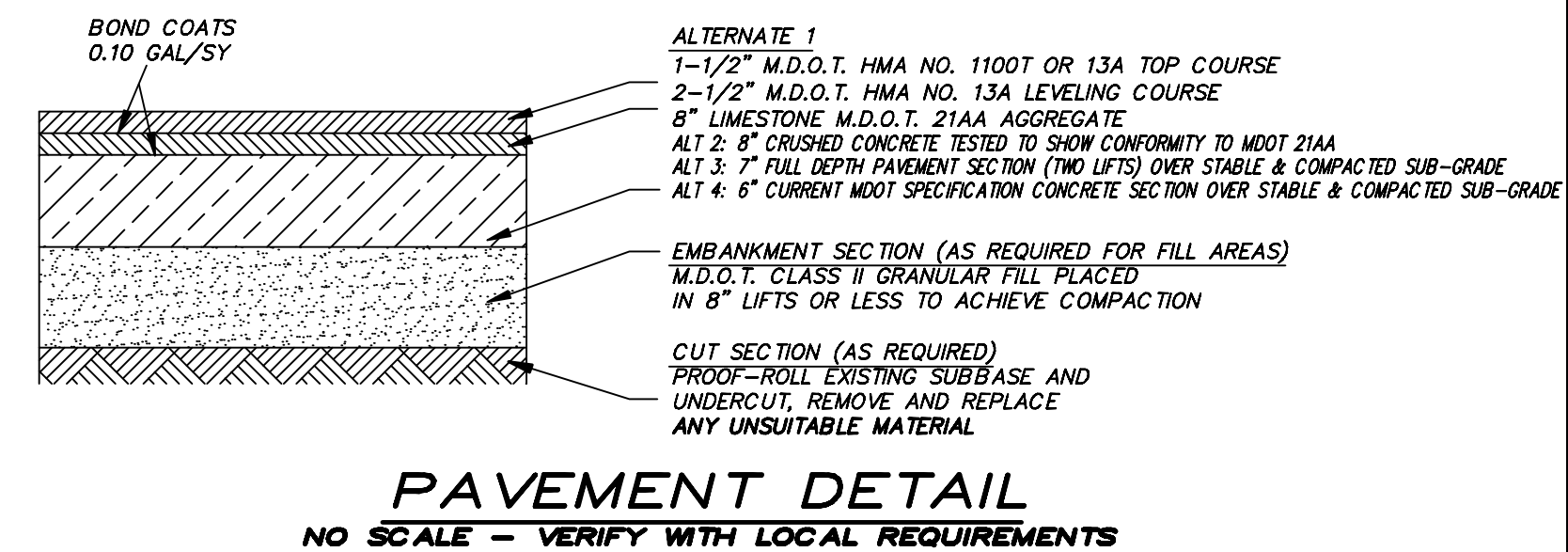
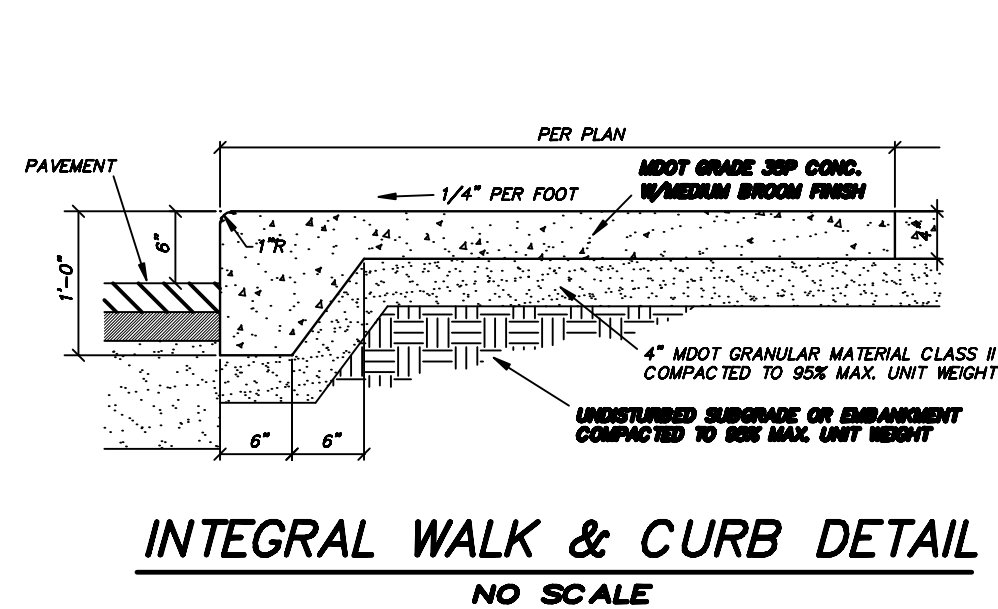
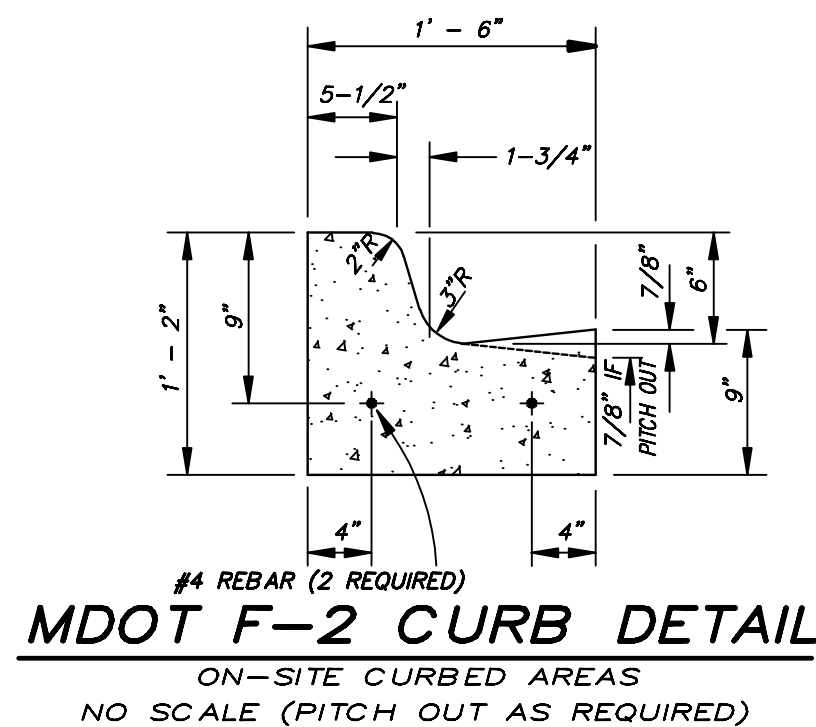
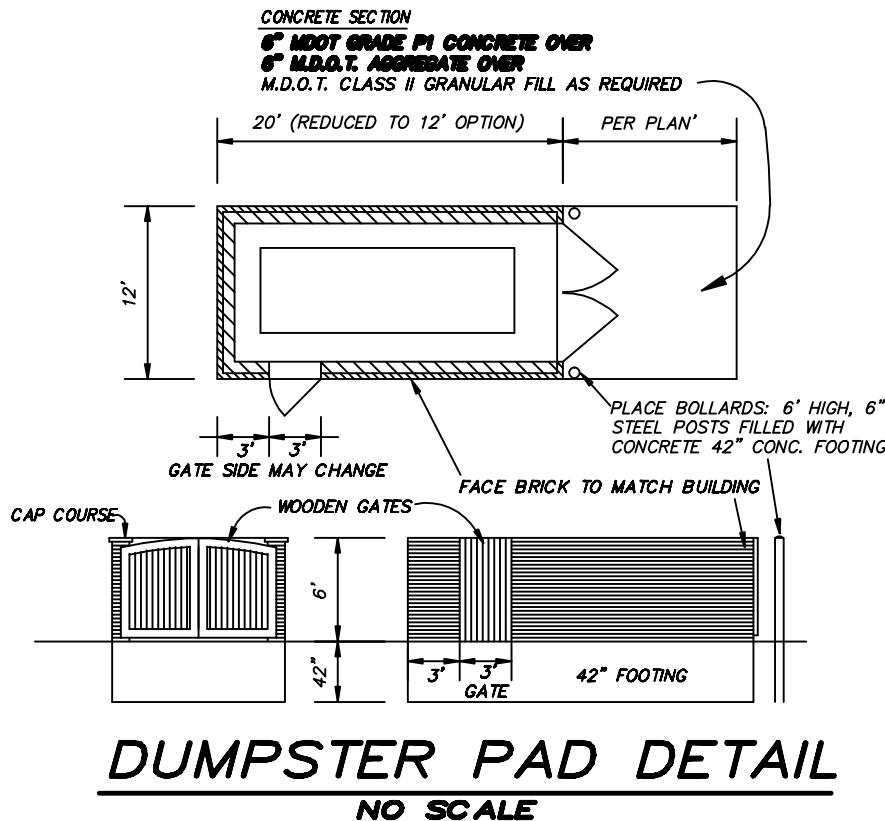
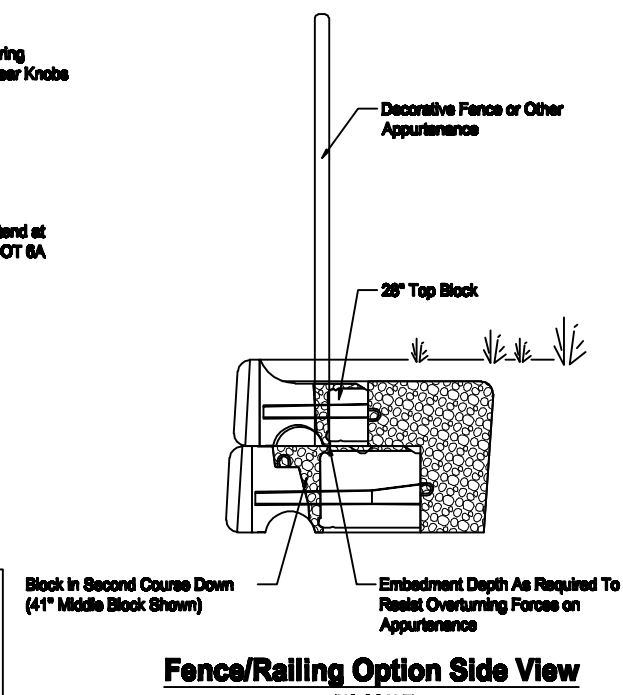
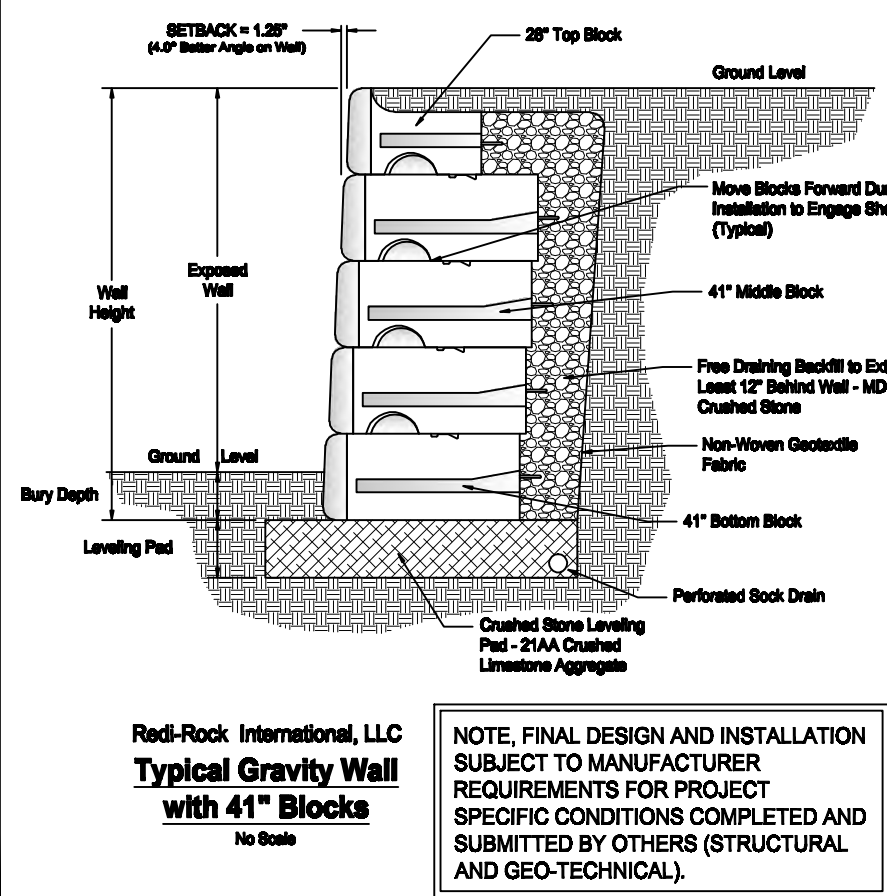
Charles T. Lilliberg P.S. No. 40162
JOB No. 21-130

SITE PLAN FOR
HOLIDAY INN EXPRESS
HOTEL & SUITES
OSCODA HOTELS, LLC
SURVEY LOCATION
SECTION 3, T23N-R9E
OSCODA TOWNSHIP, OSCODA COUNTY, MI

21-130

SHEET NO.

1 of 7



AERIAL PHOTO OVERLAY & SITE PLAN DETAILS
HOLIDAY INN EXPRESS
HOTEL & SUITES
OSCODA HOTELS, LLC
SURVEY LOCATION
SECTION 3, T23N-R9E
OSCODA TOWNSHIP, IOSCO COUNTY, MI

21-130

SHEET NO.

2 OF 7

SURVEYOR:

Drawn by: R.J.V. Field: N/A
Designed by: R.J.V. Checked by: R.J.V.
Date: 11/02/21 Date Revised:
Charles T. Lillieberg P.S. No. 40162

JOB No. 21-130

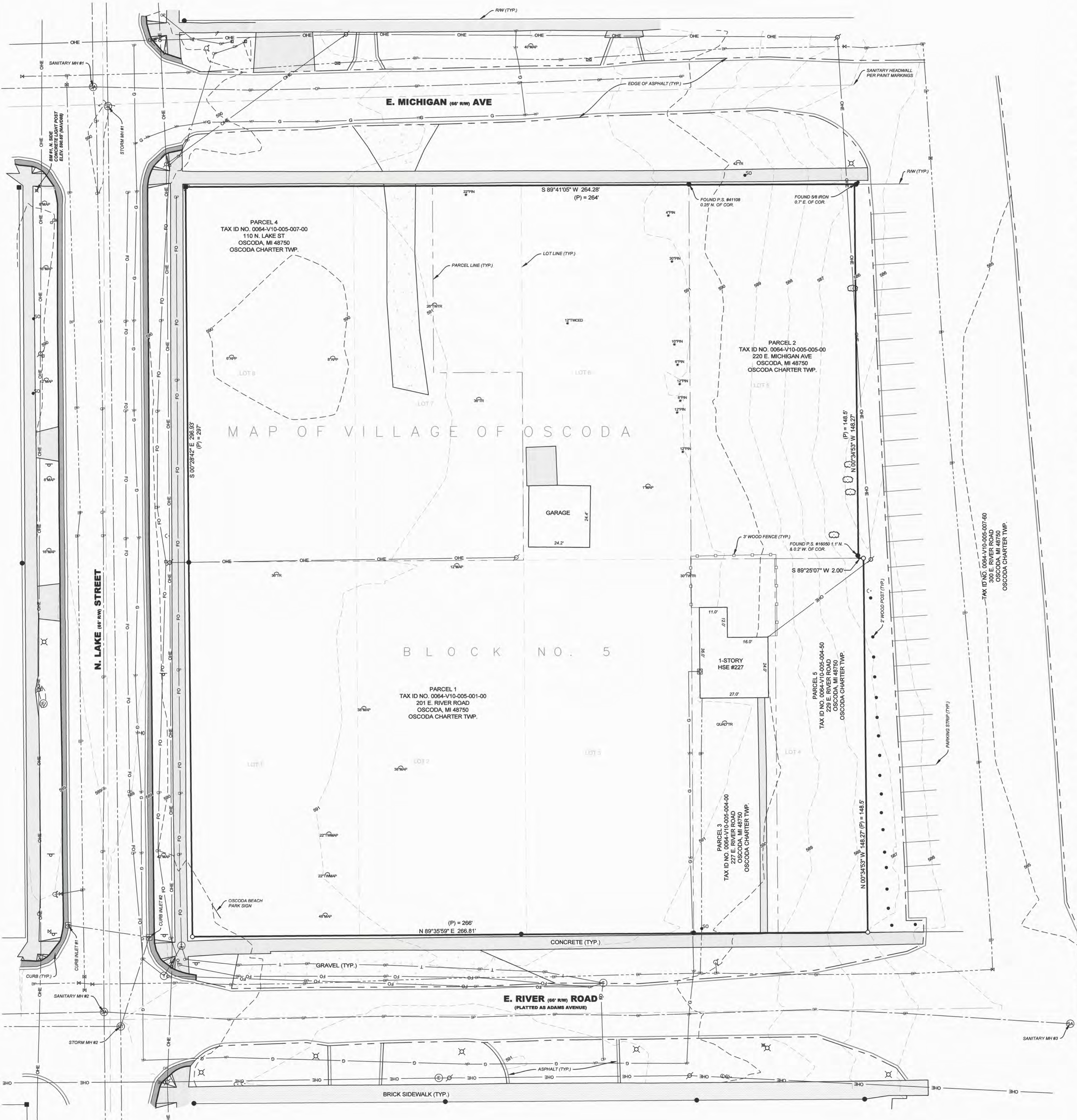
REVISIONS

No.	Description	Date	By

DLS

Davison Land Surveying, Inc.
1063 South State Street, Suite 9
Davison, MI 48423
Office (810)653-5969 Fax (810)658-9388





