

Charter Township of Oscoda

Planning Commission **AGENDA**

March 16, 2023 6PM
Robert J. Parks Public Library
6010 Skeel Ave
Oscoda, MI 48750

-
-
- 1) **Call to Order –**
 - 2) **Pledge of Allegiance**
 - 3) **Welcome Guests**
 - 4) **Member Roll Call**
 - 5) **Approval of Work Session and Planning Commission Minutes –**
 - i. N/A
 - 6) **Agenda – Additions, Corrections, & Approval**
 - 7) **Public Comment – (Non-Scheduled and Scheduled Agenda Items)**
 - 8) **Old Business –**
 - i. **2022 Case Updates (For informational purposes only)**
 - 202-2022 Steve & Cathy Wusterbarth- SLUP for Accessory Structure- **Approved, Construction not yet started, Land Use Permit Extended per applicants' request.**
 - 902-2022 & 903-2022 Enviro Analytical- SLUP's for Marihuana Safety Compliance Facilities- **Progressing through licensing process**
 - 205-2022 AuSable Developments- SLUP for Apartments- **Preliminary Site Plan Approved, pending final Site Plan review.**
 - 906-2022 Great Green North- SLUP for Class B Grow Facility- **Preliminary approval given, progressing through licensing process.**
 - 103-2022 John Hedstrom- Site Plan Review- **Preliminary approval given.**
 - 10) **New Business – N/A**
 - 11) **Public Hearing–**
 - i. **Case 201-2023- Special Land Use Application- Tom Maxwell**
 - 12) **Report of the Zoning Board of Appeals Representative**
 - 12) **Report of the Township Board Representative**
 - 13) **Report of the Planning Commission Sub-Committees**
 - 14) **Report of the Economic Improvement Committee**
 - 15) **Comments of Planning Commission members**
 - 16) **Report of the Zoning Director**
 - 17) **Adjournment**

**CHARTER TOWNSHIP OF
OSCODA**

Zoning Department

Memo

To: Planning Commission Members

From: Nichole Vallette, Planning & Zoning Director

Date: March 13, 2023

Re: Case #201-2023

Nature of Case #201-2023:

Case #201-2023, Tom Maxwell, has submitted a Special Land Use Application for Two New Mini Storage Buildings, one 30'x240' and the other 30'x240.

Existing Property Conditions:

The parcels are in the B-2 General Business District. There are two parcels that the applicant is in process of combining. Parcel #064-W40-000-028-00, N US 23, is 60'x340' or .468 Acres. Parcel #064-W40-000-055-00, Cedar Lake Rd, is 60'x338' or .466 Acres. The two parcels total .934 Acres. These parcels are currently vacant.

Communications Received:

Communications received will be read at the meeting.

Planning & Zoning Director Recommendations/Comments:

Tom Maxell is proposing to build two lean-to style Mini Storage Buildings. In the B-2 District, Setbacks are subject to site plan approval. The proposed setback is 15' from the North lot line, 108' between buildings, 15' from the South lot line and 50' from N US 23 and 50' from Cedar Lake Rd. MDOT is strongly encouraging an entrance to be placed on Cedar Lake Rd opposed to N US 23. The proposed buildings cover less than 35% of the lot, which is the maximum coverage allowed and each building will be less than the 7,500Sq. Ft max allowed.

The list of the following must be met for Site Plan Approval.

Section 10.3 - Standards for Approval:

A site plan shall be reviewed and approved by the Planning Commission upon finding that the following conditions are met.

1. That the proposed use will not be detrimental to the adjacent properties or the surrounding neighborhood.
2. That there is a proper relationship between existing roads and highways and proposed deceleration lanes, service drives, ingress and egress drives, and parking areas to assure the safety and convenience of pedestrian and vehicular traffic.
3. That buildings, structures, parking areas, utility areas, walls, and fences are so designed and located to minimize the adverse effects of such development on users of such development and occupants of adjacent properties.
4. That any adverse effects of the proposed development and activities which will impact adjoining occupants or owners shall be minimized by appropriate landscaping, fencing, or other screening.
5. That as many natural landscape features possible are retained, particularly where they provide a barrier or buffer between the development and adjoining properties used for dissimilar purposes and where they assist in preserving the general appearance of the neighborhood or help control soil erosion or the discharge of storm water.
6. The proposed development provides for the proper development of public utilities and infrastructure.
7. All buildings or groups of buildings are arranged to permit emergency vehicle access.
8. That the plan for soil erosion control, storm water discharge, wells, and septic systems have been approved by appropriate public agencies.
9. The Planning Commission may further require landscaping, fences, and walls in pursuit of these objectives and same shall be provided and maintained as a condition of the establishment and the continued maintenance of any use to which they are appurtenant.
10. In approving a site plan, the Planning Commission may recommend marginal access drives. For a narrow frontage, which will require a single outlet, the Planning Commission may recommend that escrow money be placed with the Township so as to provide for a marginal service drive equal in length to the frontage of the property involved. Zoning compliance permits shall not be issued until the improvement is physically provided or monies having been deposited with the Township Treasurer. The Planning Commission shall require marginal access drives for all subdivisions having residential lots facing onto major thoroughfares. Where practical, the Planning Commission shall require a rear lot relationship to major thoroughfares.
11. Where the Township has adopted specific area or neighborhood improvement or redevelopment plans and recommendations involving, but not limited to, public rights-of-way, utilities and storm drainage, parking facilities, building placement, access drives,

floor space density allocations, building facade and architectural treatment, no site plan shall be approved unless there is general compliance with such Township plan.

Section 4.14 B-2, General Business District:

1. **Intent and Purpose:** To provide for convenient day-to-day shopping and personal services for the people of the community with minimum impact upon surrounding residential areas.
2. **Principal Uses:**
 - A. Antique Shops;
 - B. Arcades;
 - C. Building Materials/Supplies;
 - D. Bakeries;
 - E. Barber and Beauty Shops including Spa/Massage Services;¹⁵
 - F. Book Stores, Newsstands, Tobacconists;
 - G. Drive-ins and Fast-food Restaurants;
 - H. Retail, general;
 - I. Financial Institutions;
 - J. Business, general;
 - K. Furniture Repair and Upholstering;
 - L. Funeral Homes;
 - M. Motels, Hotels and Resorts;
 - N. Indoor Theaters;
 - O. Indoor Amusement and Recreation Services;
 - P. Small Engine Repair and Associated Sales;
 - Q. Truck and Trailer Rentals;
 - R. Restaurants;
 - S. Seasonal Goods;
 - T. Sign Companies;
 - U. Community Events;
 - V. Non-profit Community Theater;
 - W. Medical and Dental Clinics;
 - X. Fraternal Organizations and Clubs;
 - Y. Taxicab Establishments;
 - Z. Service Station;
 - AA. Watercraft Sales and Service;

BB. Convenient Stores;
CC. Drug Store/Pharmacy;
DD. Home and Garden Supplies;
EE. Museums;
FF. Nurseries, Wholesale and Retail (no production);
GG. Child Day Care and/or Pre-School;
HH. Pet Store - Retail and Pet Grooming Services;³
II. Professional Services;⁶
JJ. Advertising Firms;⁷
KK. Catering Services;⁷
LL. Mail Order Companies;⁷
MM. Pool and Spa Sales;⁷
NN. Printing Companies;⁷
OO. Radio/TV Stations (No Towers);⁷
PP. Recording Studios;⁷
QQ. Saddlery and Harness Sales;⁷
RR. Technical Services;⁷
SS. Building Sales and Display;⁷
TT. Contractor Services;⁷
UU. Small Engine Repair, Parts, and Sales.⁷

3. Special Permit Uses:

- A. Alternative energy generation, private;
- B. Resident Manager Quarters;
- C. Recreational Vehicle Storage Facility;
- D. Planned Unit Developments (See Article V);
- E. Veterinary Clinics;
- F. Mini-warehouses;**
- G. Vehicle Wash Establishments;
- H. Public Facilities such as Administrative Offices, Police and Fire Stations, Libraries, Museums and Recreation Centers;
- I. Hospitals;
- J. Antique Restoring, repair;
- K. Recreational Vehicle Sales and Service;
- L. Taverns;

- M. Places of Worship;
 - N. Malls/Shopping Centers;
 - O. Vending Machine Companies;
 - P. Bottled Gas Filling Stations;
 - Q. Motor Vehicle Sales and Service;
 - R. Motor Vehicle Repair, Body, Paint, Customizing, etc.;
 - S. Used Motor Vehicle Sales;
 - T. Publicly-owned and operated Parks, Parkways, and other Publicly-owned Outdoor Recreational Facilities;
 - U. Community Use Facility, Private;
 - V. Multiple Family Dwellings;¹⁴
 - W. Tattoo Services;¹⁵
 - X. Parking Lots.
4. **Accessory Uses and Temporary Structures:** See Section 2.2, "Use, Accessory," and "Structure, Temporary," for definitions and permitted uses.
5. **Lot, Building, Yard Requirements:**
- A. **Lot:** Area, five thousand (5,000) SF minimum; width, fifty (50) feet minimum; coverage, eighty-five (85) percent maximum.
 - B. **Principal Building:**
 - 1. Properties fronting on the west side of US-23 and south of F-41: Height, ninety (90) feet maximum; stories, six (6) maximum; area, six hundred (600) sf minimum.
 - 2. All other areas: Height, fifty (50) feet maximum; stories, four (4) maximum; six hundred (600) sf minimum.
6. **Special Notes:**
- A. Businesses abutting residences shall provide opaque fencing or screening in accordance with Section 6.13.
 - B. Off-street parking and loading/unloading areas must be provided in accordance with Section 6.7.
 - C. **Setbacks subject to site plan approval.**
- (Amd. of 7-12-2018; Amd. of 11-29-2018; Amd. of 8-7-2019)

Article IX- Special Land Permits; Mini-warehouse definition:
Mini-warehouses:

- A. Building separation between self-storage buildings on the same site shall be a minimum of twenty-four (24) feet or equal to the building height, whichever is greater.
- B. The total lot coverage of all structures shall be limited to thirty-five (35) percent of the total lot area.
- C. A ten-foot landscaped greenbelt shall be provided between the property line and wall required along all street frontages. A five-foot landscaped greenbelt shall be provided between the property line and wall where the site abuts any residential district. All materials shall be planted in conformance with [Section 6.13](#).
- D. Parking shall be provided in accordance with the following: two (2) spaces for the resident manager, one (1) additional space for each additional employee, and two (2) additional spaces for customers shall be provided adjacent to the rental office.
- E. Internal driveway aisles shall be a minimum of twenty-four (24) feet in width.
- F. All off-street parking areas and driveways shall be hard surfaced and drained so as to preclude drainage onto adjacent property.
- G. All ingress and egress from this site shall be onto a collector street or major thoroughfare.
- H. Building height shall not exceed one (1) story or fifteen (15) feet except that a caretaker or resident manager's unit may be allowed a building height of two (2) stories or twenty-five (25) feet.
- I. No single storage building shall exceed seventy-five hundred (7,500) square feet.
- J. All storage on the property shall be kept within an enclosed building.

Oscoda Charter Township

110 S. State Street Oscoda, MI 48750

989-739-3211 Ext. 250

zoning@oscodatownshipmi.gov

Case# 201-2023

APPLICATION FOR: (circle one)
SPECIAL LAND USE PERMIT
SITE PLAN REVIEW
ADMINISTRATIVE REVIEW

Property owner Information:Name: Cathy's InvestmentsAddress: PO Box 558 OscodaPhone: 989-305-0459**Applicant Information:**Name: Tom MaxwellAddress: 123 S. State St. OscodaPhone: 989-305-0459**Property Information:**Address: N US 23/ Cedar Lake RdZoning District: 064-440-000-028-00 .468 ACREParcel#: 064-440-000-055-00 .466 ACREPhone: 989-305-0459Parcel Size: 60' x 678.99 combined**Engineer - Architect- Surveyor -
other consultant**Name: Trachte Building SystemsAddress: 314 Wilburn RdSun Prairie WI 53590Phone: 1-800-356-5824

E-Mail: _____

Site Plan/Operational Information Submitted (2 complete copies; max. scale 1"=50', 1"=100' over 3 acres)**Project Title and Brief Description:**

Cathy's Storage Units 1"=30' x 240' 1"=30' x 230'
Two buildings of Storage Units Lean-to style

Project Completion Schedule/Phasing:

Please Note: The applicant or their official representative should be present at the Planning Commission's Public Hearing/Meeting to present the application and answer any questions Commission Members may have.

Applicant's Signature: I am the owner of the property included in this application or am officially acting on the owner's behalf. I hereby attest that the information on this application form, the site plan and other attachment(s) is, to the best of my knowledge, true and accurate. I hereby grant permission to the Township Staff and/or any appropriate Township Official to access this property to review the accuracy of the information submitted.

Tom Maxwell
Applicant Signature

2-6-23
Date

Oscoda Township
Site Plan - Special Land Use Application
OFFICIAL USE ONLY

Application Submitted: 2/4/2023 Complete Application Accepted: 2/6/2023 By: NW

Zoning information reviewed and verified as: (circle one) Complying Non-Complying with basic standards of the B2 District.

Non-Compliance(s): For Special Land Use

Approval Required: (circle one) Zoning Director (see Sect. 10.1 B & C) or Planning Commission

Water - Sewer Dept. review and approval is also required:

Water-Sewer Dept. Approval: _____ Date _____

Fire Department Approval: _____ Date _____

Administrative Review: In accordance with (circle one) Section 10.1(8) or 10.1(C) of the Zoning Ordinance, I find this application meets/does not meet applicable requirements.
Therefore I hereby (circle one) **APPROVE** **DENY** this application.

Planning & Zoning Director Signature

Date

Planning Commission Review:

Public Notice Mailing Date: 3/1/2023

Publication Date: 3/1/2023

Public Hearing/Meeting Date: _____

Materials to Commission: 3/13/2023

Planning Commission Action: (circle one) Approved Denied Approved with Conditions

Conditions of Approval:

If the Special Land Use/Site Plan is approved with conditions:

I understand that I will forward documentation to the Planning Commission within 6 months attesting to the progress relative to compliance with conditions 1 through _____

Tam MJD
Applicant

2-6-23
Date

- a. Property dimensions, including total width and depth, and a "North" arrow.
- b. All structures currently located on the property with their size(s) indicated.
- c. The exact distance(s) between all structures on the property.
- d. All roads or easements adjoining, abutting or traversing the property.
- e. An accurate depiction of the driveway access to the property and parking areas.
- f. The proposed placement of any new structure, addition or other improvement on the property, showing the dimensions of the improvements and the distances between them and other structures and the lot lines.

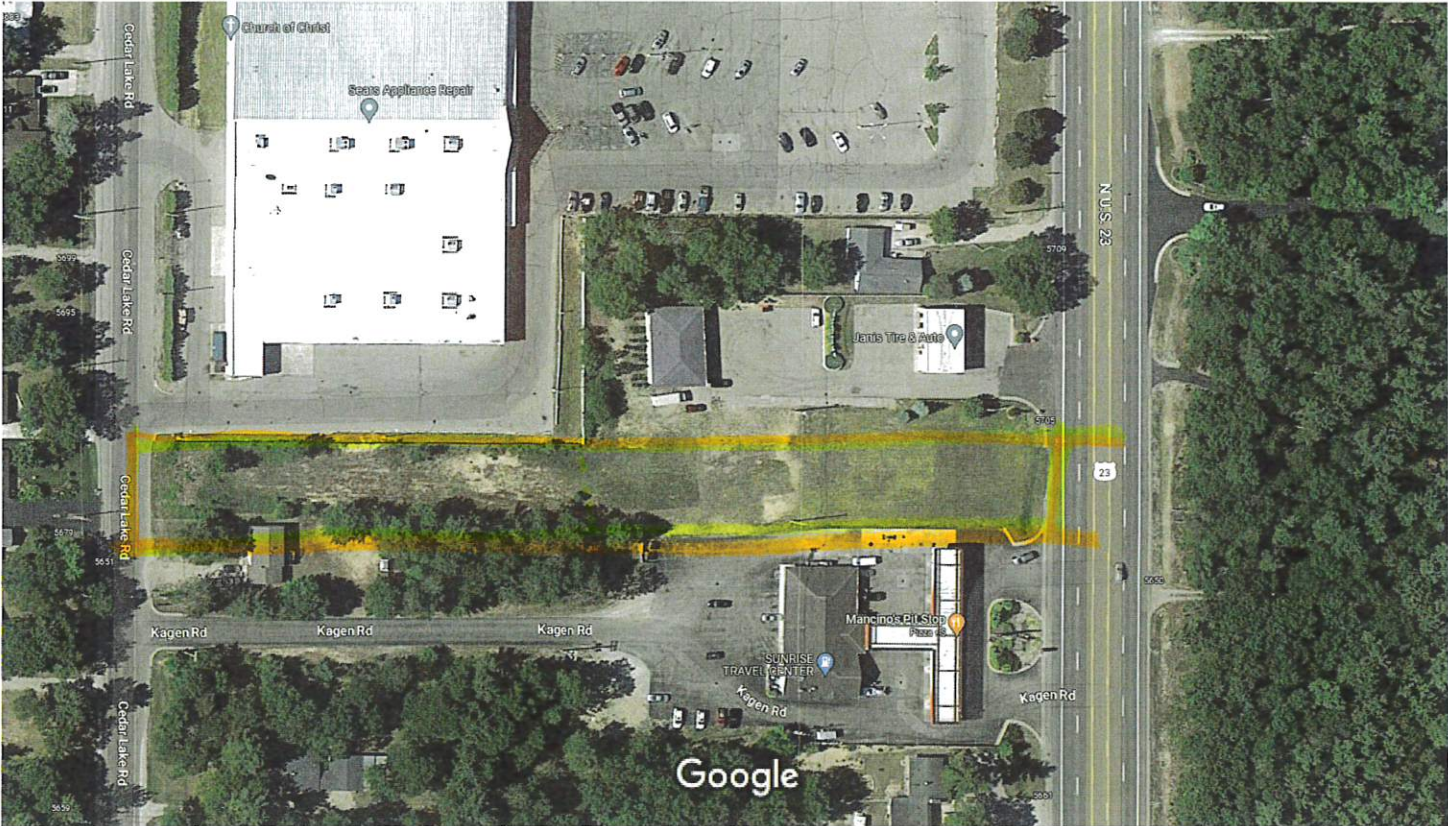
This image shows a full page of blank graph paper. The grid consists of small, equal-sized squares formed by thin black lines. There are 20 columns and 20 rows of squares, creating a total of 400 square units. The grid covers the entire area of the page, leaving no margins or additional markings.

"I certify the above or attached drawing accurately reflects the subject property as surveyed including property lines and the height, size, and setback locations of existing and proposed structures and improvements."

(Date)



Google Maps

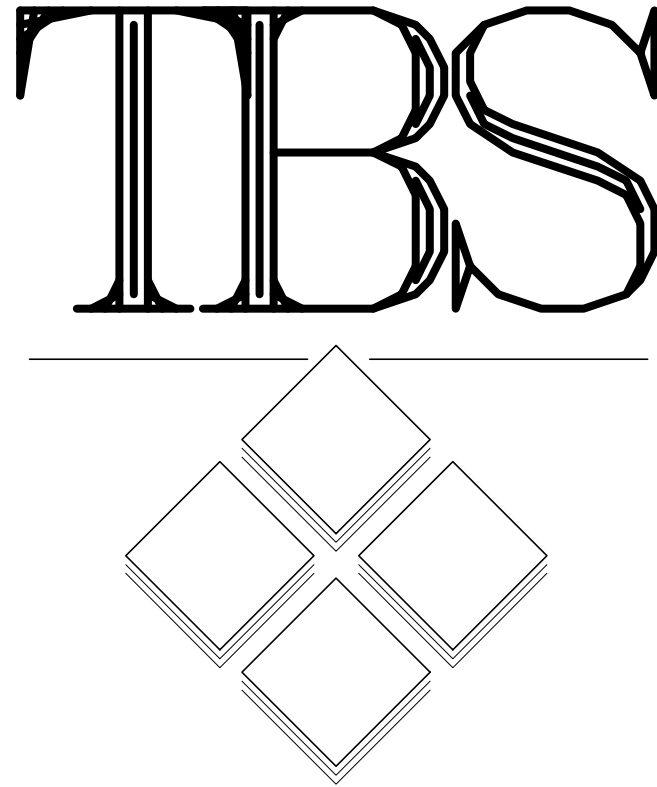


Imagery ©2023 CNES / Airbus, Maxar Technologies, Map data ©2023 50 ft

TRACHTE BUILDING SYSTEMS, INC.

MINI-STORAGE BUILDING

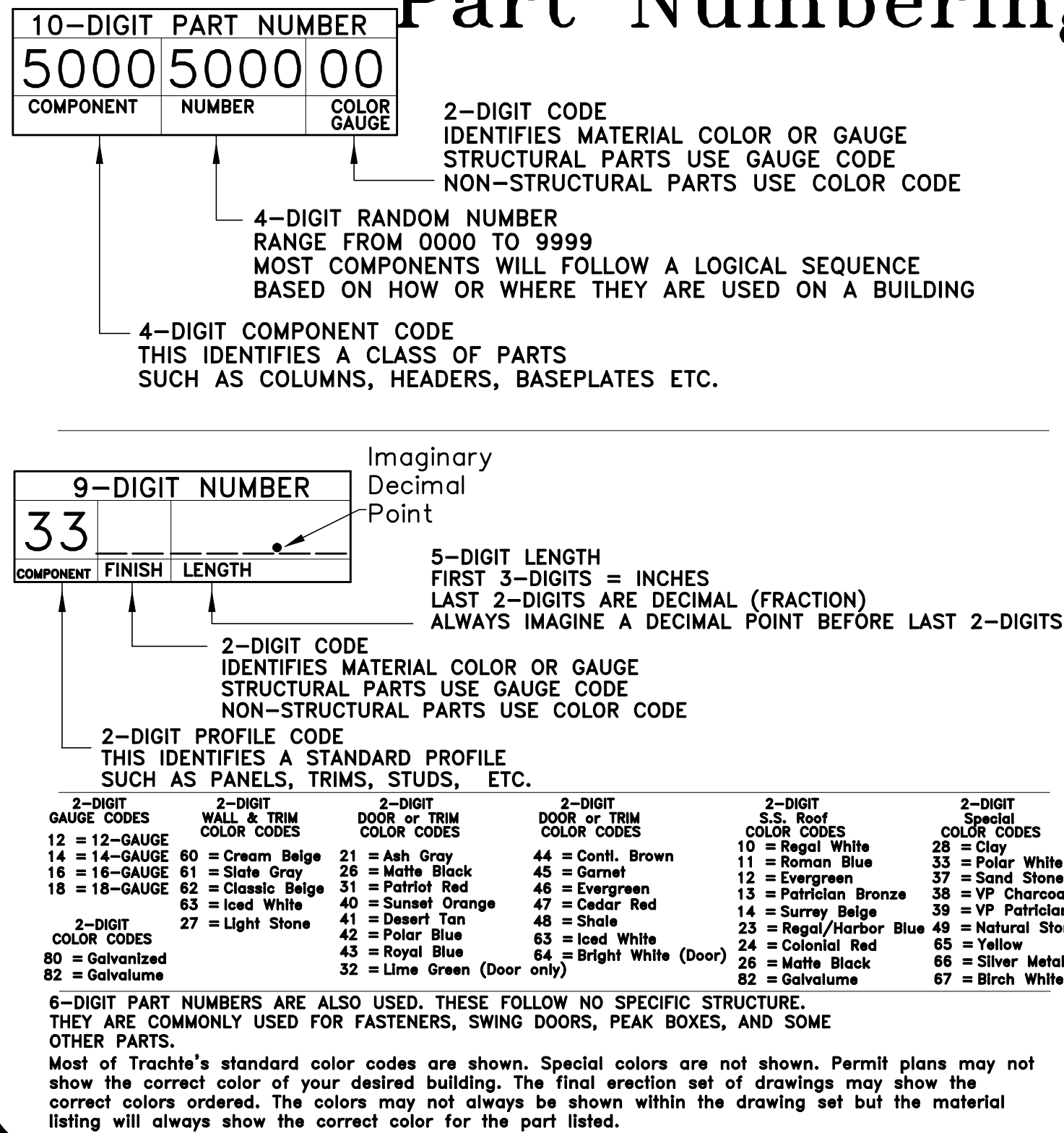
1/4:12 LEAN-TO



Abbreviations

Terms	Terms	Colors
BEW Blank Endwall	NTS. Not To Scale	ASGY Ash Gray
BSW Blank Sidewall	O.C. On Center	BWHT Bright White
BLDG. Building	OPP. Opposite	CDRD Cedar Red
CNR Corner	PART Partition	CLBG Classic Beige
COL Column	PT Partition	CRMB Cream Beige
CTR. Center	PSF Pounds Per Sq. Foot	CONB Contl. Brown
DIA. Diameter	PTD. Painted	DTAN Desert Tan
DBL. Double	QTY. Quantify	EVGN Evergreen
EPDM Ethylene-Propylene-Diene-Monomer	REQ'D. Required	GARN Garnet
EW Endwall	R.O. Rough Opening	IWHT Iced White
EXT Exterior	S.D. Self Drilling	ORAN Sunset Orange
F.O. Finished Opening	STR. Starter	PLBL Polar Blue
F.M. Field Modify	TYP. Typical	ROYB Royal Blue
GA. Gauge	WWF Welded Wire Fabric	SGRY Slate Gray
GALV. Galvanized		
GALVM. Galvalume		
I.D. Inside Diameter		
INT Interior		
MISC. Miscellaneous		
MPH Miles Per Hour		
NOM. Nominal		

Part Numbering



Glossary

Anchor Bolts (Concrete Screws)	--	Bolts used to anchor eave/base angles or channels, and base plates to a foundation or other support.
Angle, Eave/Base Channel, Eave/Base	--	An angle or channel used at the base or top of a paneled wall section. Channels are usually used when the wall section is insulated.
Base Plate	--	A plate attached to the bottom of a column or jamb which rests on a foundation or other support, usually secured by anchor bolts.
Bracing	--	Angles or straps used in the plane of the roof and walls to transfer loads, such as wind, seismic and crane thrusts to the foundation.
Bridging	--	Series of bracing used in the roof framing to stiffen purlins.
Clip	--	A plate or angle used to fasten two or more members together.
Column	--	A main member used in a vertical position on a building to transfer loads from main roof rafters, or purlins to the foundation.
Eave	--	The line along the sidewall formed by the intersection of the planes of the roof and wall.
Footing	--	A pad or mat, usually of concrete, located under a column, wall or other structural member, that is used to distribute the loads from that member into the supporting soil.
Girt	--	A horizontal structural member that is attached to sidewall or endwall columns and supports paneling.
Gutter	--	A light gauge metal member at an eave, valley or parapet designed to carry water from the roof to downspouts or drains.
Header	--	The horizontal framing member located at the top of a framed opening, (doors).
Jamb	--	The vertical framing members located at the sides of an opening (doors).
Purlin	--	A horizontal structural member which supports roof covering.
Rafter	--	The main beam supporting the roof system.
Rake Angle	--	Angle fastened to purlins at rake for attachment of endwall or partition panels.
Structural Line	--	Usually chalk lines laid out on the foundation to aid in placing columns and other structural components of a building floor plan. Accurate placement of these lines is critical to erecting a building.
Rake Trim	--	A trim designed to close the opening between the roof and endwall panels.
Ridge	--	The horizontal line formed by opposing sloping sides of a roof running parallel with the building length.

Symbols & Materials

	Revision Indicator
	Notation Reference
	Detail Identification/Reference
	Detail Identification
	Section Identification/Reference
	Part Number Identification
	Rise/Run Identification
	North Arrow
	Concrete
	Earth
	Insulation
	Down Spout

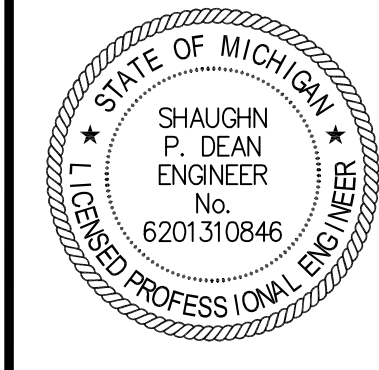
Sheet Index

PAGE # DESCRIPTION

A1.0	FLOOR PLAN & ELEVATIONS BLDG A
A2.0	FLOOR PLAN & ELEVATIONS BLDG B
B1.0	FOUNDATION PLAN AND DETAILS BLDG A
B1.1	FOUNDATION PLAN BLDG B
C1.0	INTERIOR WALL FRAMING ELEVATION
C2.0	END WALL FRAMING ELEVATION
C3.0	ROOF FRAMING PLAN BLDGS A & B
E1.0	SIDEWALL ELEVATIONS & DETAILS
E1.1	SIDEWALL ELEVATIONS & DETAILS
F1.0	INTERIOR PARTITION WALL PANEL DETAILS
F1.1	INTERIOR PARTITION WALL PANEL DETAILS
F2.0	EXTERIOR PANEL PAGE
G1.0	STANDING SEAM ROOF

1

REVISION	By	Date
#1, PDS A1.0, A2.0, B1.0, B1.1, C1.0, C2.0, C3.0, E1.1, F1.1, F2.0, REMOVED PAGE F2.1	CG	2/13/23



TRACHTE BUILDING SYSTEMS, Inc.
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is the exclusive property of
Trachte Building Systems, Inc.
314 Wilburn Road, Sun Prairie, Wisconsin
(608) 556-5824 (Local 608/837-7899)
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or part without written permission.

