### CHARTER TOWNSHIP OF ORION PLANNING COMMISSION \*\*\*\* A G E N D A \*\*\*\*\*

## REGULAR MEETING – WEDNESDAY, OCTOBER 20, 2021 - 7:00 P.M. ORION COMMUNITY CENTER 1335 JOSLYN ROAD, LAKE ORION, MI 48360

Joint Public Hearing with the Board of Trustees at 7:05pm: for PC-2021-78, The Woodlands Planned Unit Development (PUD), located on a vacant parcel located east of 310 Waldon Road, Sidwell #09-23-351-024. The applicant, Detroit Riverside Capital, is proposing to rezone the property from Suburban Estates (SE) & Single Family Residential-2 (R-2) to Planned Unit Development (PUD) to construct a 190 multi-family unit development.

Public Hearing (immediately following PC-2021-78 Public Hearing): PC-2021-73, Township Initiated Text Amendment to Zoning Ordinance #78, Industrial Park (IP), Article18, Section 18.01 – Land Uses.

#### 1. OPEN MEETING

#### 2. ROLL CALL/PLEDGE OF ALLEGIANCE

#### 3. MINUTES

- A. 10-06-2021, Planning Commission Regular Meeting Minutes
- B. 10-06-2021 PC-2021-70, Grandview Rezone Public Hearing Minutes
- C. 10-06-2021 PC-2021-71, F & D Silverbell Rezone Public Hearing Minutes

#### 4. AGENDA REVIEW AND APPROVAL

#### 5. BRIEF PUBLIC COMMENT - NON-AGENDA ITEMS ONLY

#### 6. CONSENT AGENDA

#### 7. NEW BUSINESS

A. PC-2021-79, Lifted Industrial Site Plan Modification, located at 4611 Liberty Dr., (parcel 09-34-300-018).

#### 8. UNFINISHED BUSINESS

- A. PC-2021-67, J.S. Brown Rd. Site Plan, located at 851 & 861 Brown Rd., (parcel #09-33-351-020 & 09-33-351-021).
- B. PC-2021-73, Township Initiated Text Amendment to Zoning Ordinance #78, Industrial Park (IP), Article 18, Section 18.01 Land Uses
- C. PC-2021-07, 5-Year Master Plan Update

#### 9. PUBLIC COMMENTS

- 10. COMMUNICATIONS
- 11. PLANNERS REPORT/EDUCATION
- 12. COMMITTEE REPORTS
- 13. FUTURE PUBLIC HEARINGS
- **14. CHAIRMAN'S COMMENTS**
- 15. COMMISSIONERS' COMMENTS
- **16. ADJOURNMENT**

In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the Township at least seventy-two hours in advance of the meeting when requesting accommodations.

# CHARTER TOWNSHIP OF ORION PLANNING COMMISSION \*\*\*\*\*\* MINUTES \*\*\*\*\*\* REGULAR MEETING, WEDNESDAY, OCTOBER 6, 2021

The Charter Township of Orion Planning Commission held a regular meeting on Wednesday, October 6, 2021, at 7:00 pm at the Orion Township Community Center, 1335 Joslyn Road, Lake Orion, MI 48360.

#### PLANNING COMMISSION MEMBERS PRESENT

Scott Reynolds, Chairman

Joe St. Henry, Secretary

Don Gross, Vice-Chairman

Derek Brackon, Commissioner

Don Walker, PC Rep to ZBA

Kim Urbanowski, BOT Rep to PC

#### PLANNING COMMISSION MEMBERS ABSENT:

Jessica Gingell, Commissioner

#### 1. OPEN MEETING

Chairman Reynolds opened the meeting at 7:00 pm.

#### 2. ROLL CALL/PLEDGE OF ALLEGIANCE

As noted

#### **CONSULTANTS PRESENT:**

Rod Arroyo, (Township Planner) of Giffels Webster Matt Wojciechowski, (Township Planner) of Giffels Webster Mark Landis, (Township Engineer) of OHM Advisors Tammy Girling, Township Planning & Zoning Director

#### **OTHERS PRESENT:**

Sara D'Agostini Adam Ossipove Danny Plantus Joseph Salone III Joseph Salome IV Ken Mihelich Michael Rich Gene D'Agostini Kelly Mihelich Mary Ann Ryan Wendy Ryan-Borga M. Wany (sp?) Jerry Lilly Richard Bondar Tracy Deuman

Chris Krystek Dawn Krystek

#### 3. MINUTES

A. 09-15-21, Planning Commission Regular Meeting Minutes

B. 09-15-21, Planning Commission Workshop Meeting Minutes.

Moved by Vice-Chairman Gross, seconded by Trustee Urbanowski to approve both sets of minutes as submitted. **Motion carried** 

#### 4. AGENDA REVIEW AND APPROVAL

Moved by Vice-Chairman Gross, seconded by Commissioner Walker, to **approve** the agenda as presented. **Motion carried** 

#### 5. BRIEF PUBLIC COMMENT - NON-AGENDA ITEMS ONLY

None

#### 6. CONSENT AGENDA

None

Chairman Reynolds recessed the regular meeting and opened the public hearing for PC-2021-70, Grandview – Lapeer Road Rezone Request, the request is to rezone approx. 17.44 acres of 3120 S. Lapeer Road (parcel #09-26-151-019) from Recreation 2 (Rec-2) to Multiple Family Residential (RM-2), and approx. 4.21 acres from Recreation 2 (Rec-2) to General Business (GB) at 7:05 p.m. and closed the public hearing at 7:15 p.m.

Chairman Reynolds opened the public hearing for PC-2021-71, at 7:15 p.m. F & D Silverbell Rezone Request, the request is to rezone approx. 23.05 acres of vacant parcel (#09-35-100-019) located at the SW corner of Silverbell and Lapeer Road from Office Professional (OP) to Industrial Park (IP), and approx. 7.02 acres from Office Professional (OP) to General Business (GB).

Chairman Reynolds closed the public hearings and reconvened the regular meeting of the Planning Commission at 7:20 p.m.

#### 7. NEW BUSINESS

A. PC-2017-14, Orion Commons PUD Commercial, requesting site plan extension, located at the vacant parcel on the south side of Scripps Rd. north of Gunnison St. (parcel #09-23-100-004).

Chairman Reynolds asked the applicant to state their name and address for the record.

Mr. John Thompson with PEA representing Orion Commons LLC. presented.

Chairman Reynolds said just a general overview of the request, the reason for the request so they have some background.

Mr. Thompson said that Orion Commons Commercial North Unit #1 & 2, the site plans before them was originally approved June 21, 2017. It was extended into 2018, 2019, and 2020. The plan itself consists of approx. 5 acres located at Gunnison and M-24. It is zoned (PUD) general business overlay. The two standalone buildings consist of a retail/restaurant development totaling approximately 12,000-sq. ft. This includes a vast casual drive-thru as one of the options.

Mr. Thompson said that they were there to request another 1-year extension. Generally speaking, the commercial real estate market has not recovered after Covid. New development particularly ones with small tenants is still at a standstill. They have already heard comments from the public about retail spaces with vacant doors as it is. Trying to build a new development just has not been feasible. Dave Walters who is the applicant was double-booked today and he apologized for not being there. Dave Walters with Lormax said that their main focus has been trying to continue to maintain existing tenants, they haven't been able to get the new developments off the ground. Having an approved site plan is a huge advantage over their competition when the tenants are trying to find space versus developments that is just raw land. It is a huge thing for them to maintain this site plan approval.

Mr. Thompson said over the last couple of years they have prepared multiple concept plans they have had multiple possible tenants. They have looked at hardware stores, restaurants, other small retail developments, they even laid out apartments on the property trying to look at

other options or possibilities. As recent as last month they had a coffee user come into the Township and looked at that as a possibility, however, they dropped the site too. They understand as a general rule the Township doesn't want site plans sitting around forever. They have effectively lost the last two years due to Covid. Right now, it still hasn't come back, they are hoping that it will soon. He didn't want to set a precedence for multiple extensions but under the same findings of facts for the previous approval, he just wanted to mention a few things: this is a PUD so any changes that would come before them on the site plan would be required through a major or minor amendment of the PUD so if there were anything that they wanted to

change with respect to the site plan versus maintaining the existing site plan they do have those stopgaps. Since the site plan was originally approved there have not been a lot of changes in the requirements. So that moving forward they would not have a non-compliant situation. Again, the development has been stalled because of Covid. With that, they are asking for a one-year extension.

Vice-Chairman Gross said that it was unfortunate that the pandemic has been a partial problem to this situation but there hasn't been any movement on this site for 5-years, since 2017. Since that time, they have had at least 3 new Planning Commissioners that have not even seen the plans. They have a new Planning consultant that has never seen the plan. They have a residential community immediately to the west that is now totally developed that has never seen the plan. They are in the process of revising their Master Plan. They have been patient for 5-years. He thought it was time to reevaluate the plan, the plan that was submitted as the applicant indicated was pretty much for a specific use and that specific use has not materialized. He appreciated the fact that they are continuing to market it as such but his opinion was it was time for them to give all the Planning Commissioners a chance to review the plan and to reevaluate where they are going. He said he would not be able to support an extension.

Trustee Urbanowski asked Planner Arroyo, it has been a few years, she asked what are the problems with continuing to extend these plans? They are going through the Master Plan they are updating things. She asked what if things change? What are the bad and good of extending this long? Planner Arroyo said that some of the factors they look at are, the Master Plan the long-range vision obviously they are in the process of working on that. If they have a project that was approved and does not get built and they are looking for extensions then they should look at changes within the community and changes within policies, and land-use policies that they may have established. Typically, if all things are equal and they haven't amended the ordinances and things have pretty much stayed the same then a lot of time extensions are granted because there is really no good purpose in saving this project is over, they have to start over again. The pandemic is certainly an issue, as the applicant has indicated, there have been many instances where projects are delayed. But clearly, this has gone beyond that because it has been 5-years so that is also a factor for consideration. This is also a PUD with that there are very unique circumstances associated with that. For those that participated in that original review, that would be one thing he would ask is that they look at that and see how they felt at that time and what the conditions were and how those conditions have changed and what impact would that have on their decision where or not to extend this. Those are just some things that come to his mind with some of the factors that they would typically look at.

Trustee Urbanowski asked what happens if hypothetically there is no extension, what is the next step? Planner Arroyo replied if they don't do anything by the time it expires, it expires, and there is no approval, and if they wanted to build something they would have to submit new plans and go through the approval process, whether it would be for a site plan or a PUD whatever they ask for they would have to reconsider it.

Chairman Reynolds said that he agreed with the initial comments that they have been patient with the development. There has been ample opportunity to create something. The past couple

of years have been pretty crazy. A development even if they said go today is difficult to occur even within a year window. When he takes a step back and looks at the underlying zoning, that hasn't changed significantly. There have been efforts to bring forth projects to this site and he thought that there was some advantage to the development saying that it is going to be built to suit or a fitting development versus just building the retail to put it up to have it sit vacantly. He thought there were some pluses and some good faith effort as time has proceeded. He personally based on Covid and everything that they are sitting in he didn't think that if they kicked it back, they are going to see something significantly occur in a year window. In his perspective, he doesn't see the huge benefit of not at least extending it one last time. Looking at it that way it is a PUD at this point and time they don't have anything on the table that significantly changes that underlying zoning and even if it did it is a PUD so those conditions are set forth, they are not talking about the zoning district is going to change. His personal effort is to give it a chance to come forth and see if something doesn't work out. Potentially one of the things that would be nice to see with development right now there really isn't a whole lot that has been done with it, so if it was maintained or just spruced up landscaping, some of those other things that would potentially sweeten the deal for it sitting vacant but be extended, even the lawn mowed. He understood if it was any other year, he would agree he would hold firm on, they have kept extending but Covid has been a wild ride for the past 2 ½ years. That is one of his challenging thoughts here that he would present.