ALTA/NSPS LAND TITLE SURVEY IN SECTION 03, TOWN 23 NORTH, RANGE 9 EAST, TOWNSHIP OF OSCODA, IOSCO COUNTY, MICHIGAN

LEGAL DESCRIPTION PER TITLE COMMITMENT ISSUED BY DEVON TITLE AGENCY AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO: 10010564, EFFECTIVE DATE: AUGUST 10, 2021:

LAND SITUATED IN THE TOWNSHIP OF OSCODA, COUNTY OF IOSCO, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:

PARCEL 1:
LOT 1, 2, 3, 6, AND THE NORTH 74 FEET OF THE EAST 35 FEET OF LOT 7, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

PARCEL 2:
LOT 5, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

PARCEL 3:
THE WEST 1/2 OF LOT 4, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

PARCEL 4:
LOT 7, EXCEPT PARCEL OF LAND BEGINNING AT THE NORTHEAST CORNER THENCE SOUTH 74 FEET; THENCE WEST 35 FEET; THENCE NORTH 74 FEET; THENCE EAST 35 FEET THEREOF, AND LOT 8, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

PARCEL 5:
THE EAST 1/2 OF LOT 4, BLOCK 5, AND THE WEST 2 FEET OF THE SOUTH 1/2 OF BLOCK 5 LYING EASTERLY OF AND ADJACENT TO SAID LOT 4 OF BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

SURVEY NOTES:

MONUMENTS HAVE BEEN PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCE BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER (TABLE A, ITEM 1)

PROPERTY ADDRESS(ES) ARE 201 E. RIVER ROAD, 227 E. RIVER ROAD, 229 E. RIVER ROAD, 220 E. MICHIGAN AVE, & 110 N. LAKE STREET, OSCODA, MI 48750. (TABLE A, ITEM 2)

FLOODPLAIN NOTE: THIS ENTIRE PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) PER INFORMATION OBTAINED FROM NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 26089C0287E, EFFECTIVE DATE JANUARY 6, 2012. (TABLE A, ITEM 3)

THE SURVEYED PARCEL CONTAINS 78,795 SQUARE FEET/1.81 ACRES, MORE OR LESS. (TABLE A, ITEM 4)

ALL VERTICAL RELIEF HAS BEEN MAPPED AND SHOWN HEREON WITH ONE-FOOT CONTOUR INTERVALS UTILIZING NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). (TABLE A, ITEM 5)

ZONING INFORMATION WAS NOT PROVIDED VIA THE CLIENT AT THE TIME OF THIS SURVEY, INFORMATION WAS PROVIDED BY THE TOWNSHIP OF OSCODA, ZONING ORDINANCE AMENDED DECEMBER 10, 2015, AND ARE AS FOLLOWS FOR THE SUBJECT PARCEL:

ZONED AS C-L, COMMERCIAL-LODGING
FRONT YARD SET BACK = 20 FEET
SIDE STREET, CORNER LOT = 20 FEET
SIDE YARD SET BACK = 10 FEET
REAR YARD SET BACK = 25 FEET
LOT COVERAGE = 70%
BUILDING HEIGHT MAXIMUM = 4 STORIES/55 FEET
IMPERVIOUS COVERAGE = 85%
(TABLE A, ITEM 6, (a))

EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL ARE SHOWN HEREON. (TABLE A, ITEM 7(a))

SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY ARE SHOWN HEREON. (TABLE A, ITEM 8)

PARKING SPACES ON SURVEYED PARCEL: REGULAR = 0 HANDICAP = 0. (TABLE A, ITEM 9)

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. NOTE TO THE CLIENT, INSURER, AND LENDER: WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. (TABLE A, ITEM 11)

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LEGEND

EXISTING

- CABLE
- ELECTRIC LINE
- ELECTRIC LINE (OVERHEAD)
- FIBER OPTIC LINE
- GAS LINE
- TELEPHONE LINE
- FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- CENTER LINE
- PARCEL LINE
- PLATTED LOT LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SECTION LINE

† = FOUND T-POST
□ = CATCH BASIN
□ = CABLE RISER BOX
○ = CLEAN OUT
■ = CURB INLET
⊖ = ELECTRIC MANHOLE
⊕ = FIRE HYDRANT
● = FOUND IRON
⊗ = GAS VALVE
⋈ = GUY ANCHOR
⋈ = LIGHT POLE
⋈ = MAILBOX
⋈ = MONITORING WELL
⋈ = POST
⋈ = SATELLITE DISH
⊖ = SANITARY MANHOLE
⊕ = SECTION CORNER
⋈ = SIGN

⋈ = PAVEMENT/SOIL BORING
⋈ = BLUE PAINT (WATER)
⋈ = YELLOW PAINT (GAS)
⋈ = GREEN PAINT (SANITARY)
⋈ = ORANGE PAINT (TELECOM.)
⊖ = STORM MANHOLE
⊕ = TELEPHONE MANHOLE
⊕ = TELEPHONE RISER BOX
⋈ = TURNING POINT/TRAVERSE
⋈ = UTILITY POLE
⋈ = VAULT
⋈ = WATER ELEVATION
⋈ = WATER MANHOLE
⋈ = WATER METER
⋈ = WATER VALVE
⋈ = WATER SHUTOFF VALVE
⋈ = WELL
⋈ = GAS MARKER POST

CERTIFICATION:

TO: DEVON TITLE AGENCY AN AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, WOLVERINE STATE CREDIT UNION, & AMERILODGE GROUP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON AUGUST 11, 2021.

MARK JAKUBIK, P.S. #64576
mark@riggsl.com

10-05-2021
DATE

Northing	Eastings	Elevation	Line Size (label)	Utility type (label)	Structure No.	Direction	Connecting #
404472.78	19956272.55	590.01	18" Conc.	Storm	Storm MH #1	N	
			18" Conc.	Storm		S	STMH #2
404106.35	19956277.37	588.92			Storm MH #2		
		581.52	18" Conc.	Storm		N	
		581.75	18" Conc.	Storm		S	STMH #1
		582.12	12" Conc.	Storm		W	
		582.34	12" Conc.	Storm		NE	CI #2
404148.33	19926256.7	588.34			Curb Inlet #1	ESE	CI #2
		584.24	12" Conc.	Storm			
404143.61	19956288.69	588.51			Curb Inlet #2	WNW	CI #1
		583.31	12" Conc.	Storm		SW	STMH #2
		582.51	12" Conc.	Storm			
404480.31	19956266.67	588.94			Sanitary MH #1		
		578.93	18"	Sanitary		N	
		578.93	18"	Sanitary		E	SANMH #2
		579.76	8"	Sanitary		E	
		579.72	8"	Sanitary		W	
404114.07	19956270.76	588.77			Sanitary MH #2		
		579.64	18"	Sanitary		N	
		579.64	18"	Sanitary		S	SANMH #1
		580.43	8"	Sanitary		E	SANMH #3
		580.22	8"	Sanitary		W	
404109.29	19956652.5	585.32			Sanitary MH #3		
		581.75	8"	Sanitary		W	SANMH #2

430 M.55
TAWAS CITY, MI 48763
(989) - 362 - 1372

MARK JAKUBIK
P.S. #64576

PROJECT NAME:
HOLIDAY INN EXPRESS
LAKE STREET/MICHIGAN AVE
OSCODA, MI 48750

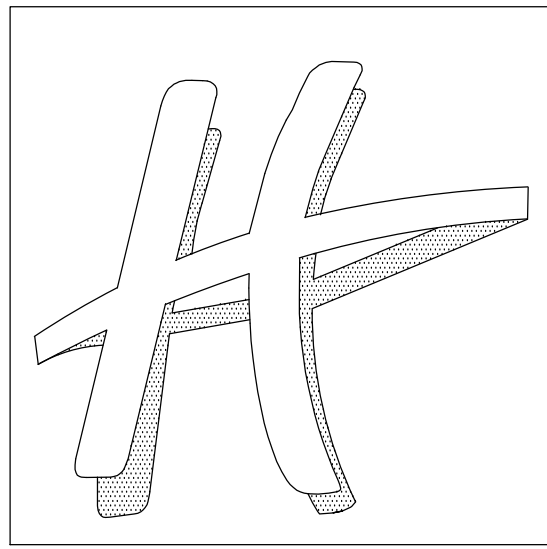
CLIENT:
STARBEST CONSTRUCTION
2369 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302

REVISIONS

DATE: 09/20/2021
SCALE: 1" = 20'

ALTA/NSPS LAND
TITLE SURVEY

JOB No. 032309 - 20421A
ALTA



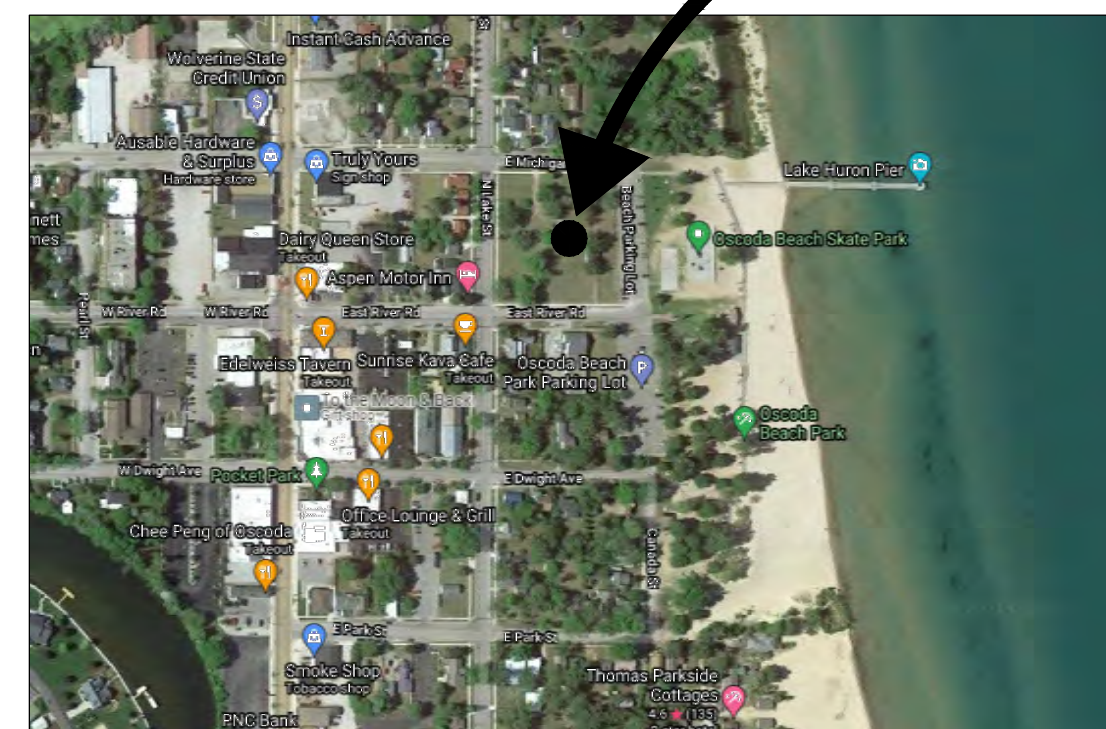
Holiday Inn
Express

& SUITES

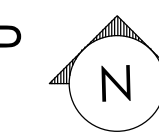
Oscoda, Michigan



HARBAUGH CONSTRUCTION L.L.C.
2365 FRANKLIN ROAD
BLOOMFIELD HILLS, MICHIGAN 48302



LOCATION MAP
NO SCALE



HOLIDAY INN EXPRESS
OSCODA, MICHIGAN
48750

BUILDING AREA	
Level	Area
LEVEL 1	14,336 Sq. Ft.
LEVEL 2	14,208 Sq. Ft.
LEVEL 3	14,208 Sq. Ft.
LEVEL 4	14,208 Sq. Ft.
56,960 Sq. Ft.	

SHEET INDEX

CIVIL

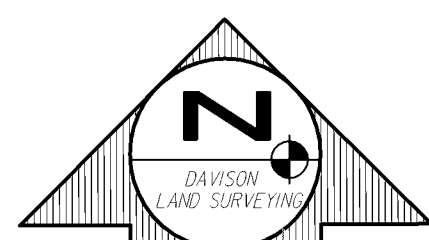
SITE PLAN	C1
LANDSCAPE PLAN	C2
LANDSCAPE LIGHTING	C3
LANDSCAPE PLAN	L1
LANDSCAPE LIGHTING	L201

ARCHITECTURAL

BUILDING ELEVATIONS	A200
BUILDING ELEVATIONS	A201

LEGAL DESCRIPTION SEE SHEET 3 SURVEY

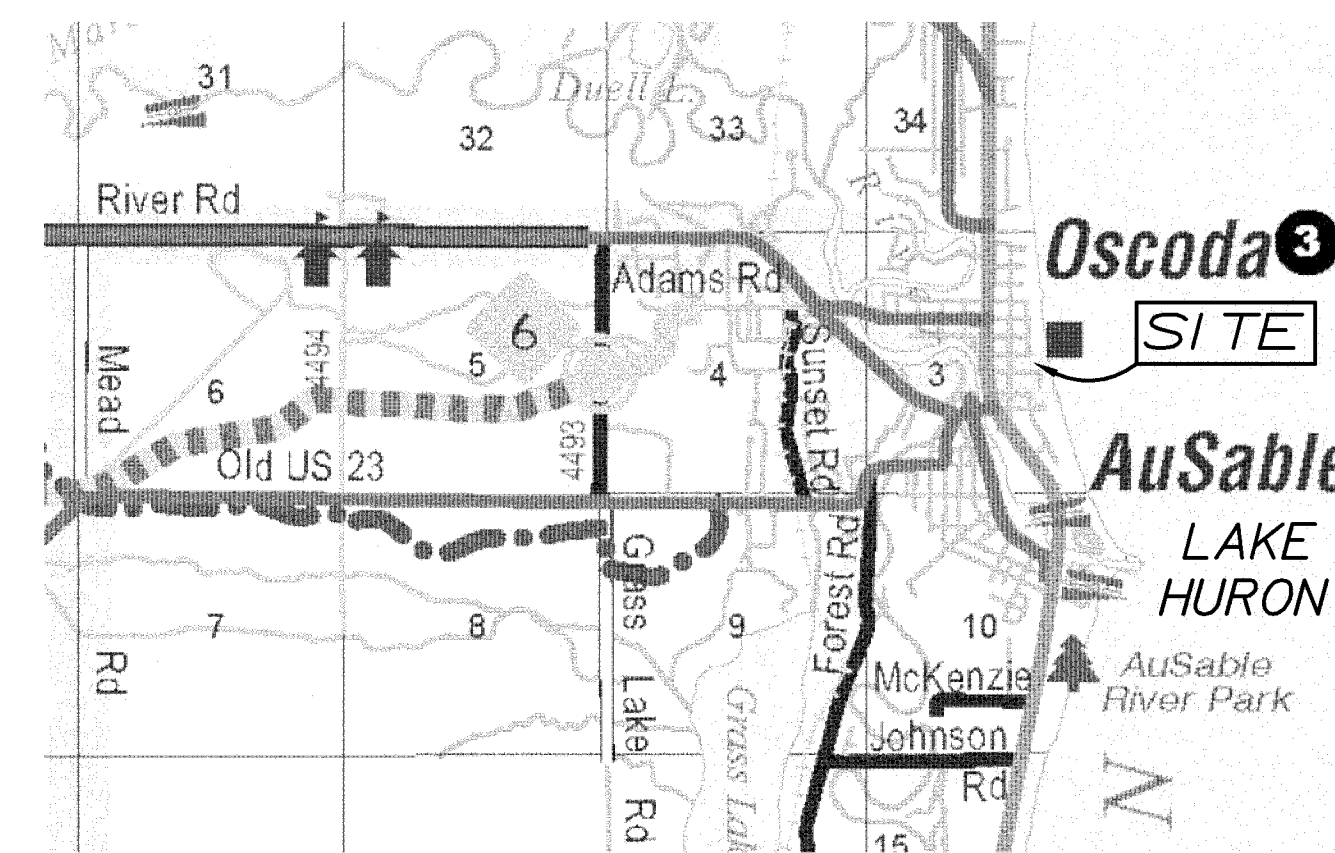
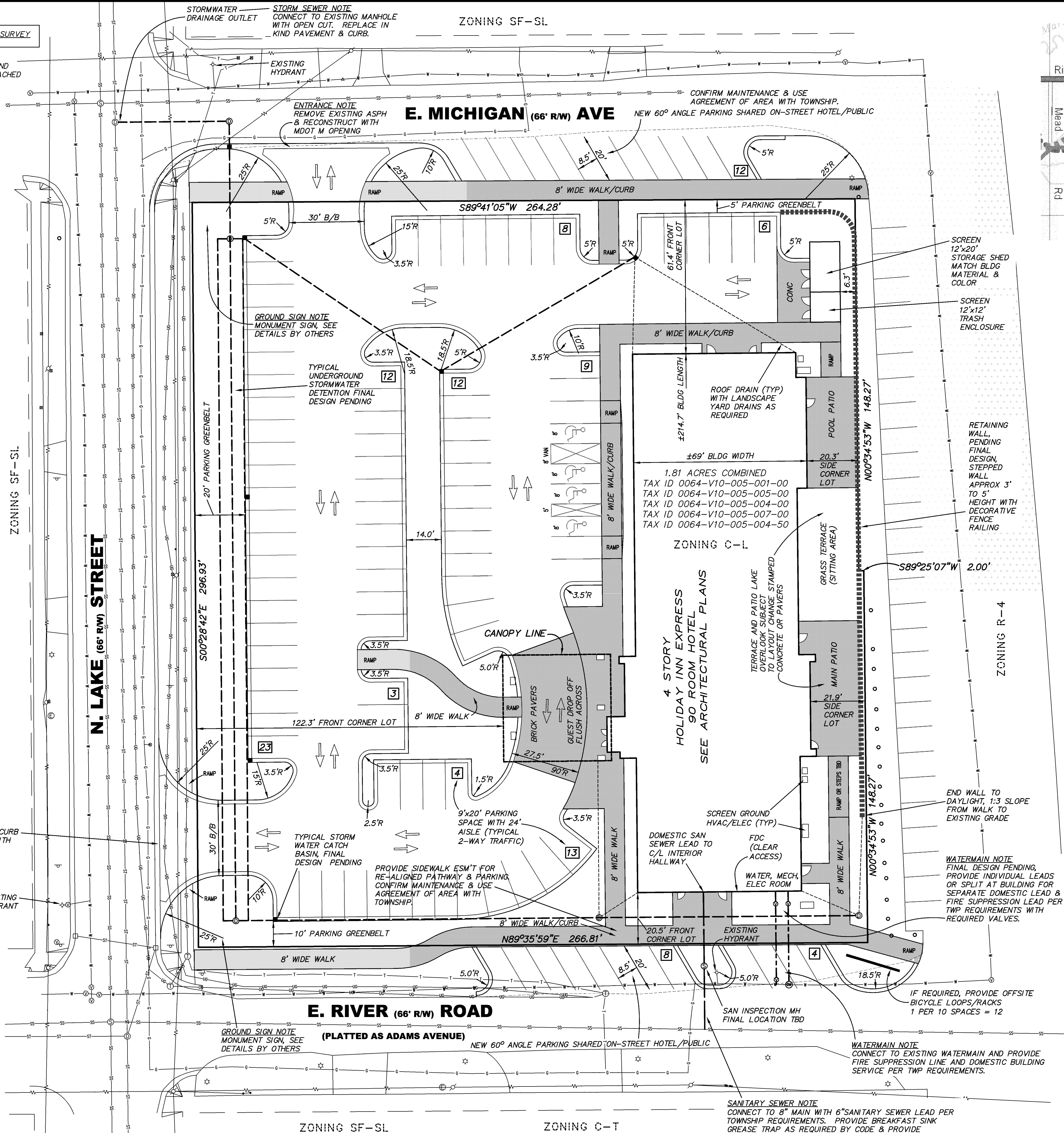
NOTE: TOPOGRAPHICAL SURVEY INFORMATION PROVIDED BY RIGG LAND SURVEYING. SEE ALTA SURVEY ATTACHED FOR ORIGINAL INFORMATION.



GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.



Know what's below.
Call before you dig.



LOCATION MAP
NO SCALE

PROJECT INFORMATION

ITEM	REQUIRED	PROVIDED
ZONING & USE	SSBN WITH C-L	SSBN WITH C-L
SITE ACREAGE	N/A	1.81 AC.
BUILDING COVERAGE	70%	19%
IMPERVIOUS COVERAGE	85%	77%
BUILDING HEIGHT	4 STORIES / 55'	4 STORIES / 45' (53.5')
FRONT BLDG SETBACK	20'	122.3' TO CANOPY
SIDE BLDG SETBACK	20' (CORNER LOT)	20.3' & 20.5' & 61.4'
REAR BLDG SETBACK	25'	N/A CORNER LOT
PARKING SETBACK	5' & 10'	5' & 10' & 20'
PARKING SPACES	1.0 PER ROOM (90)	90 OR 114 SEE NOTES **

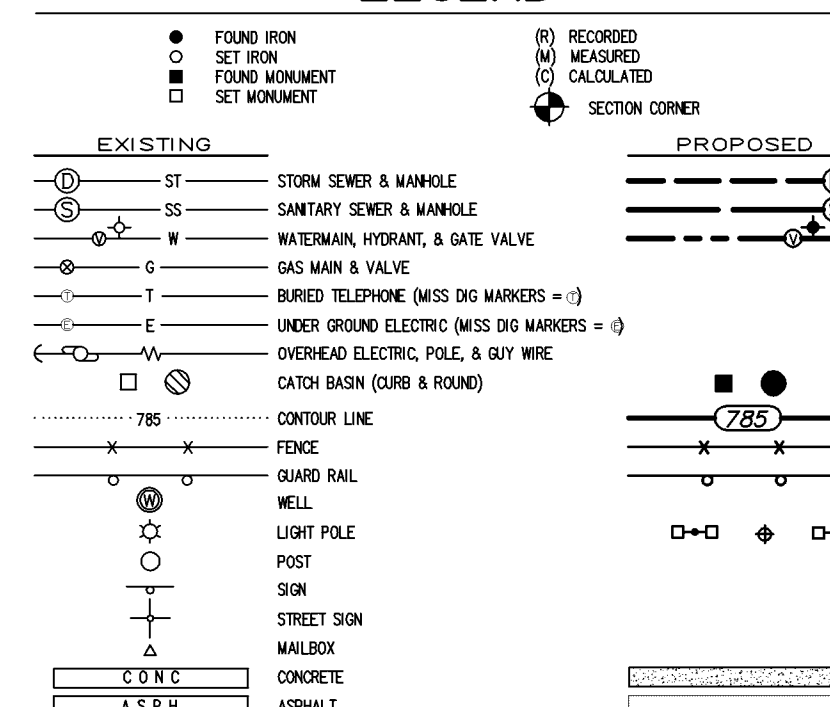
**PARKING CALCULATION FOR HOTEL

1 SPACE PER GUEST ROOM WITH 90 ROOMS = 90 TOTAL
ADDITIONAL PROVIDED NEW ON-STREET SHARED PARKING = 24
GRAND TOTAL = 114

SITE NOTES

1. SITE DESIGN SUBJECT TO A FINAL CIVIL DESIGN WITH UTILITY ENGINEERING WITH GRADING & DRAINAGE PLAN DESIGN & SOIL EROSION. THIS PLAN IS NOT FOR CONSTRUCTION.
2. PLAN SUBJECT TO ALL LOCAL AND STATE APPROVALS.

LEGEND



SHEET INDEX

1. SITE PLAN
2. AERIAL PHOTO OVERLAY & SITE PLAN DETAILS
3. ALTA/NSPS TITLE & TOPO SURVEY (BY OTHERS)
4. LANDSCAPE PLAN (BY OTHERS)
5. LIGHTING PLAN (BY OTHERS)
- 6-7. A200-A201 EXTERIOR ELEVATIONS (BY OTHERS)

DEVELOPER

OSCODA HOTELS, LLC
2369 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302
TEL: (248) 601-2500
FAX: (248) 651-0717

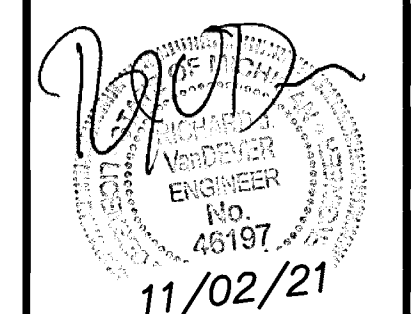


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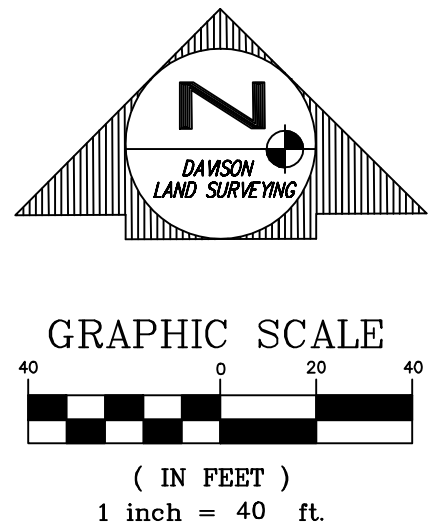
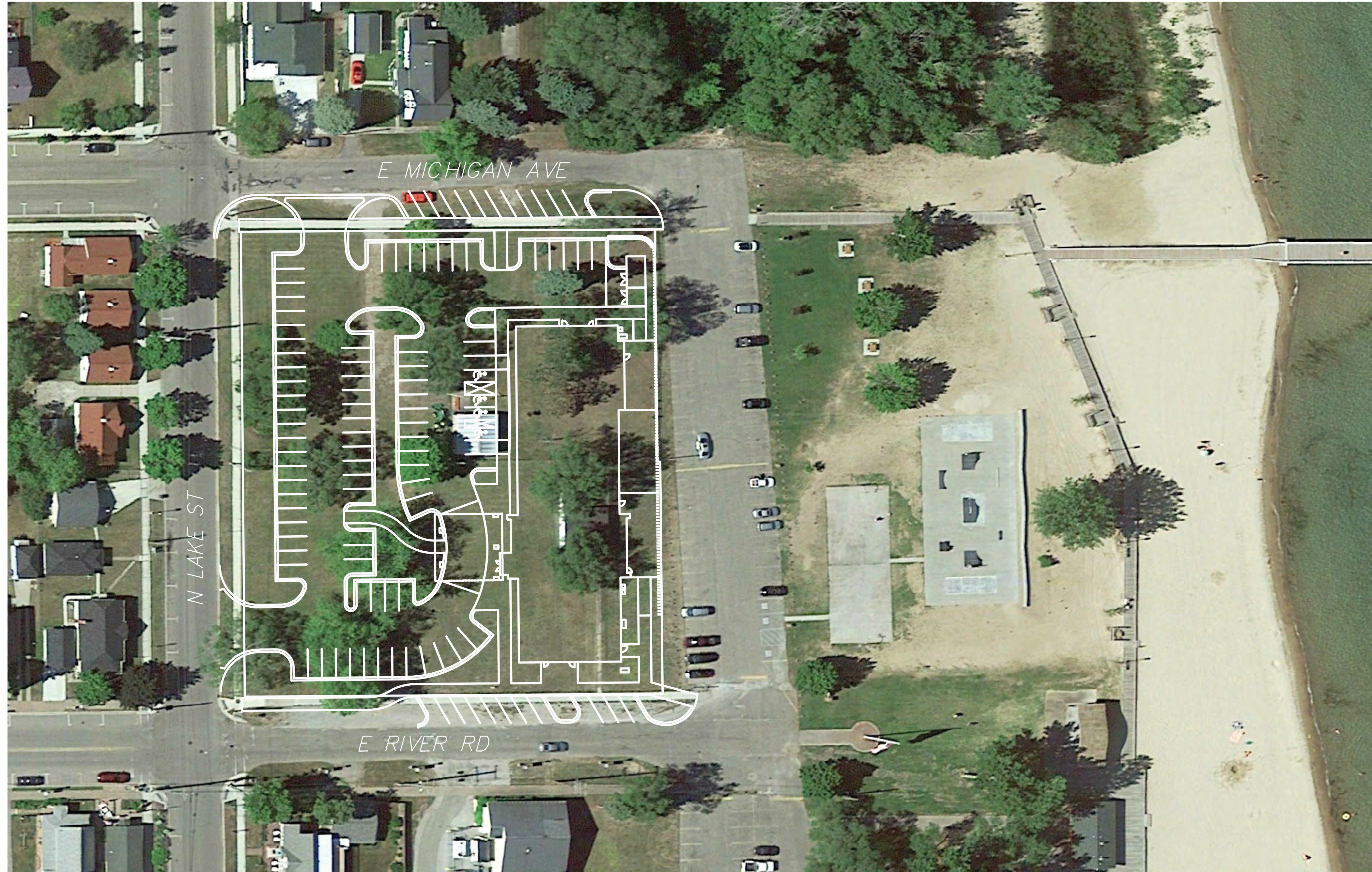
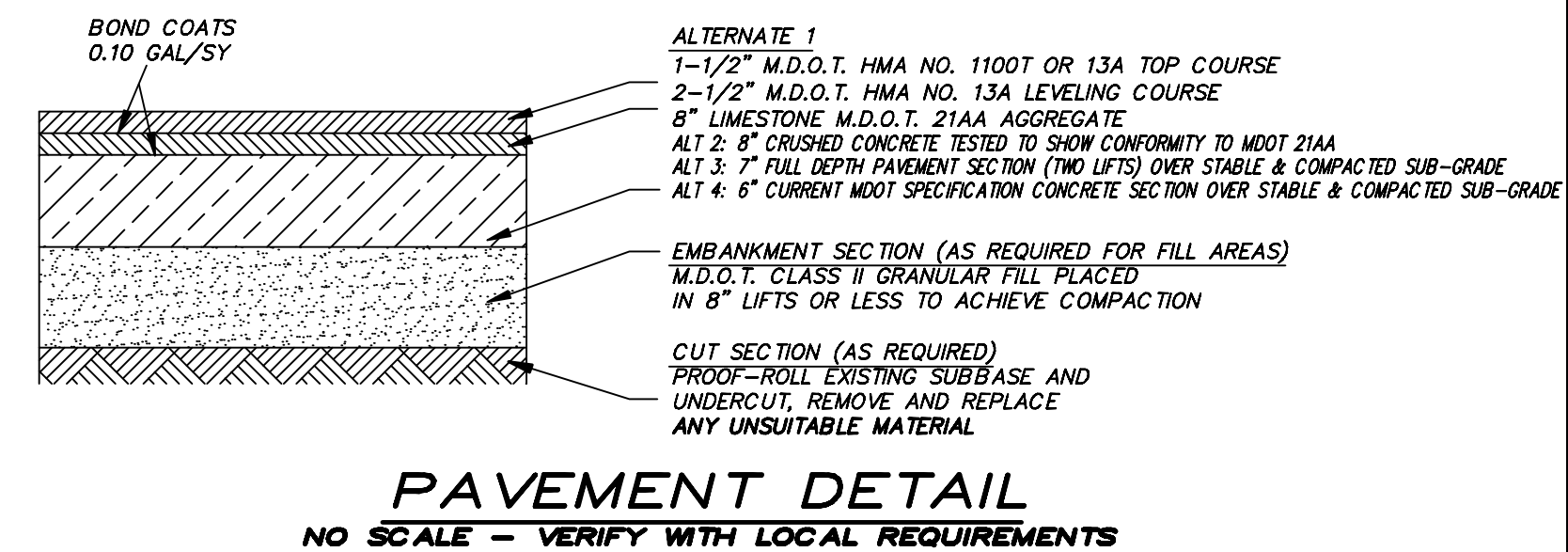
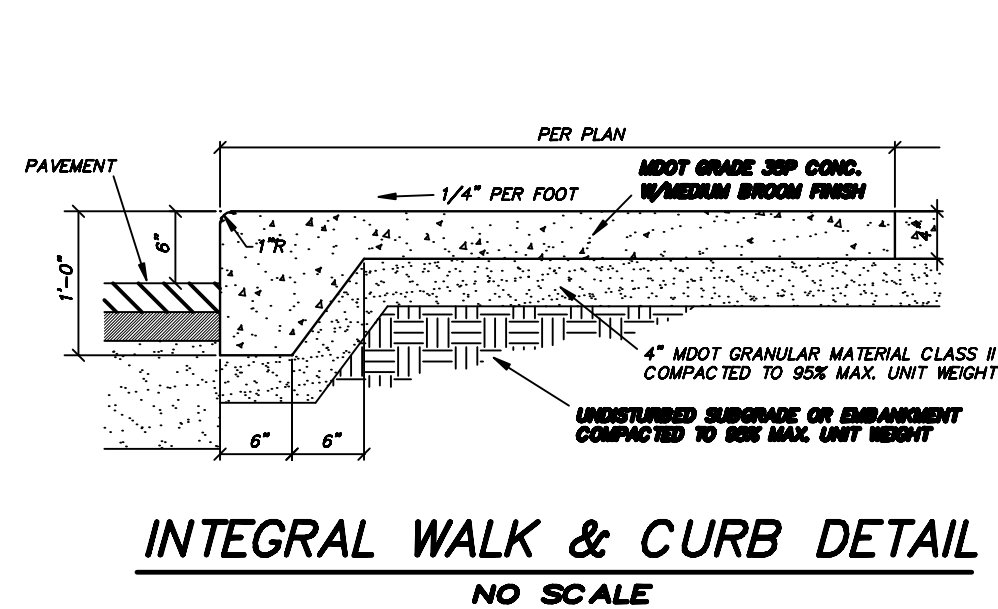
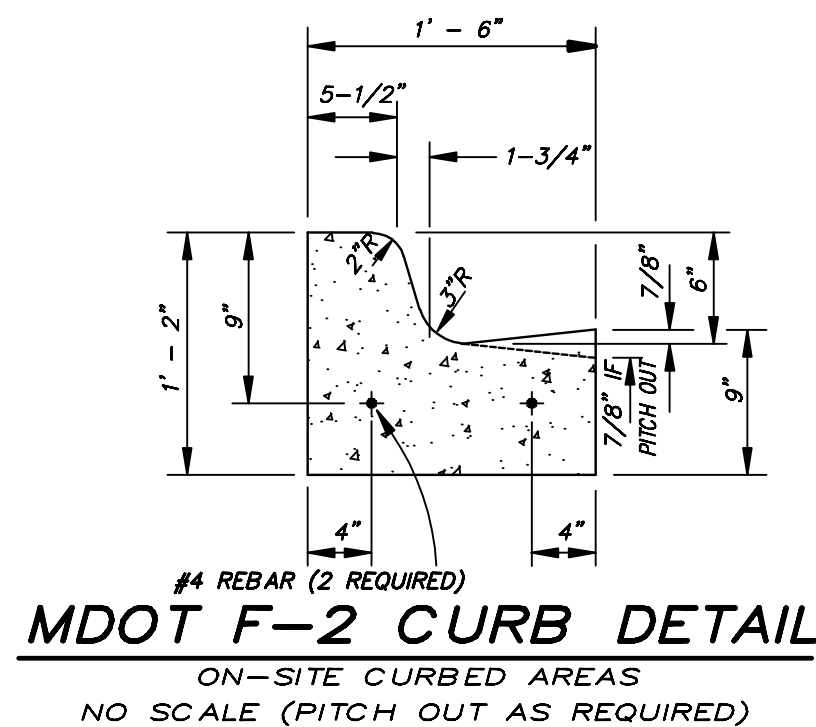
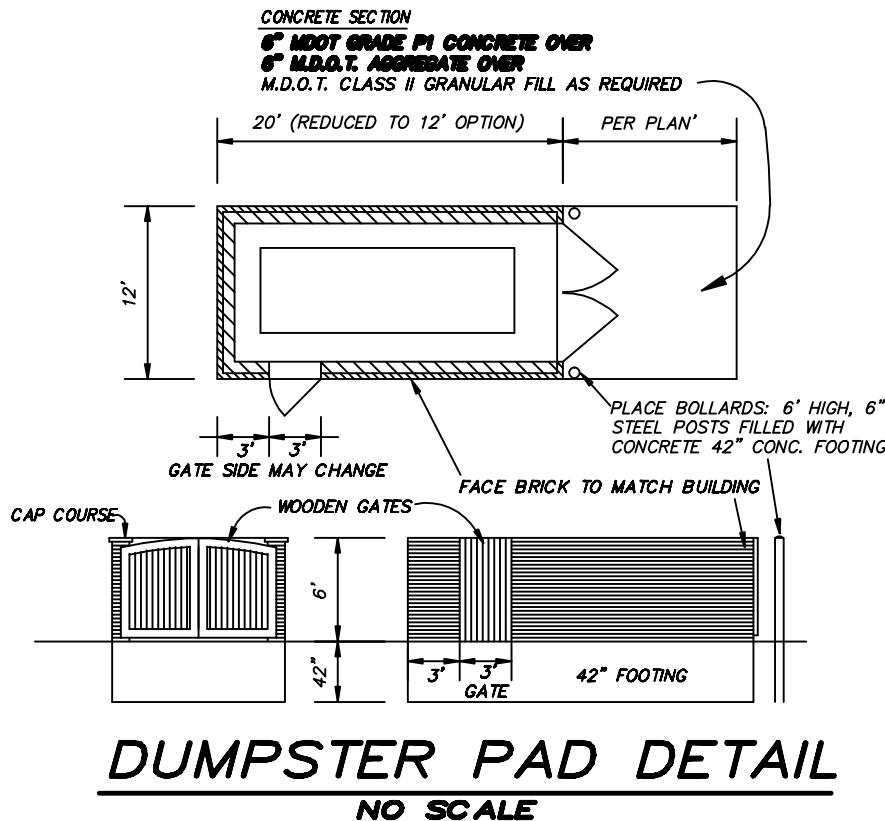
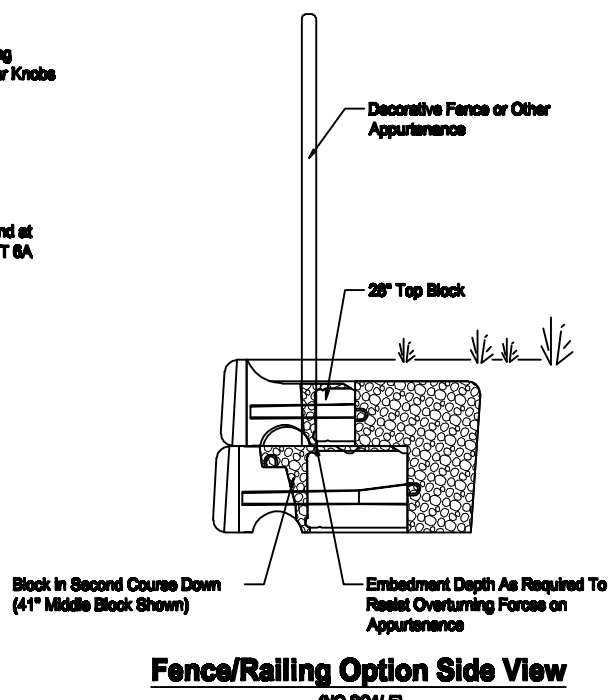
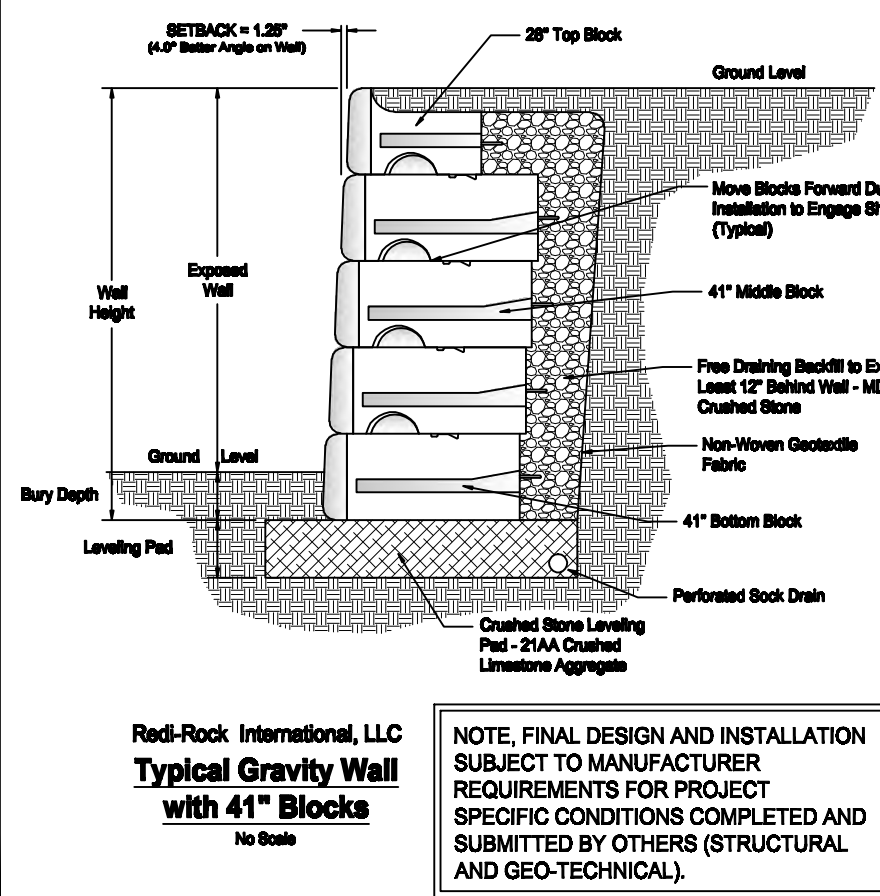
Drawn by: R.J.V. Field: N/A
Designed by: R.J.V. Checked by: R.J.V.
Date: 11/02/21 Date Revised:
Charles T. Lilliberg P.S. No. 40162
JOB No. 21-130