Code Summary

CODE CONSTRUCTION TYPE	MICHIGAN BUILDING CODE 2015
USE GROUP	TYPE II B
GROUND SNOW LOAD	MODERATE HAZARD STORAGE, S-1
SNOW EXPOSURE CATEGORY	50 psf
SNOW IMPORTANCE FACTOR	B
WIND VELOCITY (V ULT)	0.8
WIND VELOCITY (V ASD)	105mph
WIND EXPOSURE CATEGORY	81 mph
RISK CATEGORY	I
SPECTRAL RESPONSE ACCELERATION (S _s)	0.059
SPECTRAL RESPONSE ACCELERATION (S ₁)	0.034
SPECTRAL RESPONSE ACCELERATION (S _{ps})	0.063
SPECTRAL RESPONSE ACCELERATION (S _{D1})	0.054
SITE CLASS	D
SEISMIC DESIGN CATEGORY	A

General Notes

Structural Fasteners

Trachte structural bolts are SAE J429-Grade-2 or ASTM A307A unless specifically noted. These are typically Trachte Part No's 760110 & 764200. All bolt holes shall be aligned to permit insertion of bolts without undue damage to threads. Bolts shall be placed in all holes and nuts threaded to complete assembly. Compacting joint to snug-fit condition shall progress systematically from most rigid part of joint. Snug-tightened condition is tightness obtained with a few impacts of impact wrench or full effort of ironworker using ordinary spud wrench to bring connected piles into firm contact. Specification for Structural Joints Using High Strength Bolts, December 31, 2009

Self Drilling Fasteners

Use self-drilling screws in the locations, quantities, and methods shown or noted on these drawings. Self-Drilling Fasteners should be used in accordance with SAE J78 specifications for Self-Drilling Screws.

WARNING: When installing Self-Drilling screws, take care to minimize exposed screwpoint hazard, by locating screws next to panel bends and near recessed corners of angles.

Structural Bracing

All structural bracing is an integral part of the structural system and should be installed where noted or shown on the Floor Plans & Roof Framing Plans all connections should be consistent with all details related to installation of bracing components. Removal or alteration of bracing without prior authorization is prohibited.

Temporary Bracing

Temporary supports or bracing required to erect the building is the responsibility of the erector to determine, furnish, install and remove.

Permits

It is the responsibility of the Building Owner/ Contractor/ Erector to obtain all appropriate approvals and necessary permits from City, County, State, or other agencies as required.

Structural Lines

Structural lines are referenced often throughout our drawing details. These relate to the chalk lines that are to be laid out on the foundation. The lines should always be laid out taking into consideration the inherent imperfections commonly associated with foundations. The edge of a foundation is seldom straight enough to use as a base for dimensioning. It is recommended to begin your layout at 10'-1" from the sidewalk edge (refer to "Locating The First Line" in the Trachte Erection Manual). All other lines should be placed accurately from the first line.

By Others

The design, detailing, and materials for items designated as "By Others" are not the responsibility of Trachte Building Systems, Inc.

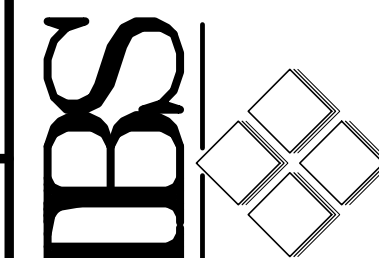
Field Cutting and Drilling

Field cutting and drilling of some parts will be required.

NOTICE:

THE SPECIFIC PROJECT INFORMATION PROVIDED TO TRACHTE BUILDING SYSTEMS, INC. WAS USED IN THE DEVELOPMENT OF THE ENGINEERING DRAWINGS, DETAILS, MATERIALS LIST AND PRICING. ANY DISCREPANCIES BETWEEN THIS INFORMATION AND THE ACTUAL JOB CONDITIONS WILL AFFECT THE ACCURACY OF THIS WORK. TRACHTE IS NOT RESPONSIBLE FOR ANY ADDITIONAL MATERIALS OR ANY LAYOUT PROBLEMS CAUSED BY INACCURATE SITE INFORMATION.

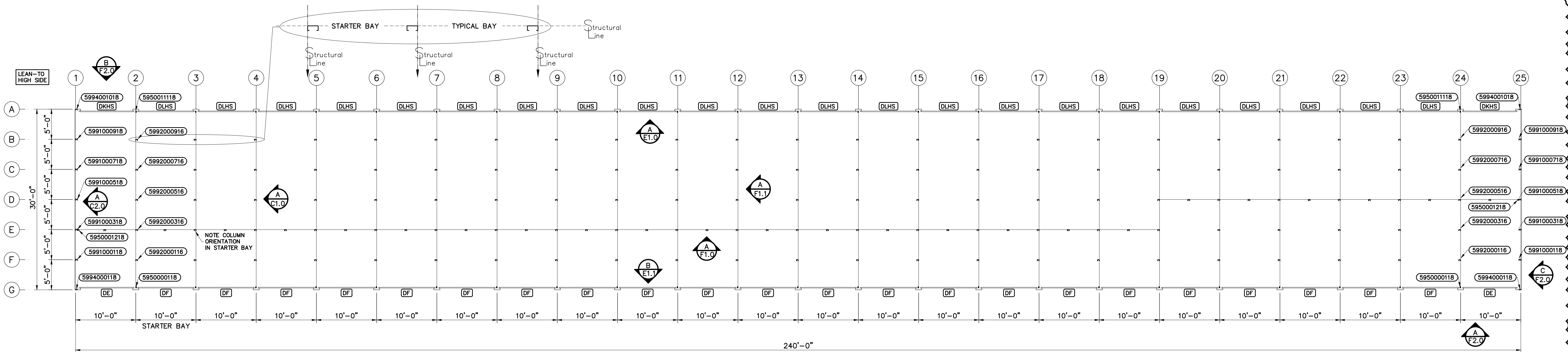
PLEASE RECHECK THIS INFORMATION CAREFULLY!



TOM MAXWELL
OSCODA, MI
COVER PAGE

Date	1/24/23
Drawn by	CG
Scale	N.T.S.
Plan No.	P57809
Order No.	-
Sheet No.	-

Cover

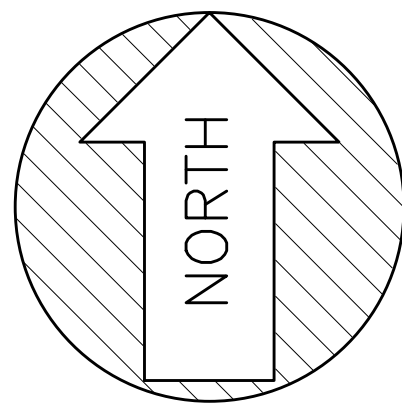


FLOOR PLAN FOR 8'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING A 1/8" = 1'-0"

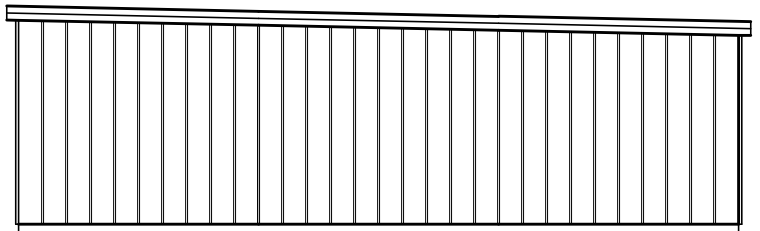
DOOR SCHEDULE							
QTY	CODE	TYPE	SIZE	ROUGH OPENING (REF.)	MANUF.	DESCRIPTION	COLOR
2	DE	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
22	DF	ROLL-UP	9'-0" x 7'-0"	9'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
2	DKHS	ROLL-UP	8'-8" x 7'-7"	8'-8" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
22	DLHS	ROLL-UP	9'-0" x 7'-7"	9'-0" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..

ROLL-UP DOORS MEET ASTM E330

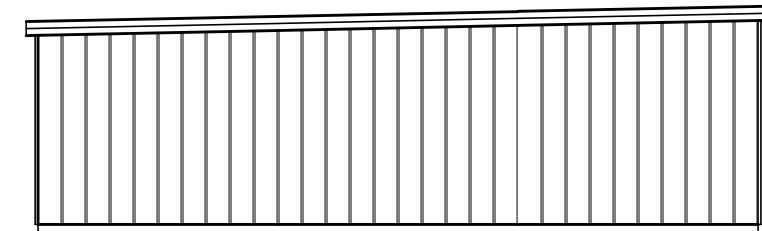
DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SET.
RO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.



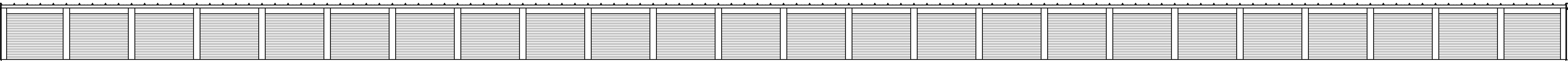
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END WALL ELEVATION

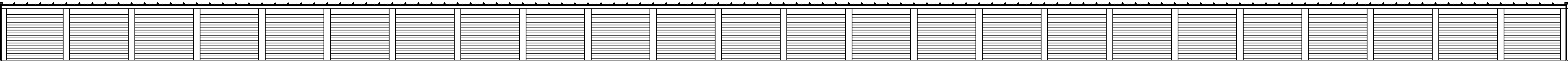


END WALL ELEVATION



SIDE WALL ELEVATION

1/8"=1'-0"



SIDE WALL ELEVATION

1/8"=1'-0"

REVISION

By Date

#1, SHORTENED BUILDING

CG

2/13/23

SHAUGHN P. DEAN

ENGINEER

No. 6201310846

LICENSED PROFESSIONAL ENGINEER

TRACHTE BUILDING SYSTEMS, Inc.

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TBS

TOM MAXWELL

OSCODA, MI

Job Description

Date

2/13/23

Drawn by

CG

Scale

1/8" = 1'-0"

Plan No.

P57809

Order No.

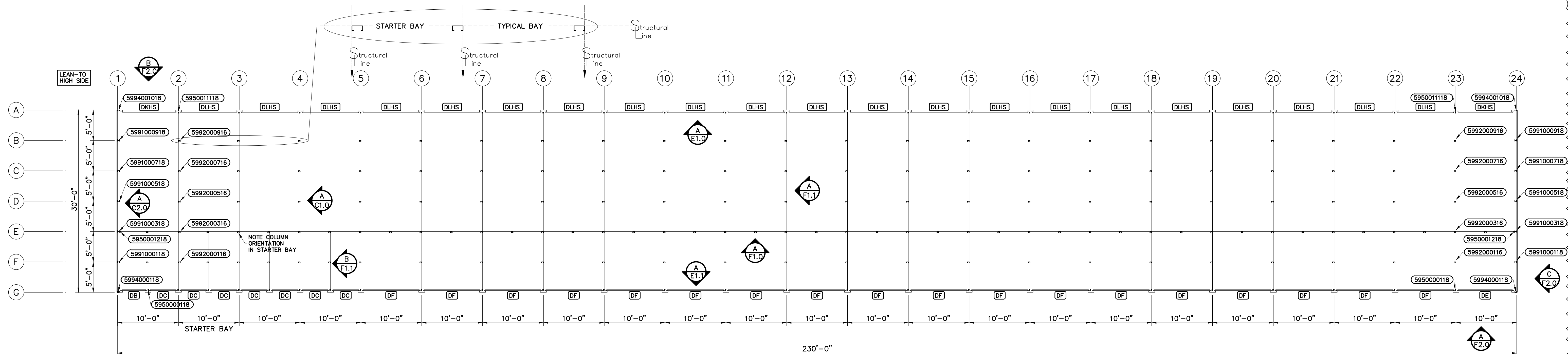
-

Sheet No.

-

FLOOR PLAN & ELEVATIONS BLDG A

A1.0



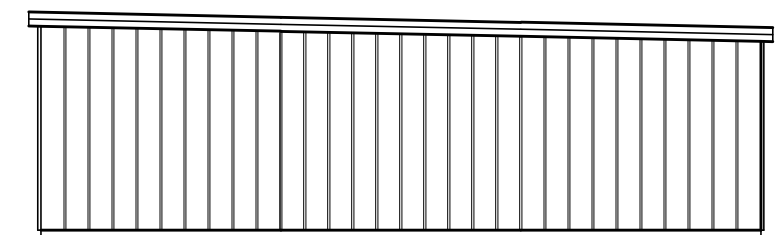
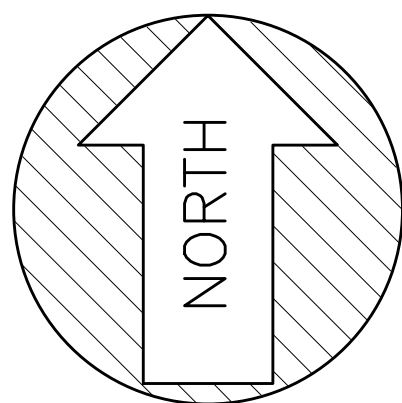
FLOOR PLAN FOR 8'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING B 1/8" = 1'-0"

DOOR SCHEDULE

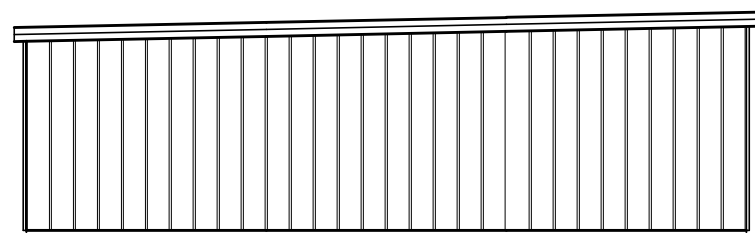
QTY	CODE	TYPE	SIZE	ROUGH OPENING (REF.)	MANUF.	DESCRIPTION	COLOR
1	DB	ROLL-UP	3'-8" x 7'-0"	3'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
7	DC	ROLL-UP	4'-0" x 7'-0"	4'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
1	DE	ROLL-UP	8'-8" x 7'-0"	8'-8" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
18	DF	ROLL-UP	9'-0" x 7'-0"	9'-0" x 7'-0"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
2	DKHS	ROLL-UP	8'-8" x 7'-7"	8'-8" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..
21	DLHS	ROLL-UP	9'-0" x 7'-7"	9'-0" x 7'-7.5"	TRAC-RITE/eq.	ROLL-UP DOOR	COLORED ..

ROLL-UP DOORS MEET ASTM E330

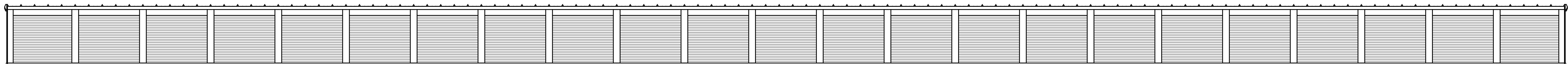
DO NOT ORDER DOORS BY OTHERS PRIOR TO RECEIVING THE ERECTION SET.
RO AND DOOR SIZES MAY VARY DUE TO ENGINEERING ISSUES.



END WALL ELEVATION

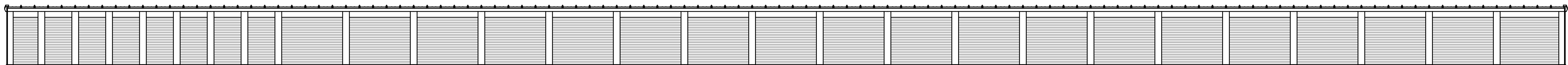


END WALL ELEVATION



SIDE WALL ELEVATION

1/8"=1'-0"



SIDE WALL ELEVATION

1/8"=1'-0"

REVISION

By
Date

#1. CHANGED BUILDING LENGTH AND WIDTH. ADDED SECONDARY PT PANEL.

C1

2/13/23

STATE OF MICHIGAN
SHAUGHN P. DEAN
ENGINEER
No. 6201310846
LICENSED PROFESSIONAL ENGINEER

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TBS

Job Description
TOM MAXWELL
OSCODA, MI

Sheet Title
FLOOR PLAN & ELEVATIONS BLDG B

Date
2/13/23

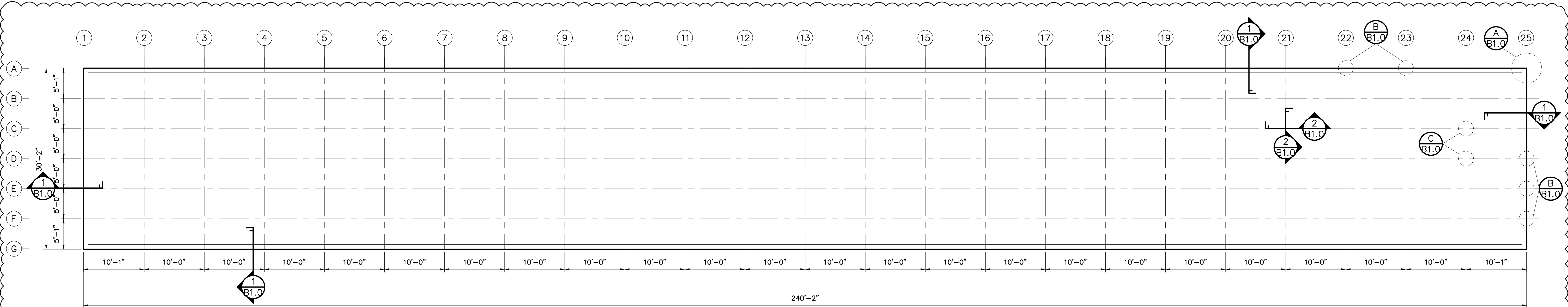
Drawn by
CG

Scale
1/8" = 1'-0"

Plan No.
P57809

Order No.
-

Sheet No.
A2.0



FOUNDATION PLAN for MINI STORAGE BUILDING A

1

GENERAL FOUNDATION NOTES

- FOUNDATION SPECIFICATIONS**
- FLOOR SLAB SHALL BE (SEE LEGEND) THICK WITH 6 X 6 - W1.4 X W1.4 WELDED WIRE FABRIC.
 - CONCRETE SHALL BE OF A MIXTURE AND DENSITY TO YIELD A 2,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS. NOTE: STRUCTURAL DESIGN IS BASED ON 2,500 PSI. HOWEVER, 3,000 PSI IS PREFERRED.
 - REINFORCING STEEL SHALL CONFORM TO ASTM A-615, GRADE 60 FOR #4 AND LARGER BARS, AND GRADE 40 FOR #3 BARS AND ALL DOWELS AND TIES. STEEL SHALL BE KEPT CLEAN AND FREE OF RUST. LAP ALL REINFORCING A MINIMUM OF 28" AT SPLICES AND AROUND CORNERS.
 - WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A-185, AND SHALL BE LAPPED 8 INCHES MINIMUM AT ALL SIDE AND END LAPS. NOTE: WELDED WIRE FABRIC IS USED IN THE STRUCTURAL DESIGN OF THE FLOOR SLAB. THEREFORE, FIBER REINFORCING CANNOT BE USED AS AN ALTERNATE.
 - VAPOR BARRIER SHALL BE A MINIMUM OF 6 MIL POLYETHYLENE WITH JOINTS LAPPED NOT LESS THAN 6 INCHES.
 - STRUCTURAL ANCHORS SHALL BE CONCRETE SCREWS TO BE PROVIDED BY TRACHTE BUILDING SYSTEMS. INSTALLATION INSTRUCTIONS ARE SPECIFIED IN NOTE 01 ON THE ERECTION DETAIL PAGES.
 - NON-STRUCTURAL ANCHORS SHALL BE EITHER POWDER ACTUATED ANCHORS OR TAPCON SCREW ANCHORS. THESE ANCHORS ARE NOT SUPPLIED BY TRACHTE BUILDING SYSTEMS. INSTRUCTIONS FOR LOCATING NON-STRUCTURAL ANCHORS ARE SPECIFIED IN NOTE 02 ON THE ERECTION DETAIL PAGES. NON-STRUCTURAL ANCHORS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
 - FREE DRAINING GRANULAR FILL SHALL BE A NON FROST SUSCEPTIBLE FILL MATERIAL CONSISTING OF COURSE SAND, CRUSHED ROCK, OR AN APPROVED EQUIVALENT.

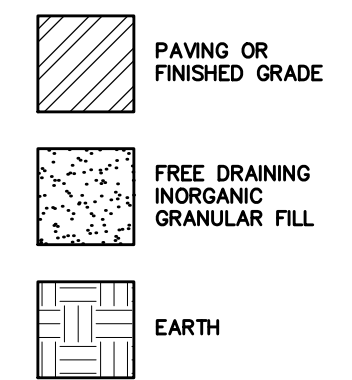
- FOUNDATION DESIGN NOTES:**
- FOUNDATION PLAN SHOWN IS DESIGNED FOR A PRESUMED 1,500 PSF ALLOWABLE BEARING PRESSURE.
 - PLEASE NOTIFY ENGINEER OF ANY UNUSUAL CONDITIONS.
- GENERAL FOUNDATION NOTES:**
- NOTCH SHALL BE LEVEL WITH NO PITCH.
 - FOUNDATION MUST BE SQUARE AND LEVEL.
 - PROVIDE CONTROL JOINTS AT 15'-0" ON CENTER MAXIMUM SPACING. ALL CONTROL JOINTS SHOULD BE LOCATED AT LEAST 1 FOOT OFF OF THE TRACHTE BUILDING SYSTEMS COLUMN GRID SHOWN ON THE FOUNDATION PLAN.

NOTE

TRACHTE BUILDING SYSTEMS, INC. IS ONLY RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION TO ACCEPT OUR BUILDINGS. THE DESIGN IS BASED ON THE PARAMETERS SPECIFIED IN THE NOTES, AND THE LOADS IMPOSED BY OUR BUILDING SYSTEM. IT IS THE OWNERS RESPONSIBILITY TO NOTIFY TRACHTE'S ENGINEERING DEPARTMENT OF ANY UNUSUAL SITE CONDITIONS OR OF ANY MATERIALS NOT SUPPLIED BY TRACHTE, THAT WILL IMPOSE LOADS ON THE FOUNDATION SYSTEM.

ACTUAL CONSTRUCTION OF THE FOUNDATION, INCLUDING LABOR AND MATERIALS FOR PLACING OF REINFORCING STEEL AND CONCRETE IS BY OTHERS AND THEREFORE, NOT THE RESPONSIBILITY OF TRACHTE BUILDING SYSTEMS.

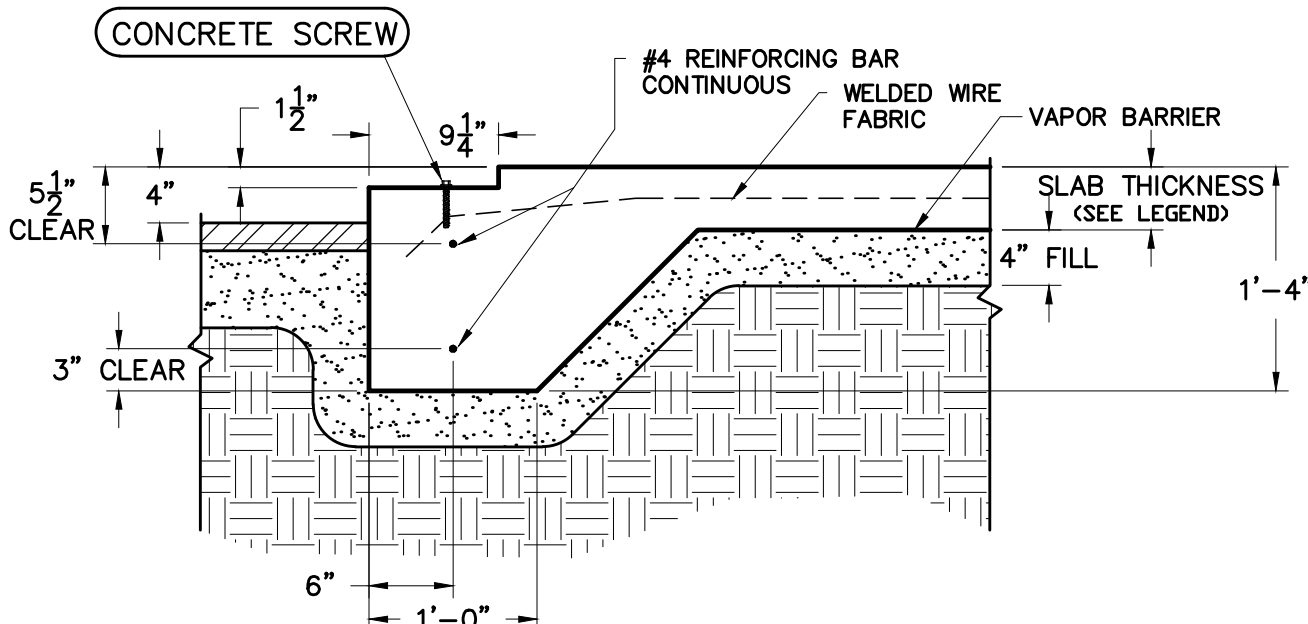
FOUNDATION LEGEND



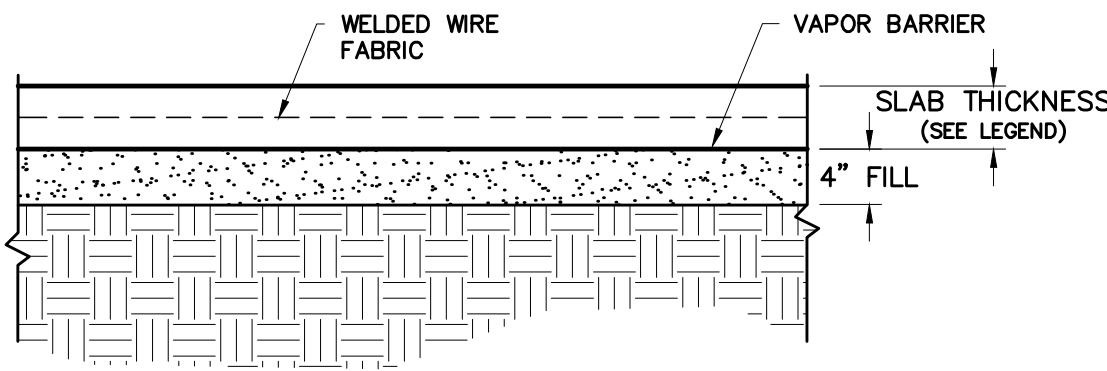
SLAB THICKNESS
5"

CONCRETE SCREW
(INTERIOR)
3/8" x 2 1/2"

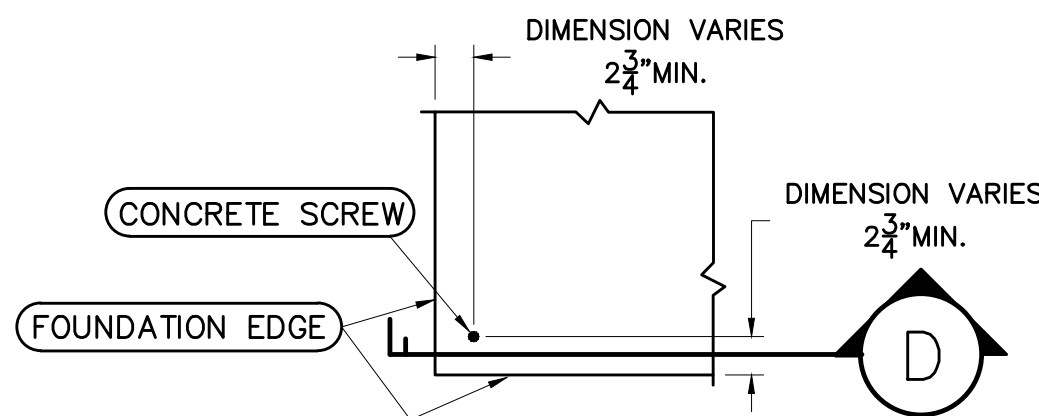
CONCRETE SCREW
(EXTERIOR)
3/8" x 2 1/2"