Secretary St. Henry said that a couple of them were there in 2017 and the original proposals were given, it was a PUD with residential development in the back and the commercial development upfront. He thought that he could speak for the Planning Commission back in the day that they were comfortable with the residential development. There were some serious concerns with the commercial development with the traffic issues along M-24 as well as the nature of the site plan because there were very shallow lots and there was some concern about how viable these pieces of commercial property really were. They had some concerns about drive-thru issues and so forth. In subsequent years when they have given extensions and listened to the applicants and the developer talk about drive-thrus and the fact of the matter was they didn't approve a drive-thru to being with back in the day when this development was originally proposed. The whole issue began with Covid, Covid started in March of 2020, this property was started to be developed in 2017, they had a few years to find applicants. Since then, they have a development going in a significant development right down the road at Stadium and M-24. Including potential entrances off of M-24 entrances off Stadium, they all know what goes on that corner that is within a 1/4 mile of this development. They know what the traffic is like there the situation has changed significantly. He lives across the street from this development and drives by it every day, he was not worried about the grass not being mowed. He wondered what exactly the status of the development has been for the last several years. The daycare that went in there went in pretty quickly, it seemed to be the ideal development there. He would not be in favor of extending this because of the changing development along M24 in that area. This is a very difficult piece of property as it is site planned and how the original development was proposed.

Commissioner Brackon said his concern was more of the presidential effect. They know that if people don't like their decisions, then it ends up in Circuit Court. When applications get made and briefs get submitted to Circuit Court all of the other examples such as this one will get attached as an exhibit to someone else who did or didn't get approved, whichever way they are going for and depending on how they vote. So, letting this go on for 2017 and even extending it more could potentially affect that and those decisions in Circuit Court. He said he wasn't here in 2017 but it has gone on for so long he felt it would potentially harm other issues that may arise in the Circuit Court matter.

Chairman Reynolds said he understood the concern. He thought here inserting findings of fact to potentially speak to the current environment, Covid, and things, that is why there are findings of fact. He didn't think he was worried about setting a precedence of a few extensions of a project setting it elsewhere with others in the Township because they typically do look at it, case by case.

Trustee Urbanowski said that they had a question before on a completely different case and scenario that they had questions about setting precedence and they were informed that they shouldn't be overly concerned about setting precedence because each property is different. If they have good reasons for making the decisions that they are making and explain themselves then they should be good.

Planning & Zoning Director Girling stated that this is zoned PUD that doesn't go away. When the PUD was approved it was for the residential in the back and for a 150-ft. strip across the entire front of Lapeer Rd., that would be either commercial or office. If this plan is not renewed it is still a PUD and it still has the right to be office or commercial. The question is really the plan that they came in with to get approved whether that plan that currently has an approval on it will expire. She wanted everyone to understand it will still be zoned PUD.

Secretary St. Henry stated that Planner Arroyo said that if they reject the extension the developer would have to come forward with a new plan down the line.

Planning & Zoning Director Girling said that the way the ordinance reads, and they made it clear when this one was approved, that any use that came in on that front commercial would have to come in as a major PUD amendment. So, they came in as a major PUD amendment when they had a plan that they wanted approved, so, the two choices are, this one stay's there, and that is what they build if they extend the approved plan. If they don't anything that they come in for, any alterations to it, they would have to come in as a major PUD amendment anyway. Because it is a strip it didn't have a future plan it was just a commercial or office. They have a plan that they either build or if they find a different user they are back for another public hearing and another site plan. They can't proceed with anything besides what they have or if it expires or they find a different user. If they don't find a user that fits into the plan that is already approved, which they committed to a soft-casual drive-thru and a second building without a drive-thru they would have to come back to them anyways, as a major PUD amendment, with a joint public hearing.

Commissioner Walker said he was not an Engineer, Planner, or Architect when he discusses these things. He is also not an economist but from what he has seen in the business reports the next year is going to be dreadfully dismal just like the last couple of years have been. There seems to be no recovery on the horizon for businesses of any kind. What bothers him is that it is five years and he doesn't believe they have had anybody else, they review all these individually, but he didn't think that they have had another plan come back five times, Covid or no Covid. It bothers him that they are still here talking 5 years later. He understands that there have been issues but everybody has had issues and no one has asked for an extension of this magnitude that he was aware of.

Moved by Vice-Chairman Gross, seconded by Commissioner Brackon, that the Planning Commission deny the site plan extension request for PC-2017-14, Orion Commons Commercial PUD Amendment Site Plan. This **denial** is based on the following facts: that this would be the 5<sup>th</sup> extension of the site plan; any modifications to the existing site plan would require that the plan come back before them in any event; the initial plan that was approved was before a previous Planning Commission, there are at least three new sitting Planning Commissioners that have not seen the existing plan; there is a new planning consultant that has not had the

opportunity to review and comment on the site plan; the residential behind the project has been fully developed and they have not had the opportunity to see the plan; he thought it was time to reevaluate the site plan; it is unfortunate that they are confronted with a pandemic situation and some of the delays that it has caused; this property has been sitting this way since 2017.

#### Discussion on the motion:

Mr. Thompson stated that he hoped that Commissioner Walker is wrong he hoped what he read was wrong. They are optimistic that there is going to be some movement in this next year. They just had a user come in last month for a pre-app on this project. They hope that they are going to see some changes. They see some proposed rezoning to (GB) along M-24 really close to the site, there are of the same nature, they are going to be looking for (GB) type zoning. He thought that there was potential that they can get users next year. He added as far as the residents of the Orion Commons site they were aware as part of the purchase when they bought the houses that there was an existing site plan in place, so, it is not new to them. What was proposed was proposed and approved before they moved in, so they knew the potential was there.

Mr. Thompson said they don't like to use the word precedence but he has been here several times to obtain extensions on projects and one of the things they have done historically was approved an extension with the specific notion that this was the last one. They hope to be able to develop this next year, so, his desire would be to give him that caveat give him one more year tell him this is the last one and it won't come back.

Trustee Urbanowski said it is a PUD if anything is going to change, they have to approve it anyway.

Chairman Reynolds said agreed, the biggest thing is if they strongly feel that, it is zoned, ultimately that is what the zoning is. It is kind of a difficult discussion to have because it is not just a standard site plan it is a PUD zoning amendment. He understood that they have been talking about this for a while but there is not a ton of movement here that would or wouldn't occur. His knee-jerk reaction is the market alto because of Covid and that is a decent finding of fact in his perspective to feel one way or the other. He would strongly agree that this is not something that he wanted to set precedence for and strongly consider. He thought that one last extension is allowable in his eyes.

Trustee Urbanowski felt the same way. She had sat in one of those pre-apps so he knew what he was talking about. It has been a couple of years since the original and she heard it might be this or that but it seemed like they were working on it. She thought it had been a long time but didn't see the point in not extending it one more time because it is not really going to move anything one way or the other.

Chairman Reynolds said as it sits right now, they have a motion to deny with the following findings of facts that it is the fifth extension, modifications would need to come back to them, and it was before a previous Planning Commission, they have a new planning consultant, and the residents haven't been part of this input since it was completed afterword there was some clarification to that.

Planning & Zoning Director Girling said she wanted to point before rollcall that the motion is to deny so if you vote yes that means they don't get the extension.

**Roll call vote was as follows:** Walker, no; Brackon, yes; St. Henry, yes; Gross, yes; Urbanowski, no, Reynolds, no. **Motion failed 3-3**. (Gingell absent)

Planning & Zoning Director Girling she said in bylaws actually say that they can postpone it until they have a vote that can carry. She knew there was a timeframe on it, however, they were heard within the timeframe so if they had to be at a meeting where they had seven members if they can't come up with a vote that carries.

Trustee Urbanowski asked if they were allowed to say this is the last extension? Chairman Reynolds thought that they could put that as a condition and a finding of fact. Whatever they want to state with the case it is going to be admitted to the minutes just like it was here tonight with previous extensions that were awarded.

Commissioner Brackon asked if it was binding? Planner Arroyo thought that they could always ask for another extension. Chairman Reynolds said they can always ask but in the findings of fact and in the conditions of the motion obviously their intent is heard clearly and obviously that would be up to the Commission at that point and time which is hearing the condition request.

Moved by Commissioner Brackon, seconded by Commissioner Walker, that the Planning Commission postpone the site plan extension for PC-20217-14, Orion Commons Commercial PUD Amendment Site Plan until they have an uneven number of individuals to cast a vote.

**Roll call vote was as follows:** St. Henry, yes; Urbanowski, yes; Brackon, yes; Walker, yes; Gross, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

B. PC-2018-27, Baldwin Medical/Village Square PUD, requesting site plan extension, located on 2 vacant parcels (09-29-301-084 & 09-29-301-085) south of 3520 S. Baldwin.

Mr. Michael Rich 26020 Radcliff Place, Oak Park, MI, representing Baldwin Medical presented.

Mr. Rich said they are asking for an extension of their site plan. He said that Covid has dealt them a blow. They had to amend an existing PUD and tracking down the other owners due to multiple changes of ownership, they spent almost 10 months and 2019 and into early 2020 getting the PUD amended before they could move even further along. Of course, they got the last signed approval in early March of 2020, about 10 days before Covid disrupted the world. They still had to get the engineering review approved, everything was shut down for the second and third quarters of 2020. He was here a year ago and asked for the extension, they had been negotiating with the engineer to get the engineering review finalized and he said at the time he thought they were very close, they were by the end of 2020 they had the engineering review and approval and that was done. All they had to do was start paying the permit fees and put shove in the dirt. They had a letter of understanding with a health care system that they were going to build the building for. As they are aware of what has happened with everything in this world but the health care systems between the lack of workers and people not being able to hospitals, etc. they froze everything. They have not moved forward they still expect that they are going to sign an agreement with a health care system to be the sole user/occupant of the building and will be able to go forward. Until they get that they just haven't broken ground and paid the fees. He added that he can't guarantee anything. 18 months ago, he would have guaranteed that they wouldn't be shutting down the entire world for 18 months. He did expect that they would get it signed and be able to move forward. Again, it is a PUD they did go through getting it changed for this purpose to build a medical office building, that is the intent. They do believe that it is the highest and best use, and that is what they expect to incur.

Chairman Reynolds asked what the length of the request was? Mr. Rich replied a one-year extension. He hoped it wouldn't take that long.

Commissioner Brackon said he was reading the minutes from last year where they talk about that they thought it was very close "he added that once they approve that there were a few more fees to be paid it would be determined by the final engineering and then pre-construction and soil permits would be pulled". He asked if that happened? Mr. Rich replied that they got the final engineering completed which was not completed when they were there a year ago. The amount of the permits and fees were stated but they did not pull the permits and do the soil because they are waiting to try to sign the final agreement with the user.

Commissioner Brackon asked if that was signed when the statements were made that the preconstruction and the soil permits will be pulled. Mr. Rich replied that there was a letter of understanding but not a final agreement. Commissioner Brackon asked what happened then, it didn't materialize? Mr. Rich replied it got frozen essentially with the user. Commissioner Brackon asked what that meant? Mr. Rich replied that they wouldn't proceed to sign the final agreement they keep saying they are waiting for their world to move forward, the health care area. They are not expanding they had anticipated having another building to expand into and they are just not ready to do that at this time. They have not signed the final agreement they keep putting them off. Commissioner Brackon asked if the letter of understanding was still valid? Mr. Rich replied that it would have expired at this time. They are still in discussion with them but the letter of understanding has expired.

Planning & Zoning Director Girling stated that indeed they did proceed to the engineering review which is quite costly, got approval. What stops the clock on the expiration of a site plan is pulling one of those permits. Between the approval of the engineering and pulling the permit is a requirement that the Township has currently, it is called a Performance Guarantee which is 50% of the cost of the infrastructure to go in. What would have stopped the clock is if they would have signed and that would have paid these fees, they would have a soil erosion and they wouldn't be before them because it wouldn't expire. Mr. Rich stated that the amount of the permits of \$250,000. Planning & Zoning Director Girling said that kind of money during Covid is a factor. She wanted to make sure they understood the Performance Guarantee and the commitment from someone tying up those dollars. It is truly either an irrevocable letter of credit or cash, they don't take bonds.

Secretary St. Henry asked how many extensions have they been granted? Planning & Zoning Director Girling said that their plan was good for a year, so, at the point that that year was expiring, they came in last year and got it, so they have got one extension, this would be the second extension.