SITE PLAN FOR
HOLIDAY INN EXPRESS
HOTEL & SUITES
OSCODA HOTELS, LLC
SURVEY LOCATION
SECTION 3, T23N-R9E
OSCODA TOWNSHIP, OSCODA COUNTY, MI

21-130

SHEET NO.

1 of 7



AERIAL PHOTO OVERLAY & SITE PLAN DETAILS
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OSCODA TOWNSHIP, IOSCO COUNTY, MI

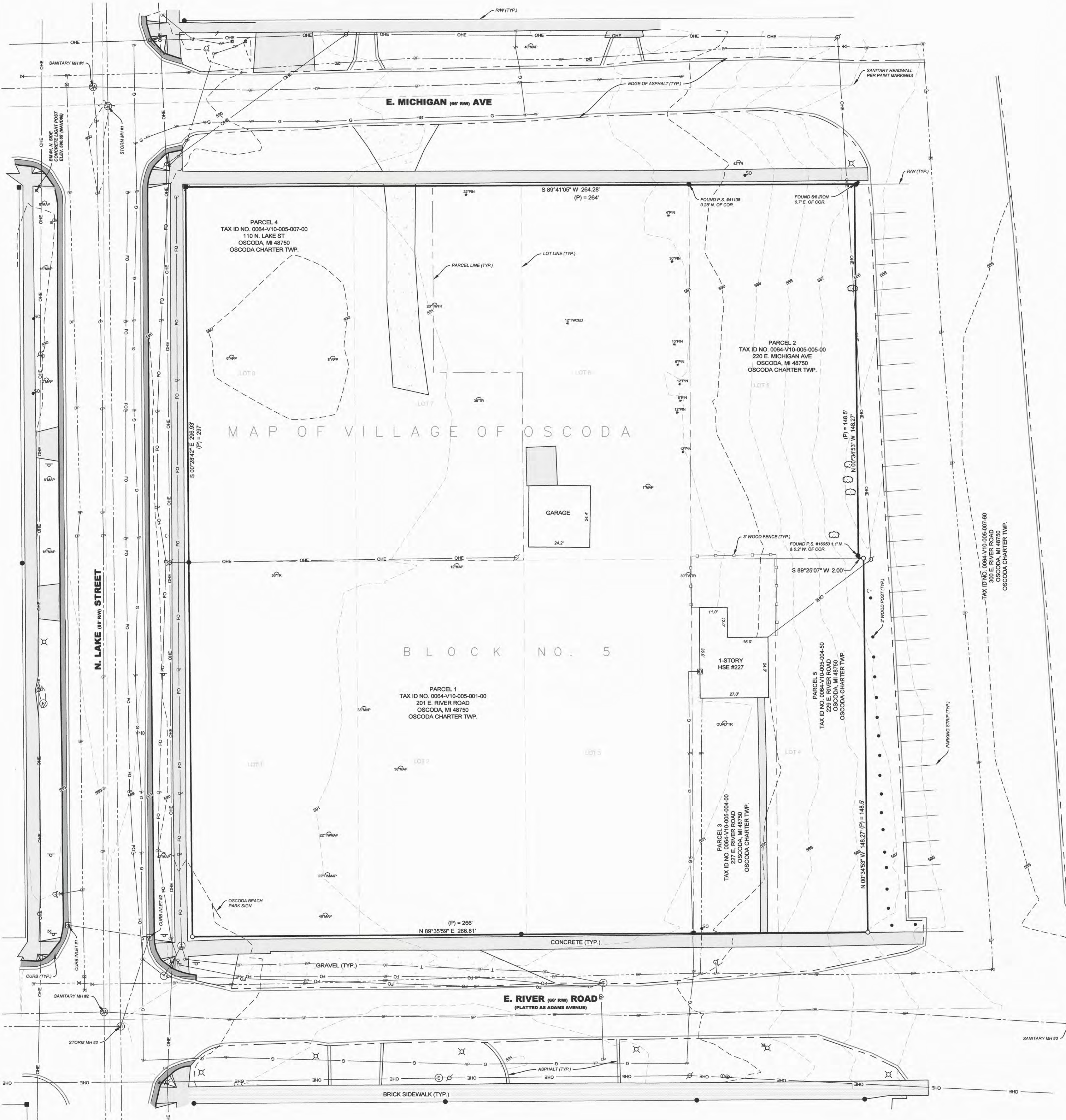
21-130
SHEET NO.
2 OF 7

SURVEYOR:
Drawn by: R.J.V. Field: N/A
Designed by: R.J.V. Checked by: R.J.V.
Date: 11/02/21 Date Revised:
Charles T. Lillieberg P.S. No. 40162
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No.	Description	Date

DLS

Davison Land Surveying, Inc.
1063 South State Street, Suite 9
Davison, MI 48423
Office (810)653-5969 Fax (810)658-9388



ALTA/NSPS LAND TITLE SURVEY IN SECTION 03, TOWN 23 NORTH, RANGE 9 EAST, TOWNSHIP OF OSCODA, IOSCO COUNTY, MICHIGAN

LEGAL DESCRIPTION PER TITLE COMMITMENT ISSUED BY DEVON TITLE AGENCY AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO: 10010564, EFFECTIVE DATE: AUGUST 10, 2021:

LAND SITUATED IN THE TOWNSHIP OF OSCODA, COUNTY OF IOSCO, STATE OF MICHIGAN DESCRIBED AS FOLLOWS:
PARCEL 1:
LOT 1, 2, 3, 6, AND THE NORTH 74 FEET OF THE EAST 35 FEET OF LOT 7, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.
PARCEL 2:
LOT 5, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.
PARCEL 3:
THE WEST 1/2 OF LOT 4, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.
PARCEL 4:
LOT 7, EXCEPT PARCEL OF LAND BEGINNING AT THE NORTHEAST CORNER THENCE SOUTH 74 FEET; THENCE WEST 35 FEET; THENCE NORTH 74 FEET; THENCE EAST 35 FEET THEREOF, AND LOT 8, BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.
PARCEL 5:
THE EAST 1/2 OF LOT 4, BLOCK 5, AND THE WEST 2 FEET OF THE SOUTH 1/2 OF BLOCK 5 LYING EASTERLY OF AND ADJACENT TO SAID LOT 4 OF BLOCK 5, MAP OF THE VILLAGE OF OSCODA, AS RECORDED IN LIBER 1, PAGE 11, IOSCO COUNTY RECORDS.

SURVEY NOTES:

MONUMENTS HAVE BEEN PLACED (OR A REFERENCE MONUMENT OR WITNESS TO THE CORNER) AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE PROPERTY, UNLESS ALREADY MARKED OR REFERENCE BY EXISTING MONUMENTS OR WITNESSES IN CLOSE PROXIMITY TO THE CORNER (TABLE A, ITEM 1)

PROPERTY ADDRESS(ES) ARE 201 E. RIVER ROAD, 227 E. RIVER ROAD, 229 E. RIVER ROAD, 220 E. MICHIGAN AVE, & 110 N. LAKE STREET, OSCODA, MI 48750. (TABLE A, ITEM 2)

FLOODPLAIN NOTE: THIS ENTIRE PARCEL IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) PER INFORMATION OBTAINED FROM NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, MAP NUMBER 26069C0287E, EFFECTIVE DATE JANUARY 6, 2012. (TABLE A, ITEM 3)

THE SURVEYED PARCEL CONTAINS 78,795 SQUARE FEET/1.81 ACRES, MORE OR LESS. (TABLE A, ITEM 4)

ALL VERTICAL RELIEF HAS BEEN MAPPED AND SHOWN HEREON WITH ONE-FOOT CONTOUR INTERVALS UTILIZING NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). (TABLE A, ITEM 5)

ZONING INFORMATION WAS NOT PROVIDED VIA THE CLIENT AT THE TIME OF THIS SURVEY, INFORMATION WAS PROVIDED BY THE TOWNSHIP OF OSCODA, ZONING ORDINANCE AMENDED DECEMBER 10, 2015, AND ARE AS FOLLOWS FOR THE SUBJECT PARCEL:

ZONED AS C-L, COMMERCIAL-LODGING
FRONT YARD SET BACK = 20 FEET
SIDE STREET, CORNER LOT = 20 FEET
SIDE YARD SET BACK = 10 FEET
REAR YARD SET BACK = 25 FEET
LOT COVERAGE = 70%
BUILDING HEIGHT MAXIMUM = 4 STORIES/55 FEET
(TABLE A, ITEM 6, (a))

IMPERVIOUS COVERAGE = 85%

EXTERIOR DIMENSIONS OF ALL BUILDINGS AT GROUND LEVEL ARE SHOWN HEREON. (TABLE A, ITEM 7(a))

SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THIS SURVEY ARE SHOWN HEREON. (TABLE A, ITEM 8)

PARKING SPACES ON SURVEYED PARCEL: REGULAR = 0 HANDICAP = 0. (TABLE A, ITEM 9)

THE UNDERGROUND UTILITIES SHOWN, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. NOTE TO THE CLIENT, INSURER, AND LENDER: WITH REGARD TO TABLE A, ITEM 11, INFORMATION FROM THE SOURCES CHECKED ABOVE WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES PURSUANT TO SECTION 5.E.IV. TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE, IN WHICH CASE THE SURVEYOR SHALL NOTE ON THE PLAT OR MAP HOW THIS AFFECTED THE SURVEYOR'S ASSESSMENT OF THE LOCATION OF THE UTILITIES. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. (TABLE A, ITEM 11)

NAMES OF ADJOINING OWNERS ACCORDING TO CURRENT TAX RECORDS. (TABLE A, ITEM 13)

NO EVIDENCE OF RECENT EARTH WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS WERE OBSERVED DURING THIS SURVEY. (TABLE A, ITEM 16)

NO PROPOSED CHANGES TO THE RIGHT-OF-WAY LINES, STREET OR SIDEWALK CONSTRUCTION WERE REPORTED OR OBSERVED TO THE SURVEYOR AT THE TIME OF THIS SURVEY. (TABLE A, ITEM 17)

ALL PLOTTED EASEMENTS AS DISCLOSED IN THE TITLE COMMITMENT LISTED ABOVE AS PROVIDED BY THE CLIENT HAVE BEEN DEPICTED HEREON AND NOTED BELOW IN SCHEDULE B, PART II, EXCEPTIONS. (TABLE A, ITEM 18)

BEARINGS ARE RELATED TO THE MICHIGAN STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE.