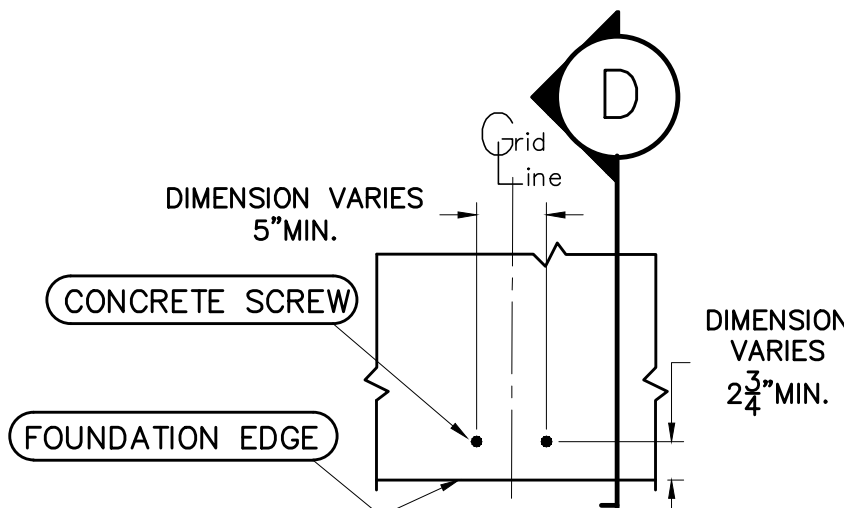
1 FLOATING SLAB DETAIL, NOTCHED



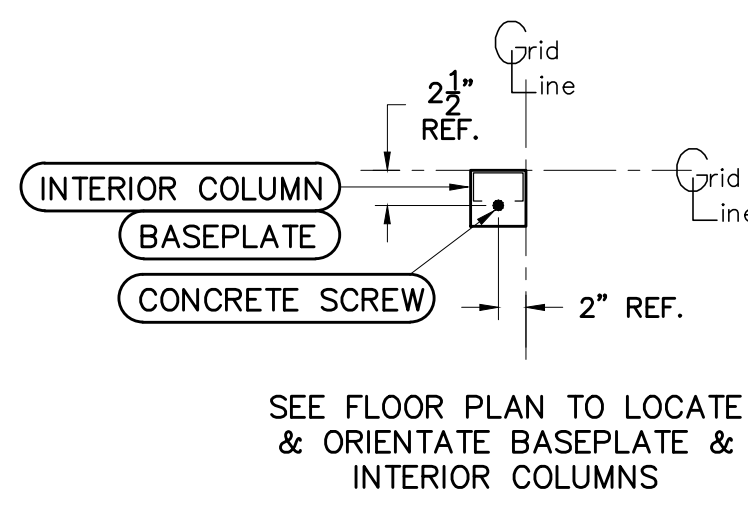
2 SLAB, INTERIOR SECTION



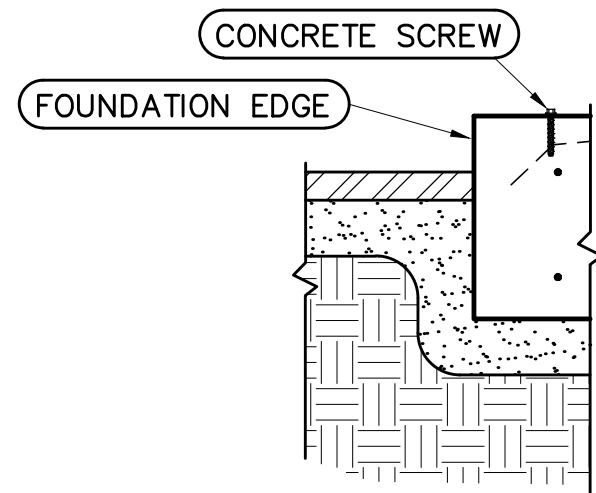
A CONCRETE SCREW LOCATION, CORNER



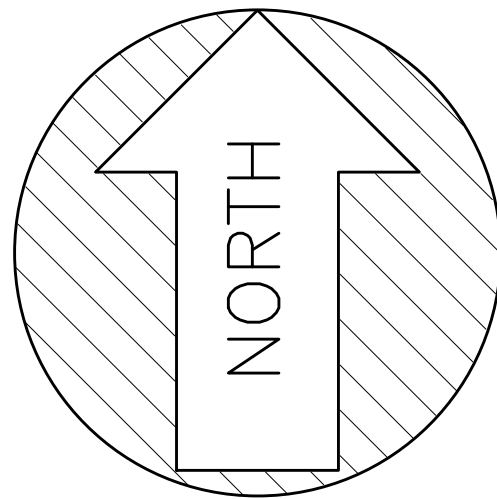
B CONCRETE SCREW LOCATION, EXTERIOR



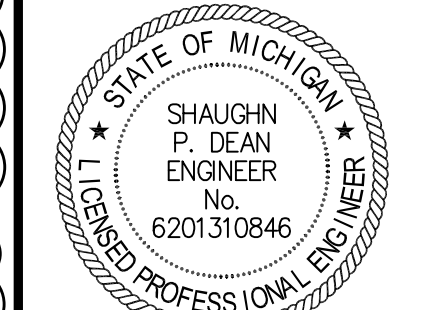
C CONCRETE SCREW LOCATION, INTERIOR BASEPLATE



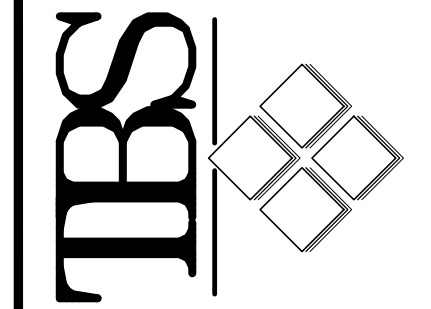
D CONCRETE SCREW, SECTION, FOUNDATION EDGE



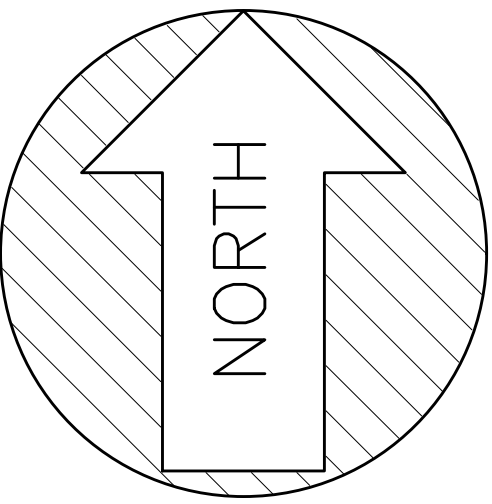
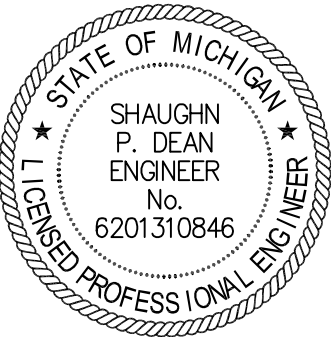
REVISION	By
#1, SHORTENED BUILDING	CG
	2/13/23



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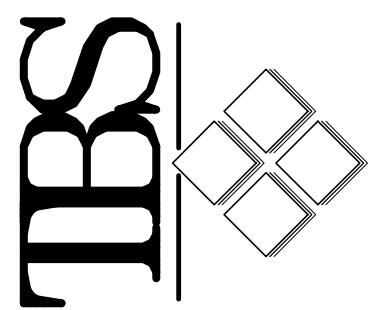


TOM MAXWELL	OSCODA, MI	FOUNDATION PLAN AND DETAILS BLDG A
Job Description		
Date	2/13/23	
Drawn by	CG	
Scale	1/8" = 1'-0"	
Plan No.	P57809	
Order No.	-	
Sheet No.	-	
		B1.0

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Job Description	TOM MAXWELL — — — OSCODA, MI
Date	2/13/23
Drawn by	CG
Scale	1/8" = 1'-0"
Plan No.	P57809
Order No.	—
Sheet No.	—

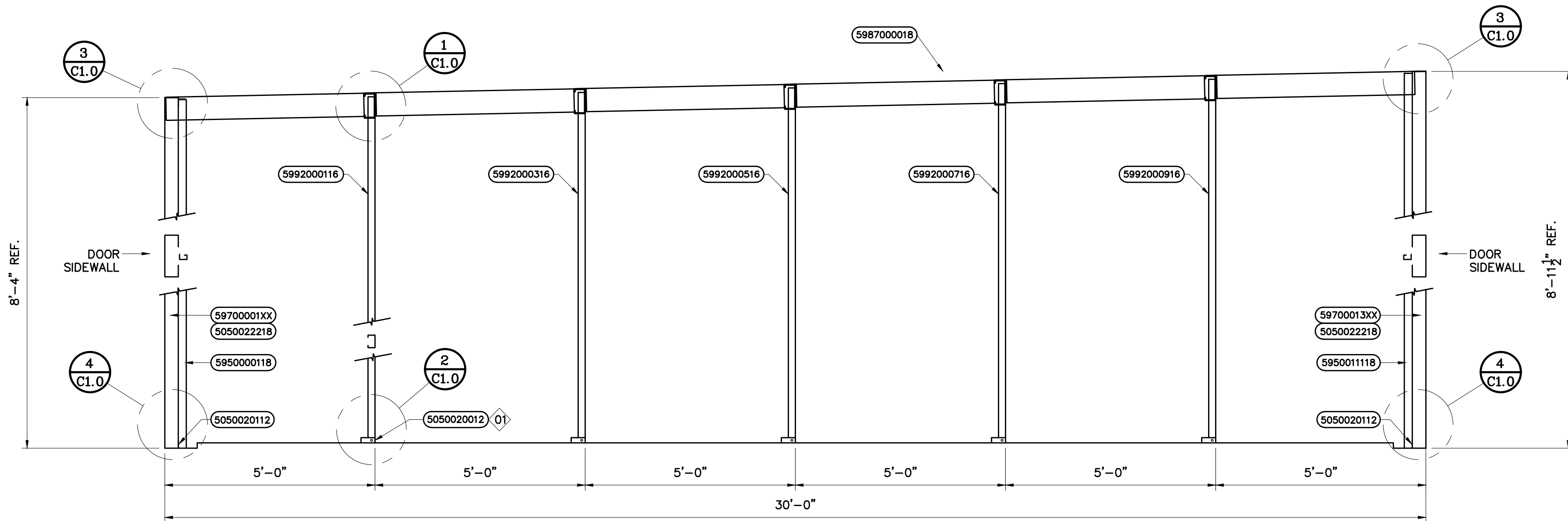
B1.1

PART # INDEX	
PART #	DESCRIPTION
5050020012	12ga. Interior base plate
5050020112	12ga. DBL. jamb, base plate
5050022218	18ga. DBL. jamb clip
5950000118	18ga. PT. support jamb
5950011118	18ga. support, JAMB, 8'-11.50" EV.
59700001XX	18ga. DBL. jamb, 8'-4" COLORED
59700013XX	18ga. double jamb, 8'-11.5", COLORED
5987000018	18ga. PT. rake angle, 5" long
5992000116	16ga. interior column, 3.63" x 2", 5'/EV
5992000316	16ga. interior column, 3.63" x 2", 10'/EV
5992000516	16ga. interior column, 3.63" x 2", 15'/EV
5992000716	16ga. interior column, 3.63" x 2", 20'/EV
5992000916	16ga. interior column, 3.63" x 2", 25'/EV

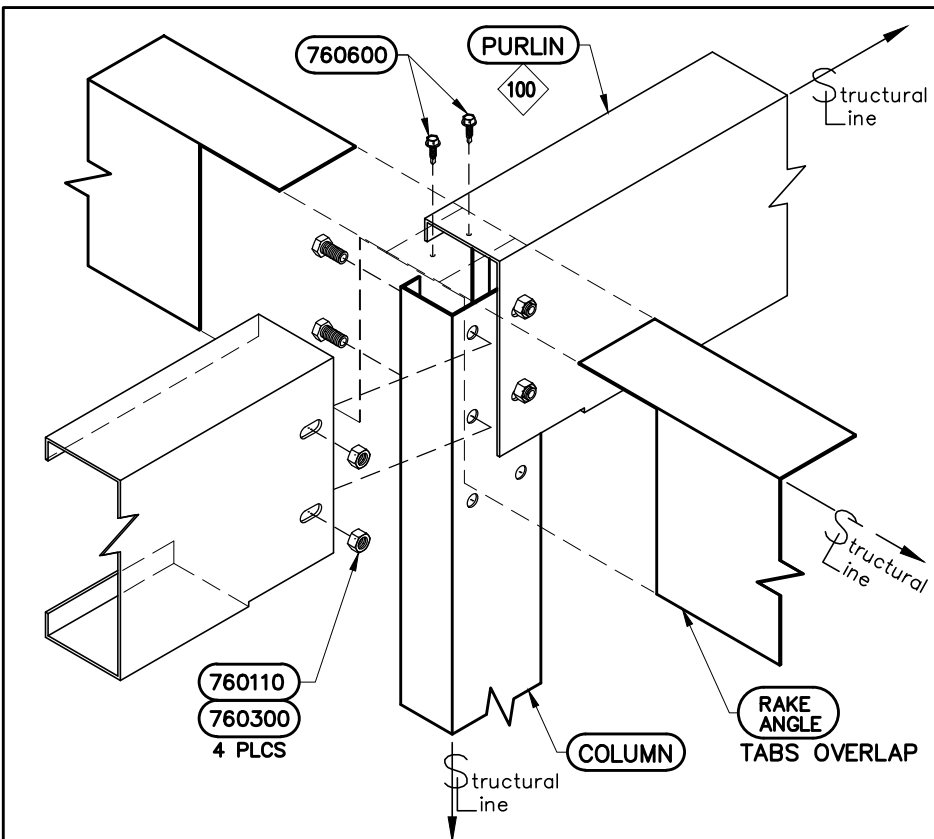
1

01 INSTALLATION PROCEDURES FOR CONCRETE SCREW ANCHORS
STEP 1.
USING THE SAME DIAMETER DRILL BIT, DRILL A HOLE INTO THE BASE MATERIAL TO THE REQUIRED DEPTH. THE TOLERANCES OF THE DRILL BIT USED SHOULD MEET THE REQUIREMENTS OF ANSI STANDARD B212.15.
STEP 2.
REMOVE DUST AND DEBRIS FROM THE HOLE USING A HAND PUMP, COMPRESSED AIR, OR VACUUM.
STEP 3.
SELECT A TORQUE WRENCH OR POWERED IMPACT WRENCH AND DO NOT EXCEED THE MAXIMUM TORQUE, T_{MAX} OR $T_{IMPACT, MAX}$ RESPECTIVELY FOR THE SELECTED ANCHOR DIAMETER AND EMBEDMENT. ATTACH AN APPROPRIATE SIDED HEX SOCKET/DRIVER TO THE IMPACT WRENCH. MOUNT THE SCREW ANCHOR HEAD INTO THE SOCKET.
STEP 4.
DRIVE THE ANCHOR INTO THE HOLE UNTIL THE HEAD OF THE ANCHOR COMES INTO CONTACT WITH THE FIXTURE. THE ANCHOR MUST BE SNUG AFTER INSTALLATION. DO NOT SPIN THE HEX SOCKET OFF THE ANCHOR TO DISENGAGE.

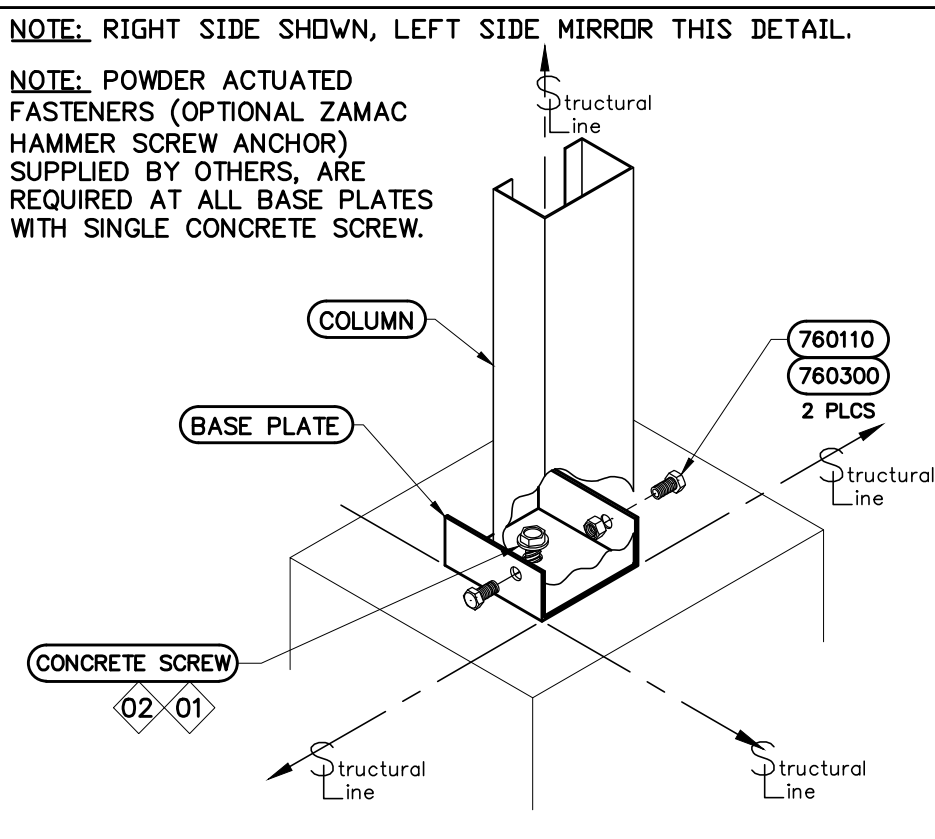
52 BASE PLATE REFERENCE HOLES
HOLES AT THE CENTER OF THE BASE PLATES ARE USED AS A AID TO LOCATE BASEPLATES ON THE STRUCTURAL LINES (CHALK LINES).
02 POWDER ACTUATED ANCHORS (BY ERECTOR)
POWDER ACTUATED ANCHORS ARE TO BE USED AT 24" CENTERS. POWDER ACTUATED ANCHORS ARE TO BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS ONLY. TRACK BASE IS AN EXAMPLE OF PARTS THAT REQUIRE POWDER ACTUATED ANCHORS. NOTE SOME PARTS REQUIRE BOTH POWDER ACTUATED & CONCRETE SCREW ANCHORING AS SPECIFIED.
100 7", 9", 11" & 12" PURLINS:
7" (AS SHOWN) and 9" PURLINS HAVE TWO-BOLT CONNECTIONS ON EACH END. 11" AND 12" PURLINS REQUIRE THREE-BOLT CONNECTIONS ON EACH END.



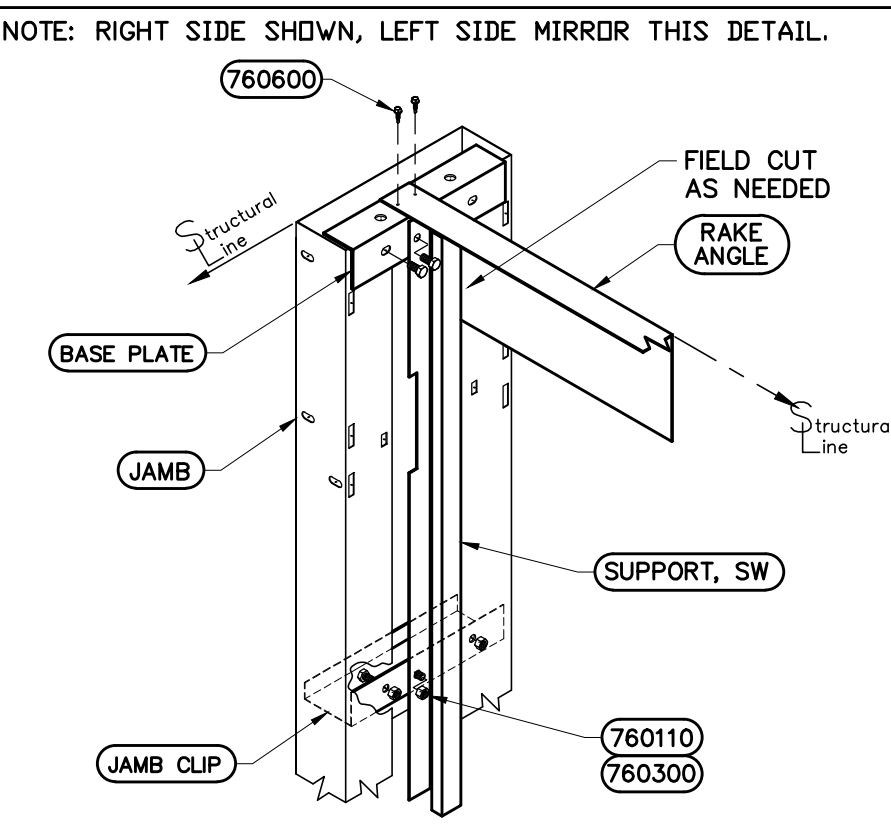
(A) INTERIOR WALL FRAMING ELEVATION, 1/4" PITCH LEAN-TO
PARTITION PANEL NOT SHOWN, SEE PARTITION DETAILS



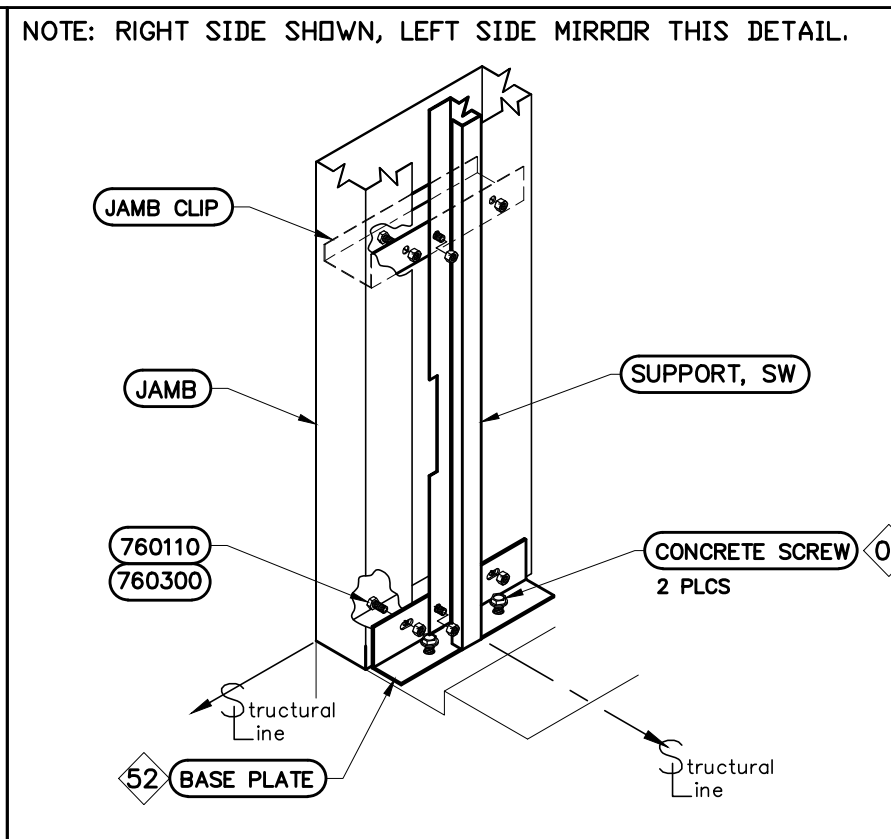
1 INTERIOR COLUMN, PURLIN, RAKE ANGLE CONNECTION