Trustee Urbanowski asked regarding the letter of understanding, they were waiting for them to sign the contract, and then Covid hit? Mr. Rich said that Covid hit before the letter of understanding was signed. That is why they expected everything to move forward. When push came to shove to sign the final agreement, they said they are freezing everything right now.

Trustee Urbanowski asked if they were still talking to them? Mr. Rich replied yes. He said the people they are talking to there are essentially saying it is going to happen. He let them know that they have deadlines.

Trustee Urbanowski asked what kind of medical facility is this? Mr. Rich replied said it would be affiliated with one of the hospital systems.

Secretary St. Henry asked if it would be an ambulatory surgical center where they do elective surgeries? Mr. Rich said that any surgeries would be outpatient-type surgeries. Secretary St. Henry said so it would be elective surgeries. Mr. Rich said it would be more just medical offices but will do some lab work there.

Secretary St. Henry said that is why they are gun shy because with Covid elective surgeries have been impacted, off and on, for the last 1 ½. Mr. Rich said their world got frozen.

Secretary St. Henry said he is a little more optimistic about the economic recovery after Covid, this is a health crisis this is not a financial market crisis like it was back during the recession during 2008/2009. He thought that the hospitals are wanting to see this pandemic head in the right direction and felt that business development will accelerate but there is just too much uncertainty out there at this point.

Chairman Reynolds said that he was in support of providing an extension. They are obviously moving forward with due diligence and if they are at final engineering and they are essentially able to grant that that is pretty far in the process. Mr. Rich said that final engineering was granted that was finalized.

Chairman Reynolds said that there has been plenty of due diligence and especially with the crazy year that they have had he would be in favor of it.

Vice-Chairman Gross agreed. He said in contrast with the previous request that they had this applicant has been in negotiations with the tenant, they have had engineering, they have expended large amounts of money relative to having this project proceed and he agreed that an extension of this would be appropriate.

Moved my Vice-Chairman Gross, seconded by Trustee Urbanowski, that the Planning Commission approve the site plan extension request for PC-2018-27, Baldwin Medical/Village Square Major PUD amendment Site Plan for one year until October 16, 2022. This approval is based on the following findings of facts: that the applicant is in current negotiations with a tenant that needs to be finalized; the applicant has conductive extensive engineering and received engineering approval, the Township just requires paying fees.

**Roll call vote was as follows:** Urbanowski, yes; Gross, yes; St. Henry, yes; Walker, yes; Brackon, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

C. PC-2021-70, Grandview – Lapeer Road Rezone Request, located at 3120 S. Lapeer Road (parcel #09-26-151-019 from Recreation 2 (Rec-2) to Multiple Family Residential (RM-2), and from Recreation 2 (Rec-2) to General Business (GB).

Chairman Reynolds asked if they would like to add anything from their previous presentation if not, he would turn it over to our professional consultants. Mr. Salone replied that he didn't have anything to add other than thanking them for considering their request.

Planner Arroyo read through his review date stamped September 20, 2021.

Chairman Reynolds said that they did have a review from Public Services that there were no additional comments at this time with the rezone request on this parcel.

Commissioner Brackon said he thought that he understood what Planner Arroyo meant by spot zoned and asked if he could define that or explain that? Planner Arroyo said that typically the guidance is they ask three questions, is the rezoning consistent with the Master Plan? Here it is not consistent with the Master Plan but once again they could argue that the mixed-use is directly to the south and if this property had not been historically used as private recreation it might have that mixed-use classification. He thought that they had to take that into consideration. Is the proposed zoning district a logical extension of an existing zoning district in

the area? When they look at zoning, they have (OP) to the north, and (OP) to the south, and (R-2) to the west. There really isn't from what they are asking for they are not extending necessarily an existing zoning classification that would go to this site, it is primarily an office designation along the west side, that is how it has been zoned, even though the Master Plan would allow for consideration for other uses. The final element is, would approving the request grant a special benefit to the property owner or developer. That is typically one of the things that they look at with a spot zoning is that they are looking at a relatively small piece of property and basically singling this out as a favor to one property owner that other property owners wouldn't enjoy. If the answer to that is yes, then typically that could be considered a spot zone. This site is a little complicated because of the previous use and because of the mixed-use classification to the south on the Master Plan Future Land Use Map. Those are some of the issues.

Mr. Salone said that the property was previously zoned what they are requesting prior to the existing use. It does have the unique challenge in that it has the ITC corridor on the site, so it is going to limit what uses can be used, what might be appealing there. He thought the other thing to keep in mind was that they are not going to be impacting Waldon in any way, and he thought that some of the residents were concerned about it. He added that the use currently is not viable economically and that is why the seller is selling.

Vice-Chairman Gross asked why are they requesting RM-2 versus RM-1. Mr. Salone said that to make it viable financially with the challenge of the ITC corridor they would need the additional density to make it work. Vice-Chairman Gross said so it is density? Mr. Salone replied yes. He added that there is no other piece available (RM-2) there is nothing else.

Vice-Chairman Gross said that they heard the comments from some of the public earlier as to what might go on the property. He asked if it was their intention to sell the property or to develop it. Mr. Salone replied that it was their intention to develop it. He added that he is a real estate developer and he has built in the community recently, he is building in Auburn Hills similar uses now and it would be his intention to come back before them in the, not too distant future after they complete their studies if they are granted, the rezoning and request of a use consistent with hopefully the rezoning but it would be by him. He is not going out to outside sources for financing or users.

Commissioner Brackon asked what their intention was to build there? Mr. Salone replied multifamily in the back. He said there is really no way to work retail here. Mr. Salone said he lives in the area too and he drives by the site every day and there is really no way to make it work. From a retailer's perspective, he looks at that on his way home which would be northbound on Lapeer from I-75 and they all know what that is like. The way to work would be southbound and he felt it was underserved, there is nothing there. He thought it would be a good viable location for retail along Lapeer.

Chairman Reynolds said he understood it was a tricky site and that rec was not necessarily a viable use moving forward especially from a private entity. He personally doesn't have a huge issue with the (GB) along M-24 he thought that was consistent, what he was struggling with was the density that was allowable just by a permitted use since this is just a straight rezone and nothing conditions of an (RM-2) of being proposed on the rest of the site. Even with some of the multi-family in the area none of which are (RM-2). So that is some of his reservation as is the zoning designation of (RM-2) over (RM-1). Some of that thinking process is just the large lots and existing zoning that would be to the west, some of those are larger parcels and how those are Master Planned right now he was just looking at how that use transitions and how some of that property that abuts and is adjacent to the rear yards of some of those is something to consider.

Vice-Chairman Gross said he was concerned about inserting an (RM-2) density into that site, recognizing what's surrounding it.

Trustee Urbanowski said she felt the same way. They have just been going through these maps and talking about transitions and making sure that things are matching. She was ok with the front portion of it that makes sense but the high density (RM-2) didn't make sense to her in that area.

Secretary St. Henry said that there is no (RM-2) anywhere along M-24. There are apartment developments on M-24, Indian Village. Chairman Reynolds said that is designated (RM-1) so the multi-family that is along M-24 most of them are (RM-1), there is multi-family along M-24.

Secretary St. Henry said there were a few condos developments within a mile of this location. Indian Village is (RM-1).

Mr. Salone said for whatever it is worth looking at it as he has and looking at this at length, he wanted to remind them that there is a landfill to the southwest, there is no residential home adjacent to this site, and there is a huge powerline running through this site. He didn't see how this becomes viable for anything other than what he is proposing for it. He didn't see what other viable use it has. That was why he thought it would make sense, he would never request rezoning and he never has, and he has been doing this for 25-years and he thought was not consistent with what made sense for the site. He really believed because of the ITC wires that that more intense, and because it is not adjacent to any single-family home. All of the traffic would be coming in and out off of Lapeer Rd. which is a state highway. He didn't see any other sensible use. That ITC powerline is a challenge. Commissioner Brackon asked why? Mr. Salone replied because it is not as desirable to develop it. Commissioner Brackon asked from a person wanting to live there or from a developer's standpoint? Mr. Salone said from many other uses standpoint.

Commissioner Brackon asked if it was difficult the develop a property because of the lines or is it less desirable from a consumer's standpoint to want to live there because of the lines? Mr. Salone replied that he thought that it was his hope to not go towards this end of the discussion but didn't have a problem doing it. He thought that it is more suitable for rent type of use than for sale type of use because of the powerlines, and the location, and because it is not adjacent to any existing homes. There isn't a concern about transitions, the kennel is to the north, and the property was zoned (RM-2) previously, he thought something that could be considered in favor of going this direction. The property to the south is General Business (GB), he didn't see how it made sense to do something else with the site but maybe that is self-serving.

Commissioner Walker said that he seems to be saying that he would not consider changing his request to the less dense version. He asked if that was correct? Mr. Salone said it was not viable for them to go with the lower density. Commissioner Walker asked if that was an, no? Mr. Salone replied if that is where they were at, he would ask to be tabled and let him consider it. He thought he would not be able to develop it.

Chairman Reynolds said that aside from what it is going to be and not going to be, for rent, for ownership, however, it is not necessarily on the table right now, they are talking about a rezone and about what is allowable as a straight zoned parcel. For him, it is the concern about the density and the (RM-2) not being in that area and not being friendly to the Master Plan or what is consistent or transitionally in that area. He agreed that it was a troubling parcel in some ways because they are stuck but thought that the (GB) use along M-24 makes sense but was

struggling with the density purely. It doesn't matter if it is apartments, condos, for rent, high-rise however to him he is just looking at that density.

Vice-Chairman Gross said that apartments are appropriate on that site. It is a question of the density, the number of units.

Secretary St. Henry said the fact that it was zoned (RM-2) in the 1980s is almost irrelevant from the standpoint that this area over the last 30-40 years is completely different than what it looked like in the 1980s. Up and down M-24 and Waldon everywhere. The fact that the property is zoned recreation that was because the previous owner set up the driving range that way. If people know the history of the property the original owner wanted to sell that property and build out big-box stores all up and down M-24. The (RM-2) designation might have fit 30-40 years ago he wasn't sure it fit today.

Commissioner Brackon asked if it was a packed deal on the General Business (GB)?

Mr. Salone asked what the (RM-1) density allowed? Planner Arroyo replied that it allows 6 dwelling units per acre versus 8 dwelling units per acre. Mr. Salone asked if that was a critical difference to the Planning Commission? Chairman Reynolds replied that he thought it was a point of consideration. He thought that some of their general thoughts are when they look at a rezone especially a straight rezone not conditional, they are looking at what the zoning district allows, density is one of them, where the Master Plan outlines, all of those things that were outlined in their planning review. He thought that they were trying to have an open discussion here to see where they are coming from and understanding where they are coming from also.

Mr. Salone said that there was a similar site just recently went in for a rezone under the same circumstances and he thought it was a little less challenging site due to the ITC corridor and that was given the (RM-2) just north of Home Depot in June. It is the same size as the (RM-2) portion that they are proposing without the challenge of the corridor or the landfill.

Secretary St. Henry said that the difference is they have historical homesites behind the driving range that have been there for a long time. He asked if (RM-1) to (RM-2) is truly just a financial issue on their end, which is their call. Mr. Salone said he would hate to reduce it to that but it does make a difference, the challenge of the powerlines makes a big difference.

Mr. Ossipove said that they lose some efficiencies of scale in the south half of the site, the total site maybe 17 acres but not all useable because of those powerlines running through there. He added that they will address the concerns here today.

Secretary St. Henry said this is a rezone request versus a site plan review.

Chairman Reynolds said correct, with no conditions just straight what they layout in the (RM-2) district.

Chairman Reynolds asked if there were additional thoughts or questions, thoughts on the opinions of comparing it to the rezoning of 2410 S. Lapeer Rd.? Secretary St. Henry said it is right down the road, they don't have the ITC corridor there but other challenges private property someone is trying to sell it.

Planner Arroyo said if they are going to start to compare with the one across the street, it looks like over 50% of the property on the west side that was rezoned (RM-2) was actually Master Planned for multiple-family, not (RM-2) density necessarily but it was planned for multiple-family, and it is adjacent to a big-box retail store, so there are some differences. He was not

arenered to so into a door analysis hat were the two different sites but that other site was

prepared to go into a deep analysis between the two different sites but that other site was partially planned for multiple-family and was adjacent to big-box retail stores.