SCHEDULE B, PART II, EXCEPTIONS

ITEM 16: ANY AND ALL EASEMENTS AND RESTRICTIONS AS SHOWN ON THE RECORDED PLAT (AFFECTS THE SURVEYED PROPERTY AND IS SHOWN HEREON PER THE ABOVE DOCUMENT AND AS RECORDED IN LIBER 1 OF PLATS, PAGE 11, IOSCO COUNTY REGISTER OF DEEDS).

CERTIFICATION:

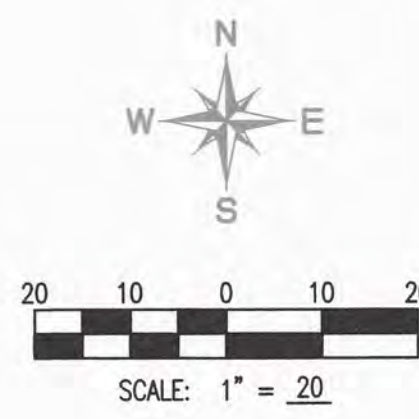
TO: DEVON TITLE AGENCY AN AGENT FOR OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, WOLVERINE STATE CREDIT UNION, & AMERILODGE GROUP.
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 7(a), 8, 9, 11, 13, 16, 17, AND 18 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON AUGUST 11, 2021.

MARK JAKUBIK, P.S. #64576
mark@rigg.com

10-05-2021
DATE

EXISTING		LEGEND	
	CABLE		= FOUND T-POST
	ELECTRIC LINE		= CATCH BASIN
	ELECTRIC LINE (OVERHEAD)		= CABLE RISER BOX
	FIBER OPTIC LINE		= CLEAN OUT
	GAS LINE		= CURB INLET
	TELEPHONE LINE		= ELECTRIC MANHOLE
	FENCE		= FIRE HYDRANT
	SANITARY SEWER		= FOUND IRON
	STORM SEWER		= GAS VALVE
	WATER MAIN		= GUY ANCHOR
	CENTER LINE		= LIGHT POLE
	PLATTED LOT LINE		= MAILBOX
	PROPERTY LINE		= MONITORING WELL
	RIGHT-OF-WAY LINE		= POST
	SECTION LINE		= SATELLITE DISH
	= PAVEMENT/SOIL BORING		= SANITARY MANHOLE
	= BLUE PAINT (WATER)		= SECTION CORNER
	= YELLOW PAINT (GAS)		= SIGN
	= GREEN PAINT (SANITARY)		BUSH
	= ORANGE PAINT (TELECOM)		STUMP
	= STORM MANHOLE		CONIFEROUS TREE
	= TELEPHONE MANHOLE		DECIDUOUS TREE
	= TELEPHONE RISER BOX		
	= TURNING POINT/TRVERSE		
	= UTILITY POLE		
	= VAULT		
	= WATER ELEVATION		
	= WATER MANHOLE		
	= WATER METER		
	= WATER VALVE		
	= WATER SHUTOFF VALVE		
	= WELL		
	= GAS MARKER POST		

Northing	Eastng	Elevation	Line Size (label)	Utility type (label)	Structure No.	Direction	Connecting #
404472.78	19956272.55	590.01	18" Conc.	Storm	Storm MH #1	N	
			18" Conc.	Storm		S	STMH #2
404106.35	19956277.37	588.92			Storm MH #2		
		581.52	18" Conc.	Storm		N	
		581.75	18" Conc.	Storm		S	STMH #1
		582.12	12" Conc.	Storm		W	
		582.34	12" Conc.	Storm		NE	CI #2
404148.33	19926256.7	588.34			Curb Inlet #1	ESE	CI #2
		584.24	12" Conc.	Storm			
404143.61	19956288.69	588.51			Curb Inlet #2	WNW	CI #1
		582.51	12" Conc.	Storm		SW	STMH #2
404480.31	19956266.67	589.94			Sanitary MH #1		
		578.93	18"	Sanitary		N	
		578.93	18"	Sanitary		E	SANMH #2
		579.76	8"	Sanitary		E	
		579.72	8"	Sanitary		W	
404114.07	19956270.76	588.77			Sanitary MH #2		
		579.64	18"	Sanitary		N	
		579.64	18"	Sanitary		S	SANMH #1
		580.43	8"	Sanitary		E	SANMH #3
		580.22	8"	Sanitary		W	
404109.29	19956652.5	585.32			Sanitary MH #3		
		581.75	8"	Sanitary		W	SANMH #2



430 M.55
TAWAS CITY, MI 48763
(989) - 362 - 1372



MARK JAKUBIK
P.S. #64576

PROJECT NAME:
HOLIDAY INN EXPRESS
LAKE STREET/MICHIGAN AVE
OSCODA, MI 48750

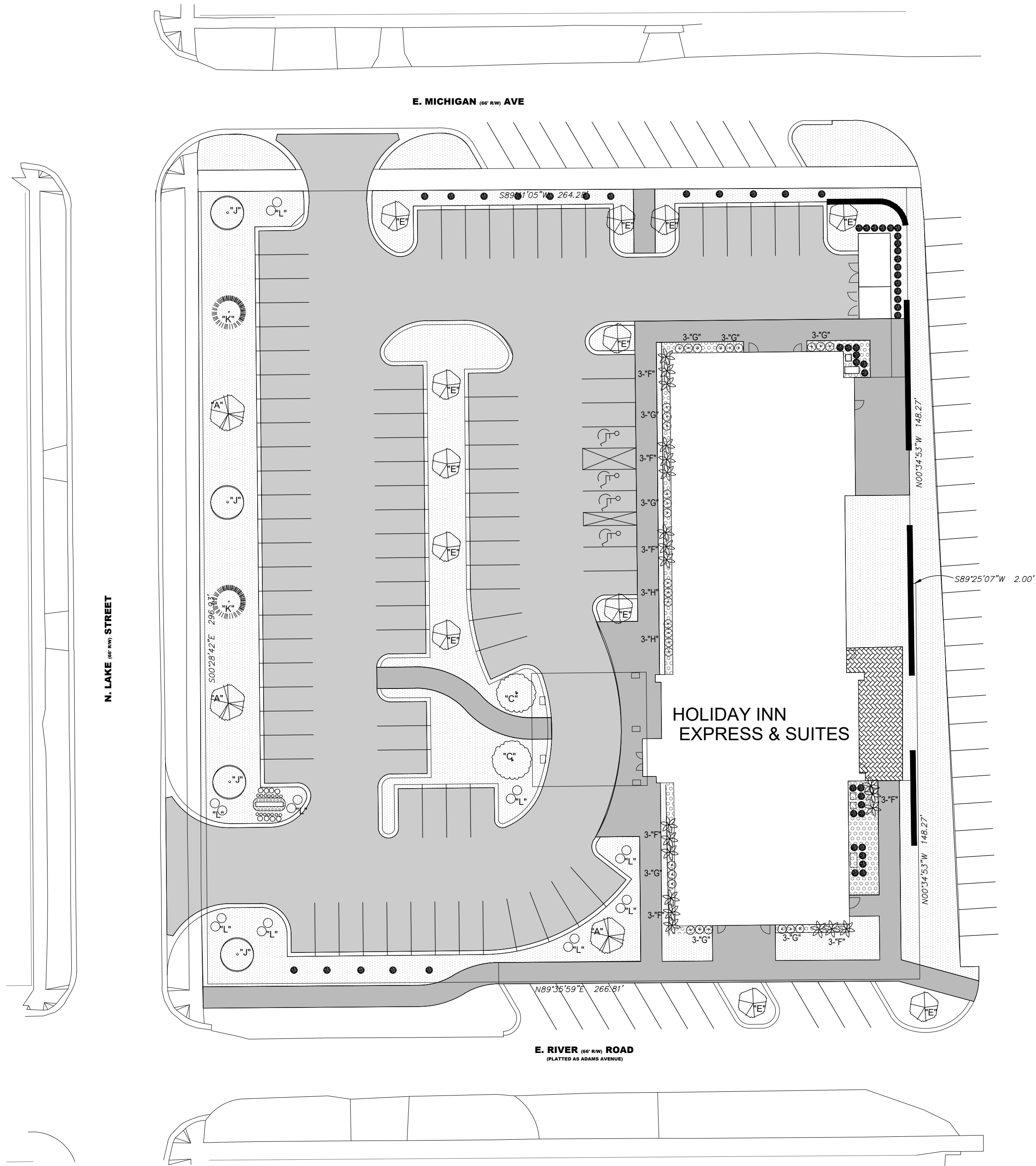
CLIENT:
STARBEST CONSTRUCTION
2369 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302

REVISIONS

DATE: 09/20/2021
SCALE: 1" = 20'

ALTA/NSPS LAND
TITLE SURVEY

JOB No. 032309 - 20421A
ALTA

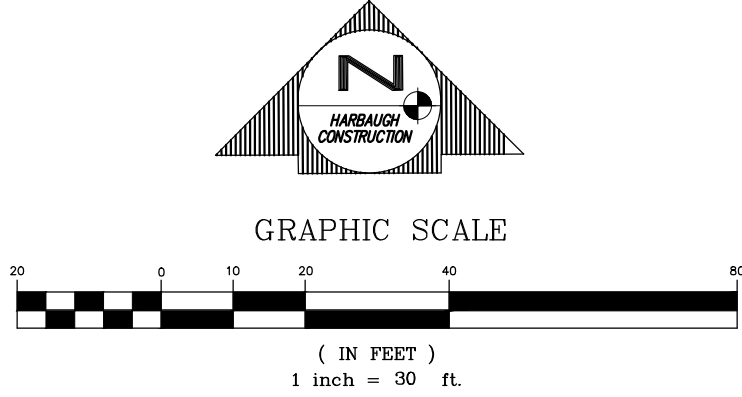
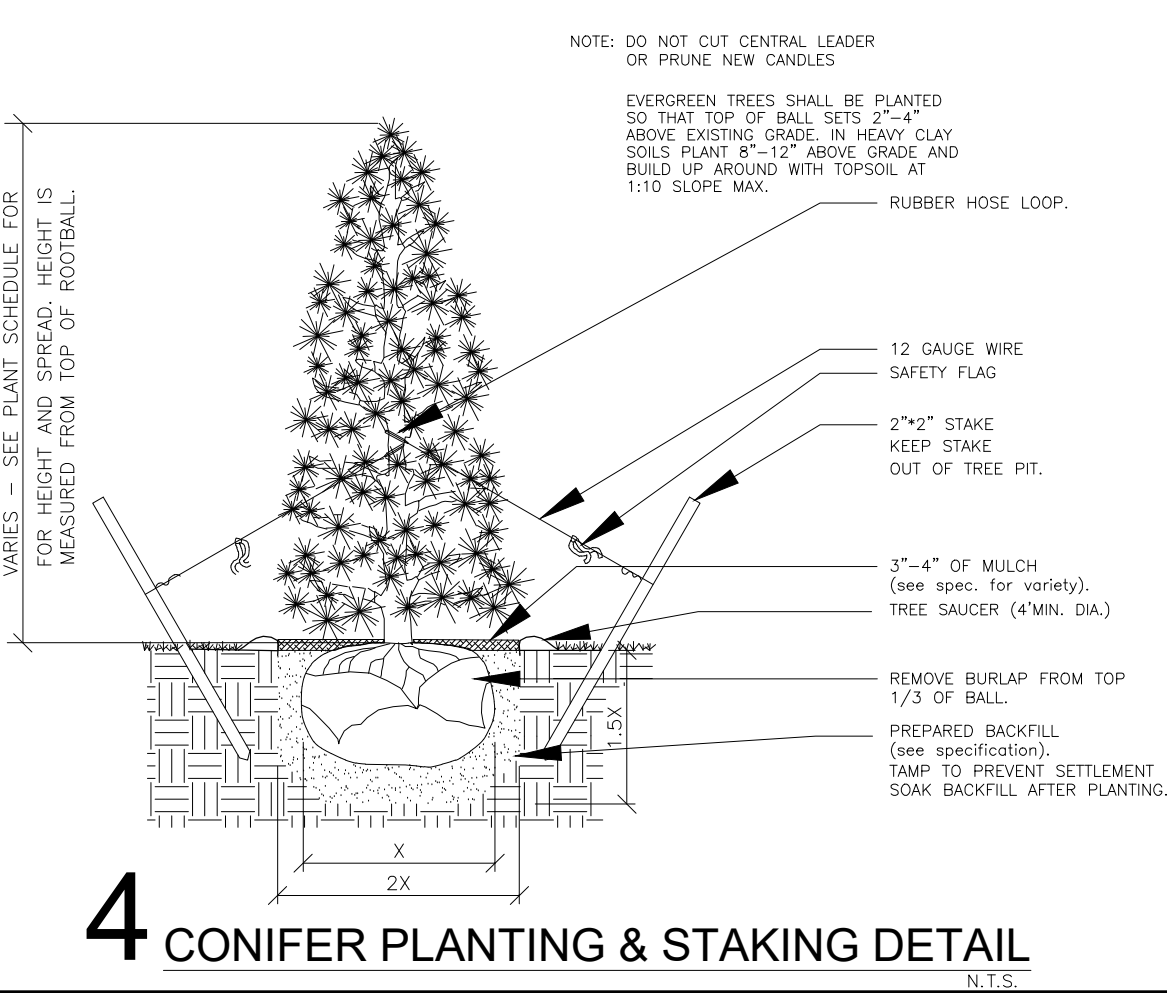
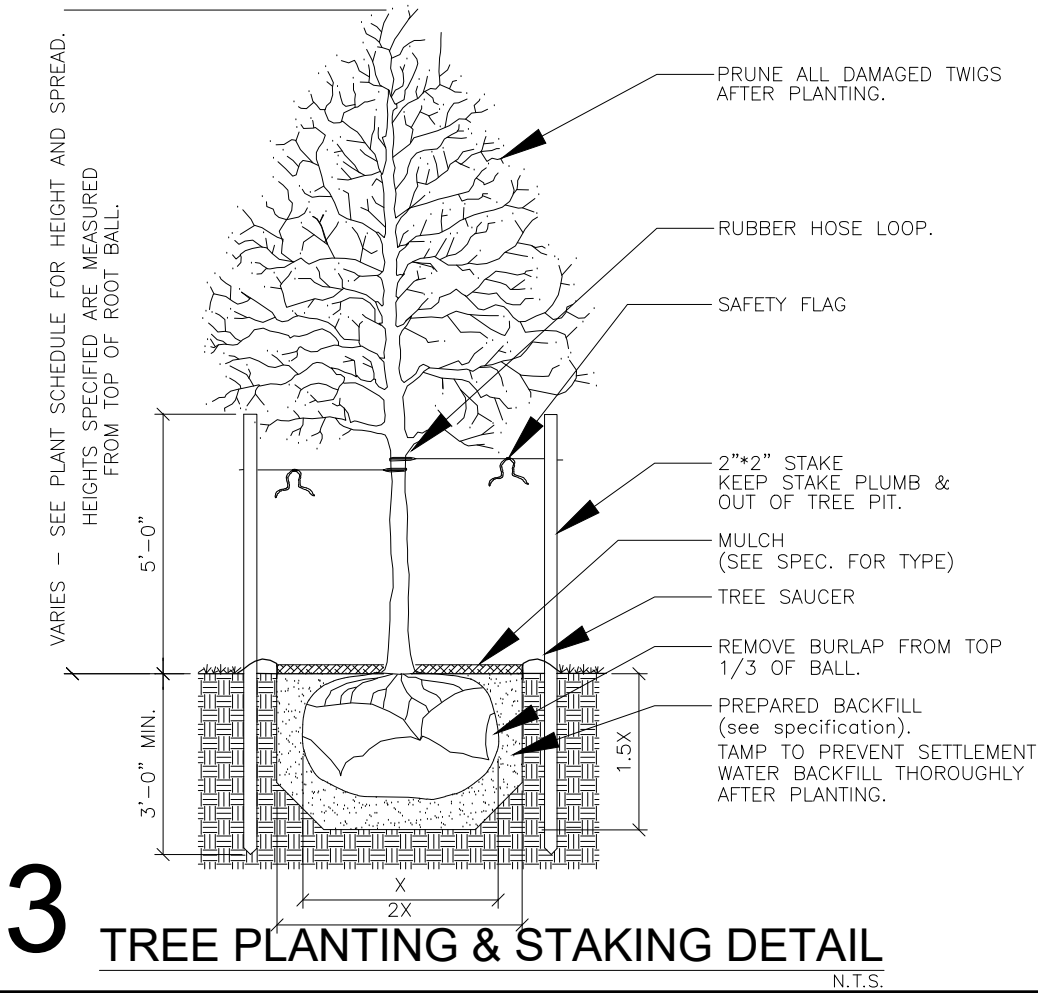
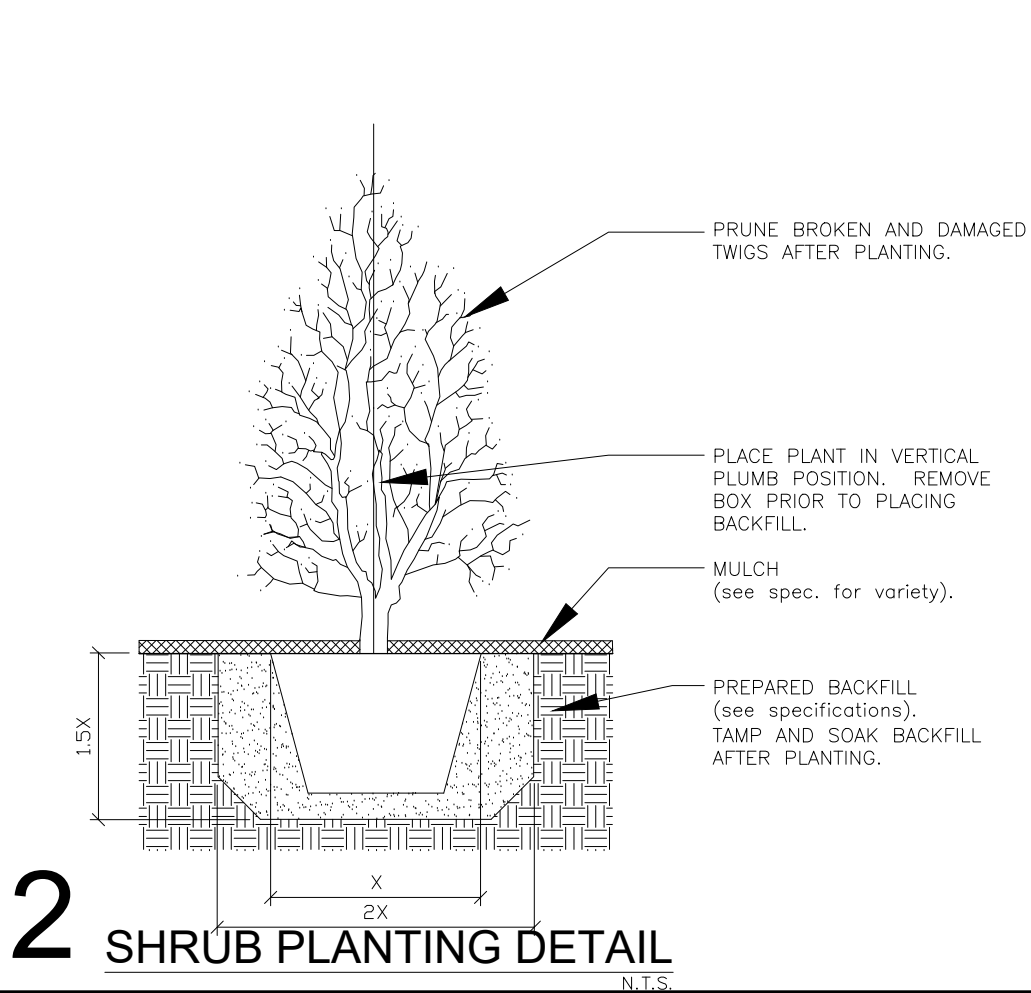
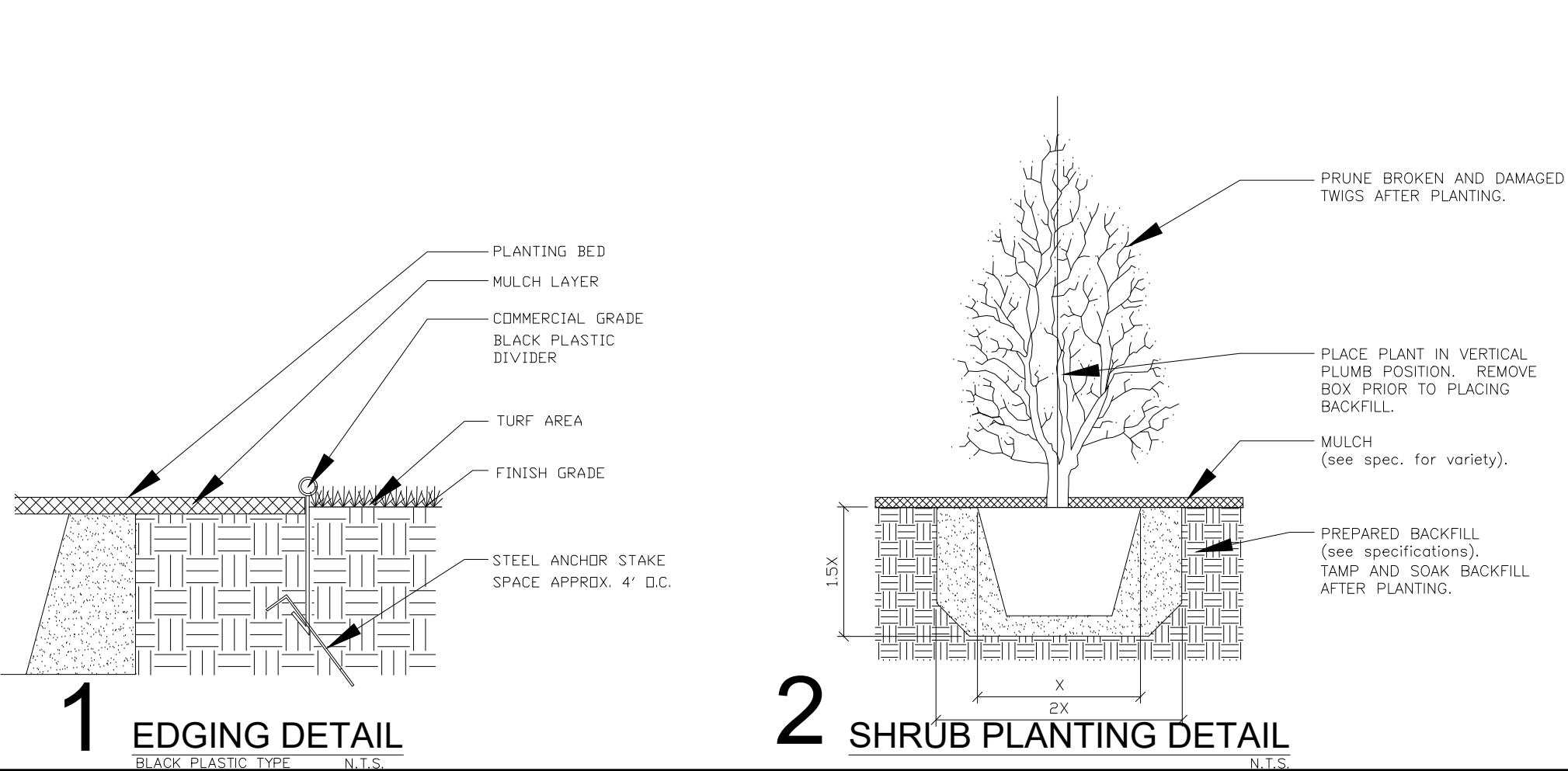