2 INTERIOR COLUMN/BASE PLATE CONNECTION

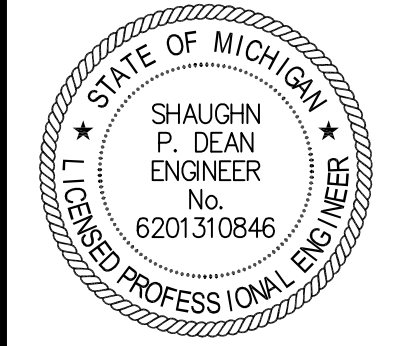


3 JAMB/SUPPORT/RAKE ANGLE CONNECTION

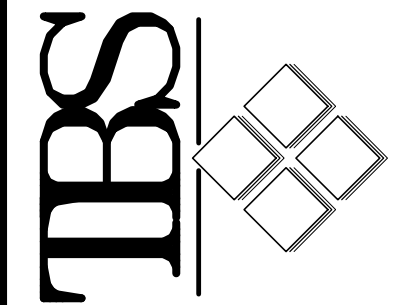


4 JAMB/SUPPORT/BASE PLATE CONNECTION

REVISION	By	Date
#1, REMOVED ELEVATION B. UPDATED PART CHART.	CG	2/13/23



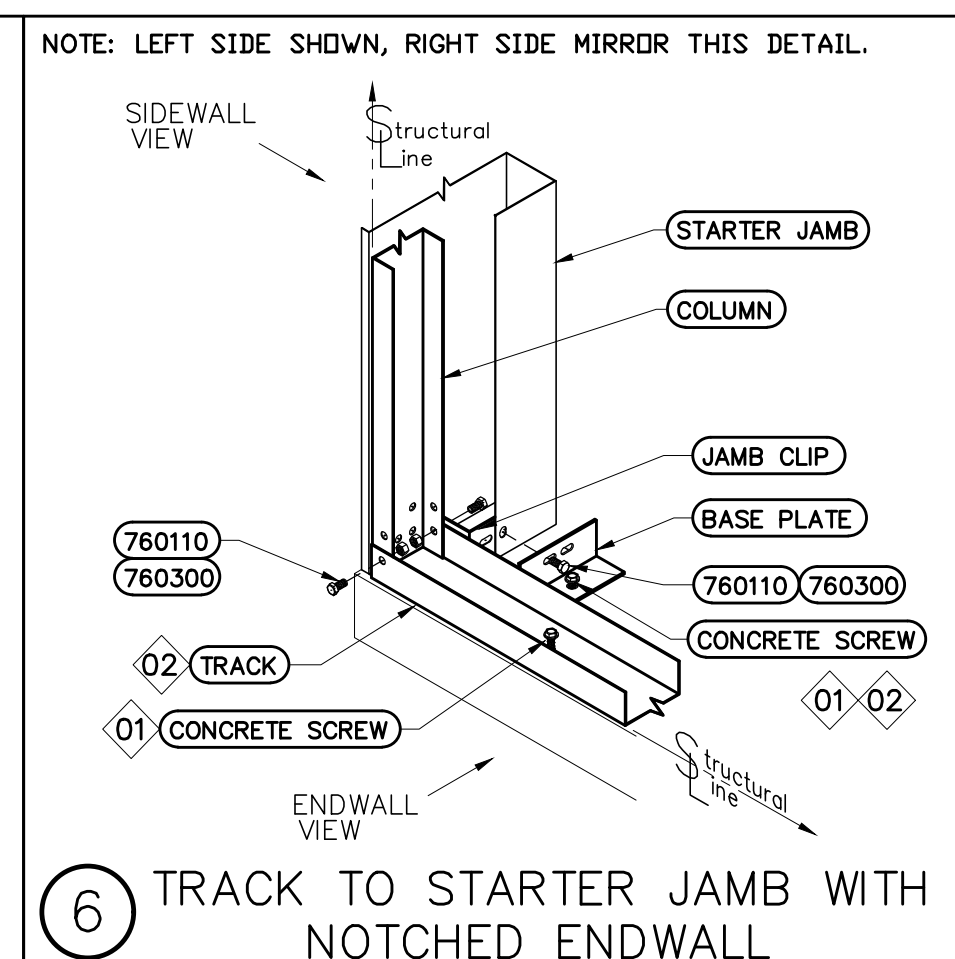
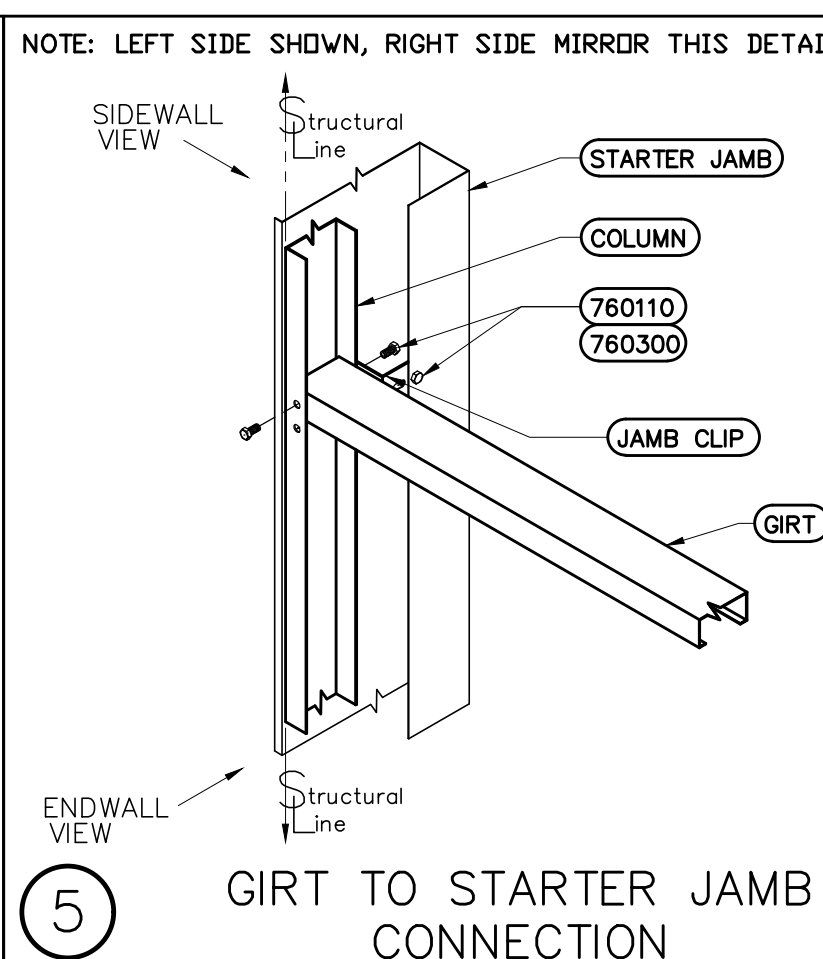
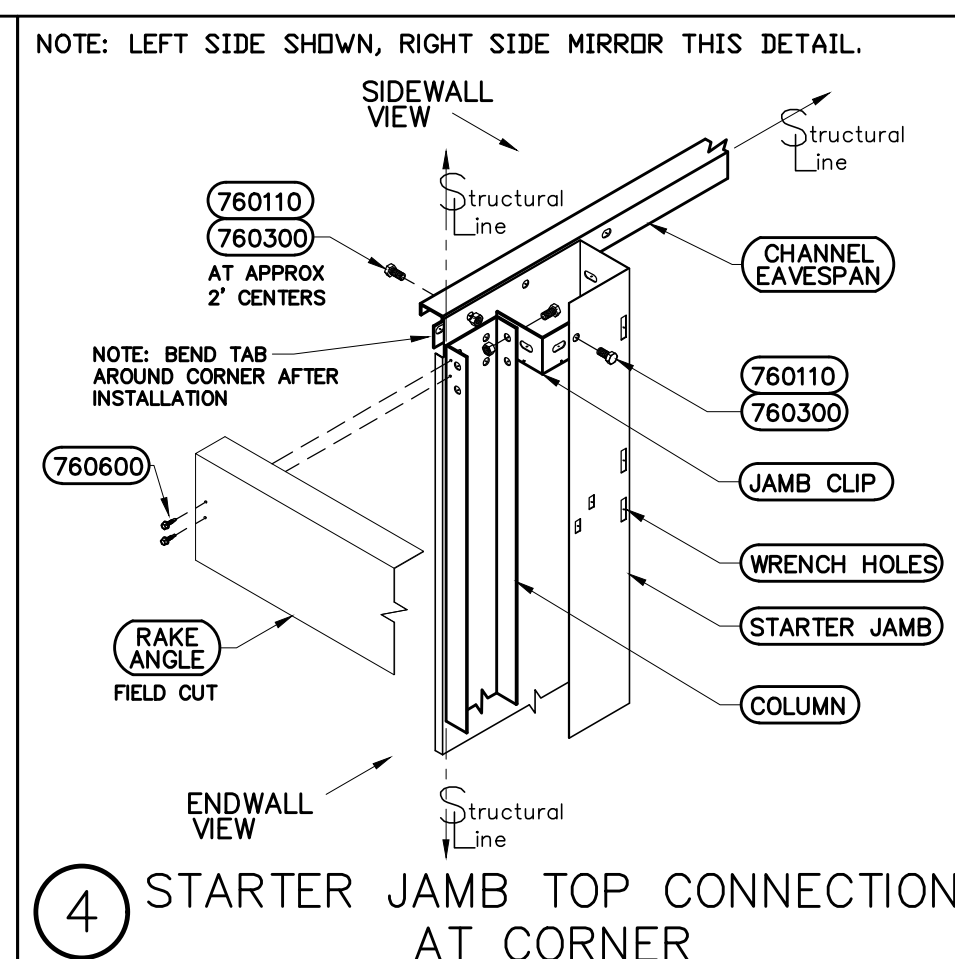
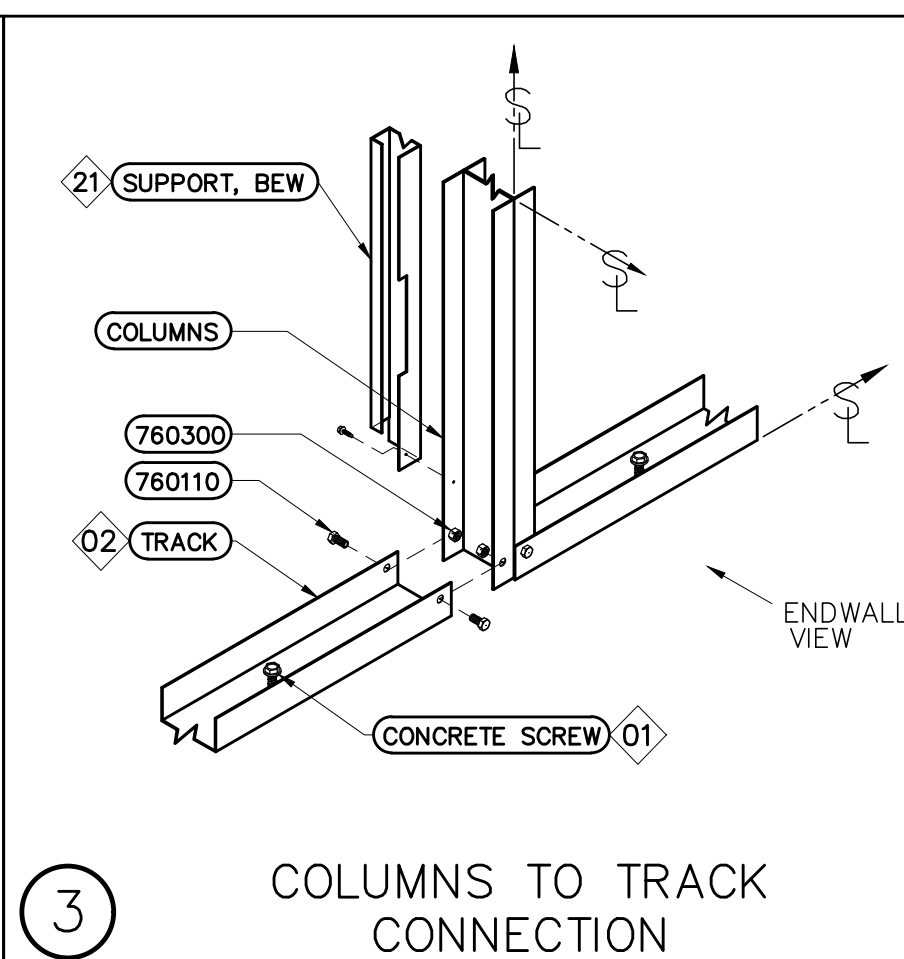
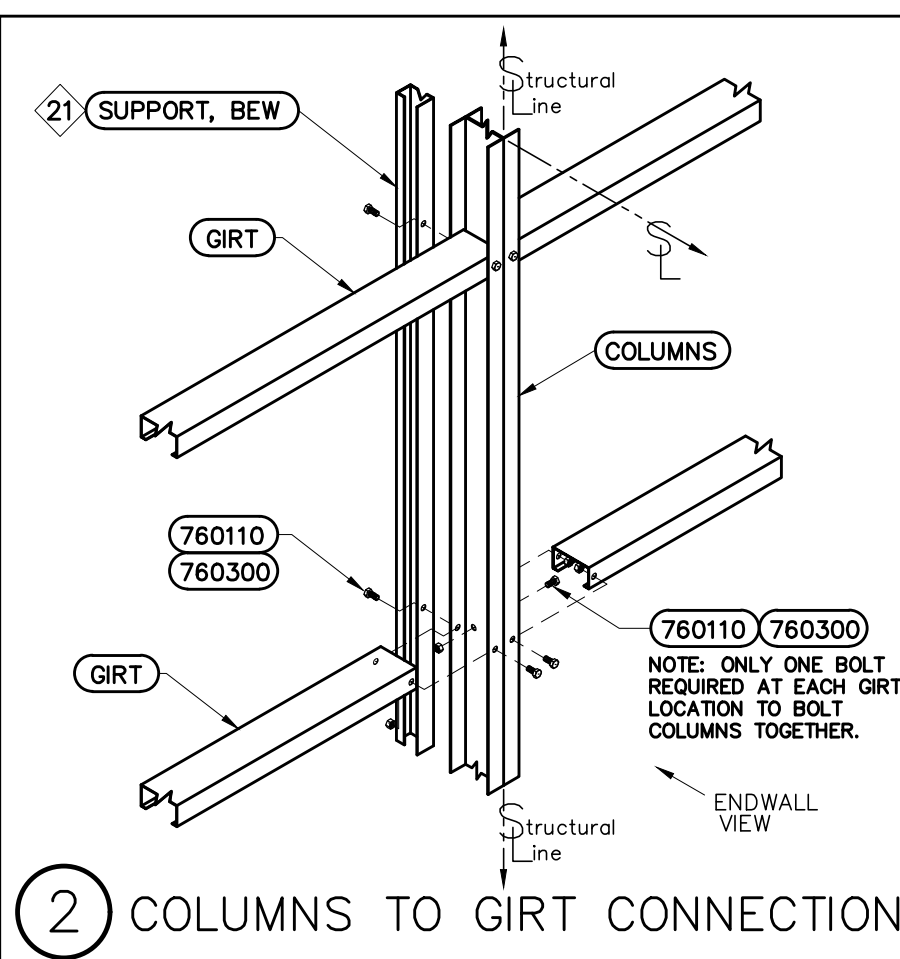
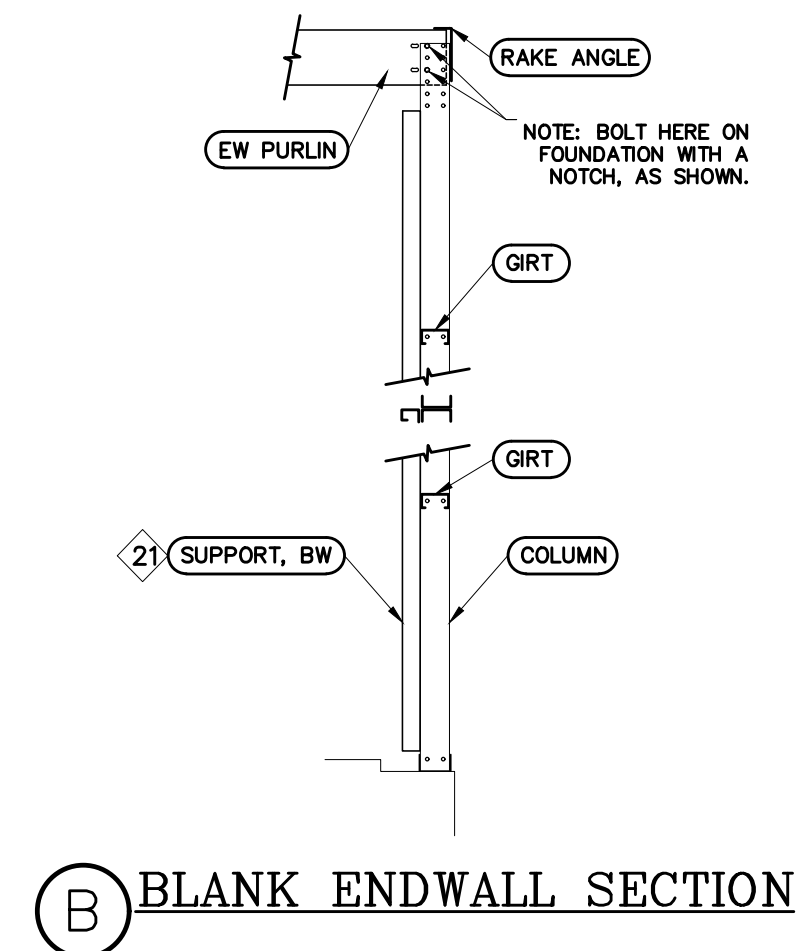
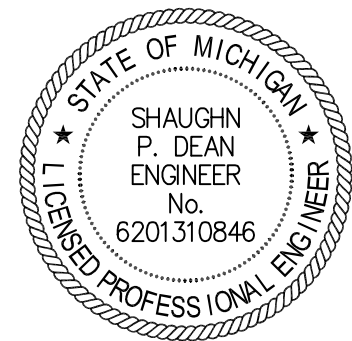
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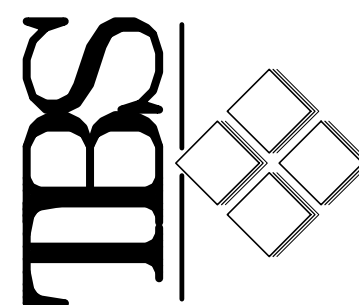
Job Description TOM MAXWELL OSCODA, MI		Sheet Title INTERIOR WALL FRAMING DETAILS	
Date	1/24/23	Drawn by	CG
Scale	1/2" = 1'-0"	Plan No.	P57809
Order No.	—	Sheet No.	—
C1.0			

A regular hexagon with a black outline and a white interior, containing the number 1 in the center.

- 08. FIELD CUTTING**
PARTS PROVIDED FOR OUR BUILDINGS OFTEN NEED FIELD CUTTING. ALL FIELD CUTS SHOULD BE DONE WITH ACCURATE MEASUREMENTS AND QUALITY TOOLS TO ASSURE THAT GOOD APPEARANCE. NOT COMPROMISE ON QUALITY. A SIL TRIM OFTEN NEEDS TO BE NOTCHED FOR CLEARANCE OF BOLT HEADS OR OTHER OBSTRUCTIONS. LAP JOINTS SHOULD ALWAYS BE ARRANGED TO SHED WATER FROM OVERHEAD OR FROM THE PREVAILING WIND DIRECTION. GOOD QUALITY & ACCURATE FIELD CUTS WILL MINIMIZE THE AMOUNT OF CAULKING NEEDED AND PROVIDE FOR A GOOD APPEARANCE.
- 100. 7", 9", 11" & 12" PURLINS:**
7" (AS SHOWN) AND 9" PURLINS HAVE TWO-BOLT CONNECTIONS ON EACH END. 11" AND 12" PURLINS REQUIRE THREE-BOLT CONNECTIONS ON EACH END.
- 19. PARTITION SUPPORT AT BLANK WALL**
BLANK SIDEWALL PARTITION SUPPORT IS ONLY REQUIRED WHERE AN INTERIOR PARTITION PANEL WALL INTERSECTS WITH THE BLANK SIDEWALL. REVIEW YOUR FLOOR PLAN FOR LOCATION AND QUANTITY OF BLANK SIDEWALL SUPPORTS. THE BLANK SIDEWALL SUPPORT MAY NEED TO BE FIELD CUT TO THE PROPER HEIGHT. INSULATED SIDEWALLS WILL USE A ZEE SHAPED SUPPORT, DIFFERENT FROM THE ONE SHOWN. SEE INSTALLATION DETAILS IF YOU HAVE INSULATED SIDEWALLS. SEE FLOOR PLAN FOR PARTITION CHANNEL PART NUMBERS.
- 21. PARTITION SUPPORT AT BLANK ENDWALL**
PARTITION SUPPORT ARE ONLY REQUIRED AT AN INTERIOR PARTITION WALL. SEE FLOOR PLAN FOR LOCATION AND QUANTITY. LINE UP THE BOTTOM BOLT HOLE WITH THE BOTTOM ENDWALL GIRT AND FIELD CUT SUPPORT JUST BELOW PURLINS. YOU WILL NEED NO FIELD NATCH SUPPORT TO ALLOW FOR THE TOP TEE-SCREW CONNECTION.

[illegible]

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TOM MAXWELL

Date 1/24/23

Drawn by CG

Scale $1/2'' = 1'-0''$

Plan No. P57809

Order No. _____

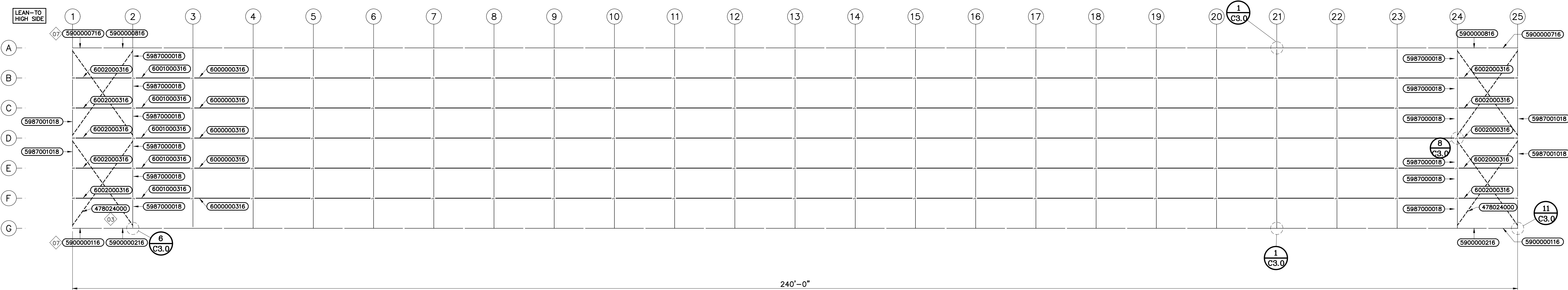
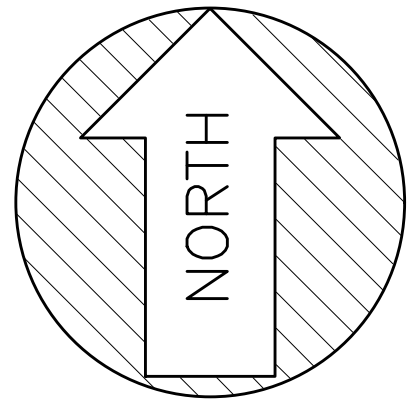
Sheet No.

C2.0

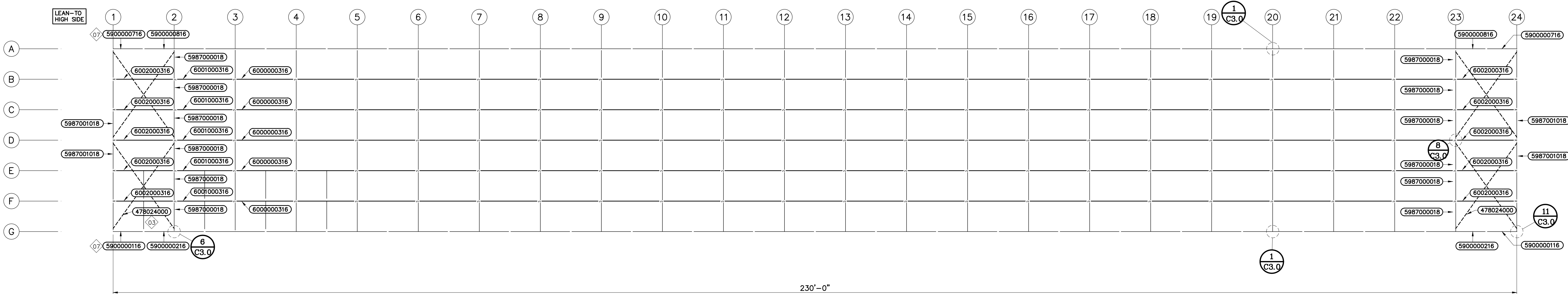
PART # INDEX	
PART #	DESCRIPTION
478024000	16ga. strap bracing 20'-0" long
5900000116	16ga. SW span channel 5'-0" long
5900000216	16ga. SW span channel 10'-0" long
5900000716	16ga. high side SW span channel 5'-0" long
5900000816	16ga. high side SW span channel 10'-0" long
5987000018	18ga. PT. rake angle, 5' long
5987001018	18ga. PT. rake angle, 16' long
6000000316	16ga. typical purlin, 7" x 3" x 10'-0"
6001000316	16ga. starter purlin, 7" x 3" x 9'-8"
6002000316	16ga. endwall purlin, 7" x 3" x 10'-1.5"

- 03 **STRAP CROSS BRACING**
FASTEN STRAP WITH (4) #12 X 3/4" SELF DRILLING SCREWS, P/N 760600, AT EACH END. NOTE THE STRAPS MUST BE INSTALLED AFTER WALLS OR ROOF SECTIONS ARE SQUARED & PLUMBED. ALL STRAPS ARE TO BE INSTALLED SO THEY ARE STRAIGHT & TIGHT (UNDER TENSION). REFER TO ROOF PLAN OR FLOOR PLAN FOR EXACT LOCATION AND PLACEMENT OF ALL BRACING.
- 07 **EAVE SPAN CHANNEL**
WHEN INSTALLING THE EAVE SPAN CHANNELS START WITH A 5' CHANNEL FOLLOWED WITH 10' AND END WITH A 5' EAVE SPAN CHANNEL. CHANNELS WILL OVERLAP AT EACH END. SPAN CHANNELS SHOULD START AND END AT THE MIDPOINT OF A BAY WHENEVER POSSIBLE. SEE ROOF FRAMING PLAN TO DETERMINE WHICH P/N'S TO START & END WITH. INSTALL BOLTS TO SPAN CHANNELS THROUGH TOP TRACKS OR HEADERS @ 2'-0" OC. FIELD CUT EXCESS AT END OF RUN.

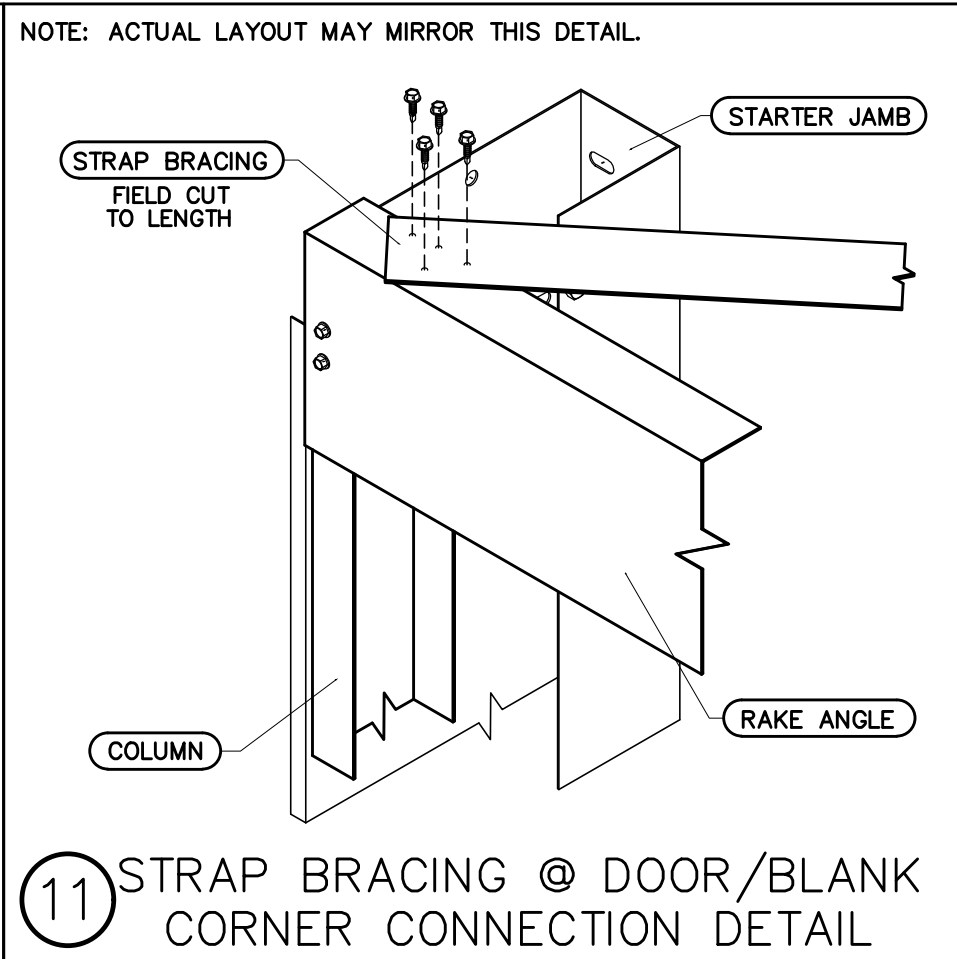
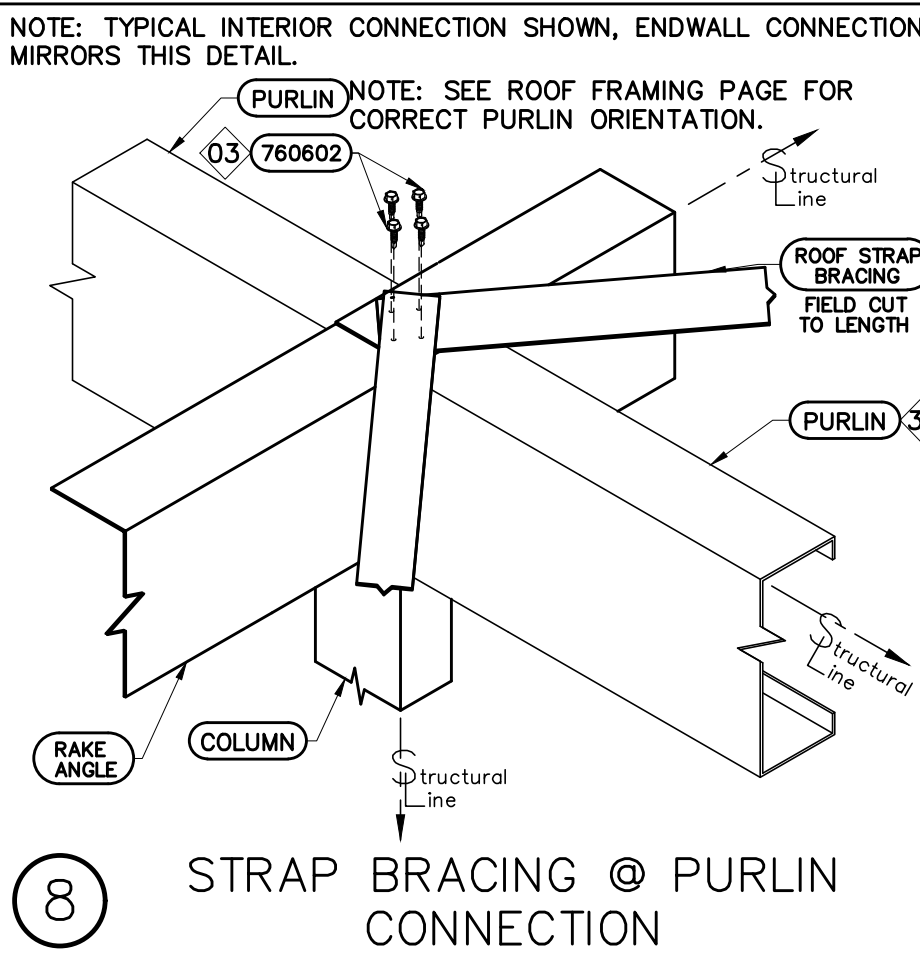
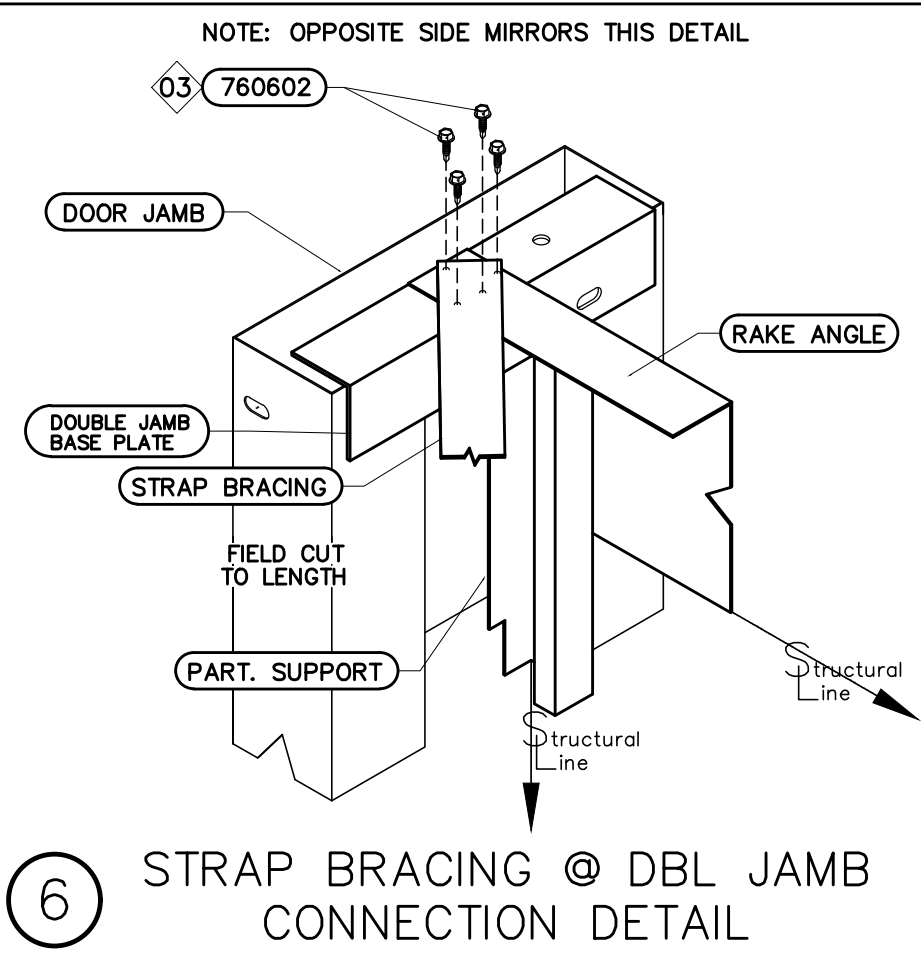
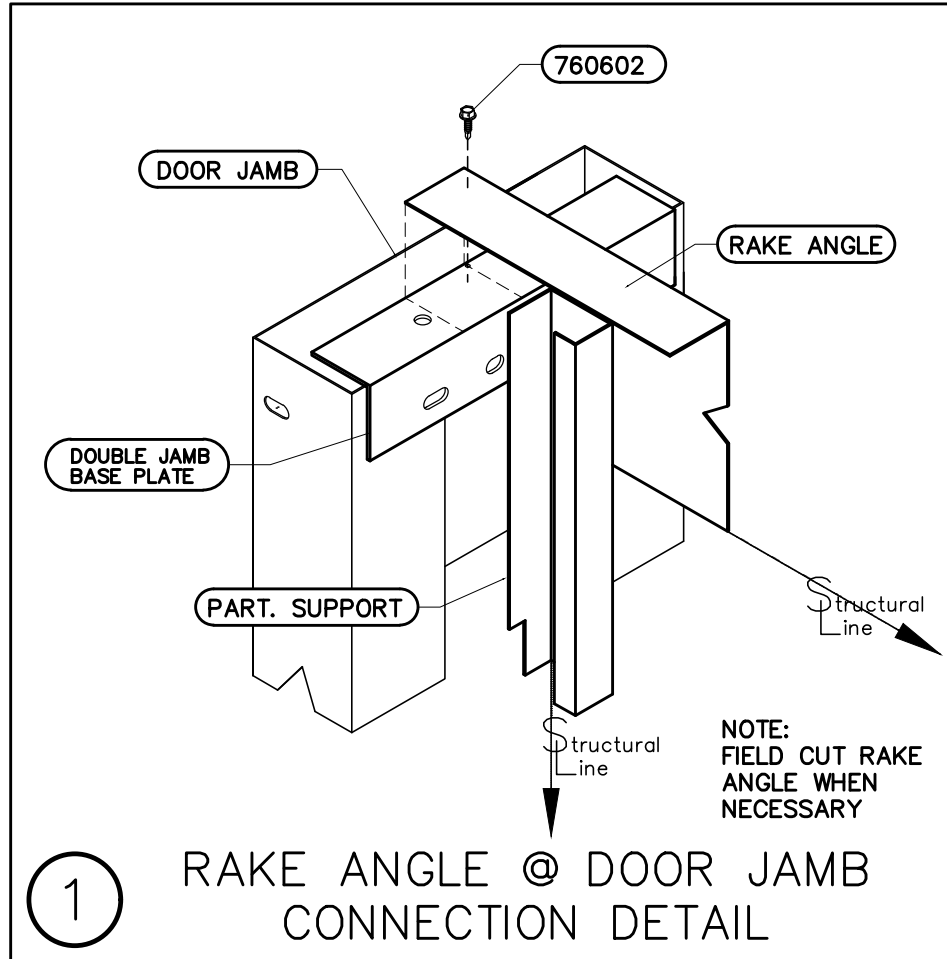
- 34 **PURLIN ORIENTATION**
THE PURLINS ARE ORIENTATED AS SHOWN. THE WEBS OF THE PURLIN AND INTERIOR COLUMN WILL FALL ON THE STRUCTURAL LINE. THE OPEN CAVITY OF THE PURLIN AND INTERIOR COLUMN SHOULD FACE THE EAVE OF THE BUILDING