Secretary St. Henry thought at the time they looked at that as a buffer between the single-family homes, (RM-2), and commercial.

Trustee Urbanowski said that is the transition that she was saying does it flow, does it make sense.

Mr. Salone said it was worth it to reiterate that 40% of this site is unusable because of the ITC corridor. If they had an opportunity to spread out more it might make a difference but they don't. He thought that it also is not sending a precedent for any future applicant because this site has the extenuating circumstance of the corridor.

Planner Arroyo said that there are single-family homes subdivisions that are being built next to ITC corridors all over. He did not agree that that is an overlying factor that would force them into a position where they have to put in multiple-family zoning. There are single-family developments that go in throughout the region and they have in their own community that are in that situation. Is it a factor that they are going to look but it doesn't mean that they have to rezone it to multiple-family.

Chairman Reynolds asked regarding the dwelling units per acre configuration even at 40% as an easement such as that they are still talking the same dwelling unit that doesn't factor into the acres and what they can compute dwelling units, correct? Whether it is on 60% of the parcel or all of the parcel it is still the parcel per the density requirement. Planner Arroyo replied that he would have to look at if that is a true easement or if that is what the ownership situation is in terms of how it is going to be treated. The parent parcel would have to be determined in terms of what qualifies to apply that density to and they are not at that point where they have that detailed information.

Chairman Reynolds said he hears the argument for the northern parcel of (RM-2) but to him, it is a different situation in the sense that there is the larger big box (GB) and then it is also adjacent to the PUD. When it is consistent with the Master Plan when there are clearly some thoughts that fit that that is a huge factor for him. When he sees (RM-1) across the street, up and down M-24, and directly adjacent to this parcel that is where he struggles with his initial discussion points.

Vice-Chairman Gross said that they have another request coming indirectly across Waldon on this side at their next meeting. He would like to look at them at the same time and get a real good understanding of what they are talking about rather than piece mailing it. Rather than taking a real hard stance on this and saying yes or no he would like to table it for an opportunity to look at this in the entire area, or at least this section.

Moved by Vice-Chairman Gross, seconded by Commissioner Walker, that the Planning Commission table PC-2021-70, Grandview – Lapeer Road Rezone Request, an opportunity to review this request in conjunction with other requests in the area.

Discussion on the motion:

Mr. Salone said he would prefer to avoid adjoining them with the concerns that they are going to have because that site is completely different it does not have the frontage on Lapeer Rd. He said he respectfully request that they request (RM-1) and the commercial zoning on Lapeer Rd. if that is an option at this point.

Chairman Reynolds said a no vote would make the motion null and void and a yes vote would move forward with tabling the motion.

**Roll call vote was as follows:** Gross, no; St. Henry, no; Urbanowski, no; Walker, no; Brackon, no; Reynolds, no. **Motion failed 0-6**. (Gingell absent)

Chairman Reynolds said based upon a comment brought forth by the applicate there is a consideration to transition from (RM-2) to (RM-1).

Mr. Salone said that he would like to respectfully request that they consider the portion that they are requesting to be rezoned to (RM-2) the 17-acres would they consider that to be rezoned to (RM-1) and leave the commercial frontage as requested. Vice-Chairman Gross said that he felt that the request as modified has some merit. The property can support an (RM-1) type development in the commercial zoning on Lapeer Rd. of 4.2 acres is also appropriate being adjacent to the (OP) zoning immediately to the north of it. He would accept the applicant's amendment to his request.

Secretary St. Henry said that this is just a process, exercise, compromise, and negotiation back and forth. He thought that was a reasonable, good faith option to consider. It is consistent with the rest of the M-24 similar developments.

Chairman Reynolds said it was advertised as the more intensive use so, there isn't an issue here for a potential motion? Planner Arroyo said you can go more intense you can go less intense.

Chairman Reynolds said he doesn't have many issues with the (GB) zoning along M-24 that is obviously consistent it was the density of (RM-2) not the sake of the residential multi-family zoning that exists adjacent and around that.

Moved by Vice-Chairman Gross, seconded by Trustee Urbanowski, that the Planning Commission forward a recommendation to the Township Board to approve PC-2021-70, Grandview – Lapeer Road Rezone Request as amended, the request is to rezone approx. 17.44 acres of 3120 S. Lapeer Road (parcel #09-26-151-019) from Recreation 2 (Rec-2) to Multiple Family Residential (RM-1), and approx. 4.21 acres from (Rec-2) to General Business (GB). This recommendation to approve is based on the following findings of facts: that the subject parcel is suitable for the proposed rezoning with multiple family and the majority of the property being (RM-1) and a small portion of (GB) being adjacent to existing (OP) zoning to the north; the property does have some restrictions on it relative the powerline which traverses the property which would assist in making the (RM-1) zoning reasonable; due to the trend of development in the area that has taken place is consistent with the zoning classifications as requested.

**Roll call vote was as follows:** Walker, no; St. Henry, yes; Gross, yes; Brackon, no; Urbanowski, yes; Reynolds, yes. **Motion carried 4-2**. (Gingell absent)

D. PC-2021-71, F & D Silverbell Rezone Request, located at vacant parcel (#09-35-100-019) located at the SW corner of Silverbell and Lapeer Road from Office Professional (OP) to Industrial Park (IP) and from Office Professional (OP) to General Business (GB).

Chairman Reynolds asked if the applicant had anything they would like to add, otherwise they will turn it over to their professional consultants? Ms. D'Agostini said she had nothing more to add.

Planner Arroyo read through his review date stamped September 20, 2021.

Chairman Reynolds said that he didn't have any issues with the rezone request. He thought that there had been some adequate due diligence provided in the past. The Master Plan supports it and it is also consistent with the adjacent uses not to mention the zoning that is directly to the north on the other side of this intersection the NW corner of M-24.

Vice-Chairman Gross said his only disappointment with this is the fact that the site was cleared prior to any proposal being submitted to the Township. He is hoping that when a site plan comes forward that there will be some recognition of the fact that the site was totally stripped and it needs to be reflected in the landscaping plan of the new site.

Ms. D'Agostini stated that Commissioner Gross if you recall the whole reason, they wanted to clear the site is to generate marketing they heard a lot of feedback that just nothing has happened with the site. They were very successful with that effort and they have in about a year have worked on four deals that they have done iterations for layouts which they couldn't move forward because they were all very different. It did in fact achieve what it was supposed to achieve in their intent is to move forward on a speculative basis if they have to, to get activity to the site. They will make right any wrong you perceive.

Chairman Reynolds said that it was a discussion point and they did pull a land clearing permit that is allowable by their Woodland and Tree Ordinance. When they go to look at that ordinance is that something that they do or don't want to allow. It was fully admissible by the current code in zoning.

Vice-Chairman Gross said that the site is covered under their Lapeer Overlay District so that they have some control and review over the esthetics of the property.

Commissioner Brackon said from a historical standpoint he thought that this was the original site plan of the Meijer that ultimately ended up in Auburn Hills? Chairman Reynolds said he was not sure. Commissioner Brackon stated that a historical member of the ZBA that was familiar with those things told him that story a few months ago.

Mr. Eugene D'Agostini one of the Principals in F & D Development. They are sensitive to the Tree Ordinances and preservation of vegetation and trees, they truly are. They try to preserve when they can. The challenge with this site and he thought that they made a presentation at one time, this site had been partially mined for sand and gravel and there was 20-ft. of grade variation on this site, there were hills and valleys that were created as part of the mining process. There were mountains of topsoil that had been stripped so it was pillaged to some extent. There were trees left but the problem and the challenges are when they are developing a site like this, they have to wind up with a flat piece of property to build these industrial facilities some of them are a million square feet. In order to get a flat piece of property they have to do land balancing well they can't do that if there are trees on the site. They did evaluate the timber that was there, it was very low quality. They did work with the Township officials to figure that out. He added that when they do evaluate their ordinance, he thought that flexibility and careful granular analysis is something that they want to preserve rather than throw out. They want to be able to do those things when they have these challenging sites.

Secretary St. Henry said when they come back with the site plan that it is really landscaped nice. Mr. D'Agostini said they take pride in their projects, they have examples of some of the product they have done, and he felt they would be pleased.

Moved by Commissioner Walker, seconded by Commissioner Brackon, that the Planning Commission forward a recommendation to the Board of trustees to approve PC-2021-71, F & D Silverbell Request, the request is to rezone approx. 23.05 acres of vacant parcel (09-35-100-019) located at the SW corner of Silverbell and Lapeer Road from Office Professional (OP) to Industrial Park (IP), and approx. 7.02 acres from Office Professional (OP) to General Business (GB). This recommendation to approve is based on the following findings of facts: the objectives of the Master Plan are met pursuant to the report by the Planner; the existing uses of the property in the general area coincide with this.

**Roll call vote was as follows:** St. Henry, yes; Brackon, yes; Urbanowski, yes; Walker, yes; Gross, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

E. PC-2021-58, MPD Welding Site Plan Modification, adding an addition to an existing building, located at 4200 S. Lapeer Rd., 09-35-100-010.

Chairman Reynolds asked the applicant to state their name and address and to give a brief overview of the project.

Mr. Danny Plantus Project Manager for Kemp Building and Development 275 W. Gerard Madison Heights, Ml. He was there representing Mr. Lilly and Mr. Bondar the owners of MPD Welding. They are the design-build company that is bringing this project to them.

Mr. Plantus stated that he was sure that most of the Board were aware of MPD Welding, they have been in this community for 40 years. They treat metal dyes at their facility, they are an industrial operation. Previously they brought in a site plan for a much larger addition at the beginning of 2015, they asked for a couple of extensions that project never materialized, the founder of the company passed away, and the project was basically tabled. These gentlemen, are back to propose a smaller addition, which is less than half the size of the existing building. Same kind of process they are going to be expanding their existing operation which is metal heating and treating of dyes and repair of dyes. It is a modest addition it will be on the north side of the building at 7,200-sq. ft. There are no other site changes saved for an expansion of the existing parking area to access one overhead door of the new addition and then on the south side, there is an extension of a fire lane to satisfy the Fire Marshal's concerns that will access the side of the building and allow further coverage for hydrant coverage. As well, as they are going to be bringing in a firewater main to provide fire protection to the new addition, and they are going to retrofit the existing building which is currently unprotected with a new fire protection system.

Mr. Plantus said that the construction type, he knew that there were comments in the Planner's reports that he can address because construction type is going to mirror the existing facility which is a conventional steel structure, masonry wainscot, prefab metal siding to match the existing building as close as possible.

Planner Arroyo read through his review date stamped September 29, 2021.

Engineer Landis read through his review date stamped September 28, 2021.

Chairman Reynolds said that they did have a review from the Fire Marshal, it appeared that there was a second submittal and a revised review that recommends approval without any additional comments.

Chairman Reynolds said that there was a Public Services review without any immediate concerns.

Chairman Reynolds said that there was a Water Resources Commissioner's review that speaks to just a general overview of responsibilities and he thought built upon the Engineering review and just some statements of fact for required permits if certain sizes were to be addressed.

Chairman Reynolds stated that there was a site walk completed by the Site Walk Committee, the report was done by Vice-Chairman Gross. Both himself and Secretary St. Henry were present. If there is anything they would like to speak to on that otherwise it was just a general overview of the project.

Chairman Reynolds said that a couple of takeaways from a few of the reviews was thoughts on Lapeer Overlay Road Standards, building upon the architectural aesthetic of what is existing. There was a question about the trash enclosure, lighting seems to be limited but just clarification on that, and then the same thing with there is minimal landscaping proposed but those were four items of big picture thoughts.

Chairman Reynolds said his opinion was the Lapeer Overlay Standards he thought with it being an existing building there wasn't anything that he saw at the site walk that was alarming to him. Seeing how the addition doesn't propose much, as long as there was a blanket statement of lighting and things like that to meet the ordinance if it were to be provided.

Chairman Reynolds asked how is trash handled? Are they not handling that in an enclosure, is that handled indoors? Mr. Plantus replied that currently there is a trash receptacle, they don't generate a lot of waste from this facility there is not a ton of employees there. For economic reasons, if there is any way to avoid building another structure for a trash enclosure, they would like to avoid that. There is really nobody back there it is a dead-end street, there are neighbors, they would ask for a waiver on that if that is possible.