PLANTING NOTES

- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AUTOMATIC SPRINKLER SYSTEM. LANDSCAPE CONTRACTOR TO PROVIDE ALL PLANT AND POTTING MATERIAL FOR ALL FLOWER POTS AND PLANTERS.
- TIERED PLANTINGS: PLANTINGS AT FRONT ENTRANCE AND IN KEY AREAS OF COURTYARD (AT SEATING AREAS, PATIO ENTRY, POOL AND PAVILLION AREAS) SHALL BE TIERED, HAVING LARGER, PREDOMINANTLY EVERGREEN SHRUBS TO THE REAR, 2'-3' MIXED SHRUBS IN FRONT OF THE LARGER ONES, AND EVERGREEN GROUNDCOVER, PERENNIALS, AND ANNUALS IN THE
- ANNUAL BEDS SHALL BE LOCATED AT THE FRONT ENTRY, AT THE MONUMENT SIGN(S), AND NEAR THE PATIO SEATING. BUDGET PERMITTING, POTS MAY BE PLACED AROUND THE POOL AREAS WITH ANNUALS. POTS SHALL INCLUDE PLANT MATERIAL.
- IVY AND SIMILAR GROUNDCOVER MAY BE PLANTED FROM FLATS. ALL OTHER GROUNDCOVERS, PERENNIALS, MASS-PLANTED LOW SHRUBS SHALL BE 4" POT, QUART OR 1 GAL. AS IS APPROPRIATE FOR THE SPECIES.
- EDGING: 6" COMMERCIAL GRADE BLACK PLASTIC EDGING SHALL BE USED TO SEPARATE ALL PLANTING BEDS FROM ALL TURF AREAS. WHERE PLANTING BEDS ARE LOCATED NEXT TO SIDEWALKS, EDGING SHALL BE PLACED ALONG THE PAVED SURFACE TO PREVENT WASHOUT OF MULCH (EXCEPTION: IF GRAVEL MULCHES ARE USED SUCH AS IN THE SOUTHWEST SINCE THESE ARE NOT TYPICALLY TOP-DRESSED ON AN ANNUAL BASIS).

LANDSCAPE KEY:

LABEL	TYPE	SIZE	QUANTITY
"A"	Malus x profusion Flowering Crabapple	2" c	3
"B"	Arborvitae (Emerald Green)	5'-6"	54
"C"	Acer Rubrum Red Maple	2.5" - 3" c.	2
"D"	Not Used		
"E"	Quercus Rubra Red Oak	2.5" - 3" c.	12
"F"	Rhue Aromatica Gro-low Gro-low Fragrant Sumac	18" - 24"	21
"G"	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	18" - 24"	21
"H"	Rosa X Pink knockout Landscape Shrub Rose	3 gal.	7
"I"	River Rocks	2"	N/A
"J"	Thornless Honeylocust	2.5" - 3" c.	4
"K"	White Pine		2
"L"	Cranberry Viburnum	2" cal	18
"M"	Day Lilies	1 Gal	14
"N"	Blues fescue Grass		8



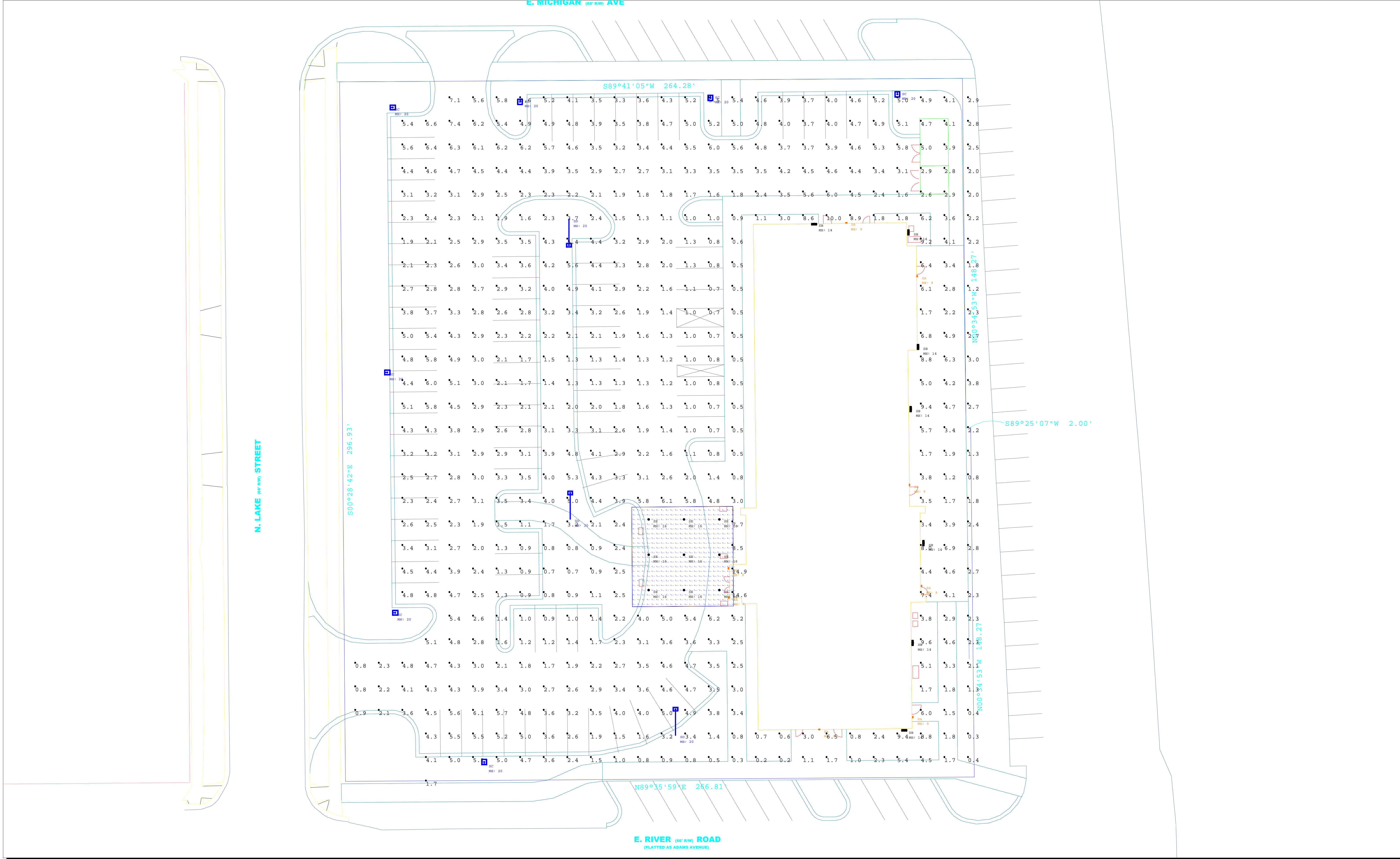
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LANDSCAPE PLAN

HARBAUGH CONSTRUCTION



File Name	2104-L1 Landscape Plan
Rev.	Scale
S&C Project No.	2104
Sheet	L1



Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
	8	XTOR2A	0.920	XTOR2A	21.4	1432
	7	XTOR6BRL	0.920	XTOR6BRL	58	6225
	7	PRV-PA2B-740-U-T3	0.920	PRV-PA2B-740-U-T3	151	19667
	3	PRV-PA2B-740-U-T4W	0.920	PRV-PA2B-740-U-T4W	151	19431
	9	PD630D010-64VC	0.920	PD630D010- PDM6A840-64VC	35.7	3189

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
parking area	Fc	3.23	14.9	0.2	74.50	16.15
PORT CACHE	Fc	11.79	19.0	5.1	3.73	2.31

30775 Barrington St.
Madison Heights, MI 48071
P: 248.677.0850
F: 248.677.0512
E: info@clarus-lighting.com



REVISION
X

DATE
XX

PROJECT No.
XX

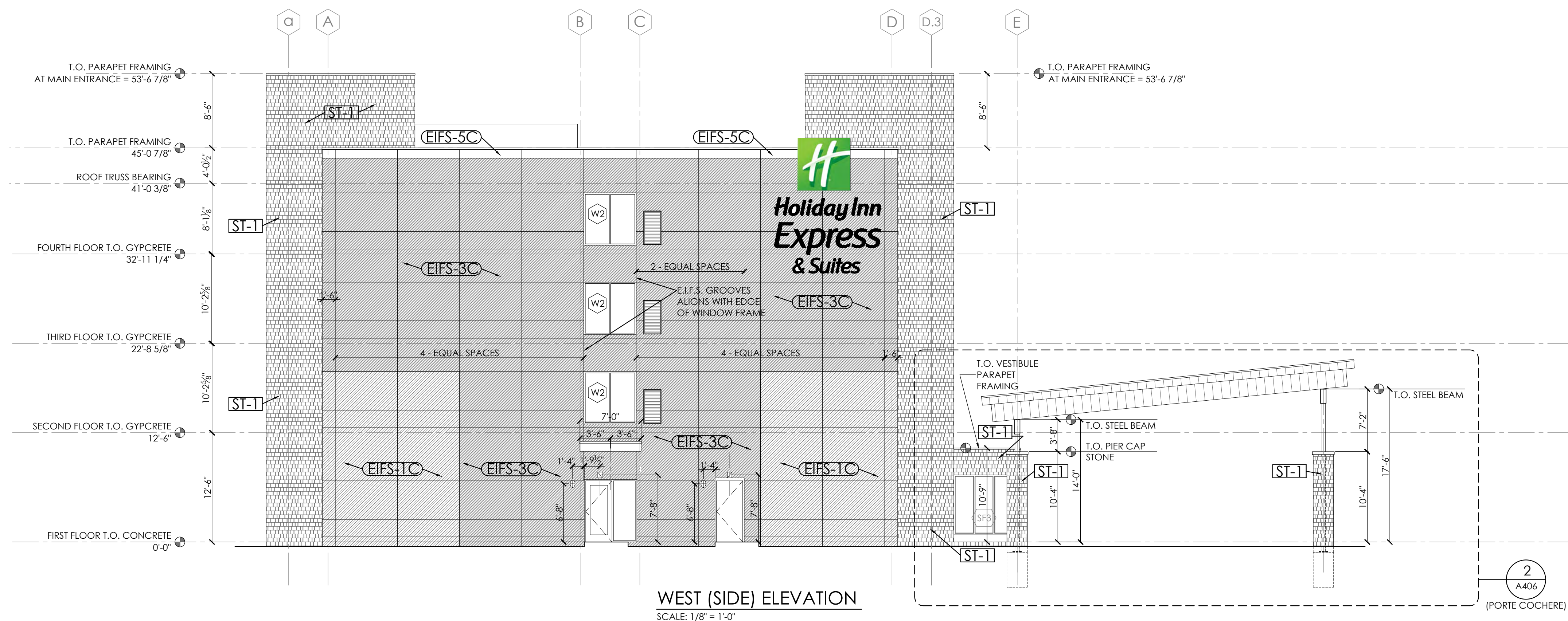
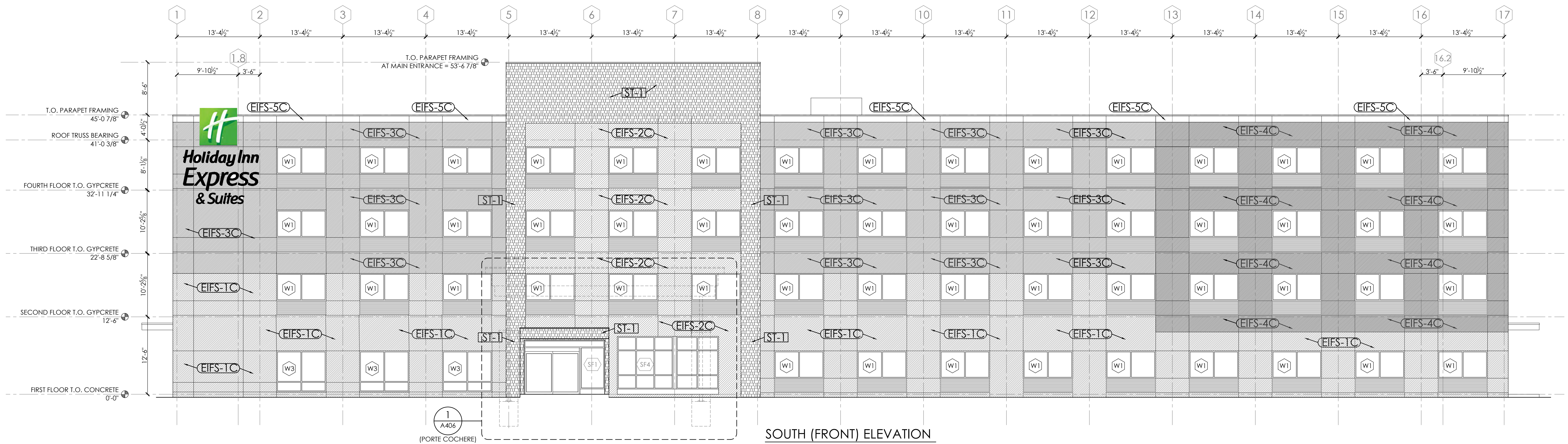
SHEET No.