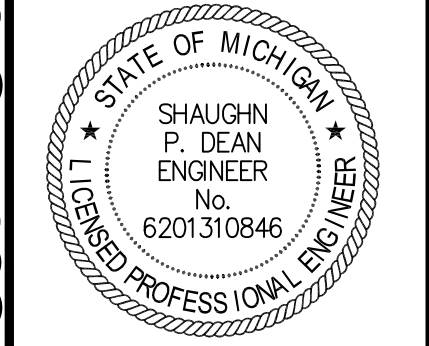
ROOF FRAMING PLAN FOR 8'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING A 1/8" = 1'-0"



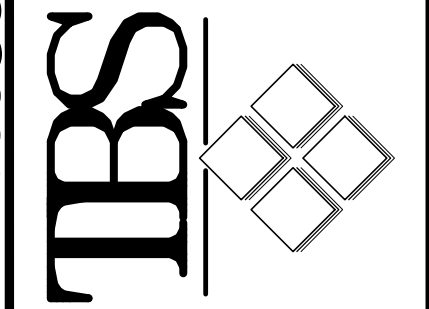
ROOF FRAMING PLAN FOR 8'-4" EAVE, 1/4:12 PITCH, MINI STORAGE BUILDING B 1/8" = 1'-0"



REVISION	By	Date
#1, SHORTENED BLDG A, CHANGED BUILDING LENGTH AND WIDTH ON BLDG B.	CG	2/13/23



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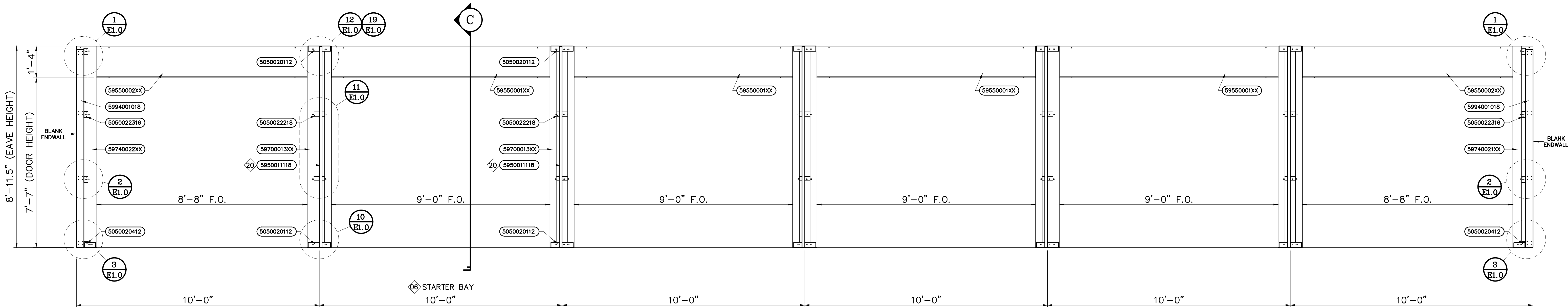
TOM MAXWELL		ROOF FRAMING PLAN	
Job Description	OSCODA, MI	Sheet Title	
Date	2/13/23		
Drawn by	CG		
Scale	1/8" = 1'-0"		
Plan No.	P57809		
Order No.	-		
Sheet No.	-		
C3.0			

PART # INDEX	
PART #	DESCRIPTION
5050020112	12ga. DBL. jamb, base plate
5050020412	12ga. STR. jamb, base plate
5050022218	18ga. DBL. jamb clip
5050022316	16ga. STR. jamb clip
5950011118	18ga. support, JAMB, 8'-11.50" EV.
59550001XX	18ga. SW / EW header, 9'-0", COLORED
59550002XX	18ga. SW / EW header, 8'-8", COLORED
59700013XX	18ga. double jamb, 8'-11.5", COLORED
59740021XX	18ga. starter jamb, RH, 8'-11.5", COLORED
59740022XX	18ga. starter jamb, LH, 8'-11.5", COLORED
5994001018	18ga. BSW column, 3.63" x 1.5", 8'-11.5EV

- 01 **INSTALLATION PROCEDURES FOR CONCRETE SCREW ANCHORS**
STEP 1.
USING THE SAME DIAMETER DRILL BIT, DRILL A HOLE INTO THE BASE MATERIAL TO THE REQUIRED DEPTH. THE TOLERANCES OF THE DRILL BIT USED SHOULD MEET THE REQUIREMENTS OF ANSI STANDARD B212.15.
STEP 2.
REMOVE DUST AND DEBRIS FROM THE HOLE USING A HAND PUMP, COMPRESSED AIR, OR VACUUM.
STEP 3.
SELECT A TORQUE WRENCH OR POWERED IMPACT WRENCH AND DO NOT EXCEED THE MAXIMUM TORQUE, T_{MAX} OR $T_{IMPACT MAX}$ RESPECTIVELY FOR THE SELECTED ANCHOR DIAMETER AND EMBEDMENT. ATTACH AN APPROPRIATE SIZED HEX SOCKET/DRIVER TO THE IMPACT WRENCH. MOUNT THE SCREW ANCHOR HEAD INTO THE SOCKET.
STEP 4.
DRIVE THE ANCHOR INTO THE HOLE UNTIL THE HEAD OF THE ANCHOR COMES INTO CONTACT WITH THE FIXTURE. THE ANCHOR MUST BE SNUG AFTER INSTALLATION. DO NOT SPIN THE HEX SOCKET OFF THE ANCHOR TO DISENGAGE.
- 02 **POWDER ACTUATED ANCHORS (BY ERECTOR)**
POWDER ACTUATED ANCHORS ARE TO BE USED AT 24" CENTERS. POWDER ACTUATED ANCHORS ARE TO BE USED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS ONLY. TRACK BASE IS AN EXAMPLE OF PARTS THAT REQUIRE POWDER ACTUATED ANCHORS. NOTE SOME PARTS REQUIRE BOTH POWDER ACTUATED & CONCRETE SCREW ANCHORING AS SPECIFIED.

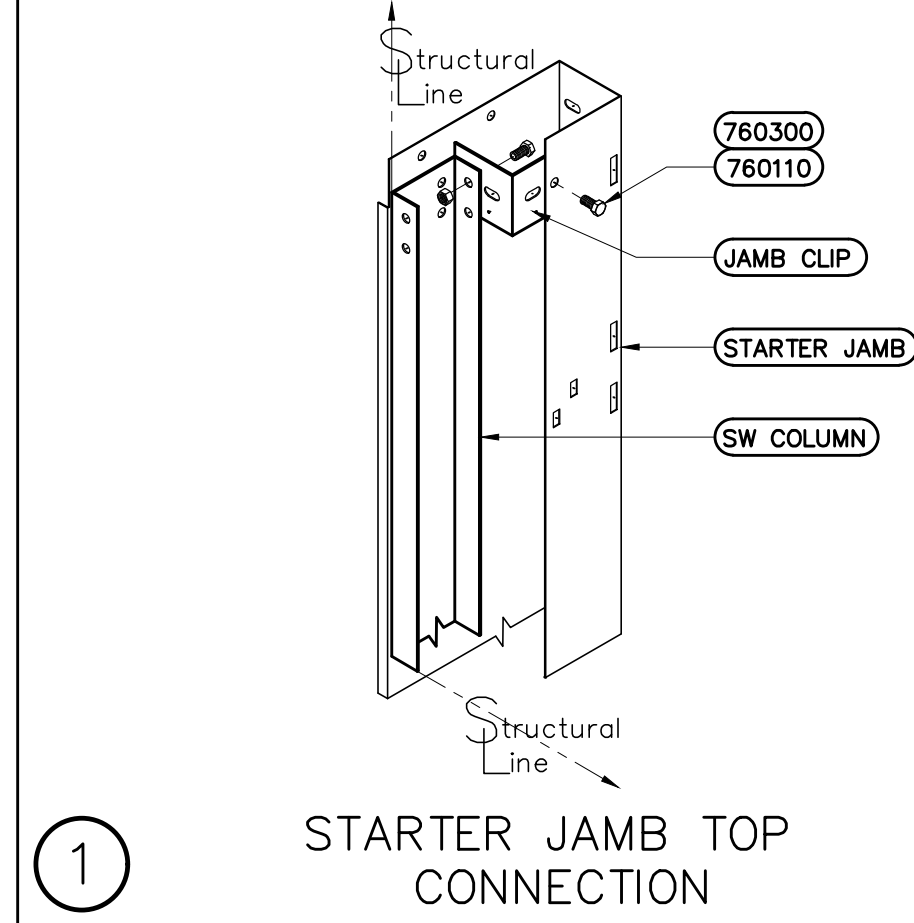
- 06 **STARTER BAY**
A STARTER BAY IS A BAY WHERE 2 ROWS OF COLUMNS FALL IN-BETWEEN THE 10' STRUCTURAL LINES OF THE FLOOR PLAN LAYOUT. TYPICAL 10' BAYS WILL ONLY HAVE ONE ROW OF COLUMNS WITHIN THE 10' STRUCTURAL LINES. THERE IS ALWAYS AT LEAST ONE 10' STARTER BAY. THERE MAY BE MORE THAN ONE IF YOUR BUILDING HAS CORRIDORS. THESE AREAS WILL BE MARKED AS A "STARTER BAY" ON THE FLOOR PLAN AND SIDE WALL PAGES. IT IS CRITICAL THAT THE STARTER BAY BE ERECTED CORRECTLY.
- 07 **EAVE SPAN CHANNEL**
WHEN INSTALLING THE EAVE SPAN CHANNELS START WITH A 5' CHANNEL FOLLOWED WITH 10' AND END WITH A 5' EAVE SPAN CHANNEL. CHANNELS WILL OVERLAP AT EACH END. SPAN CHANNELS SHOULD START AND END AT THE MIDPOINT OF A BAY WHENEVER POSSIBLE. SEE ROOF FRAMING PLAN TO DETERMINE WHICH P/N'S TO START & END WITH. INSTALL BOLTS TO SPAN CHANNELS THROUGH TOP TRACKS OR HEADERS @ 2'-0" OC. FIELD CUT EXCESS AT END OF RUN.

- 20 **PARTITION SUPPORT AT DOOR SIDEWALL**
DOOR SIDEWALL PARTITION SUPPORT IS NEEDED AT EVERY DOUBLE JAMB ALONG THE SIDEWALL. THE SIDE FLANGE OF THE SUPPORT WILL ALWAYS FALL ON THE STRUCTURAL LINE. THE SUPPORT WILL BE ON THE SAME SIDE OF THE STRUCTURAL LINE AS THE INTERIOR COLUMNS. SEE FLOOR PLAN FOR CORRECT ORIENTATION.
- 37 **EXTRA DOOR CLIP AND/OR GIRT @ THE HIGH SIDE**
FOR ALL HIGH SIDES THAT EXCEED A 10'-0" EAVE HEIGHT THERE WILL BE AN EXTRA LINE OF GIRTS (#5985____), DOUBLE JAMB CLIP (#5050022218) AND OR STARTER JAMB CLIP (#5050022316). THIS IS NOT SHOWN IN THE ELEVATIONS. THESE EXTRA PARTS WILL BE FASTENED THE SAME WAY AS THE OTHER CLIPS/GIRTS.



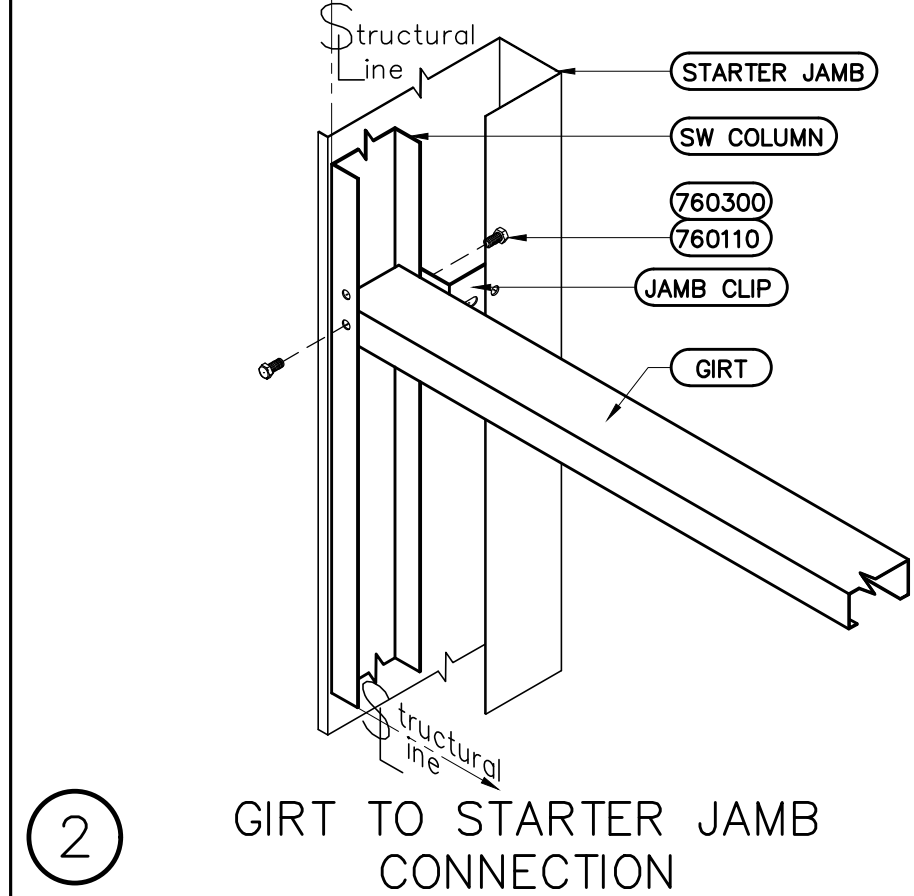
A **SIDEWALL ELEVATION (INTERIOR VIEW)**
(TYP. SIDEWALL ELEVATIONS SHOWN. LENGTH MAY VARY)

NOTE: LEFT EW SHOWN RIGHT EW WILL MIRROR THIS DETAIL



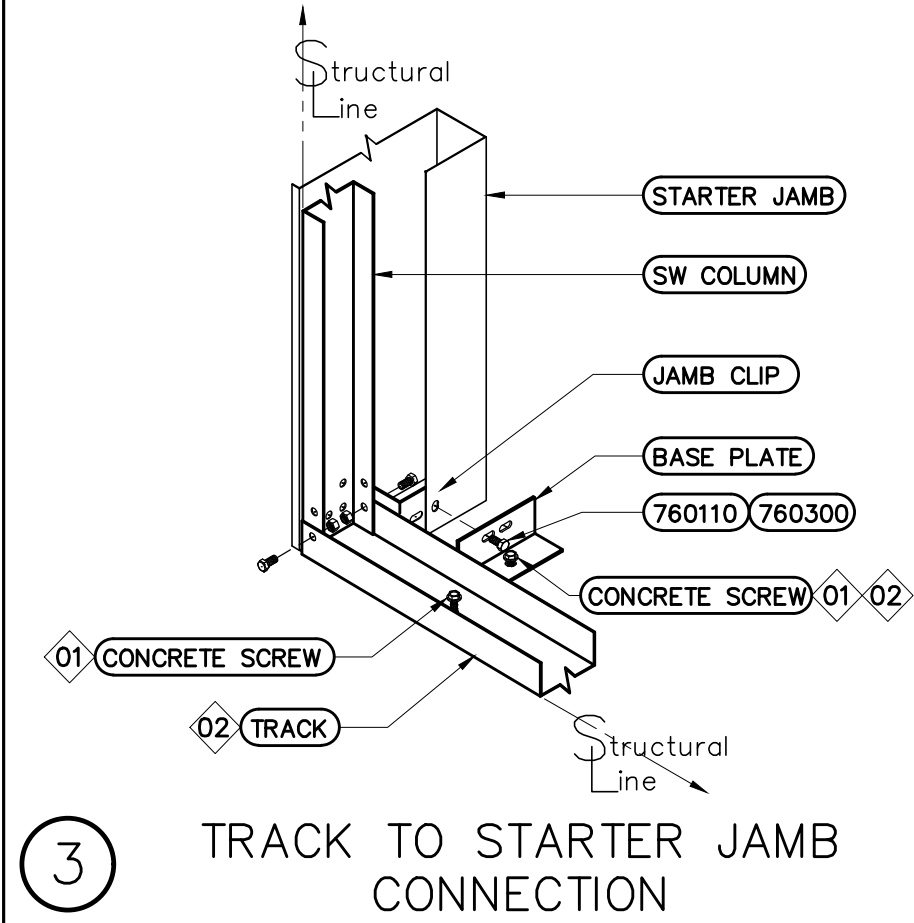
1 **STARTER JAMB TOP CONNECTION**

NOTE: LEFT EW SHOWN RIGHT EW WILL MIRROR THIS DETAIL



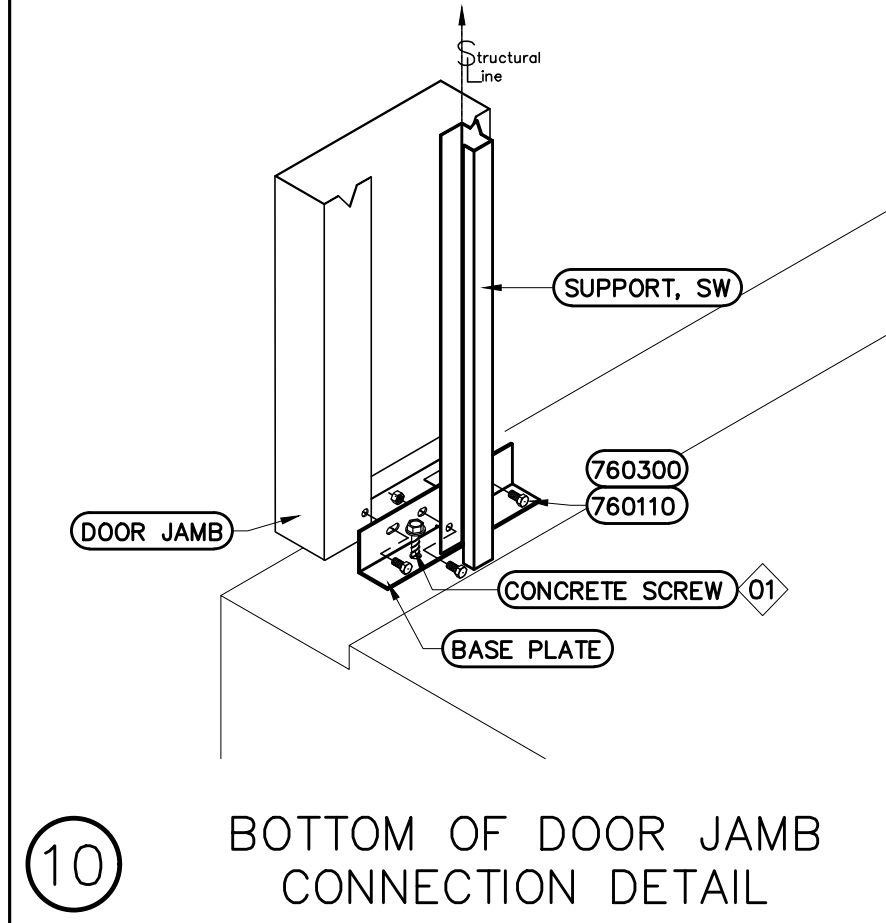
2 **GIRT TO STARTER JAMB CONNECTION**

NOTE: LEFT EW SHOWN RIGHT EW WILL MIRROR THIS DETAIL



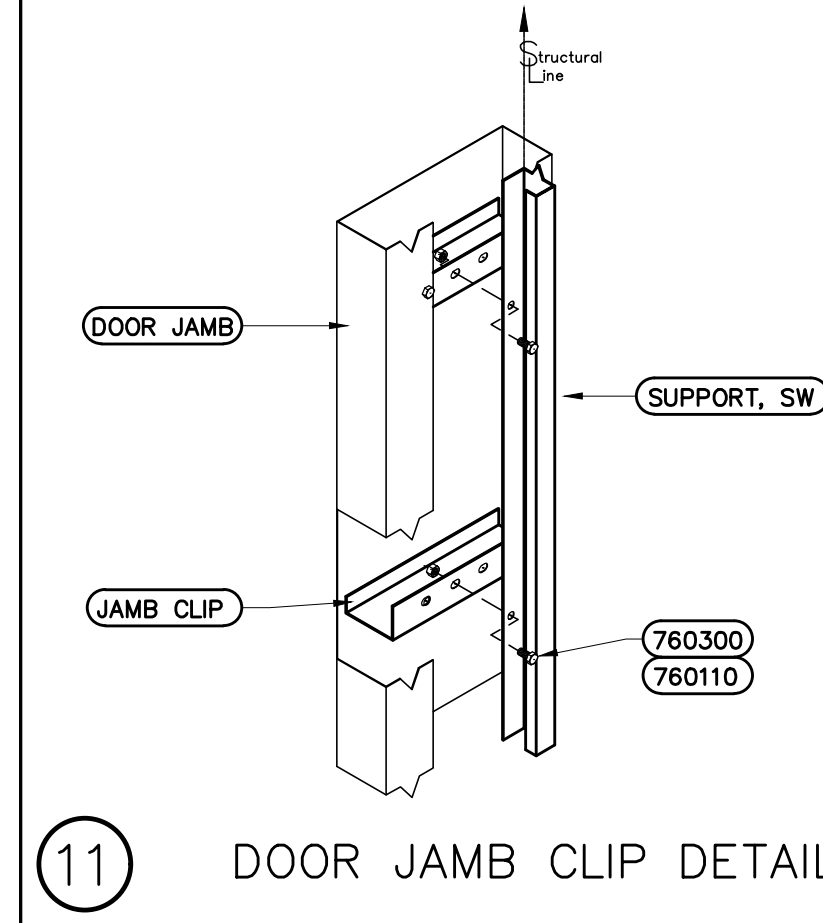
3 **TRACK TO STARTER JAMB CONNECTION**

NOTE: ACTUAL ASSEMBLY MAY MIRROR THIS DETAIL



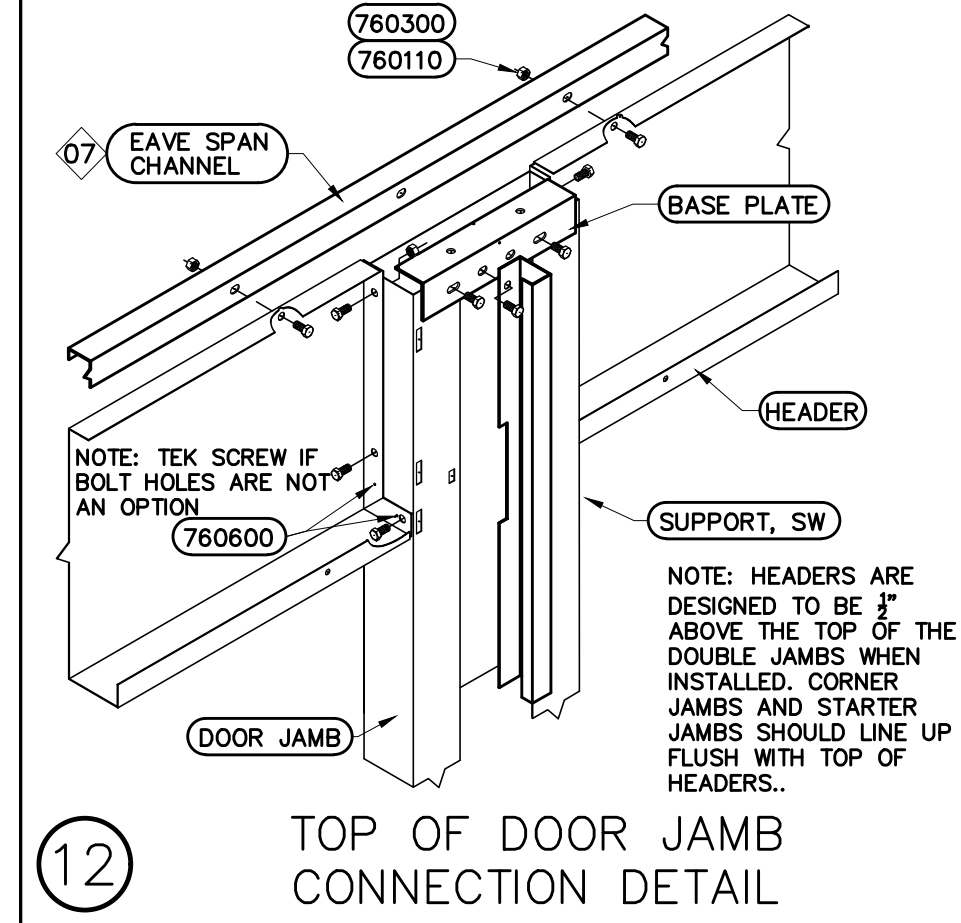
10 **BOTTOM OF DOOR JAMB CONNECTION DETAIL**

NOTE: ACTUAL ASSEMBLY MAY MIRROR THIS DETAIL



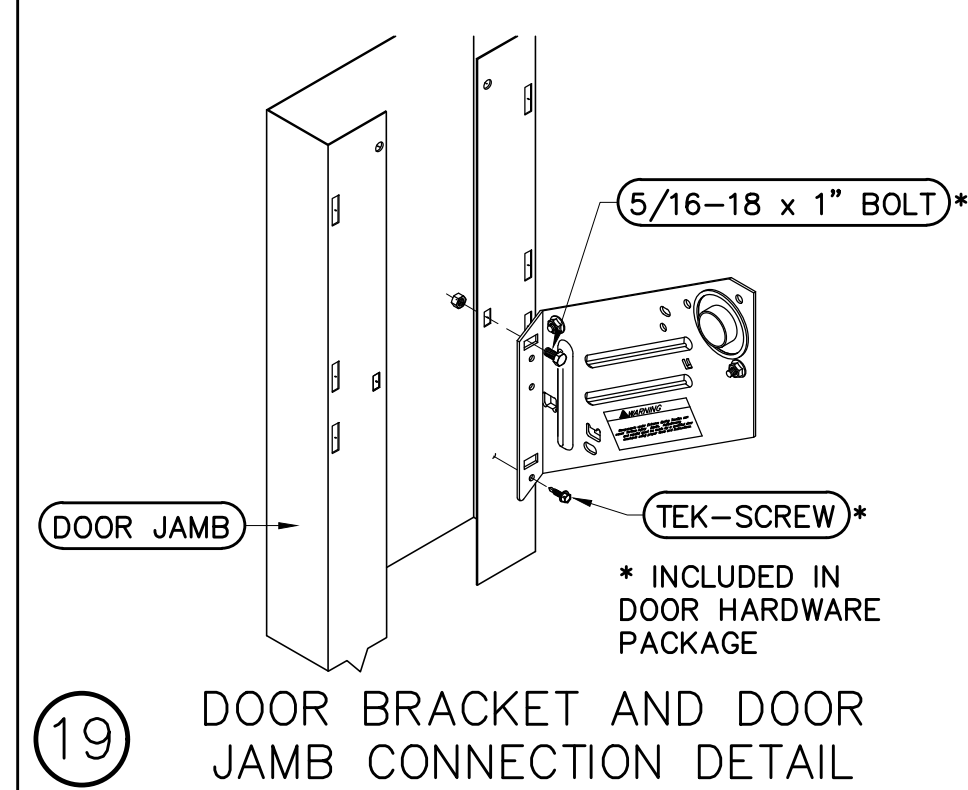
11 **DOOR JAMB CLIP DETAIL**

NOTE: ACTUAL ASSEMBLY MAY MIRROR THIS DETAIL

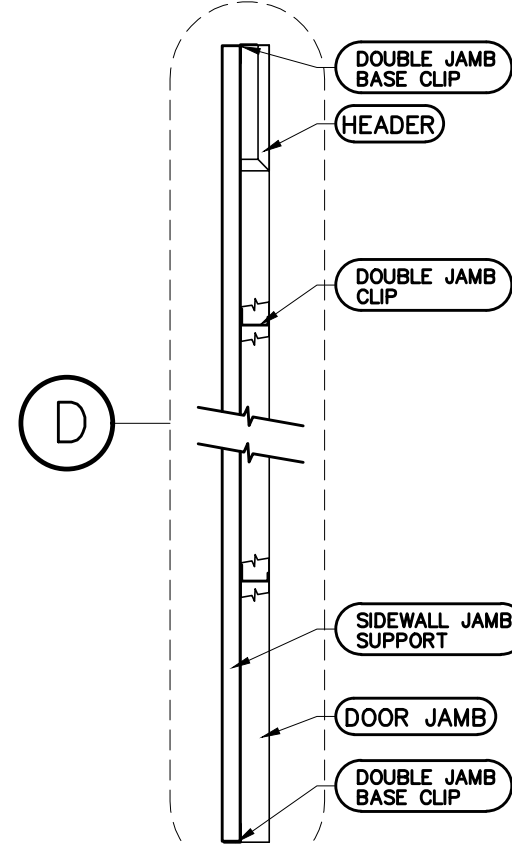


12 **TOP OF DOOR JAMB CONNECTION DETAIL**

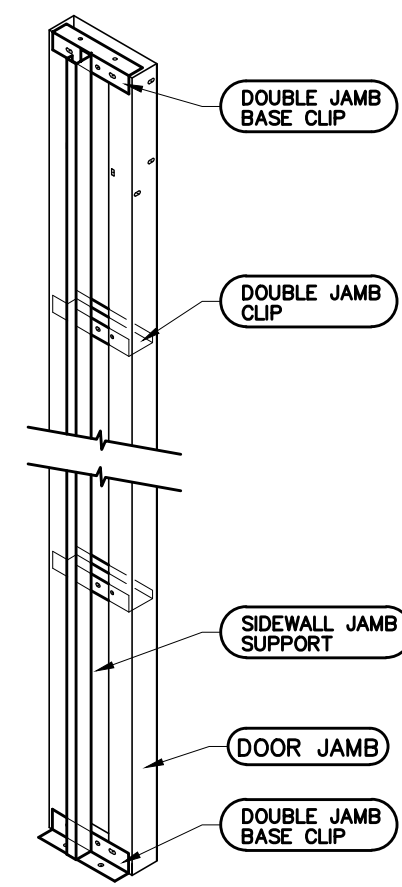
NOTE: NON-WINDLOCK DOOR BRACKET SHOWN. SEE WINDLOCK DETAIL WHEN MOUNTING WINDLOCK DOORS
NOTE: TYPICAL DOOR JAMB SHOWN. ALL OTHER DOOR JAMBS ARE SIMILAR