Chairman Reynolds asked if the trash was within the building or outside of the building? Mr. Plantus replied it was outside.

Secretary St. Henry asked if it would be more than adequate for handling any additional waste? Mr. Plantus replied correct. There is a new piece of equipment in the addition and that is basically it.

Chairman Reynolds said his concern is where trash is proposed is it going to be an enclosed or shielded area? Mr. Plantus replied yes, in a receptacle. Chairman Reynolds asked within an enclosed area per our ordinance? Mr. Plantus said not currently if they have an option to keep it inside. Chairman Reynolds said so there would still be a waiver but granted based on the condition that it is kept indoors otherwise provide an enclosure. They want to see that shielded, he understood that they are on a dead-end street it is just a basic requirement that they ask everyone to adhere to. So, if it is outside, they want it to be in a shielded enclosed area.

Mr. Plantus said some of the waivers that they would like to take advantage of for the record, the sidewalk won't be required, additional landscaping because it said that they would have to ask for a waiver he believed, versus it coming up in engineering they will have to address that.

Chairman Reynolds stated that he didn't believe that those items because it is a site plan review it is not a waiver. Planner Arroyo said that the site is currently deficient in terms of landscaping. The question becomes are they going to accept that. Most of the pavement is for access to the trucking area. That in and of itself typically doesn't trigger landscaping when there are other areas that are currently deficient, if it was being built new it would different. Any project that comes in for an expansion they have the ability to take a look at what is reasonable to bring it up

to current standards. He wouldn't necessarily call it a waiver but are they going to accept the current existing nonconforming landscaping components and not require them to bring them up to the Board of Trustees.

Commissioner Brackon asked if they were talking about the sidewalk and building façade waiver? Planner Arroyo replied that the sidewalk is the connection from the actual building, there is already a sidewalk on Lapeer, but it would be the connection from the building to the sidewalk. Obviously, this goes through an industrial drive it doesn't have a sidewalk, so that would be one that they would be waiving because typically they would require that if it was reasonable, but in this case, it is not really functional to ask for that.

Chairman Reynolds asked about the comfort level of landscaping as proposed? Needing to bring the site up to standards versus where it currently is. Vice-Chairman Gross said that the existing landscaping area he thought was sufficient for this site. Secretary St. Henry agreed.

Chairman Reynolds said the sidewalk is a standard that they would ask for in new development but there were some statements of fact provided by the Planning consultant, thoughts on bringing that up to speed. Vice-Chairman Gross said that was a safety issue in the parking lot that should probably be incorporated into the plan. Chairman Reynolds said so a connection to the safety path is something that you do want to see.

Engineer Landis said that they did look at the requirement for extending the safety path along their road frontage which would be a typical site plan requirement. But the configuration of the site they are basically at the dead-end, the last site on Englewood so there are, really no site frontage along the roadway to where they would put a public pathway on this site. That is why they omitted that from their requirement.

Chairman Reynolds said that there is a safety path along M-24 there are no internal safety paths, it is an industrial office only use. Mr. Plantus stated that there is no path along Englewood whatsoever.

Chairman Reynolds said the Lapeer Overly Standards, the general thoughts on the proximity of the building to M-24, and asking for Lapeer Overly Standards. Secretary St. Henry said that they should get a waiver on that, the building sits of 200-yards off of Lapeer Rd., they don't even know it is there until they are back there. He added that in terms of any exterior requirements, it is an existing building and they are agreeing to continue the look and feel of it. Chairman Reynolds thought that would be a good condition or statement of fact in the motion.

Chairman Reynolds said he was a little nervous about the trash enclosure statements. He would be fine with granting a waiver if it is agreed to being stored indoors and if it is not then he would ask for an enclosure to be constructed. Mr. Plantus replied that they would agree to that.

Chairman Reynolds said that the site lighting they discussed wasn't clear but there is an ordinance provided so it wouldn't hurt to have that as a condition that it meet or exceed ordinance requirements. Mr. Plantus stated that there was a photometric plan provided but was sorry if it was not clear, the intent was to put wall packs on the new addition, fully shielded.

Moved by Secretary St. Henry, seconded by Trustee Urbanowski, that the Planning Commission grants a covered trash area waiver for PC-2021-58, MPD Welding Site Plan Modification, located at 4200 S. Lapeer Rd. (09-35-100-010) for plans date stamped received September 13, 2021, based on the following findings of facts: that the applicant has indicated that the addition will not generate any additional refuse that would require an additional trash enclosure and that all refuse will continue to be contained indoor facility.

**Roll call vote was as follows:** Urbanowski, yes; Brackon, yes; St. Henry, yes; Walker, yes; Gross, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

Moved by Secretary St. Henry, seconded by Vice-Chairman Gross, that the Planning Commission grants an internal sidewalk waiver and building façade waiver for PC-2021-58, MPD Welding Site Plan Modification, located at 4200 S. Lapeer Rd. (09-35-100-010) for plans date stamped received September 13, 2021, based on the following findings of facts: that this is an existing building that sits more than 200-yards from Lapeer Rd., and is hidden behind an existing industrial park; the applicant will simply extend the building façade with the same materials and look as the current building; based on the configuration of the industrial park and where MPD Welding is located and internal sidewalk to Lapeer Rd. does not make sense, and is not needed.

**Roll call vote was as follows:** Gross, yes; Urbanowski, yes; Brackon, yes; St. Henry, yes; Walker, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

Moved by Vice-Chairman Gross, seconded by Commissioner Walker, that the Planning Commission grants site plan approval for PC-2021-58, MPD Welding Site Plan Modification, located at 4200 S. Lapeer Rd. (parcel 09-35-100-010) for the plans date stamped and received September 13, 2021. This approval is based on the following conditions: that the parking and landscaping are considered as pre-existing and therefore nonconforming and shall remain as such; the site plan meets and complies with all other ordinance requirements.

Vice-Chairman Gross amended the motion, Commissioner Walker re-supported, to include that the engineering plan would be reviewed.

**Roll call vote was as follows:** Walker, yes; Gross, yes; Urbanowski, yes; Brackon, yes; St. Henry, yes; Reynolds, yes. **Motion carried 6-0**. (Gingell absent)

#### 8. UNFINISHED BUSINESS

A. PC-2021-07, 5-Year Master Plan Update

Planner Arroyo said that they are working very hard to get ready for their next meeting which will be two weeks from now when they have their 6 p.m. workshop. They are going to have a Land Use Map to work with. They are working on other various elements including the economic development component and including talking about some redevelopment sites. They are going to have some concept ideas to show them and talk to them about. They are going to have more information on their 15-minute neighborhoods. A lot of material that they are working very hard on and looking forward to sharing that with them.

Planner Arroyo asked them to be thinking, and tonight was a great example with these rezoning requests. They are seeing a lot of pressure for more density along Lapeer Rd., particularly residential density. He wanted them to think about that in terms of whether or not they need to be tweaking the land use plan to recognize that there may be a trend towards that in certain locations. Obviously, they are starting to see some momentum that way and they are going to show them some other locations and they are going to talk about that.

Planner Arroyo also wanted them to be thinking about corridors that they think require special treatment within the community. They have been talking about a couple of them but wanted to get their input on that as well.

easier if they are in a different location for 6 p.m.

Planning & Zoning Director Girling said that she believed that Planner Arroyo had said that it will be a table format. Planner Arroyo replied yes, they are going to have some printed maps to look at and it will be a little bit more of an informal discussion. Planner & Zoning Director Girling said that will be at 6 p.m. like their normal second meeting of the month. She added that a future public hearing that notices went out on it is still debated whether the public hearing will be conducted or not but if it is it is a joint public hearing meaning they have this the Township Board and the public. Their 6 p.m. will be here at the Orion Center but it will be in another room maybe downstairs, she will let them know, or there will be a sign when they come in. Even if they don't have the joint public hearing she thought for the simplicity of the transition and being

at tables she thought that they would be somewhere else. Because the notices went out if they do cancel that joint public hearing there will still be public that might show up and it will be much

Secretary St. Henry said that in regards to the rezoning issues, there is no question that is what they are seeing a lot of in the last year or two for multi-family housing. In this particular case what they discussed today if the majority of the corridor of M-24 is (RM-1) it makes it pretty easy for them to draw a line in the sand on that. He thought as a Planning Commission they have to realize that home developments along M-24 are going to be few and far between moving forward just because of what is left, and there is demand for multi-family houses at all ages. He thought it was easy tonight when they got through the whole process of seeing (RM-1) makes sense there given what is there and what has been there for the last 20-years.

Planner Arroyo said that they are going to talk about some of that at the study session in terms of locations of where the density makes sense and will want to get their feedback on that.

#### 9. PUBLIC COMMENTS

None.

#### 10. COMMUNICATIONS

A. Email from a citizen

Chairman Reynolds said that the email from a citizen was dated September 13, 2021. It was an email that the Planning & Zoning Department was cc'd on, Cynthia and Gary Carr of Rochester were dissatisfied by the final pricing that came together out of the Gregory Meadows Cottages in Lake Orion. They were intending to purchase there and are now unable to since the prices were originally advertised as low \$300,000 and now, they are high \$300,000 to low \$400,000.

#### 11. PLANNERS REPORTS/EDUCATION

A. Giffels Webster Sustainability & Resiliency

Planner Arroyo said that this is the first in a two-part series on sustainability & resiliency which are very topical topics. He liked the idea of describing the difference between sustainability and resiliency because he thought that some people get confused. They think of sustainability as being as not doing something now that is going to impact the future in a negative way. If they cut down every tree in the Township it would have a negative impact on the future of the Township because it would change the temperature and the sustainability of wildlife, the value of the community so, that would not be a sustainable item. Resiliency recognizes that they are going as a society and as a community be subject to stresses of a variety of types primarily environment and climate-related, and how they are they going to react to those, how are they building their developments, how are they functioning as a community in a way that allows them to adapt or be resilient to changes that may be coming down the road. The two of those are really interrelated because if they don't act sustainable, they will likely be going to end up in a position where they are not going to be very resilient to certain things in the future, so there is

\_\_\_\_

an interrelationship. They talk about just some of the changes that they are seeing in their society and around the world, locally the intense storms, the flooding, all of those things, they can react to those. A really good example is they heard about pumping stations where they lost power and places flooding. They could say that the solution to that is they have to get more reliable power to those pumping stations so that they continue to pump and that might help. Really that is part of the problem but the other part of the problem is that the intensity of the storms is increasing and they are getting rain at levels more frequent flooding than they have had and that intensity requires that they have to do something different or their flooding levels are going to continue to increase because the climate conditions are changing so how do they react to those things. These are all things that are important to think about. In the Master Plan. it is important to think about them and also look at vulnerable populations. They have already done some mapping for them in terms of mapping where their seniors live, where those who might be more vulnerable to some of those things and how does that relate to where high-flood probability areas are in retrospect to where some of those vulnerable populations are. Those are things that they can do as part of a Master Plan, as well as, start to implement some policies that might guide them towards being more resilient and more sustainable. They will be talking about that more as they go through the Master Plan but also point out that another option for communities too if they are concerned about stainability is to take a look at their zoning ordinance and some communities conduct what is called a stainability audit. Going through the ordinance looking at their requirements and how sustainable are those standards and could they be improved, could they be changing the way they deal with certain factors, could they be encouraging more renewable energy within the community. They have talked about some of these at some of the meetings, they have had those questions come up. This is more of a topic area that he thought was important to address in a Mater Plan, their Master Plan is addressing it and will address it but think about if there are other items that they might want to address as they go through that Master Plan process. Also, October is community planning month so they are trying to celebrate that a little bit, if they go on to some of their social media sights, they will see that they are doing a photo contest. They have different topics this week's topic is weigh finding signs. They can take a picture of one and tag it and there are some prizes, just to make them think about planning and some of the positive things in their community.

#### 12. COMMITTEE REPORTS

None.

#### 13. FUTURE PUBLIC HEARINGS

October 20, 2021, 7:05 p.m., PC-2021-78, The Woodlands (PUD), vacant parcel located east of 310 Waldon Rd., Sidwell #09-23-351-024. The applicant, Detroit Riverside Capital, is proposing to rezone the property from Suburban Estates (SE) & Single Family Residential-2 (R-2) to (PUD) to construct a 190 multi-family unit development.