OSCODA SITE LIGHTING PROJECT

PARKING LOT AND
PORT CACHE

PHOTOMETRICS

L201



- EIFS-1C DRYVIT "FREESTYLE DPR"
COLOR: HEIX 03 1040
- EIFS-2C DRYVIT "SANDBLAST DPR"
COLOR: HEIX 03 1030
- EIFS-3C DRYVIT "SANDPEBBLE FINE DPR"
COLOR: HEIX 04 1022
- EIFS-4C DRYVIT "SANDBLAST DPR"
COLOR: HEIX 05 1030

- BR-1 BORAL "VARSITY"
- BR-2 BORAL "PEBBLE"
- BR-3 GLEN GERY "DARK BROWN"
- ST-1 "SUNSET STACKED STONE"



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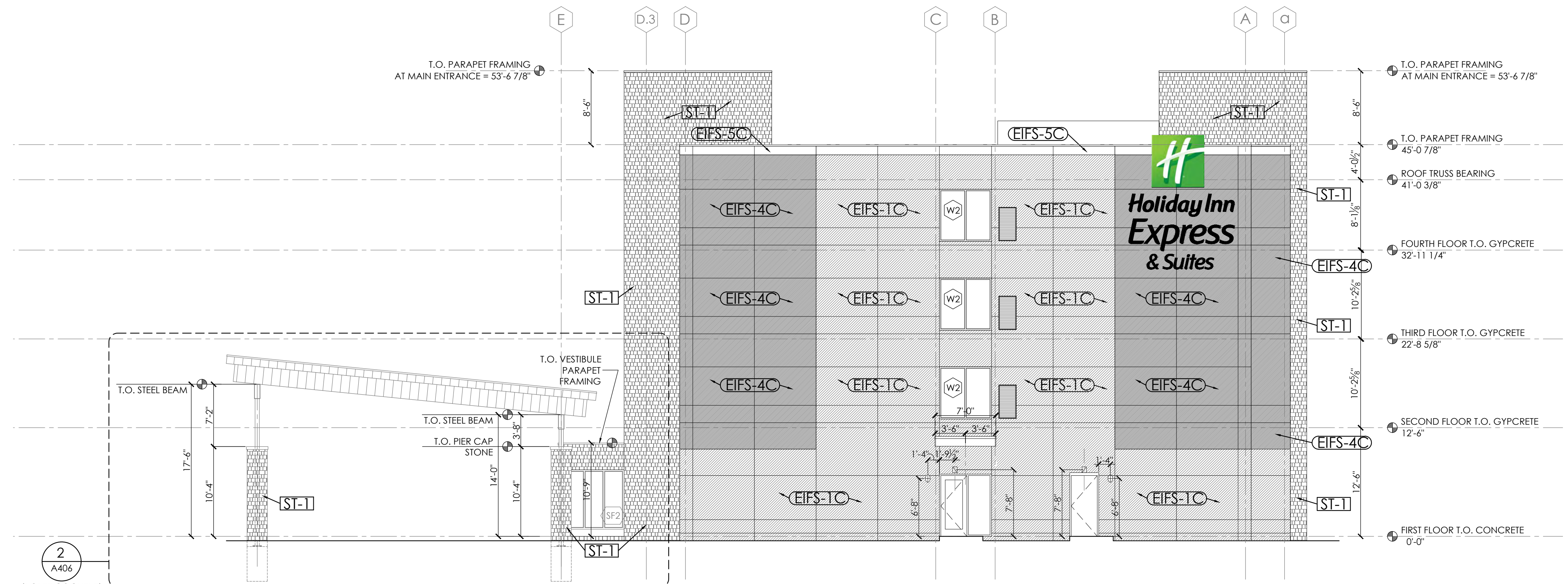
BUILDING ELEVATIONS
HARBAUGH CONSTRUCTION

Client
OSCODA HOTELS, L.L.C.
Project
HOLIDAY INN EXPRESS HOTEL & SUITES

Rev.	Scale
1/8" = 1'-0"	
SBC Project No.	2104
Sheet	



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

- EIFS-1C DRYVIT "FREESTYLE DPR"
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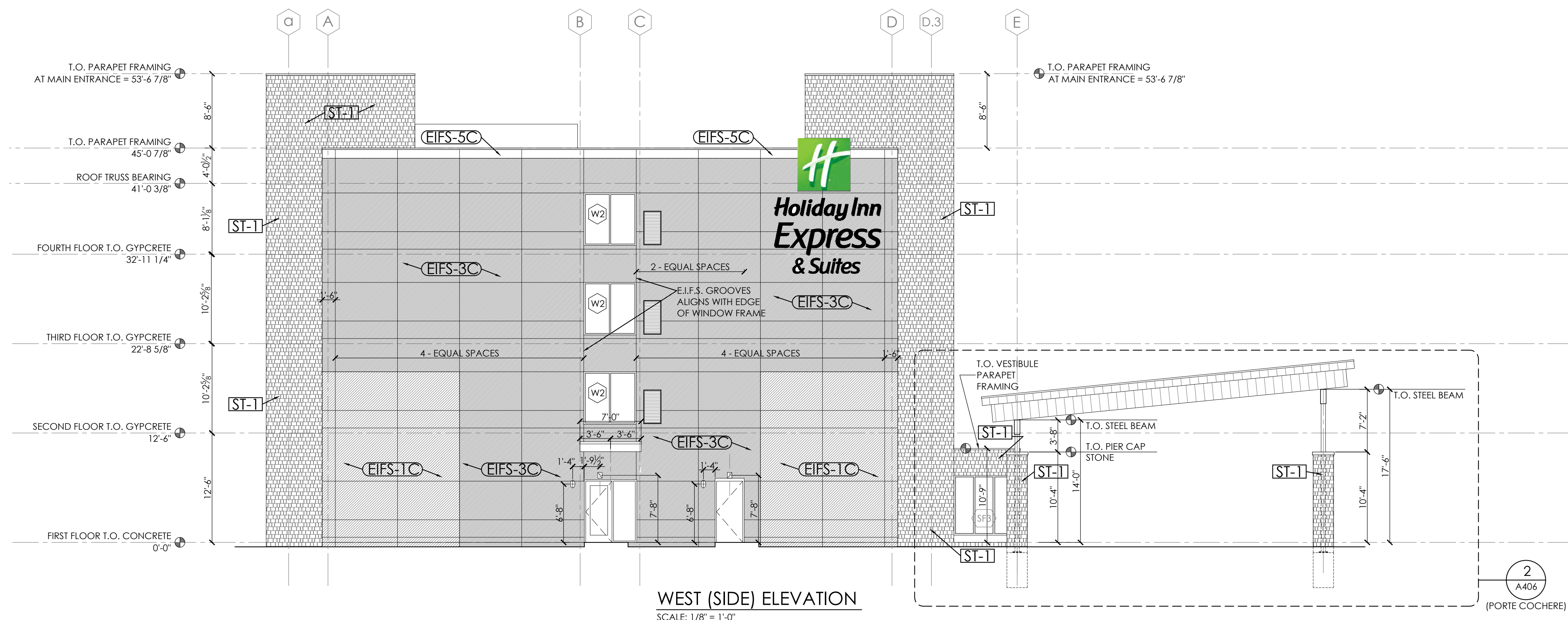
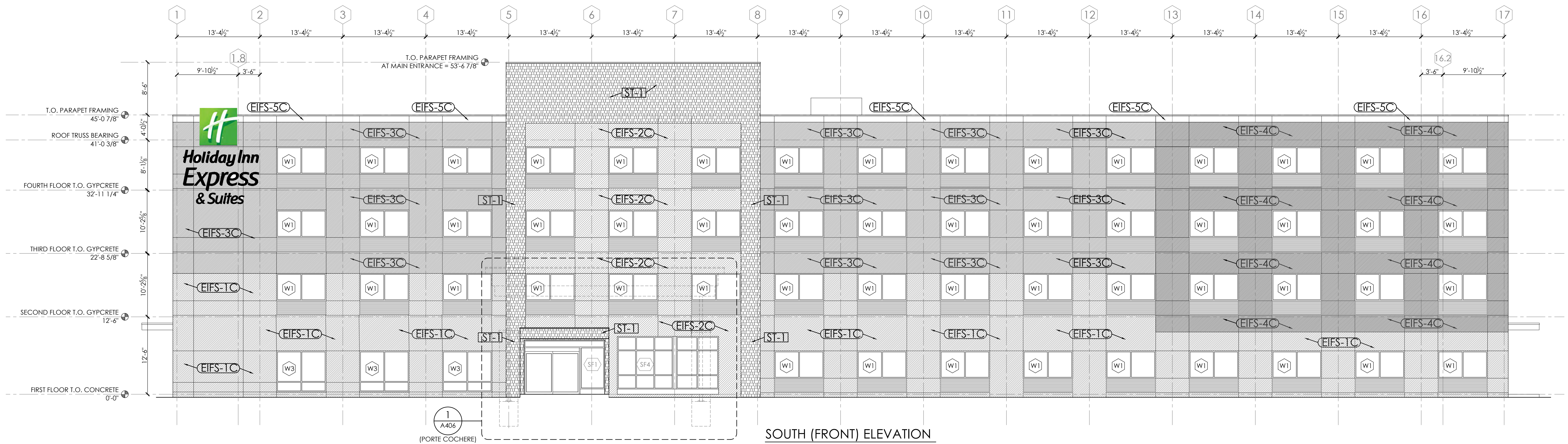


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Designed By	Drawn By	Checked By	Approved By

Client	Project
OSCADA HOTELS, LLC.	HOLIDAY INN EXPRESS HOTEL & SUITES

File Name	Rev.	Scale
		1/8" = 1'-0"
	SBC Project No.	2104
	Sheet	



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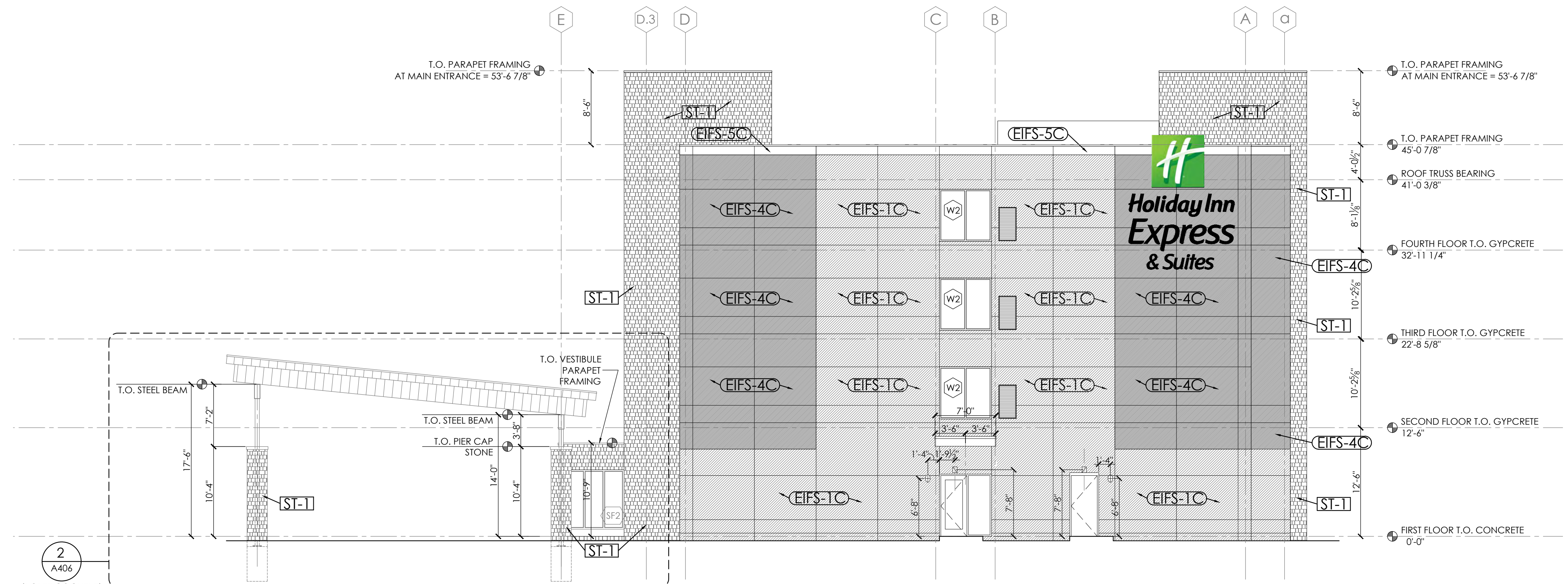
BUILDING ELEVATIONS
HARBAUGH CONSTRUCTION

HOLIDAY INN EXPRESS HOTEL & SUITES
OSCODA HOTELS, L.L.C.

File Name
Rev. Scale
1/8" = 1'-0"
SBC Project No.
2104
Sheet



NORTH (REAR) ELEVATION
SCALE: 1/8" = 1'-0"



EAST (SIDE) ELEVATION
SCALE: 1/8" = 1'-0"

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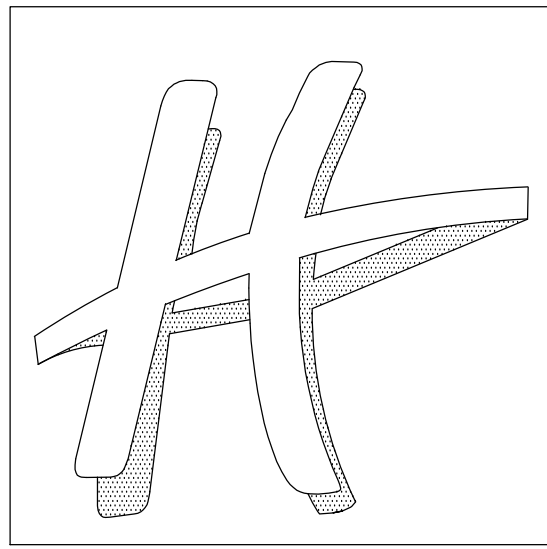


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Designed By	Drawn By	Checked By	Approved By

BUILDING ELEVATIONS
HARBAUGH CONSTRUCTION

Client: OSCODA HOTELS, L.L.C.
Project: HOLIDAY INN EXPRESS HOTEL & SUITES



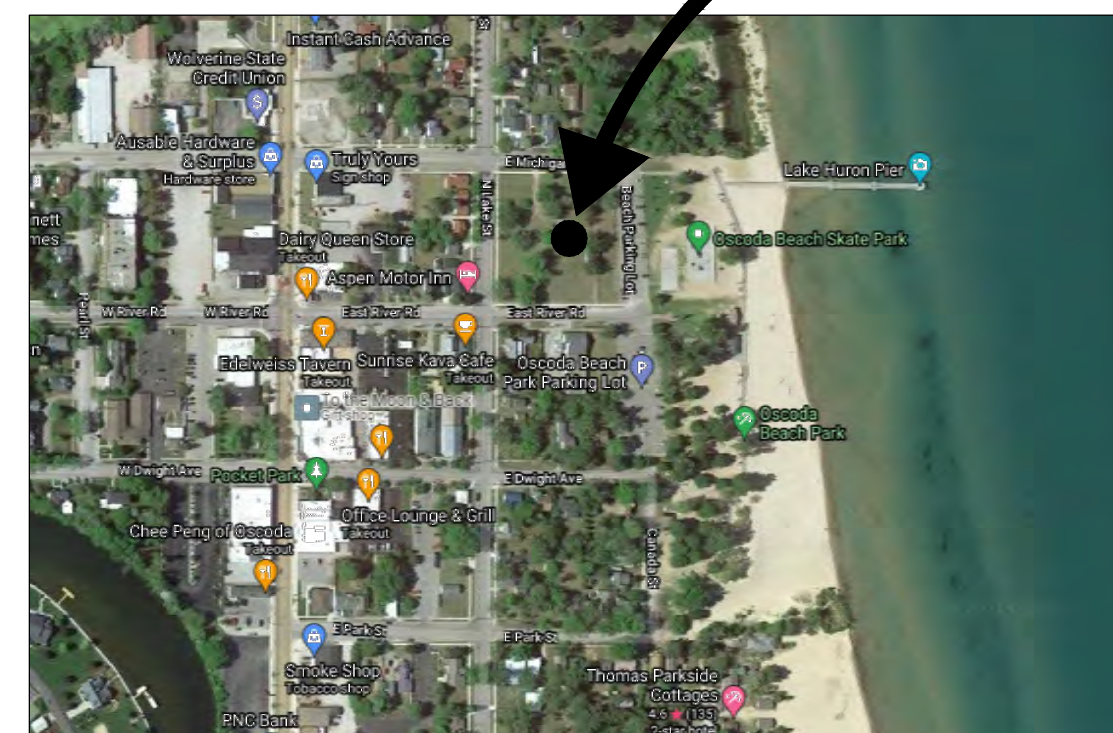
Holiday Inn
Express

& SUITES

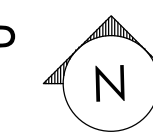
Oscoda, Michigan



HARBAUGH CONSTRUCTION L.L.C.
2365 FRANKLIN ROAD
BLOOMFIELD HILLS, MICHIGAN 48302



LOCATION MAP
NO SCALE



HOLIDAY INN EXPRESS
OSCODA, MICHIGAN
48750

BUILDING AREA	
Level	Area
LEVEL 1	14,336 Sq. Ft.
LEVEL 2	14,208 Sq. Ft.
LEVEL 3	14,208 Sq. Ft.
LEVEL 4	14,208 Sq. Ft.
56,960 Sq. Ft.	