19 **DOOR BRACKET AND DOOR JAMB CONNECTION DETAIL**

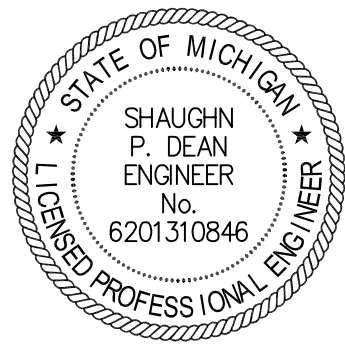


C **TYP. DOOR SW SECTION**

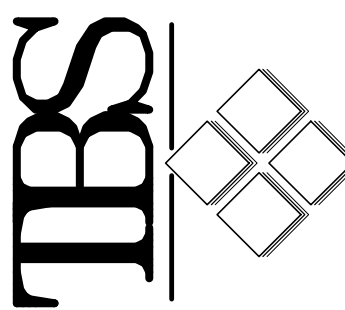


D **DOOR JAMB SUB-ERECTION DETAIL**

REVISION	By	Date



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TOM MAXWELL

OSCODA, MI

Date 1/24/23

Drawn by CG

Scale 1/2" = 1'-0"

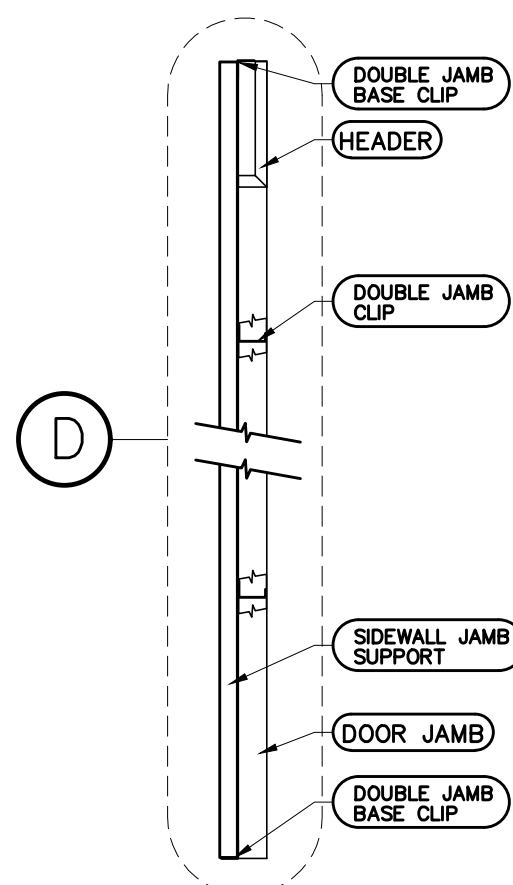
Plan No. P57809

Order No. -

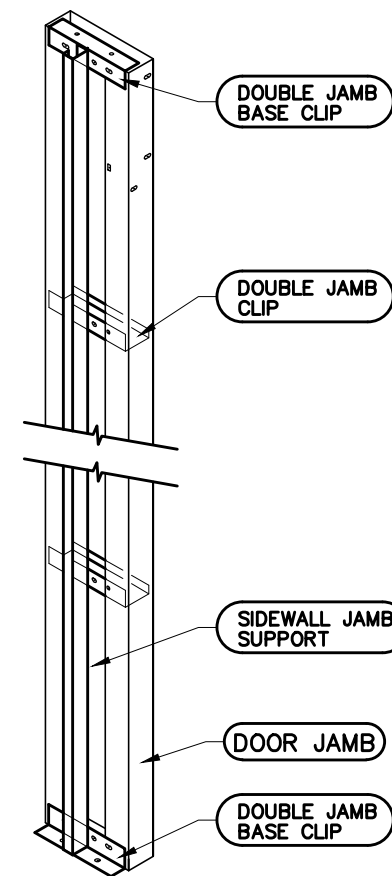
Sheet No. -

E1.0

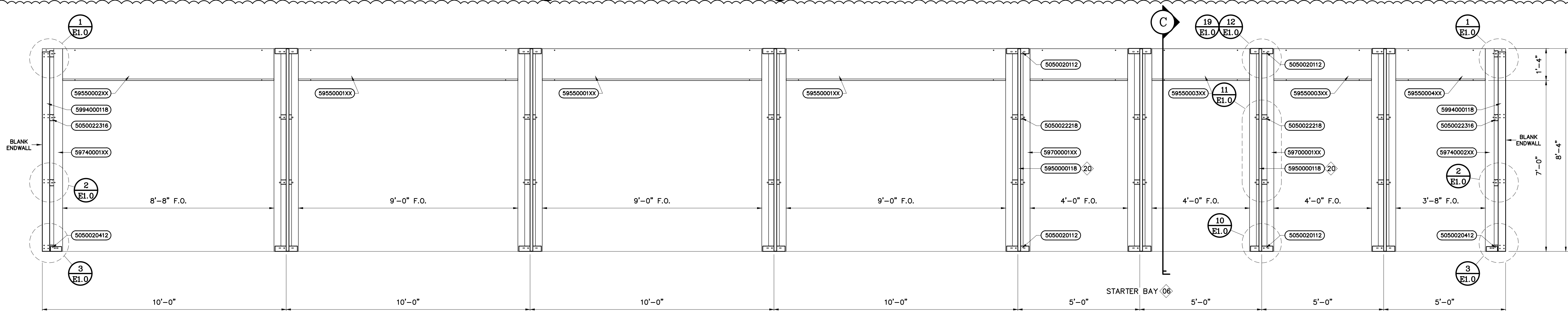
PART # INDEX	
PART #	DESCRIPTION
5050020112	12ga. DBL. jamb, base plate
5050020412	12ga. STR. jamb, base plate
5050022218	18ga. DBL. jamb clip
5050022316	16ga. STR. jamb clip
5950000118	18ga. PT. support jamb
59550001XX	18ga. SW / EW header, 9'-0", COLORED
59550002XX	18ga. SW / EW header, 8'-8", COLORED
59550003XX	18ga. SW / EW header, 4'-0", COLORED
59550004XX	18ga. SW / EW header, 3'-8", COLORED
59700001XX	18ga. DBL. jamb, 8'-4", COLORED
59740001XX	18ga. STR. jamb, RH, 8'-4", COLORED
59740002XX	18ga. STR. jamb, LH, 8'-4", COLORED
5994000118	18ga. BSW column, 3.63" x 1.5", 8-4EV



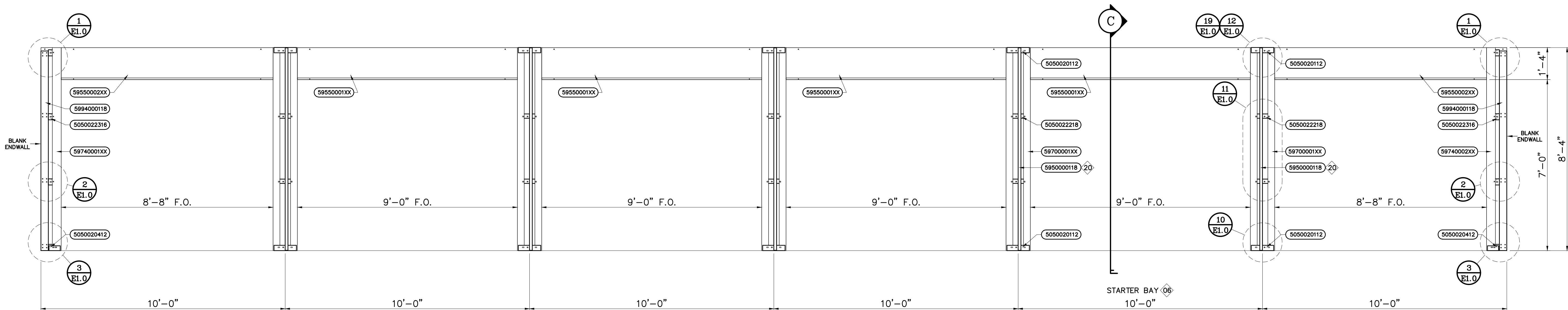
C TYP. DOOR SW SECTION



D DOOR JAMB SUB-ERECTION DETAIL

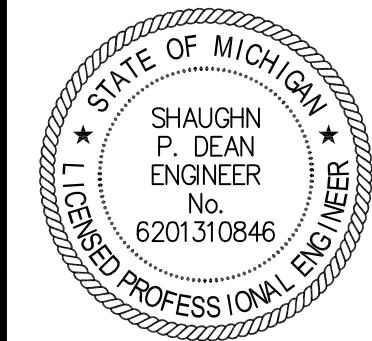


A SIDEWALL ELEVATION (INTERIOR VIEW)
(TYP. SIDEWALL ELEVATIONS SHOWN. LENGTH MAY VARY)

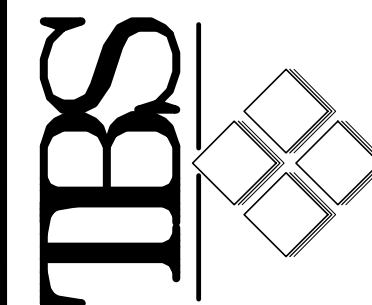


B SIDEWALL ELEVATION (INTERIOR VIEW)
(TYP. SIDEWALL ELEVATIONS SHOWN. LENGTH MAY VARY)

REVISION	By	Date
#1, REPLACED OLD BLDG. B ELEVATION FOR NEW 5' DOOR ELEVATION	CG	2/13/23



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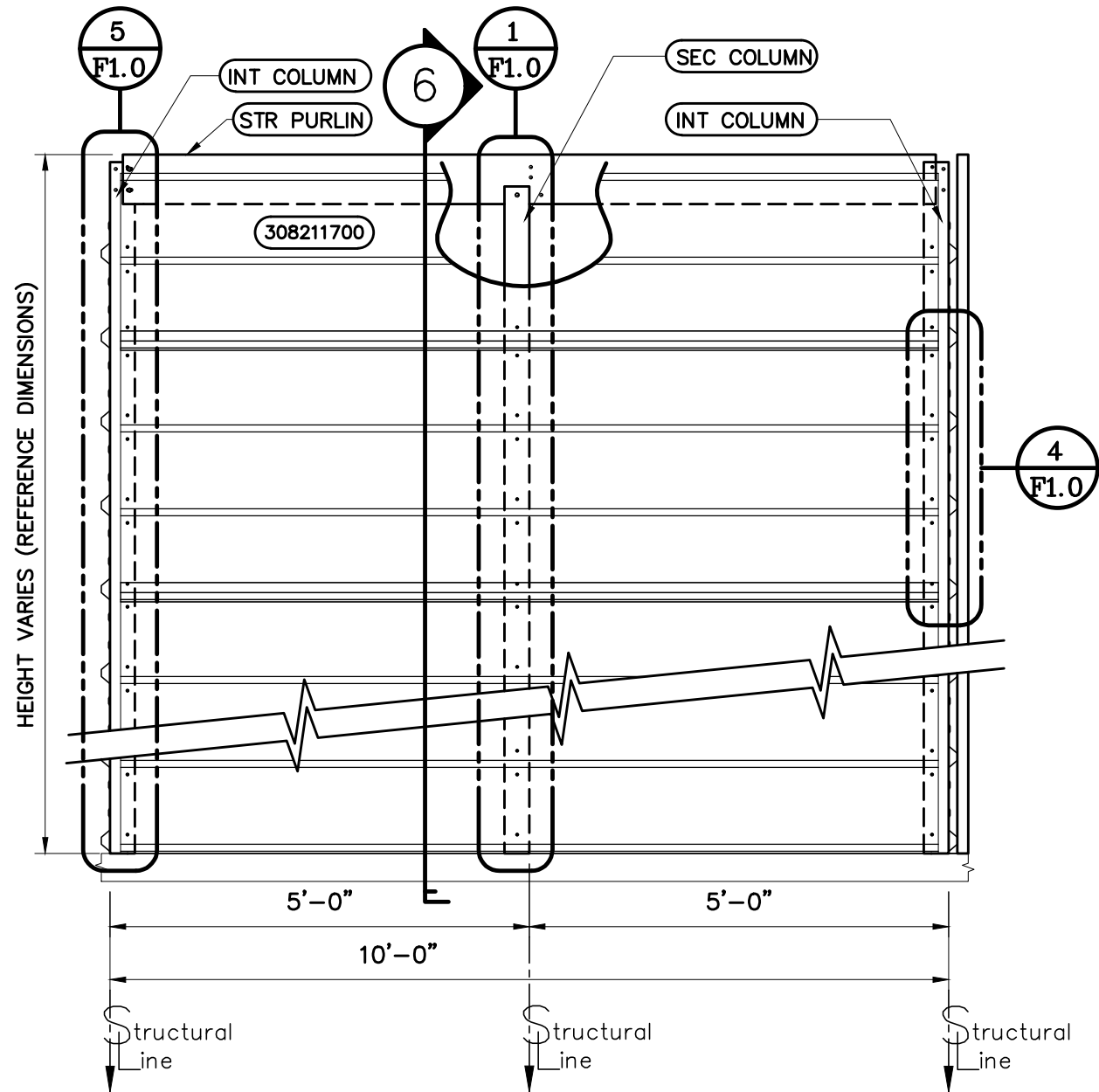
TOM MAXWELL
OSCODA, MI

Job Description
Sheet Title
SIDEWALL ELEVATIONS

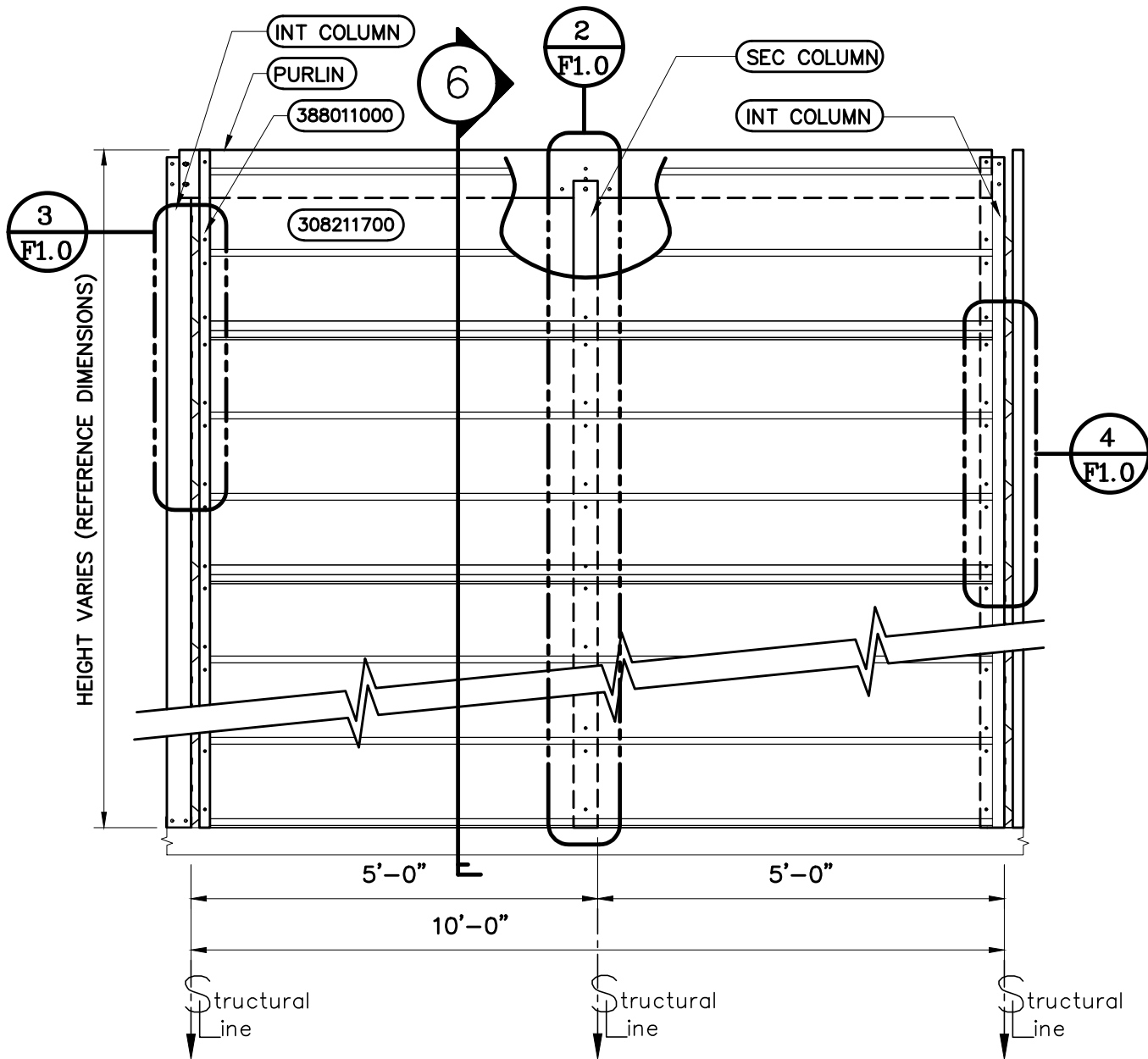
Date	1/24/23
Drawn by	CG
Scale	1/2" = 1'-0"
Plan No.	P57809
Order No.	-
Sheet No.	E1.1

PART # INDEX	
PART #	DESCRIPTION
308211400	29ga. PT. panel, 9'-6" long
308211700	29ga. PT. panel, 9'-9" long
388011000	18ga. partition channel 9'-2" long

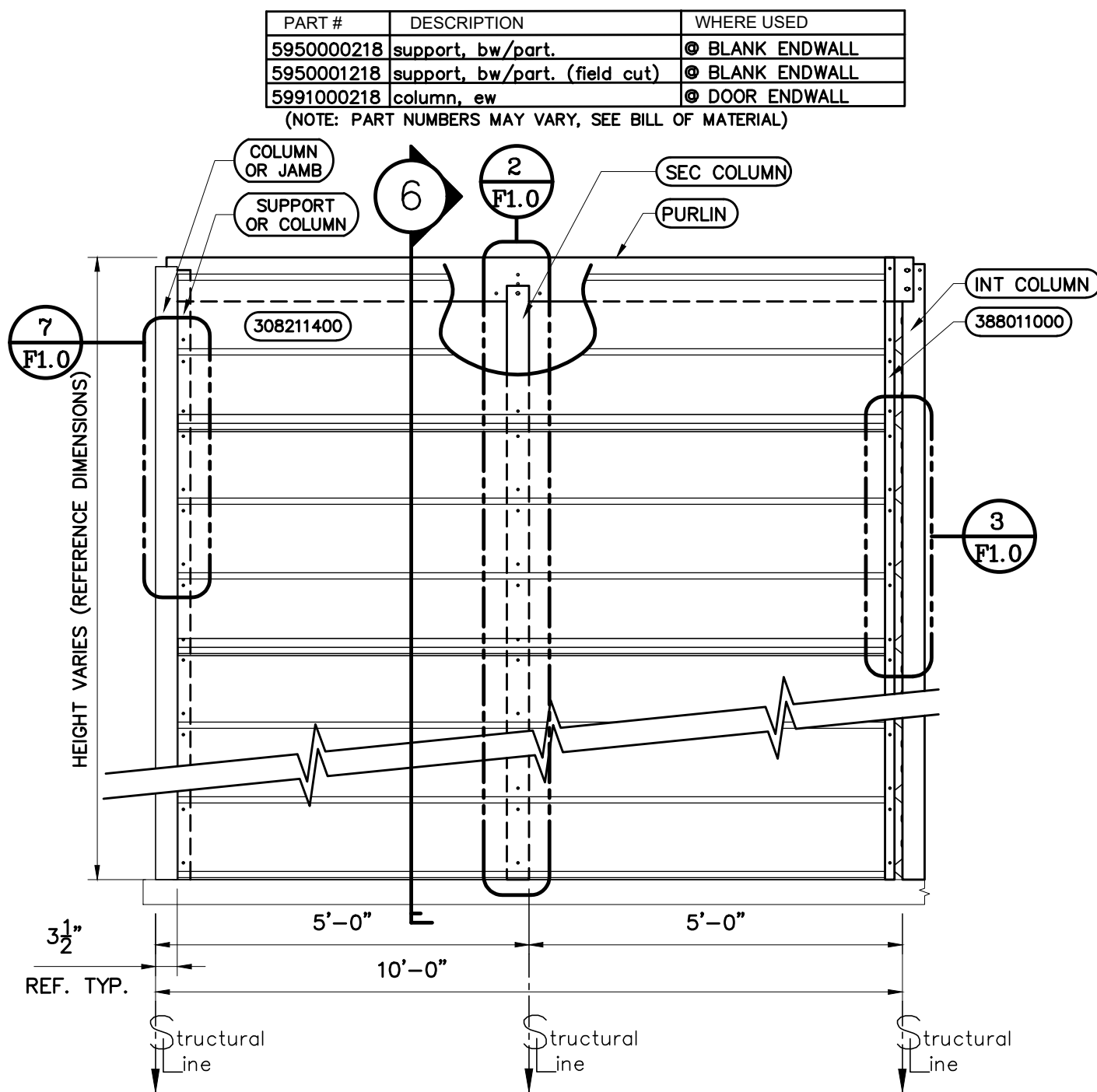
89 FIELD CUT PARTITION PANEL
FIELD CUT PARTITION PANEL TO MATCH THE ROOF PITCH. LAP PARTITION
PANEL ONTO RAKE ANGLE (IF PRESENT) AND COLUMNS.



STARTER BAY



TYPICAL BAY



ENDWALL BAY

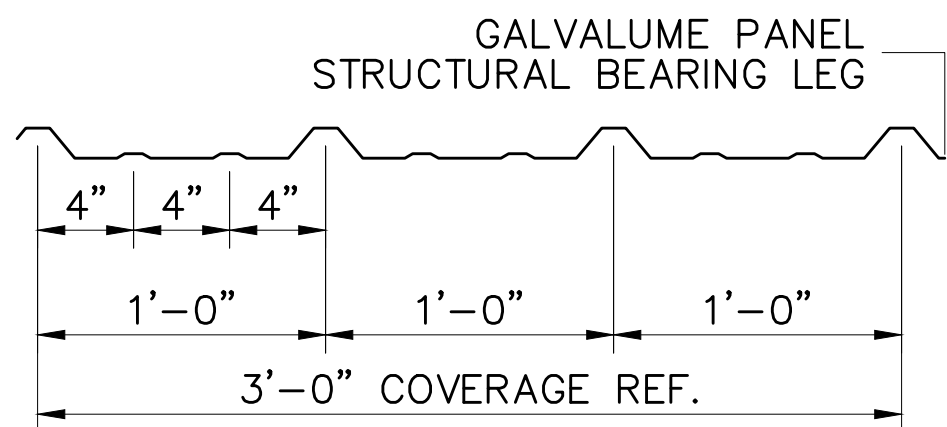
PART #	DESCRIPTION	WHERE USED
5950000218	support, bw/part.	BLANK ENDWALL
5950001218	support, bw/part. (field cut)	BLANK ENDWALL
5991000218	column, ev	DOOR ENDWALL

(NOTE: PART NUMBERS MAY VARY, SEE BILL OF MATERIAL)

LONGITUDINAL
PARTITION PANELS 8-4

LOC.	HEIGHT	QTY
5' /EV	101.25"	3.0
10' /EV	102.5"	3.0
15' /EV	103.75"	3.0
20' /EV	105"	3.0
25' /EV	106.25"	3.0
30' /EV	107.5"	3.0
35' /EV	108.75"	3.0
40' /EV	110"	3.0
45' /EV	111.25	3.0
50' /EV	112.5	3.5
55' /EV	113.75	3.5
60' /EV	115	3.5
65' /EV	116.25	3.5
70' /EV	117.5	3.5
75' /EV	118.75	3.5
80' /EV	120	3.5
85' /EV	121.25	3.5
90' /EV	122.5	3.5
95' /EV	123.75	3.5
100' /EV	125	3.5

NOTE: SHOWN ABOVE IS THE REQUIRED SHEETS OF PARTITION
PANEL FOR INSTALLATION (OVERLAPPING
ONLY THE END ROW). YOU WILL COME UP SHORT PANEL
IF YOU BACK LAP PANEL AT 1" SPACES.

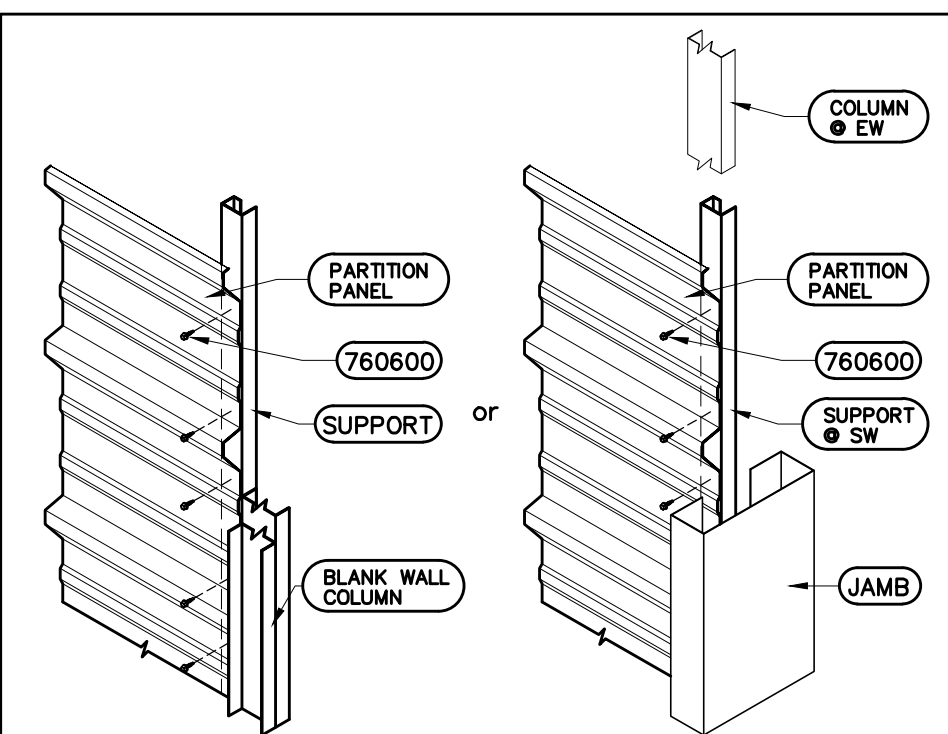


TRACHTE PARTITION PANEL
PROFILE

PARTITION CHANNEL 8-4

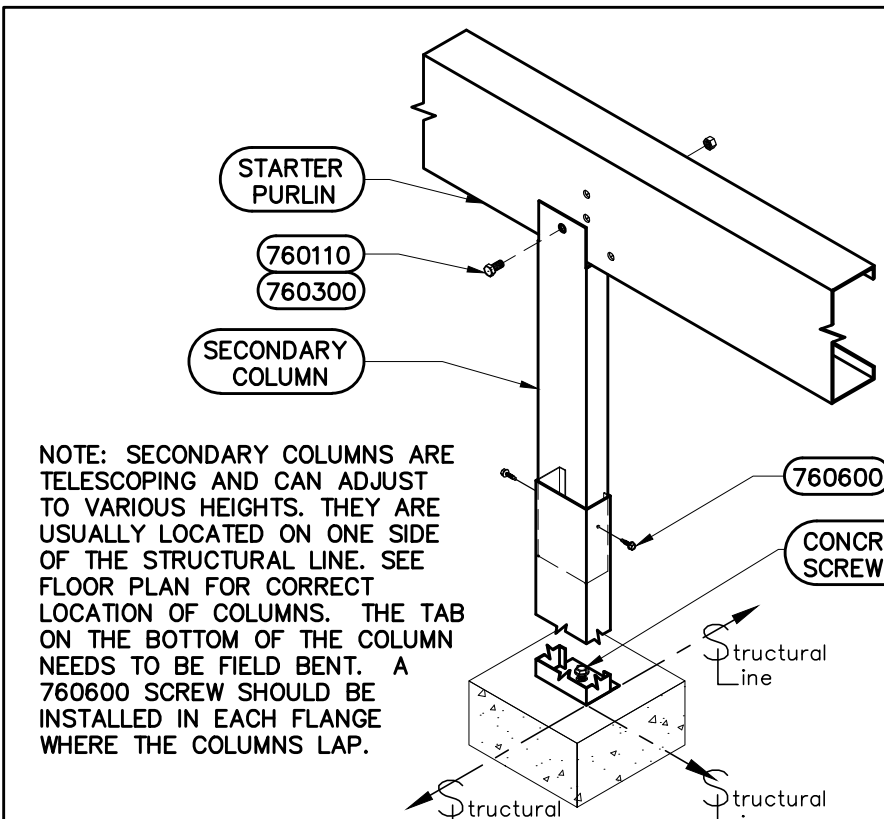
FT/EV	PART #	QTY
5' /EV	388011000	1.0
10' /EV	388011000	1.0
15' /EV	388011000	1.0
20' /EV	388011000	1.0
25' /EV	388011000	1.0
30' /EV	388011000	1.0
35' /EV	388011000	1.0
40' /EV	388011000	1.0
45' /EV	388011000	1.0
50' /EV	388011000	1.0
55' /EV	388011000	1.0
60' /EV	388011000	1.0
65' /EV	388011000	1.0
70' /EV	388011000	1.0
75' /EV	388011000	1.0