Immediately following PC-2021-78 at 7:05 p.m., is their public hearing on the text amendment, PC-2021-73, Township Initiated Text Amendment to Zoning Ordinance #78, Industrial Park (IP), Article 18, to cover the change in land use related to Ordinance #154

#### 14. CHAIRMAN'S COMMENTS

Chairman Reynolds thanked the Planner for jumping and keeping the process going.

#### 15. COMMISSIONERS' COMMENTS

Planning & Zoning Director Girling said that they have large bins at the Township related to moving for Shed-It, so if any of them are holding stacks of former plans, please while they have the large bins, please get it to them so they can get those shredded properly.

#### **16. ADJOURNMENT**

Moved by Trustee Urbanowski, seconded by Vice-Chairman Gross, to adjourn the meeting at 9:41 p.m. **Motion carried.** 

Respectfully submitted,

Debra Walton PC/ZBA Recording Secretary Charter Township of Orion

Planning Commission Approval Date

#### CHARTER TOWNSHIP OF ORION PLANNING COMMISSION MINUTES PC-2021-70 **GRANDVIEW – LAPEER ROAD REZONE REQUEST**

**PUBLIC HEARING - WEDNESDAY, OCTOBER 6, 2021** 

The Charter Township of Orion Planning Commission held a Public Hearing on Wednesday, October 6, 2021, at 7:05pm at the Orion Township Community Center, 1335 Joslyn Road, Lake Orion, MI 48360.

#### PLANNING COMMISSION MEMBERS PRESENT:

Don Walker, PC Rep to ZBA Scott Reynolds, Chairman Kim Urbanowski, BOT Rep to PC Don Gross, Vice-Chairman Joe St. Henry, Secretary Dereck Brackon, Commissioner

#### PLANNING COMMISSION MEMBERS ABSENT:

Jessica Gingell, Commissioner

#### **CONSULTANTS PRESENT:**

Rodney Arroyo, (Township Planner) of Giffels Webster Matt Wojciechowski, (Township Planner) of Giffels Webster Mark Landis (Township Engineer) of OHM Advisors Tammy Girling, Township Planning & Zoning Director

#### OTHERS PRESENT:

Sara D'Agostini Adam Ossipove Danny Plantus Joseph Salone III Joseph Salome IV Ken Mihelich Michael Rich Gene D'Agostini Kelly Mihelich Mary Ann Ryan Wendy Ryan-Borga M. Wany (sp?) Richard Bondar Tracy Deuman Jerry Lilly

Chris Krystek Dawn Krystek

PC-2021-70, Grandview – Lapeer Road Rezone Request, the request is to rezone approx. 17.44 acres of 3120 S. Lapeer Road (parcel #09-26-151-019) from Recreation 2 (Rec-2) to Multiple Family Residential (RM-2), and approx. 4.21 acres from Recreation 2 (Rec-2) to General Business (GB).

Chairman Reynolds asked the applicant to state their name and address for the record.

Mr. Joseph Salone appearing on behalf of Grandview, 2940 W. Buell Road, Oakland Twp.

Mr. Adam Ossipove with Grandview, 16924 Elizabeth St., Beverly Hills.

Mr. Salone said that the current use is operating as a mini-golf and driving range. The owner is retiring and so it is their wish to request rezoning for the rear approx. 17 acres from Recreation 2 (Rec-2) to (RM-2) and the frontage along Lapeer Rd. approx. 4 acres to (GB).

Mr. Salone stated that the request to rezone the 17 acres to (RM-2) and is what it was previously zoned prior to the existing use. The frontage on Lapeer Rd. as well as the rezoning to (RM-2) he thought was consistent with the surrounding uses.

Mr. Salone showed the Board an overview of the existing zoning.

Mr. Salone said that the site with the star is the one they are working on. The ITC corridor is along the south side of the property that is powerlines, and there are no single-family homes adjacent to the site. There is industrial zoning to the south, the landfill southwest, and office uses are to the north and zoned to the south. Mr. Salone added that the historical zoning was (RM-2).

Chairman Reynolds asked if the public had any comments or questions?

Ms. Mary Ann Ryan 301 Waldon Rd. She stated that her property abuts this and was curious to know what exactly is (RM-2)? Chairman Reynolds said that she will hear a little bit more about that in their Planners letter, residential multi-family is the zoning. He added that if she wanted to state all of her comments and questions for the record and they will make sure that they get addressed.

Ms. Ryan said that it seemed an effort by developers buying property in Orion Township to increase residential density as much as possible. There is no regard for infrastructure, access to emergency services, or the availability in schools. It is time for the Zoning Board to encourage sensible development that keeps infrastructure issues in mind. No more apartment complexes please, condos are fine, and so are single-family houses. To add more traffic on M-24, there is already a parking lot after 3 p.m. it is ludicrous. Furthermore, she did not believe that the Township would benefit by adding yet another strip mall that might turn into empty stores as has repeated in other strip malls, especially along M-24.

Ms. Kelly Mihelich 275 Waldon Rd., next door to Mary Ann Ryan.

Ms. Mihelich said that her property is right next door to the vacant property adjacent to the Kennel Club and the Veterinary Center. She agreed with everything that Ms. Ryan said, she couldn't have said it better herself. Her main concern is not that they would put in condominiums, which to her was fine, houses on larger lots, that was fine, her concern is that they are going to put in apartment buildings. Traffic on Waldon Road, if you try to get out in the morning it is almost impossible. With the high-schoolers trying to get to school, and they don't have many buses now, for whatever reason, but it is impossible to get out of their driveway to get onto Waldon and then on to M-24, it becomes a parking lot. She didn't see that that has a proposal where any outlet is going to come on to M-24 but she knew in a meeting next week they are going to be addressing that for another development. Even once they get onto M-24 they are at a standstill all the way down past what used to be the old Palace. Their roads are not equipped to handle all of the traffic and for people to be coming in and wanting to build more and more residential, she thought that condos and single-family homes are fine if they are on larger lots but anything else is going to affect the way that they live their life. They never fought against the Kennel Club or the Orion Veterinary Center, they thought that it was great, they don't bother their way of life at all even though they are right next door. She is very concerned about all of the noise, additional traffic, and everything else that Ms. Ryan said.

Ms. Tracy Deuman 270 Waldon, right across the street from the vacant land. She agreed with both Ms. Ryan and Ms. Mihelich. Her larger concern is really where are they going with this? She is going to attend the October 20 public hearing about the development behind her house, and she doesn't understand what the plan is and is very concerned about that, logistics alone. Even with her safety, she is a single woman and lives by herself and there is a lot of development around her, she has lived at her home for a long time and didn't understand what the plan was. That was her concern along with everything they shared.

Mr. Ken Mihelich 275 Waldon Rd. He asked if the vacant piece of property between them and the dog kennel veterinarian might somehow in the near future, be tied into this development as a side road? They obviously don't own that piece of property but was curious as to the future use of that because if that was another road it would literally be right on top of them. If that can be addressed at some point, they would love to know what the master plan is.

Mr. Salone said that they don't have any intention to acquire additional property to the west. They do not intend to propose any kind of entrance or ingress or egress onto Waldon, this site does not touch Waldon Rd.

Chairman Reynolds closed the public hearing at 7:15 p.m.

PC-2021-70, Grandview Rezone Request from (Rec-2	to (RM-2) & (Rec-2) to (GB), Wednesday, October 6, 2021, Public Hearing
Respectfully submitted,	
Debra Walton	
PC/ZBA Recording Secretary	
Charter Township of Orion	Planning Commission Approval Date

# CHARTER TOWNSHIP OF ORION PLANNING COMMISSION MINUTES PC-2021-71 F & D SILVERBELL REZONE REQUEST PUBLIC HEARING – WEDNESDAY, OCTOBER 6, 2021

The Charter Township of Orion Planning Commission held a Public Hearing on Wednesday, October 6, 2021, at 7:15pm at the Orion Township Community Center, 1335 Joslyn Road, Lake Orion, MI 48360.

#### PLANNING COMMISSION MEMBERS PRESENT:

Don Walker, PC Rep to ZBA

Kim Urbanowski, BOT Rep to PC

Joe St. Henry, Secretary

Scott Reynolds, Chairman

Don Gross, Vice-Chairman

Dereck Brackon, Commissioner

#### PLANNING COMMISSION MEMBERS ABSENT:

Jessica Gingell, Commissioner

#### **CONSULTANTS PRESENT:**

Rodney Arroyo, (Township Planner) of Giffels Webster Matt Wojciechowski, (Township Planner) of Giffels Webster Mark Landis (Township Engineer) of OHM Advisors Tammy Girling, Township Planning & Zoning Director

#### **OTHERS PRESENT:**

Sara D'Agostini Adam Ossipove Danny Plantus Joseph Salone III Joseph Salome IV Ken Mihelich Michael Rich Gene D'Agostini Kelly Mihelich Mary Ann Ryan Wendy Ryan-Borga M. Wany (sp?) Jerry Lilly Richard Bondar Tracy Deuman

Chris Krystek Dawn Krystek

PC-2021-71, F & D Silverbell Rezone Request, the request is to rezone approx. 23.05 acres of vacant parcel (#09-35-100-019) located at the SW corner of Silverbell and Lapeer Road from Office Professional (OP) to Industrial Park (IP), and approx. 7.02 acres from Office Professional (OP) to General Business (GB).

Ms. Sara D'Agostini on behalf of F & D Silverbell Co. LLC, with her was Gene D'Agostini as well, both of their addresses are 38700 Van Dyke, Suite 200, Sterling Hts., MI.

Ms. D'Agostini said that F & D Silverbell Company owns the undeveloped parcel on the SW corner of Silverbell and Lapeer Rd. and is approx. 30.087 acres. The parcel is currently zoned Office Professional (OP) and it is Master Planned for mixed-use industrial commercial, and residential. By way of background F & D Silverbell directly and through affiliates have owned this parcel for over 20-years. They have broadly marketed under the (OP) use and went so far as to engineer and design a development that would fall squarely within the (OP) zoning back in 2000. Since that time, they have marketed and have had no success so this evening they are there to request a rezone to Industrial Park (IP) for the 23 acres that are the western portion of the property, and rezone to General Business (GB) for the 7 acres that are along the eastern portion of the property. They believe that it was consistent with the uses that the market demands. By way of background, the parcels to the north are zoned Industrial Park (IP) and General Business (GB) the parcel directly to the north that actually is similarly situated to theirs, so it mirrors the zoning they were requesting tonight. The zoning to the west is Industrial Park (IP) and that use is warehouse space, the zoning to the south is Limited Industrial (LI) and those are manufacturing and warehouse uses. Across Silverbell Rd. to the east, they have (OP) zoning, one vacant parcel, and one on the corner is a credit union. Kitty-corner they have (PUD) zoning with a gas station being developed as they speak. They believe that this rezoning would be consistent with the development around them and those developments have been very successful. They ask that they recommend to the Board of Trustees that they are allowed to rezone to these uses.

Chairman Reynolds asked if there were any citizens that would like to ask questions and provide comments on the public hearing, to state their name and address for the record. There was not.

Chairman Reynolds closed the public hearing at 7:20 p.m.

Respectfully submitted,

Debra Walton PC/ZBA Recording Secretary Charter Township of Orion

Planning Commission Approval Date



2525 Joslyn Rd., Lake Orion MI 48360 P: (248) 391-0304 ext. 5000; Fax (248) 391-1454

TO:

The Charter Township of Orion Planning Commission

FROM:

Tammy Girling, Planning & Zoning Director

DATE:

October 14, 2021

RE:

PC-2021-79, Lifted Industrial Partners Site Plan Modification

As requested, I am providing suggested motions for the abovementioned project. Please feel free to modify the language. The verbiage below could substantially change based upon the Planning Commissions' findings of facts for the project. Any additional findings of facts should be added to the motion below.

#### Site Plan (Ord. No. 78, Section 30.01)

**Motion 1:** I move that the Planning Commission grants site plan **approval** for PC-2021-79, Lifted Industrial Partners, LLC, Site Plan Modification, 4611 Liberty Dr. (parcel 09-34-300-018) for plans date stamped received 9/23/2021 based on the following findings of facts (**motion make to insert findings of facts**).