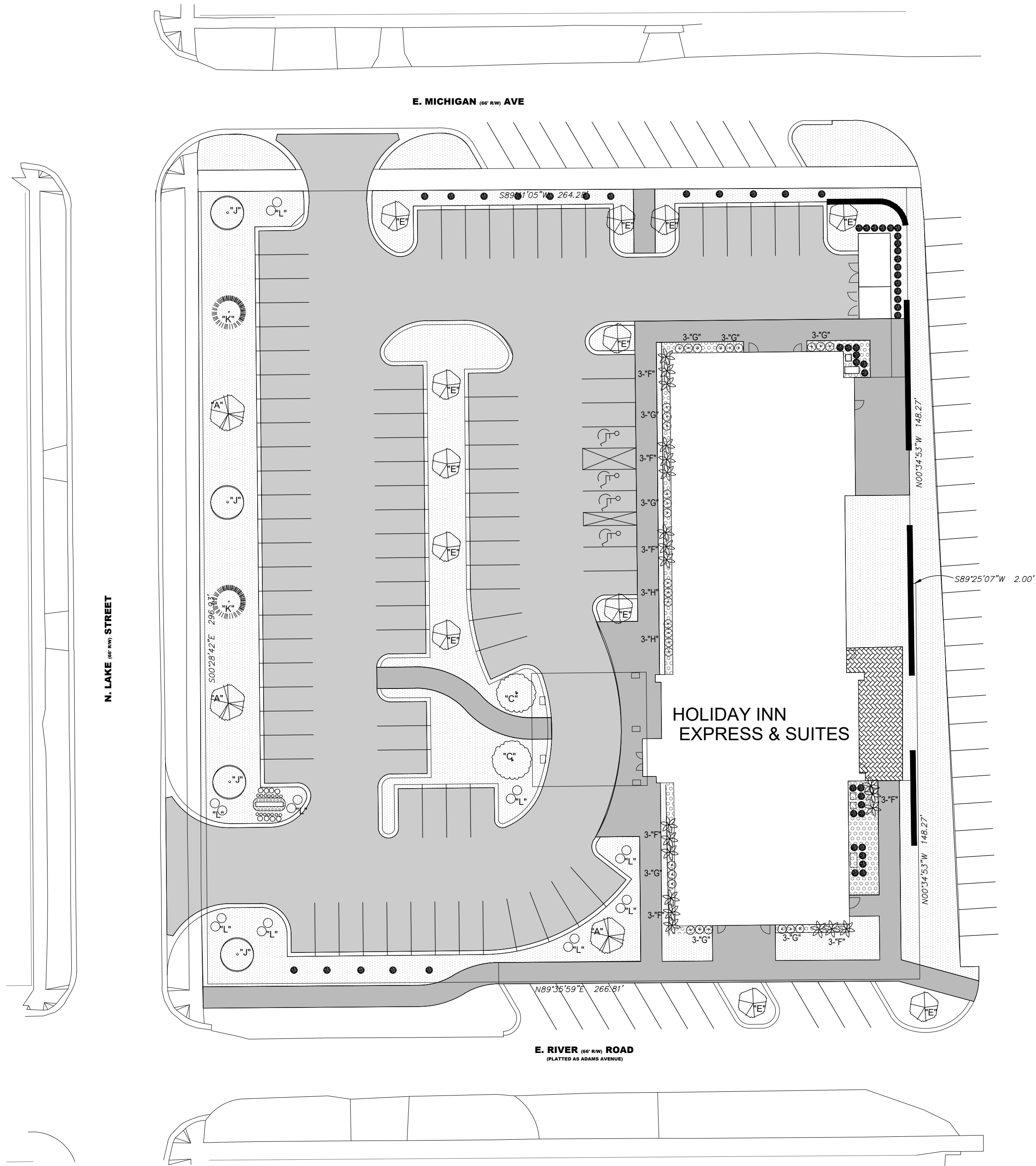
SHEET INDEX

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LANDSCAPE LIGHTING	C3
LANDSCAPE PLAN	L1
LANDSCAPE LIGHTING	L201

ARCHITECTURAL

BUILDING ELEVATIONS	A200
BUILDING ELEVATIONS	A201

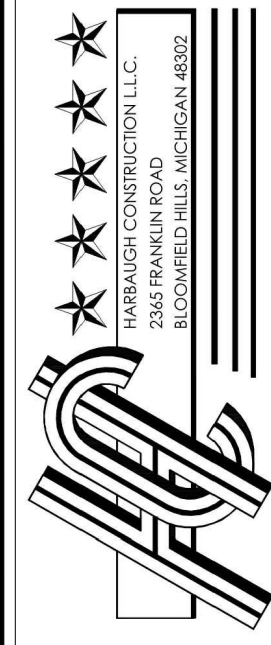
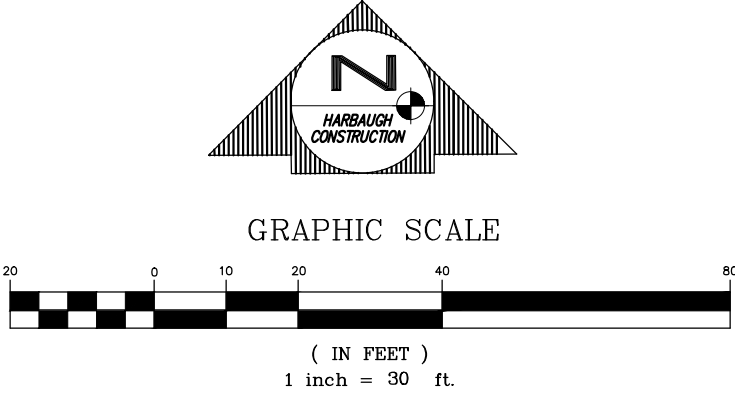
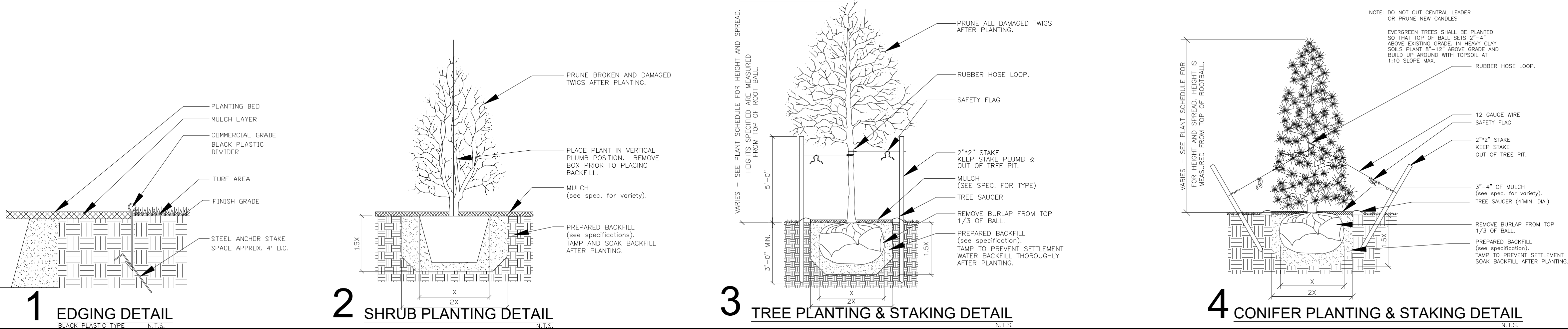


PLANTING NOTES

- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AUTOMATIC SPRINKLER SYSTEM. LANDSCAPE CONTRACTOR TO PROVIDE ALL PLANT AND POTTING MATERIAL FOR ALL FLOWER POTS AND PLANTERS.
- TIERED PLANTINGS: PLANTINGS AT FRONT ENTRANCE AND IN KEY AREAS OF COURTYARD (AT SEATING AREAS, PATIO ENTRY, POOL AND PAVILLION AREAS) SHALL BE TIERED, HAVING LARGER, PREDOMINANTLY EVERGREEN SHRUBS TO THE REAR, 2'-3' MIXED SHRUBS IN FRONT OF THE LARGER ONES, AND EVERGREEN GROUNDCOVER, PERENNIALS, AND ANNUALS IN THE
- ANNUAL BEDS SHALL BE LOCATED AT THE FRONT ENTRY, AT THE MONUMENT SIGN(S), AND NEAR THE PATIO SEATING. BUDGET PERMITTING, POTS MAY BE PLACED AROUND THE POOL AREAS WITH ANNUALS. POTS SHALL INCLUDE PLANT MATERIAL.
- IVY AND SIMILAR GROUNDCOVER MAY BE PLANTED FROM FLATS. ALL OTHER GROUNDCOVERS, PERENNIALS, MASS-PLANTED LOW SHRUBS SHALL BE 4\"POT, QUART OR 1 GAL. AS IS APPROPRIATE FOR THE SPECIES.
- EDGING: 6\" COMMERCIAL GRADE BLACK PLASTIC EDGING SHALL BE USED TO SEPARATE ALL PLANTING BEDS FROM ALL TURF AREAS. WHERE PLANTING BEDS ARE LOCATED NEXT TO SIDEWALKS, EDGING SHALL BE PLACED ALONG THE PAVED SURFACE TO PREVENT WASHOUT OF MULCH (EXCEPTION: IF GRAVEL MULCHES ARE USED SUCH AS IN THE SOUTHWEST SINCE THESE ARE NOT TYPICALLY TOP-DRESSED ON AN ANNUAL BASIS).

LANDSCAPE KEY:

LABEL	TYPE	SIZE	QUANTITY
"A"	Malus x profusion Flowering Crabapple	2" c	3
"B"	Arborvitae (Emerald Green)	5'-6"	54
"C"	Acer Rubrum Red Maple	2.5" - 3" c.	2
"D"	Not Used		
"E"	Quercus Rubra Red Oak	2.5" - 3" c.	12
"F"	Rhue Aromatica Gro-low Gro-low Fragrant Sumac	18" - 24"	21
"G"	VIBURNUM DENTATUM ARROWWOOD VIBURNUM	18" - 24"	21
"H"	Rosa X Pink knockout Landscape Shrub Rose	3 gal.	7
"I"	River Rocks	2"	N/A
"J"	Thornless Honeylocust	2.5" - 3" c.	4
"K"	White Pine		2
"L"	Cranberry Viburnum	2" cal	18
"M"	Day Lilies	1 Gal	14
"N"	Blues fescue Grass		8



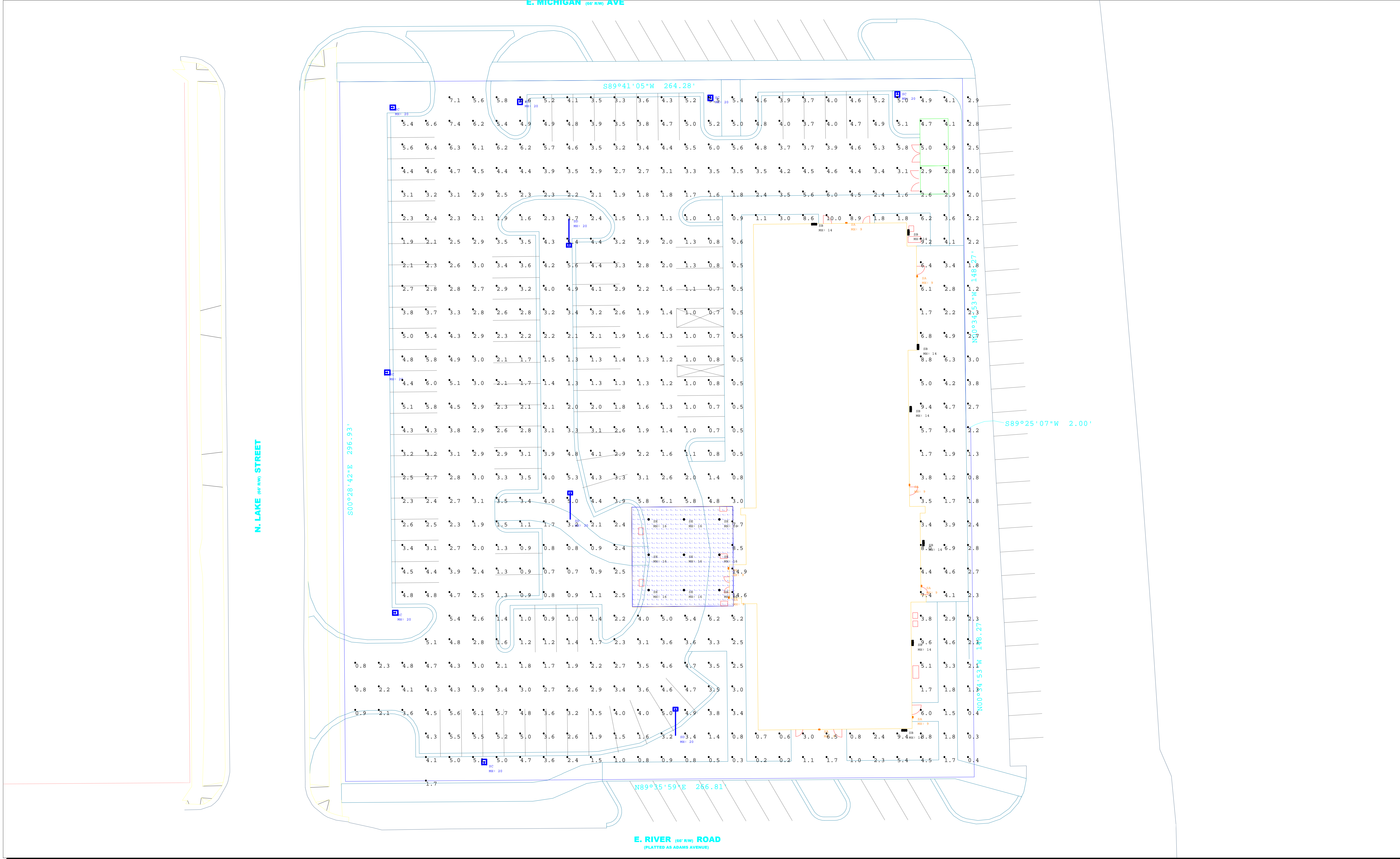
Rev.	By	Date	Issued For
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LANDSCAPE PLAN

HARBAUGH CONSTRUCTION



File Name	2104-L1 Landscape Plan
Rev.	Scale
S&C Project No.	2104
Sheet	L1



Luminaire Schedule						
Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens
	8	XTOR2A	0.920	XTOR2A	21.4	1432
	7	XTOR6BRL	0.920	XTOR6BRL	58	6225
	7	PRV-PA2B-740-U-T3	0.920	PRV-PA2B-740-U-T3	151	19667
	3	PRV-PA2B-740-U-T4W	0.920	PRV-PA2B-740-U-T4W	151	19431
	9	PD630D010-64VC	0.920	PD630D010- PDM6A840-64VC	35.7	3189

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	Avg/Min
parking area	Fc	3.23	14.9	0.2	74.50	16.15
PORT CACHE	Fc	11.79	19.0	5.1	3.73	2.31

REVISION
X

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OSCODA SITE LIGHTING PROJECT

PARKING LOT AND
PORT CACHE

PHOTOMETRICS

DATE
XX

PROJECT No.
XX

SHEET No.

L201