NOTE: ABOVE IS THE REQUIRED PARTITION CHANNEL
PART #s AND QUANTITY AT EVERY FT. / EV

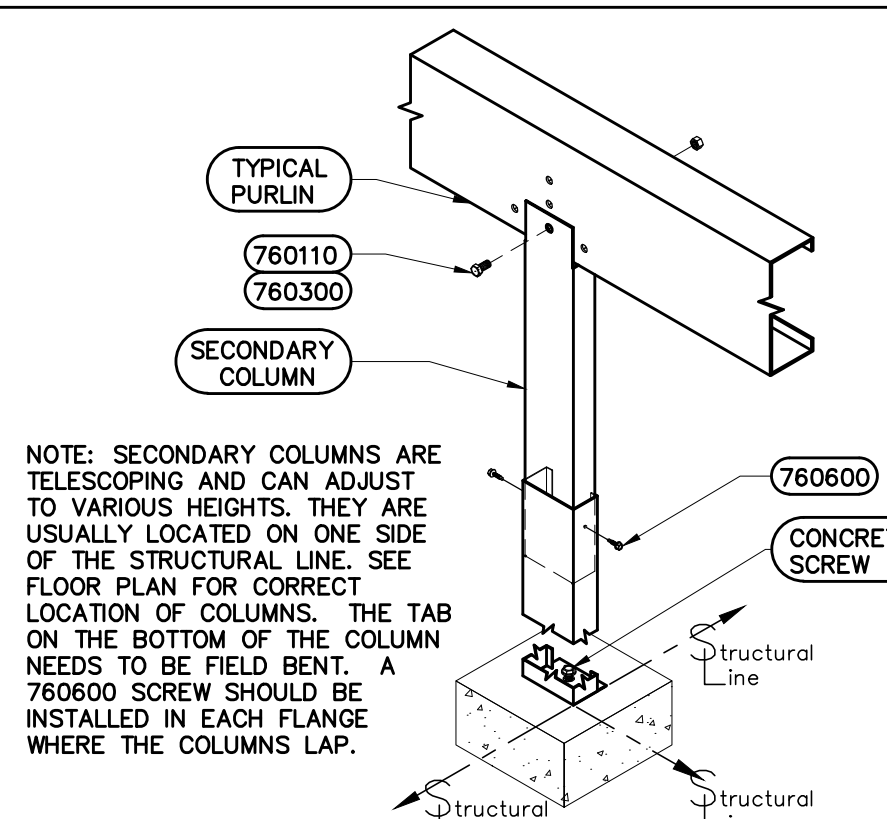


BLANK SIDEWALL or ENDWALL DOOR SIDEWALL or ENDWALL

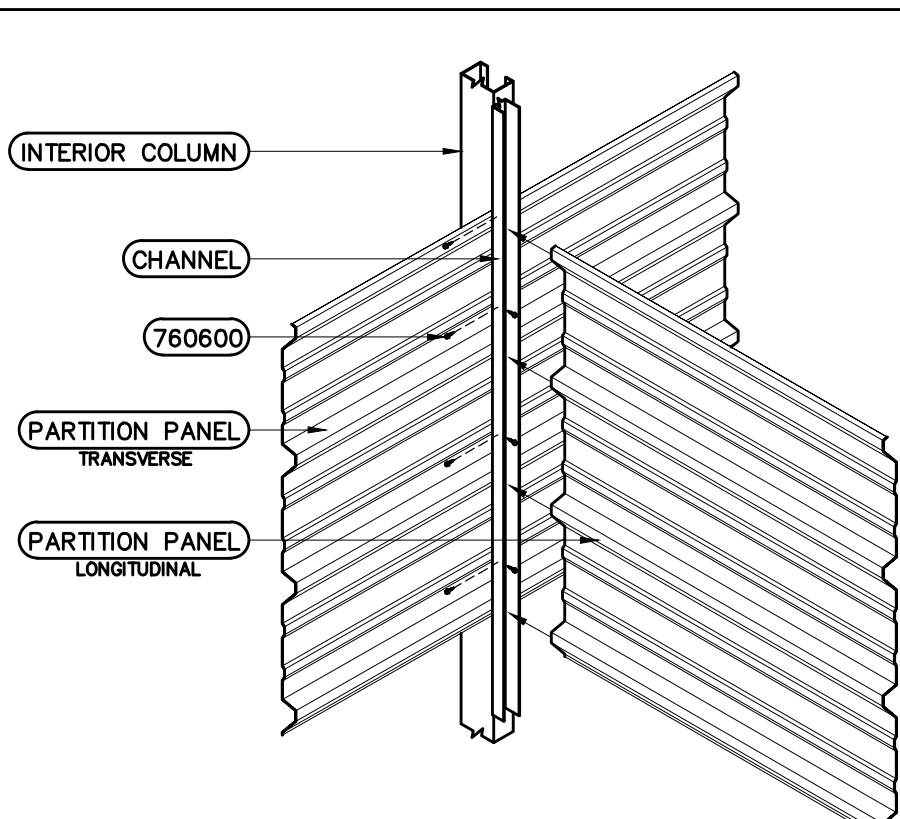
7 PARTITION PANEL EXTERIOR
CONNECTION



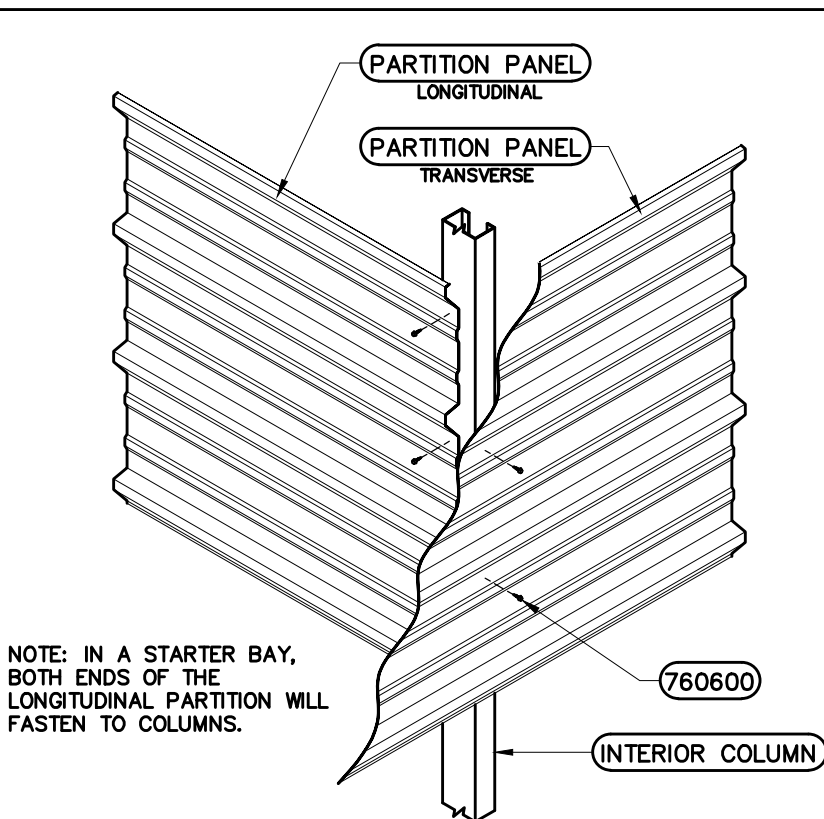
1 SECONDARY COLUMN
CONNECTION @ STARTER BAY



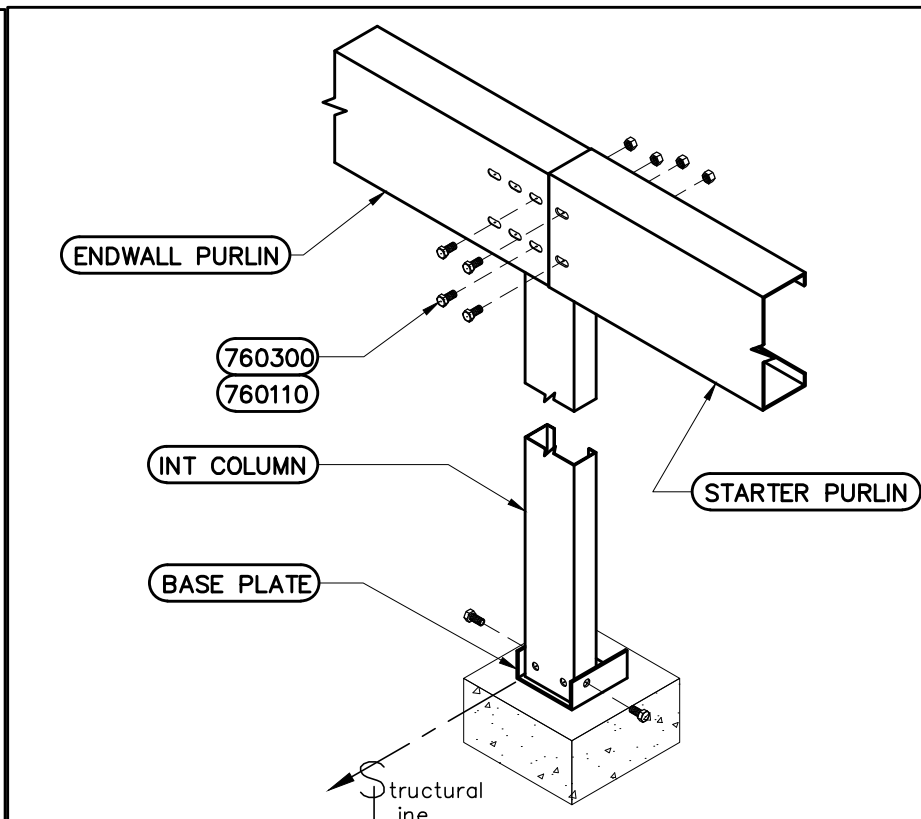
2 SECONDARY COLUMN
CONNECTION @ TYPICAL BAY



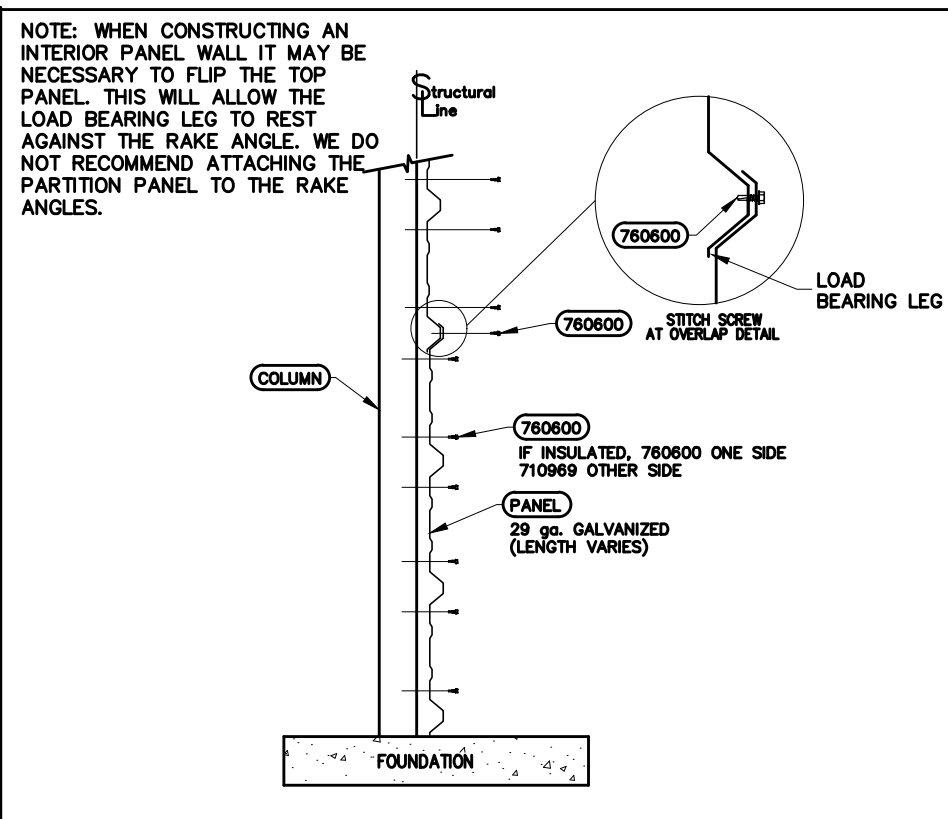
3 PARTITION PANEL TO
CHANNEL @ TYPICAL BAY



4 PARTITION PANEL TO
COLUMN CONNECTION

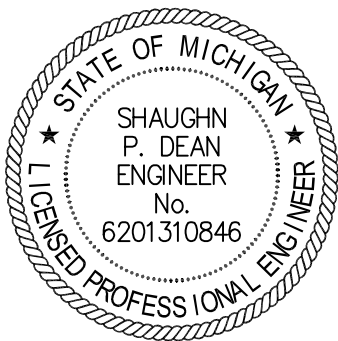


5 INTERIOR COLUMN CONNECTION
@ STARTER BAY

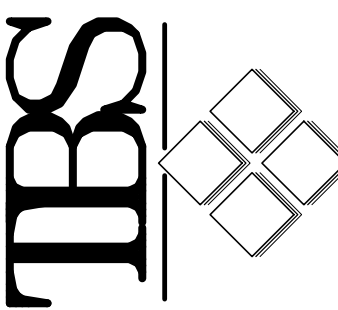


6 PARTITION PANEL FASTENING DETAIL
ATTENTION: Partition wall panel lengths were determined with
the panel starting at least 3/4" in from the sidewall. All
buildings 25' or more will have 2-panels that lap at a interior
column line. The panels should overlap at least by 1".

REVISION	By	Date



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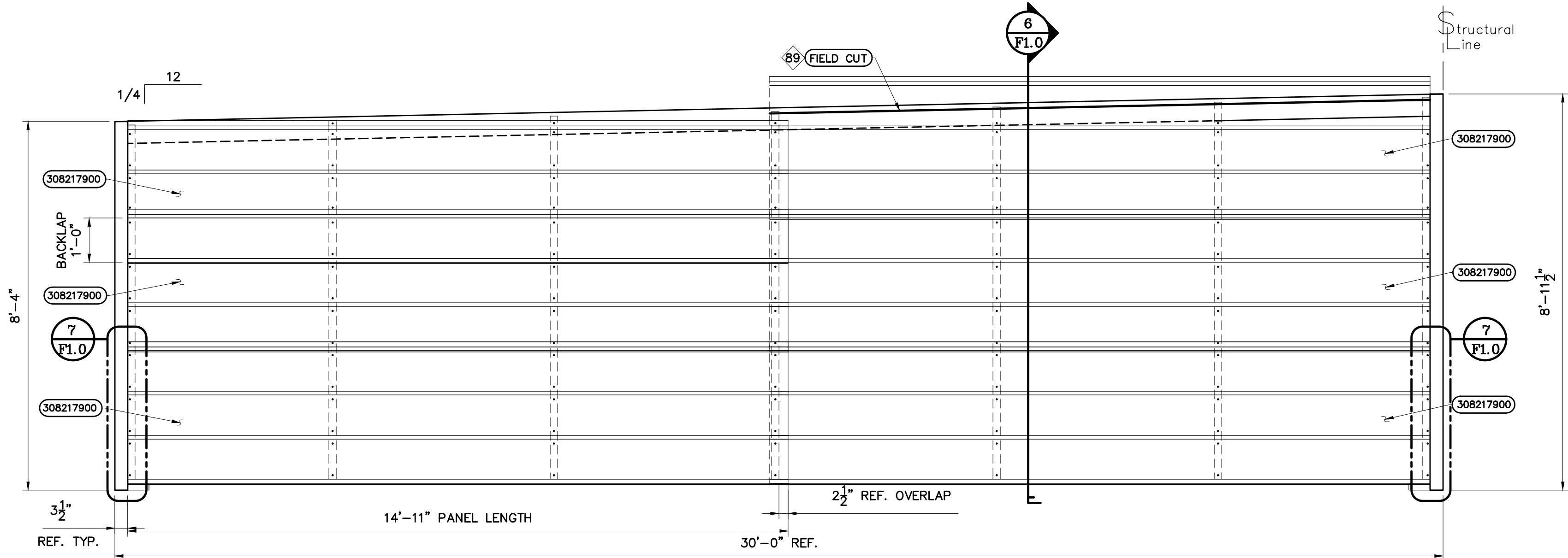


Job Description
TOM MAXWELL
OSCODA, MI
Sheet Title
INTERIOR PARTITION WALL DETAILS

Date
1/24/23
Drawn by
CG
Scale
1/2" = 1'-0"
Plan No.
P57809
Order No.
Sheet No.

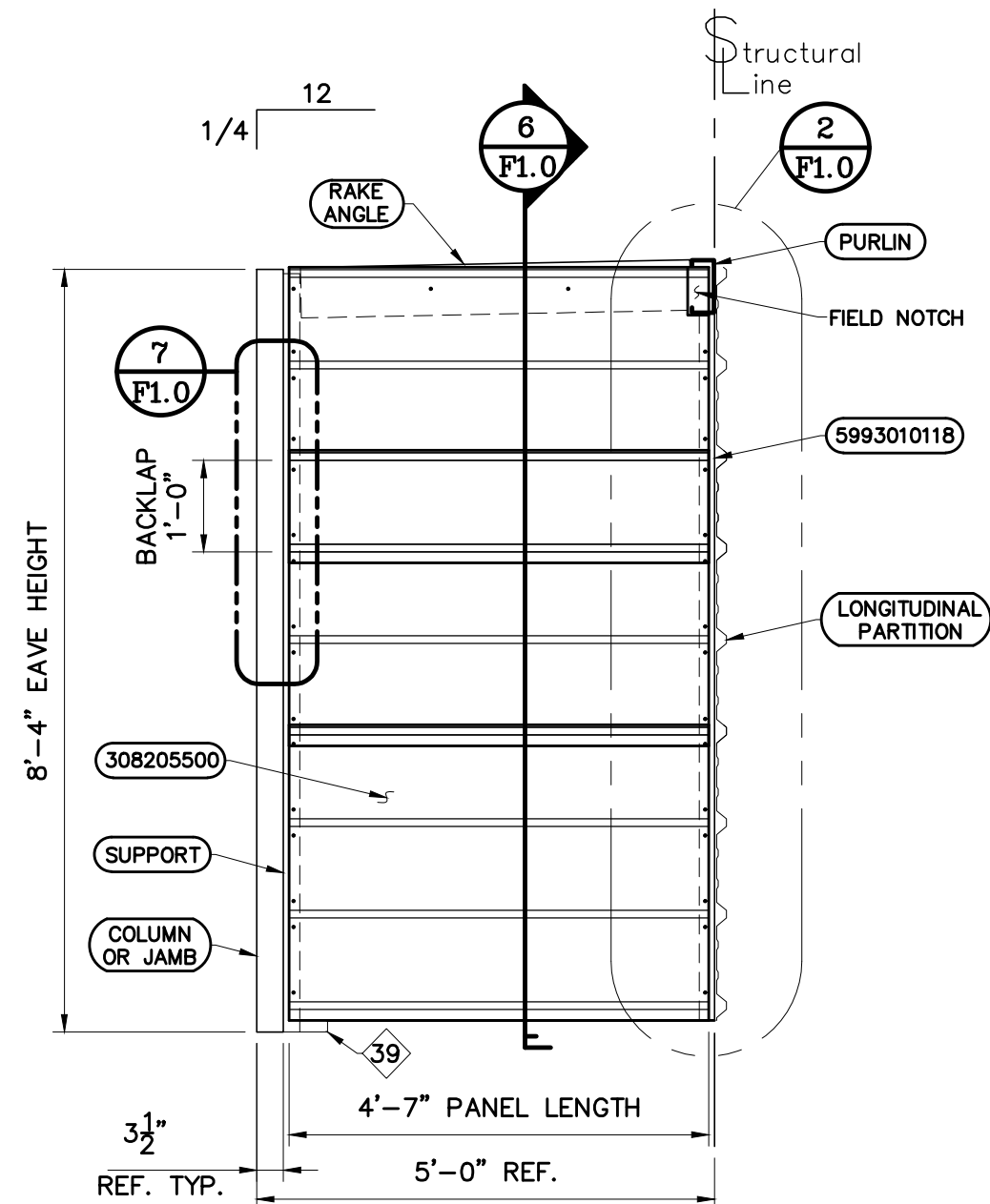
F1.0

PART # INDEX	
PART #	DESCRIPTION
308205500	29ga. PT. panel, 4'-7" long
308217900	29ga. PT. panel, 14'-11" long
5993010118	18ga. 2DRY. COL., 3.5 x 1.75", telescope



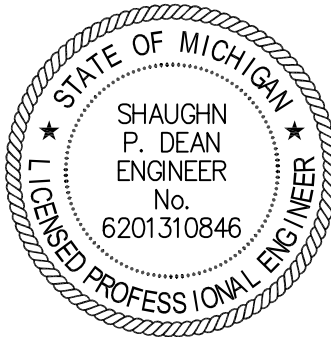
A TRANSVERSE PANEL LAYOUT 8'-4" EAVE, 30' WIDE LEAN-TO

1

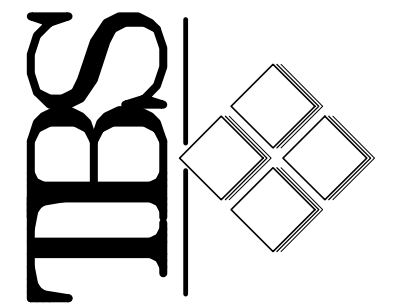


B SECONDARY PARTITION LAYOUT 8'-4" EAVE, 1/4" PITCH

REVISION	By	Date
#1, REPLACED BLDG 8 ELEVATION FOR SECONDARY PT PANEL ELEVATION	CG	2/13/23



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TOM MAXWELL
OSCODA, MI

INTERIOR PARTITION WALL DETAILS

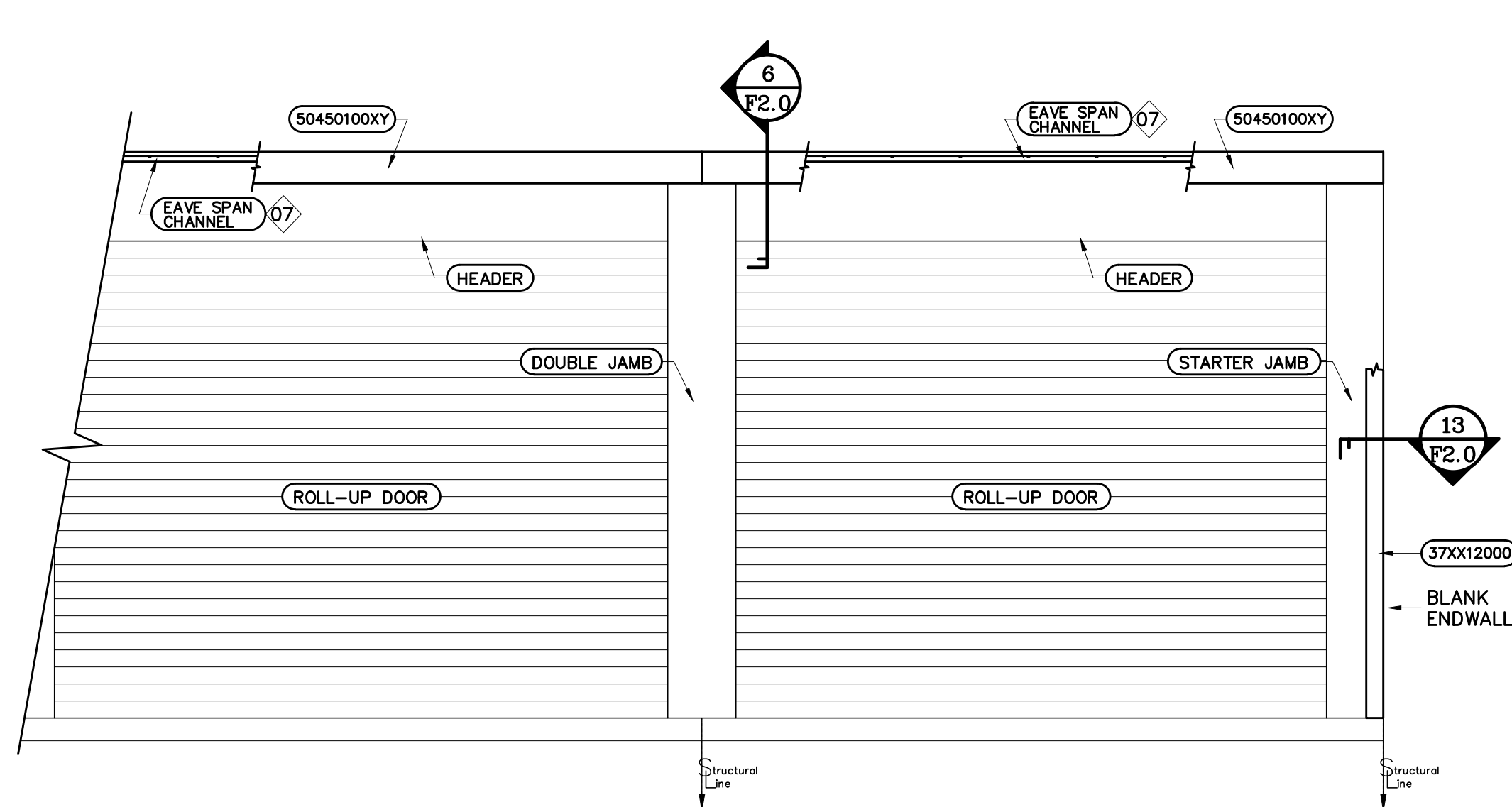
Date	1/24/23
Drawn by	CG
Scale	1/2" = 1'-0"
Plan No.	P57809
Order No.	-
Sheet No.	-

F1.1

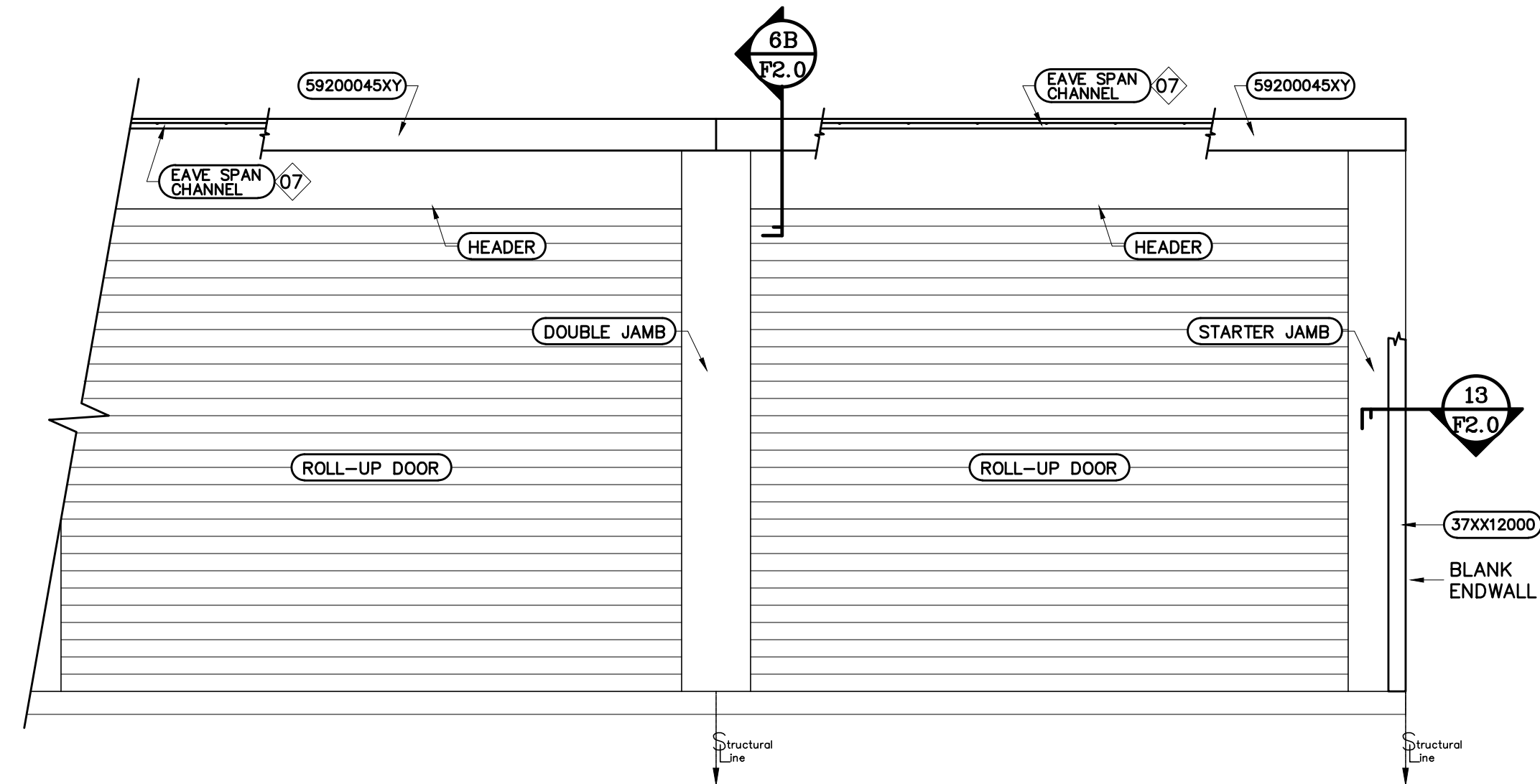
PART # INDEX	
PART #	DESCRIPTION
17XX09900	exterior wall panel, 8'-3", COLORED
17XX10200	exterior wall panel, 8'-6", COLORED
17XX10500	exterior wall panel, 8'-9", COLORED
32XY19200	rake trim, ACCENT COLOR, 16'-0" long
37XX12000	26ga. CNR. trim panel/frame, COLORED, 10'-0"
42XX12200	26ga. sill trim, COLORED, 10'-2" long
50450100XY	26ga. eave trim (dsw), 10'-2", ACCENT COLOR
59200045XY	26ga. high side eavetrim (dsw), ACCENT COLOR

04 **LEAN-TO ENDWALL ELEVATIONS**
ACTUAL ENDWALL LAYOUT MAY MIRROR THIS ELEVATION. SEE FLOOR PLAN FOR ACTUAL LAYOUT AND LOCATION OF HIGH SIDE. STARTER JAMBS ARE LEFT & RIGHT HANDED. IF CONSTRUCTING A MIRROR VIEW OF THIS ELEVATION USE THE OPPOSITE STARTER JAMB. STARTER JAMB PART NUMBERS ARE DIFFERENT BUT SIMILAR. SEE BILL OF MATERIAL FOR CORRECT PART NUMBER.