This **approval** is based on the following conditions:

- a. (Motion maker to list any unresolved issues related to the Township Planner's review letter).
- b. (Motion maker to list any unresolved issues related to the Township Engineer's review letter).
- c. (Motion maker to list any unresolved issues related to the Fire Marshall's review letter)
- d. (Motion maker to list any additional conditions).

Or

I move that the Planning Commission **denies** site plan approval for PC-2021-79, Lifted Industrial Partners, LLC, Site Plan Modification, located at 4611 Liberty Drive Dr. (parcel 09-34-300-018) for plans date stamped received 9/23/2021. This **denial** is based on the following reasons (insert findings of facts).

a. The applicant needs a variance for rear yard setback for the accessory structure. (however, if the Planning Commission wishes, they could state that if the variance is received then the plan is deemed approved, or conditionally approved with any conditions as would be find in the suggested motion of approval above, and does not need to return to the PC)

I move that the Planning Commission **postpones** site plan approval for PC-2021-79, Lifted Industrial Partners, LLC, Site Plan Modification, located at 4611 Liberty Drive (parcel 09-34-300-018) for plans date stamped received 9/23/2021 for the following reasons (motion maker to indicate outstanding items to be addressed from the Planner's, Fire Marshall's, or Engineer's review letter(s)).



October 13, 2021

Orion Township Planning Commission 2525 Joslyn Road Lake Orion, MI, 48360

RECEIVED

## Site Plan Amendment Review 1 4 2021 Lifted Industrial

Orion Township Planning & Zoning

Case Number: PC-2021-79

Address:

NW corner of Liberty Drive

South @ Astra Ct.

Parcel ID:

09-34-300-018

Applicant:

Jeff Schmitz

Approved Plan: 06/28/2021 Revised Plan: 09/01/2021

Reviewer:

Matt Wojciechowski

Rod Arroyo

Summary of PC-2020-39

March 10, 2021 PC Motion Review: Giffels Webster reviewed plans dated 02/18/2021, which were submitted to address comments from the PC motion that were required to be addressed before approval. Those plans were complaint and approval was granted, as all PC conditions were met.

Our responses to each requested revision, based on the letter submitted TDG Architects on 09/21/2021, are as follows:

#### Summary of site plan review amendments:

1. Marijuana Facilities. The applicant stated at the 12/26/2020 PC meeting that the development would be in compliance with all Medical Marijuana location requirements (Ordinance No. 154), which was reviewed and approved by the attorney.

**Planner Comments:** The applicant has confirmed that none of those conditions have been altered, and the site remains in compliance; this standard is met

2. Lot coverage. The total building coverage has been added to the site plan indicating complaint with the 35% maximum (33% provided)

Planner Comments: This standard is met

3. On-site parking. Parking space length and widths have been added to confirm angled (one way) parking aisle along the north side of the site is complaint

Planner Comments: The parking spaces are complaint. We also note that one space was removed, and the site remains complaint in regards to required parking (53 required vs. 55 proposed).

Date: October 13, 2021

Project: Lifted Industrial - Site Plan Revision - review (1)

Page: 2

4. **Dumpster enclosure.** A dumpster enclosure had been provided outside the building in the northwest corner of the site. The previous plans included an indoor dumpster. The materials, 8" split face block, will match the building materials.

Planner Comments: The proposed dumpster enclosure is complaint

5. **Concrete pad.** A 7'-6" x 17'-2" concrete generator pad is proposed in the northwest corner of the parking lot adjacent to the dumpster.

**Planner Comments:** The applicant should provide the dimensions of any equipment proposed on this pad

6. **Concrete pad (2).** A 14' x 14' reinforced concrete pad to support an 18' tall CO2 tank and shroud (19') is proposed approximately 27' 6" away from the rear (north) property line.

**Planner Comments:** The location of all accessory structures shall be shown on the site plan submitted to the Planning Commission for approval. **The applicant should add the setback measurement to the proposed structure to the site plan.** The proposed equipment is considered a structure and is required to meet the rear yard setback of 50'. **A dimensional variance is required to permit the structure in the proposed location.** 

#### **Summary**

The proposal to locate the CO2 tank and shroud in the required rear yard require a variance from the ZBA. The dimensions and setbacks of the structure should be added to the site plan.

Respectfully,

Giffels Webster

Rodney L. Arroyo, AICP

Matt Wojciechowski

Mat Vajin

Fire Department

Phone: (248) 391-0304, ext. 2000 Fax: (248) 309-6993

RECEIVED

To: Planning Commission/Planning & Zoning Director

From: Jeff Williams, Fire Marshal

www.oriontownship.org

Re: PC-2021-79, Lifted Industrial Partner's Facility Site Plan Amendment

Date: 10/06/2021

DCT 6 202

Orion Township Planning & Zoning

The Orion Township Fire Department has completed its review of Application PC-2021-79 for the limited purpose of compliance with Charter Township of Orion Ordinance's, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

X Approved

Approved with Requirements (See below) Not approved

Comments: NONE

This approval is limited to the application and materials reviewed which at this time do not raise a specific concern with regard to location and/or impact on health and safety. However, the approval is conditioned upon the applicant providing sufficient additional information at time of building permit application that includes data or documents, confirming full compliance with all applicable building codes, fire codes and Township Ordinances.

If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

Jeff Williams, Fire Marshal

Jeffrey Williams

Orion Township Fire Department



### **Narrative**

Date:	9-21-2021
То:	Charter Township of Orion Planning Department
From:	Ron Rader - TDG Architects
CC:	Jeff Schmitz – Lifted Industrial Partners
TDG Project Name:	Lifted Industrial Partner's Facility
TDG Project #:	20-127

#### Site Plan Approval Submittal - Revised Narrative for Lifted Industrial Partner's Cultivation Facility:

The following information provides a secondary, revised overview of the proposed new construction that Lifted Industrial Partners (LIP), LLC is planning for the LIP Brand in Orion Township, Michigan. This uniquely designed building will provide an enhanced cultivation experience for the expanding cannabis/marihuana industry. With consideration of the adaptation of the cultivation facility being integrated into the existing Liberty Industrial Park, this newly constructed facility will further enhance the Charter Township of Orion's efforts further enhance the associated approved zone and increase the industrial base.

This document will serve as a supplemental submittal to the original Site Plan Approval provided back in February for the Lifted Industrial Partners Project. The Lifted has requested the integration of CON2 Equipment (being provided by Air Gas Systems), the along with the relocation of a six-yard dumpster to the northwest corner of the property. The LIP Team would also like to alter a portion of the parking lot to potentially accept a generator system at a later date. A concrete pad is proposed for this alteration.

The collective team supporting the Lifted Industrial Partners Cultivation looks forward to the strong collaboration with the Charter Township of Orion, Fire Marshal, and the associated agencies. We welcome your review and any associated feedback/guidance that the Orion Township Planning can offer.

#### Associated Conditional SPA Document Enhancements (Resubmittal Dated 9/21/21) include the following:

#### <u>Giffels Webster</u>

- Marihuana Facilities Conditions of Ordinance 154 Met on Documents Including: Zoning Compliance, setbacks, drive aisle widths, turning radius for service vehicles, etc.
- 2. Lot Coverage Indicated on Site Plan (33% out of possible 35%)
- 3. Onsite Parking 55 Spaces Provided, 53 Required (Angled at north based on one way traffic). Continuous curbs have been confirmed within the Civil Package.
- 4. Dumpster Enclosure shifted to exterior of Building located at Northwest Corner of Site/Drive Area.
- 5. Concrete pad added to "Future-proof" building with consideration of potential future integration an industrial generator system (Diesel with Belly Tank would be a consideration in the Future)
- 6. Added 15' X 15' concrete pad to accommodate CO2 Tank system and pump apparatus. Bollards and a contractor provided shroud / access gate to be included to extend 1'-0" above tank.

#### OHM

1. No Action Required

#### RCOC

1. No Action Required

This included summary covers the modifications to the associated revised SPA package. Enhancements have been provided based on the request from the Lifted Industrial Team. This document will also serve as a sworn statement that no additional modifications other than those outlined in this scope have been included in the revised submittal package. The collective team appreciates the consideration and guidance coming from Orion Township Planning Authorities. The Lifted Industrial Partners Team looks forward to the final administrative approval to move on to the next phase of the project.



Ron Rader 79 Oakland Avenue Pontiac, Michigan 48342 (248) 874-1420 ext. 222 www.TDGArchitects.com



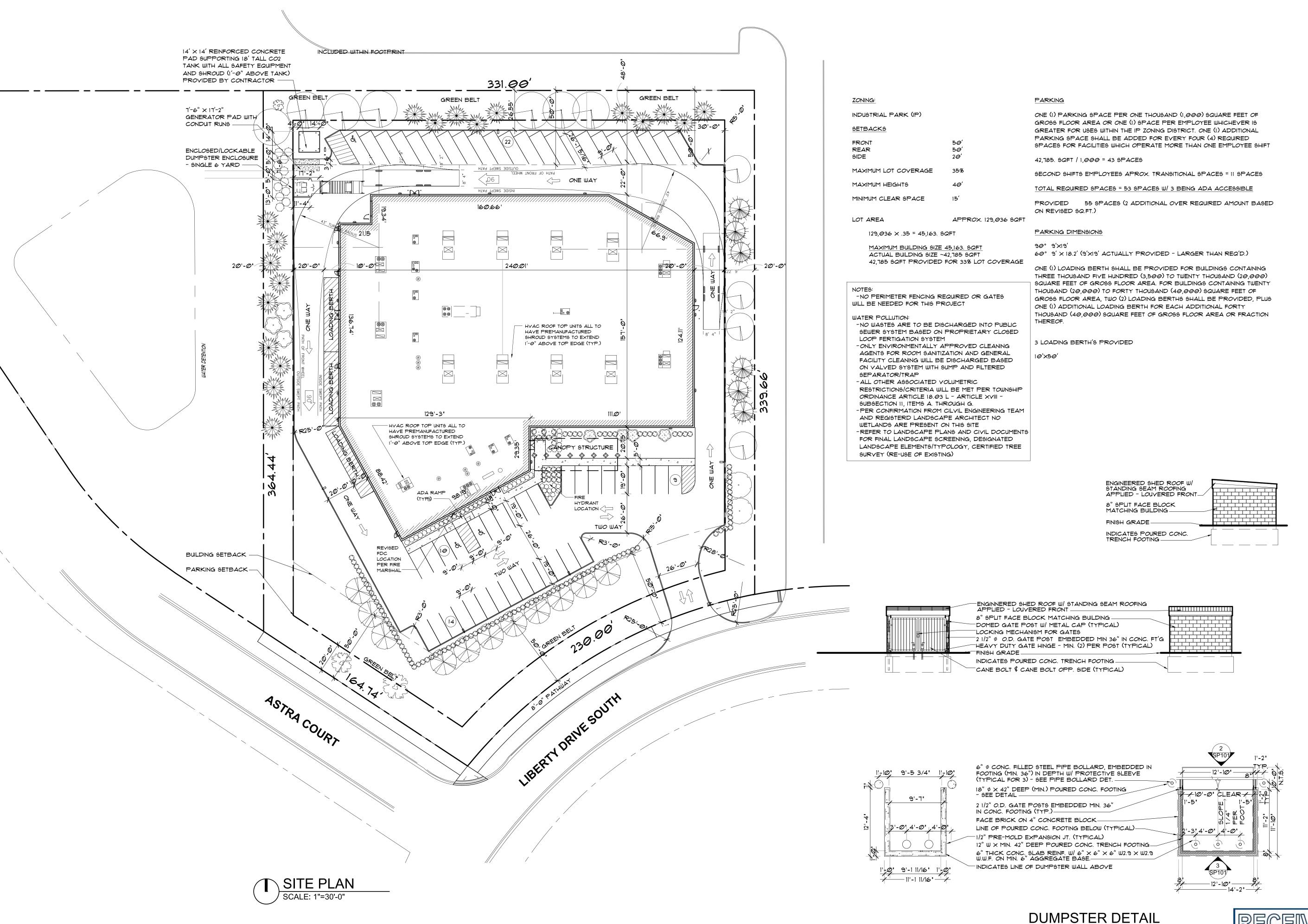
Case # \_ PC-2021-79
Meeting Date: \_ 10-20-2021

## Charter Township of Orion Planning Commission Site Plan Approval Application

**30.01, A. Intent:** The site plan review procedures and standards are intended to provide an opportunity for consultation and cooperation between the applicant and the Planning Commission so as to achieve maximum utilization of land with minimum adverse effects on adjoining property. Furthermore, it is the intent of these procedures and standards to allow for review of site plans by the Planning Commission, to provide a consistent and uniform method of review, and to ensure full compliance with the standards contained within Zoning Ordinance 78, and other applicable local ordinances and State and Federal laws.