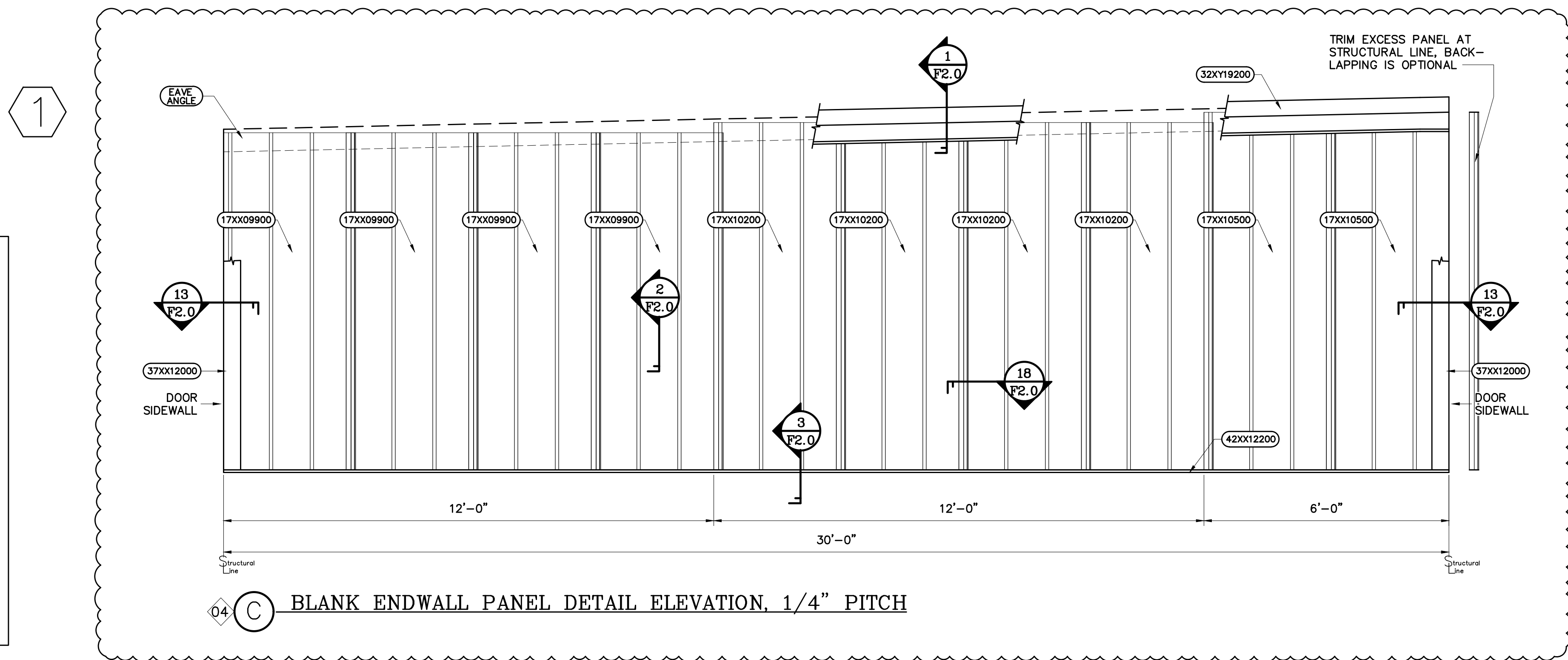
07 **EAVE SPAN CHANNEL**
WHEN INSTALLING THE EAVE SPAN CHANNELS START WITH A 5' CHANNEL FOLLOWED WITH 10' AND END WITH A 5' EAVE SPAN CHANNEL. CHANNELS WILL OVERLAP AT EACH END. SPAN CHANNELS SHOULD START AND END AT THE MIDPOINT OF A BAY WHENEVER POSSIBLE. SEE ROOF FRAMING PLAN TO DETERMINE WHICH P/N'S TO START & END. WITH. INSTALL BOLTS TO SPAN CHANNELS THROUGH TOP TRACKS OR HEADERS @ 2'-0" O.C. FIELD CUT EXCESS AT END OF RUN.
128 **SILL TRIM LAP JOINT DIRECTIONS**
WHEN JOINING SILL TRIM TO SILL TRIM OVERLAP PARTS 2" MAX. ADD SEALANT TO LAP JOINT OF SILL TRIMS.



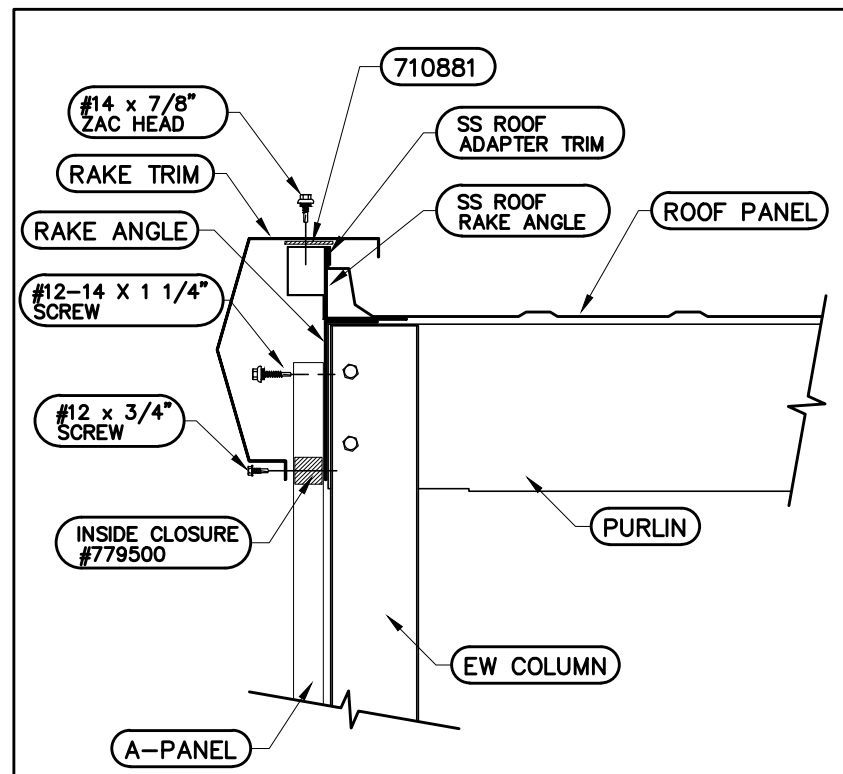
A DOOR FRAME SIDEWALL W/ BLANK ENDWALL ELEVATION



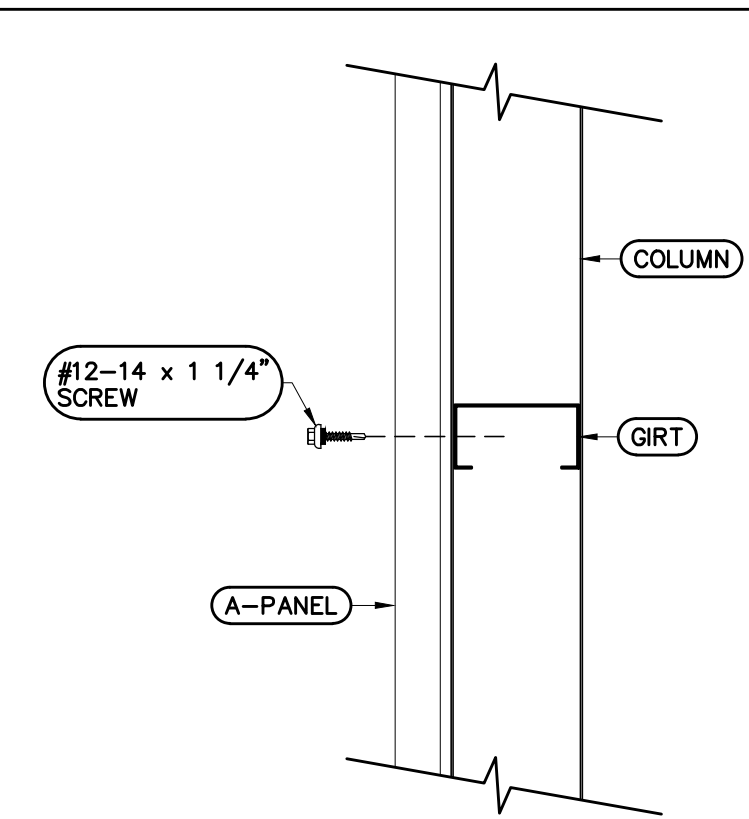
B DOOR FRAME SIDEWALL W/ BLANK ENDWALL ELEV (HIGH SIDE)



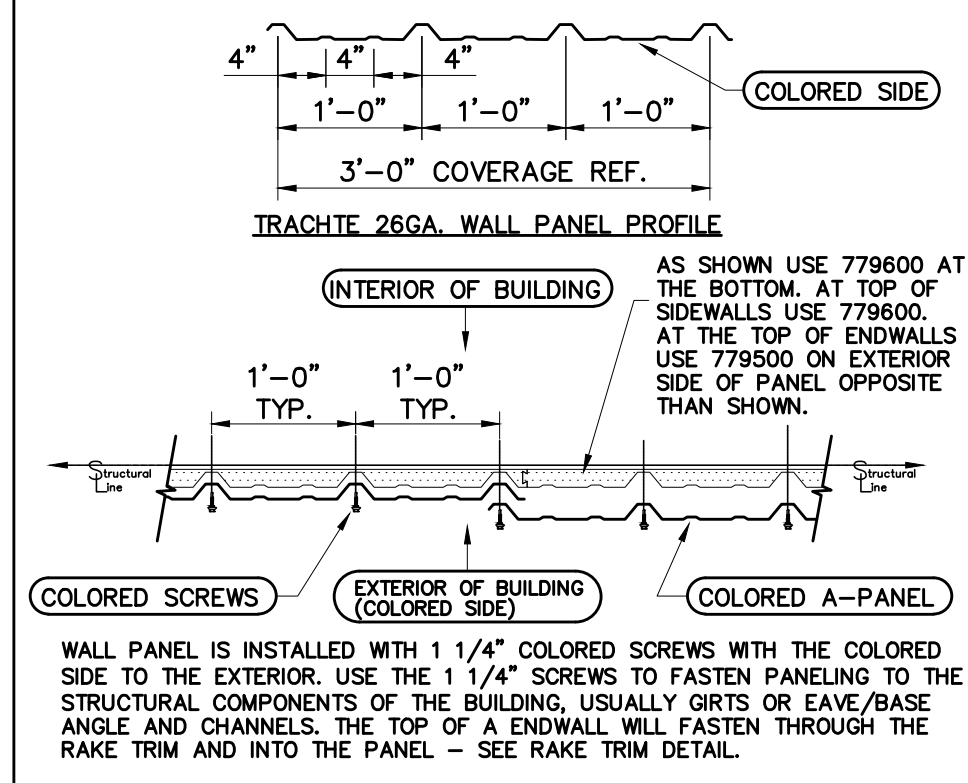
C BLANK ENDWALL PANEL DETAIL ELEVATION, 1/4" PITCH



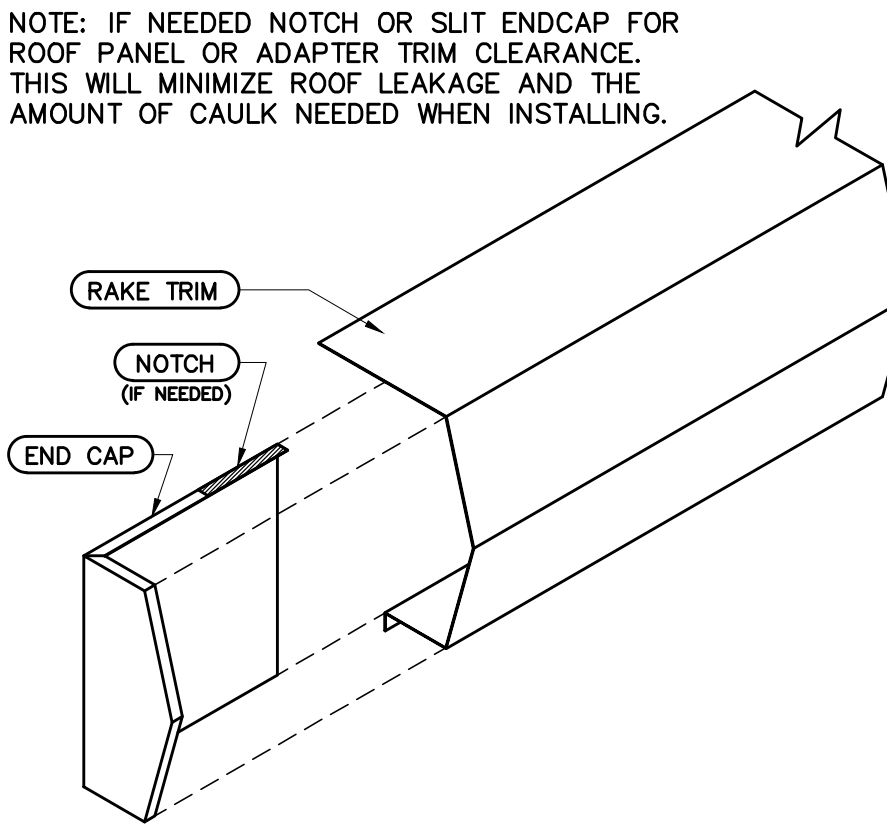
1 BLANK ENDWALL/RAKE TRIM CONNECTION DETAIL



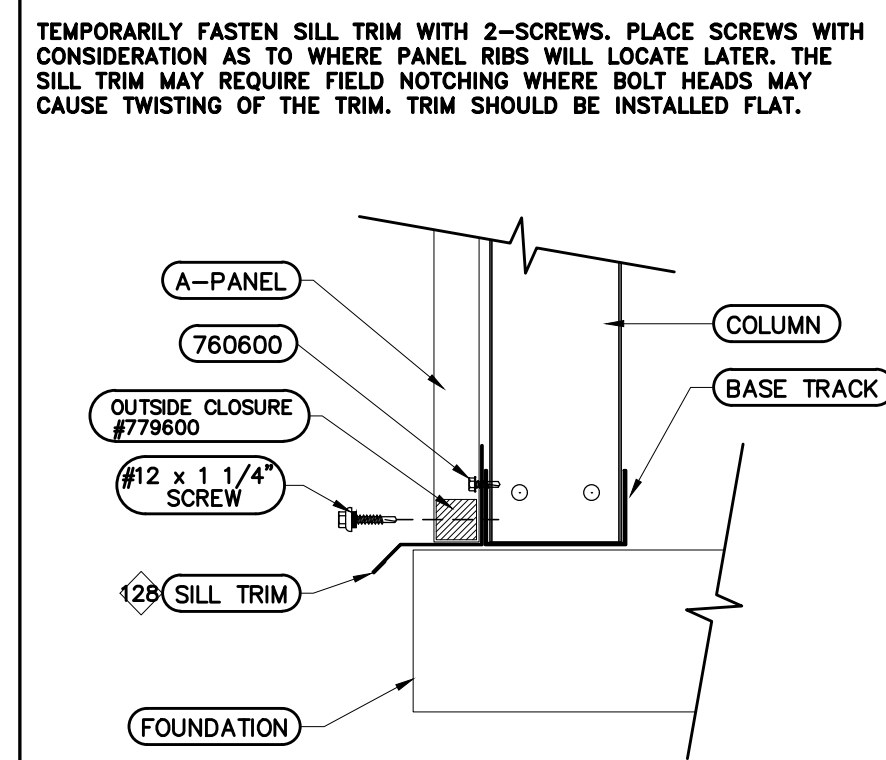
2 A-PANEL/GIRT CONNECTION



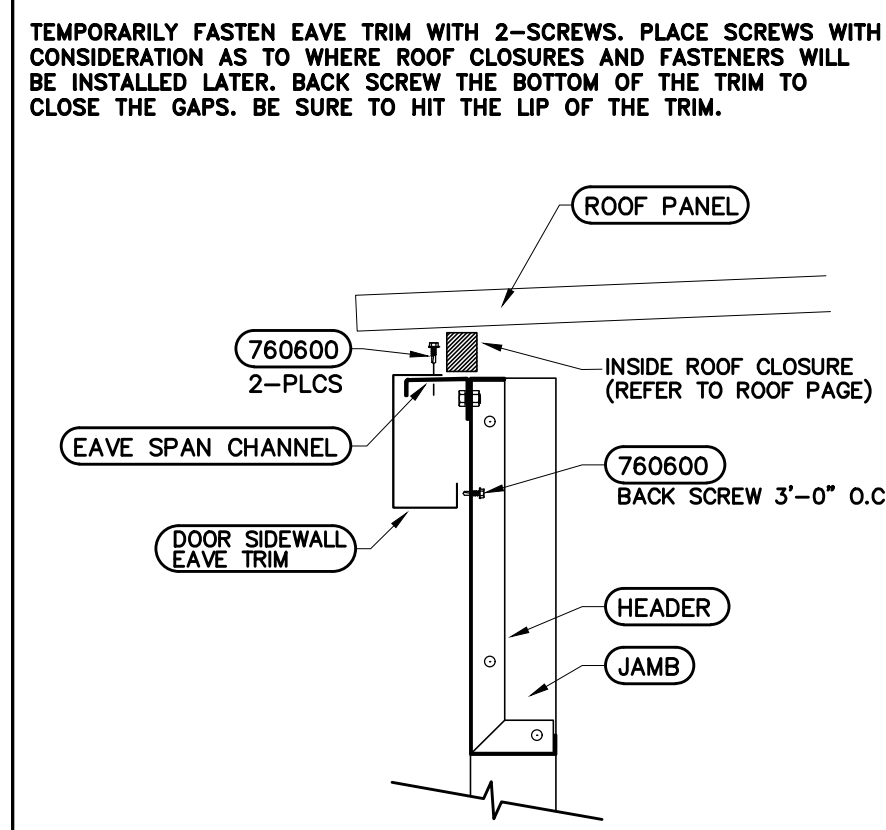
18 A-PANEL PROFILE AND LAYOUT DETAILS



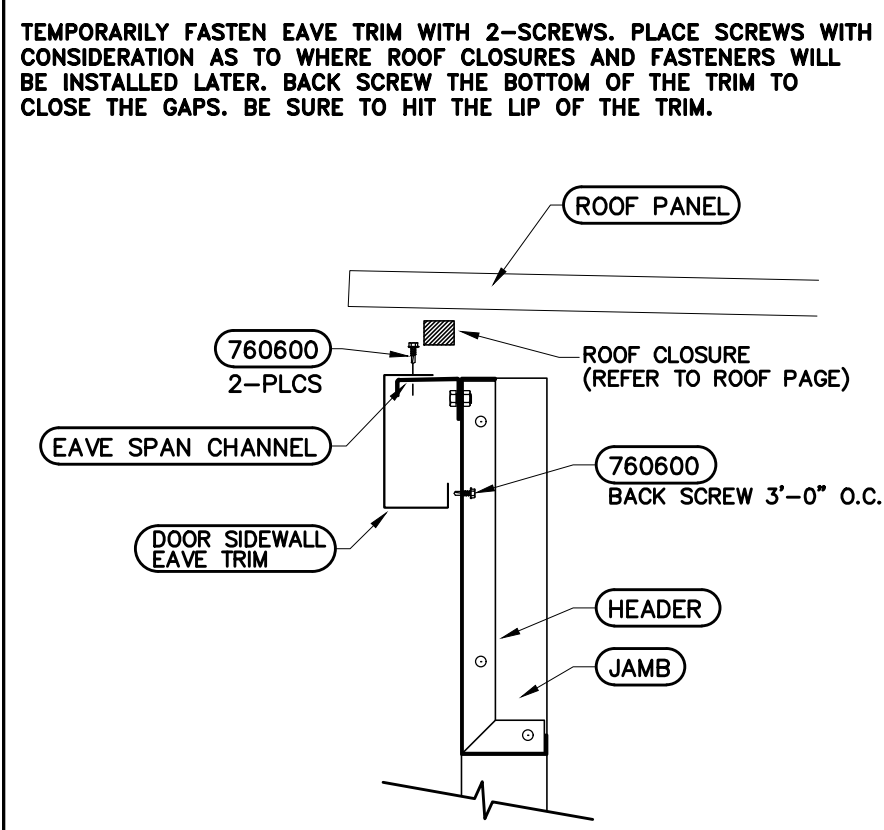
NOTCH ENDCAP AT RAKETRIMS



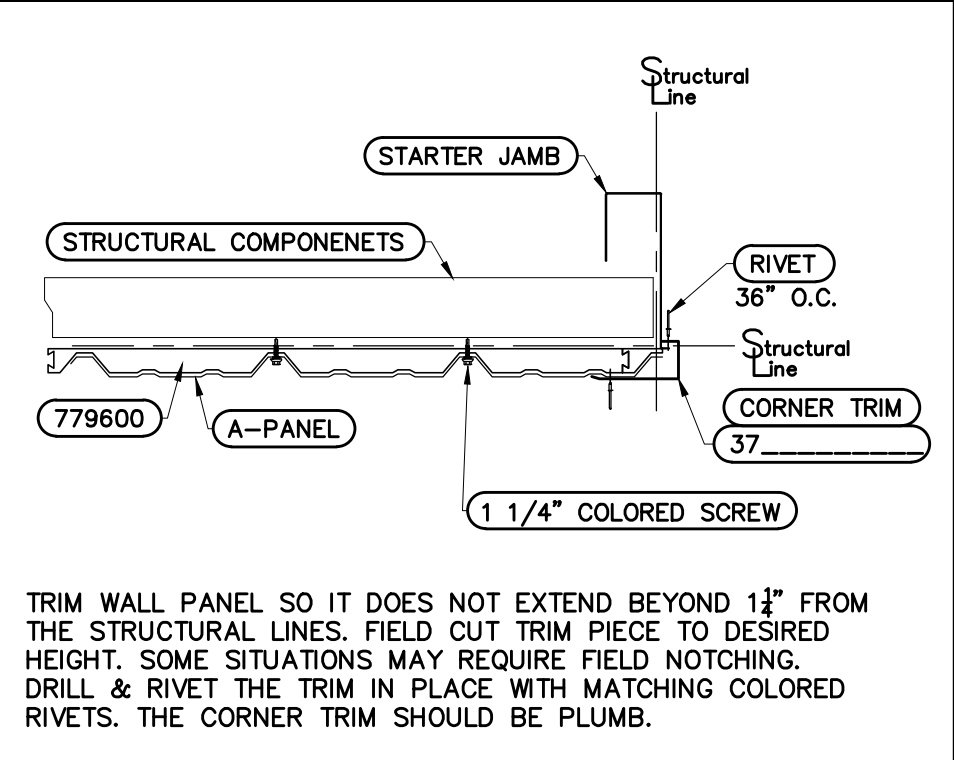
3 EXTERIOR WALL/SILL TRIM CONNECTION DETAIL



6 DOOR SIDEWALL/EAVE TRIM CONNECTION DETAIL



6B DOOR SIDEWALL/EAVE TRIM CONNECTION DETAIL



13 EXTERIOR CORNER TRIM BLANK WALL & DOOR JAMB FASTENING DETAIL

REVISION

By Date

#1, MOVED ELEVATION TO THIS PAGE.

CG 2/15/23

STATE OF MICHIGAN

SHAUGHN P. DEAN

ENGINEER

No. 6201310846

LICENSED PROFESSIONAL ENGINEER

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TBS

Job Description

TOM MAXWELL

OSCODA, MI

Sheet Title

EXTERIOR PANEL PAGE

Date

1/24/23

Drawn by

CG

Scale

1/2" = 1'-0"

Plan No.

P57809

Order No.

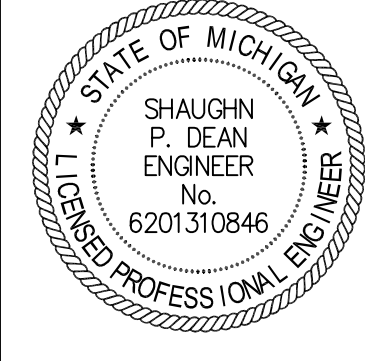
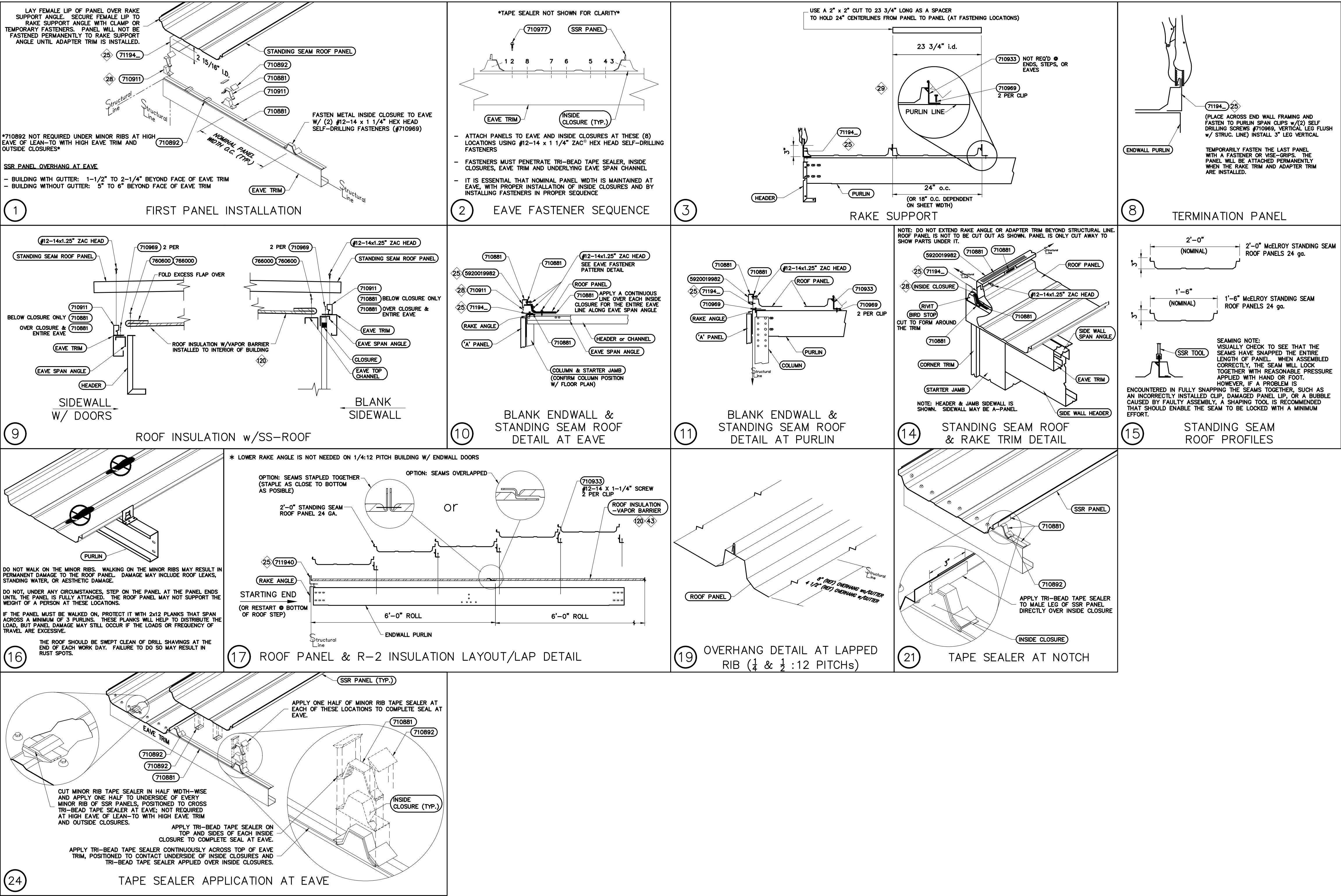
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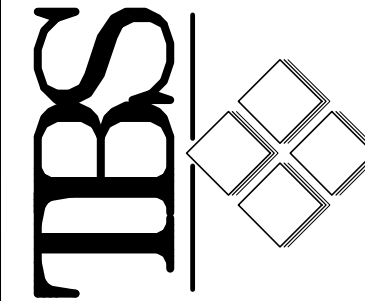
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F2.0

PART # INDEX	
PART #	DESCRIPTION
5920019982	26ga. adapter trim, 16'-0" long
710881	Tri-Bead Tape Sealer
710892	Minor Rib Tape Sealer
710911	Metal Inside Closure
710933	fixed utility clip
710969	#12-14 x 1.25" Hex head screw
710977	#12 x 1.25" SDWW (zac) screw, GALVM
71194	Rake Support Angle, length varies
760600	#12 x 3/4" HHWSd screw
766000	1.5" o.d. fender washer



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