Project	Name: LIFTED INDUSTEN	AL PARTMERS	(REVISE	(0)
Name o	of Development if applicable:			
	Name: LIFTED INDUSTRIAL	PARTIERS LLC		
cant	Address: 155 RUMEO RA	City: RCKHESTER	State: MI	Zip. <u>483</u> 07
Applicant	Phone: 248-450-7850 Cell:	Fax:		
	Email:			
	Name: LIFTED INDUSTRIAL PI	nonless LLC		
er(s)	Address: 155 ROMBO RD.			AV367
*Property Owner(s)				Zip:40 90 7
perty	Phone: <b>248-650-7850</b> Cell:			
*Pro	Email:			
	* If the name on the deed does not match the name on individual is the same as the company name must be		on, documentation	showing the
	Name: TOG ARCHITECTS	e de la		
epare erson	Address: 79 OAKCANS	City: PONTIAC	State: M/	_Zip: <u>48342</u> _
Plan Preparer Firm/Person	Phone: 248-874-1420 Cell:	Fax:		
P	Email:	<del></del>		
	Name: BICL SCHMITZ			
ntact	Address: 199 ROMBO RA		State 111	- 18200
Project Contact Person				_ZIP: <u>70 70</u> /
Proje P	Phone:Cell:		- 10 11	
	Email:			

Γ	· .	Sidwell Number(s): 09-34-300-018  Location or Address of Property: 4611 LIBERTY DR.  Side of Street: Nearest Intersection: 41001495   LIBERTY				
100000000000000000000000000000000000000	ption	Location or Address of Property: 4611 LII	BERTY DR.			
	scri	Location of Macross of Magazin,				
Property Description	, De	Side of Street:Nearest Intersection:				
	erty	W.				
	do.	Acreagecurrent ose of Property.				
0.30	ā	Is the complete legal description printed on the site plan	n? Yes No (if no please attach to the application)			
		Subject Property Zoning:Adjacent	t Zoning: N. S. E. W.			
	Project Information	List any known variances needed (subject to change bas	sed on Township consultant's review)			
	nat	_	ICK			
	forr					
	ם					
	jec	Give a detailed description of the proposed developmen	nt, including the number and size of the buildings or units being			
	Pro	proposed				
100	40.2	Pursuant to Zoning Ordinance 78 Section 30.01 C. a co	py of this application and two copies of the site plan must be			
57.77			e provide the Township with a copy of each transmittal as proof			
15665	S	of delivery.				
1	Submittal to Outside Agencies	AT&T	Consumers Power Company			
1000	ger	54 Mill St.	530 W. Willow St.			
	Ğ	Pontiac, MI 48342	Lansing, MI 48906			
	ide	DTE Energy Co.	Oakland County Health Department			
	ıts	ATTENTION: NW Planning & Design	Building 34 East			
	ō	1970 Orchard Lake Rd.	1200 N. Telegraph Rd.			
1	\$	Sylvan Lake, MI 48320	Pontiac, MI 48341			
	tal	Michigan Department of Transportation (if applicable)	Road Commission of Oakland County (if applicable)			
	njt	800 Vanguard Dr.	ssintkowski@xoc.org			
	q	Pontiac, MI 48341	(electronic submittal only)			
	Ň	Oakland County Water Resources				
		To Be Submitted by the Township				
L						
	- 51		te Plan Approval, pursuant to the provisions of the Charter			
			applicable ordinance requirements. In support of this request the			
			provided is accurate and the application that has been provided is			
	comple	te.				
		re of Applicant:	Date: 9/23/2021			
	(must be	original ink signature)	Date:			
	Print Na	ame: That Souther 5 3	• •			
	111111111	Soft City				
	I the ni	ronerty owner, hereby give permission to the applicant l	isted above to act as my agent in submitting applications,			
			nt permission to the Planning Commission members to visit the			
		ty, without prior notification, as is deemed necessary.	to permission to the Fighting commission members to visit the			
	рореле	,,,,,,				
	Signatu	re of Owner (if the deed of ownership does not show an	n individual, ie is a corporation, partnership, etc., documentation must			
		vided showing the individual signing this application has				
	,	5 5 5				
	(must be	original ink signature)	Date:			
	Print Na	ame:				
		12/7/20	Page <b>2</b> of <b>3</b>			
		manufacture and the Control of the C				



SCALE: 1/8" = 1'-0"



Architects

To Architects

Architects

**TDGArchitects.com** 79 Oakland Avenue Pontiac, Michigan 48342 P.(248) 874-1420

> 5, MI 48359 S, LLC

Orion Charter Township, Nation Charter Township, National Industrial Partners, 155 Romeo Road, Suite 3

REVI	SION SCHEDULE
DATE	DESCRIPTION
6/16/2021	FOUNDATION PERMITS
6/17/2021	STEEL BIDS
6/24/2021	OWNER REVIEW
6/25/2021	BIDDING/PERMIT
8/12/2 <i>0</i> 21	BULLETIN 1
8/19/2 <i>0</i> 21	YARIANCE REVIEW
9/21/2021	SPA 2ND REVIEW



DRAWN BY: RDC
CHECKED BY: B9G

PLAN

Drawing -

Project Number

20-127
Drawing Number

# **ENGINEERING PLANS FOR:**

# LIFTED INDUSTRIAL PARTNERS

# LIBERTY TECHNE CENTER LOT 4

ORION TOWNSHIP, OAKLAND COUNTY, MICHIGAN

### **PROJECT CONTACTS:**

DEVELOPER LIFTED INDUSTRIAL PARTNERS LLC 155 ROMEO ROAD, STE 300 ROCHESTER, MI 48307 248-650-9850

SURVEYOR AB-SB LAND SURVEY, PC 36636 NORTH POINTE DR. NEW BALTIMORE, MI,48047 586-822-4964

ARCHITECT TDG ARCHITECTS 79 OAKLAND AVENUE PONTIAC, MI 48342 248-874-1420

CIVIL ENGINEER TRI-COUNTY ENGINEERING CONSULTANTS 48701 HAYES ROAD SHELBY, MI 48315 810-394-7887

# **UTILITY CONTACTS:**

ORION TOWNSHIP DEPARTMENT OF PUBLIC WORKS 2525 JOSLYN RD LAKE ORION, MI 48360 248-391-0304

ORION TOWNSHIP BUILDING DEPARTMENT 2525 JOSLYN RD LAKE ORION, MI 48360 248-391-0304

DETROIT EDISON 800-477-4747

SEMCO ENERGY 800-624-2019

CONSUMERS ENERGY 800-477-5050

844-723-0252

VERIZON WIRELESS 586-977-6500

COMCAST 888-266-2278

866-496-9669

OAKLAND COUNTY ROAD COMMISSION 248-858-4835

OAKLAND COUNTY WATER RESOURCES COMMISSIONER 248-858-0958

# STANDARD NOTES

1. Notify all jurisdictional agencies a minimum of 72-hours prior to the start of construction.

2. All construction must be conforming to the current standards and specifications adopted by the jurisdictional agencies.

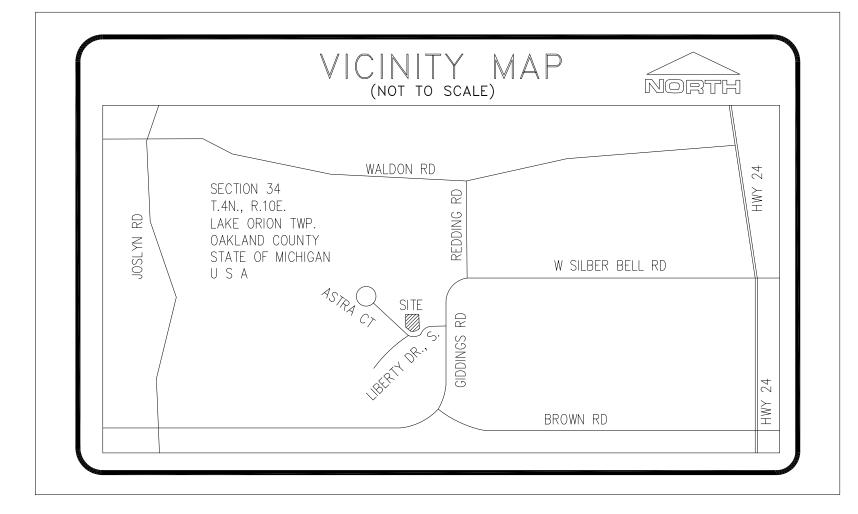
3. Call MISS DIG (1-800-482-7171) a minimum of 72-hours prior to the start of construction.

4. All soil erosion and silt must be controlled and contained onsite.

5. All excavation under or within 3—feet of public pavement, existing or proposed, shall be backfilled and compacted with sand (Class II MDOT - minimum).

6. The Contractor is responsible for all damage to existing

7. The Contractor is responsible for obtaining all permits including a permit to occupy public utility easements and public rights—of—way.



# SHEET INDEX

CO-1 COVER SHEET

**ENGINEER'S CERTIFICATION** 

requirements of said Ordinance

SERMED K. SAIF, PE

I hereby certify that I have read the Township Development

Ordinance (and its related Engineering Standards), and I

have prepared these plans in conformity with the

TP-1 TOPO SURVEY UT-1 UTILITY & GEOMETRY PLAN

GP-1 PAVING & GRADING PLAN

DR-1 STORM DRAINAGE PLAN & PROFILES

SE-1 SOIL EROSION & SEDIMENTATION CONTROL PLAN

LP-1 LANDSCAPE PLANING PLAN

ORION TOWNSHIP WATER MAIN STANDARD DETAILS (1/2)

ORION TOWNSHIP WATER MAIN STANDARD DETAILS (2/2)ORION TOWNSHIP SANITARY STANDARD DETAILS (1/2)

ORION TOWNSHIP SANITARY STANDARD DETAILS (2/2)

OAKLAND COUNTY WRC STORM DRAIN NOTES & DÉTAILS

Lot 4 Orion Township, MI 48359

**COVER SHEET** 

TRI-COUNTY

**Engineering Consultants** 

48701 Hayes Road

Shelby Twp, MI 48315

TEL: (810) 394-7887 FAX: (586) 566-4642

info@Tri-CountyEng.com www.Tri-CountyEng.com

Lifted Industrial Partners

155 Romeo Road, Ste 30

Rochester, MI 48307

248-650-9850

3 WORKING DAYS

800-482-7171

Know what's below.

Call before you dig.

TILITIES LOCATION AND DEPTH WITHIN T ROJECT AREA SHALL BE FIELD VERIFIED

THITY INFORMATION SHOWN ON THIS RAWING ARE APPROXIMATE AND MAY I

CCORDING TO AVAILABLE RECORD OR

SCLOSED INFORMATION BY VARIOUS

OTHER SOURCES AND THUS MAY NOT RECESSARILY REFLECT ACTUAL FIELD

COMPLETENESS OR ACCURACY.

PROJECT NAME:

CATIONS AND NO GUARANTEE IS GIVEN

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THIS DRAWING AND ALL INFORMATION
CONTAINED HEREIN ARE NOT TO BE USED

PERMISSION BY TRI-COUNTY ENGINEERING

LIFTED INDUSTRIAL Site Development

OR REPRODUCED WITHOUT WRITTEN

CLIENT NAME:

ROJECT LOCATION:

SEC 34, TO4N, R10E ORION TOWNSHIP OAKLAND COUNTY

> Drawn By: FH Checked By: SS Approved By: SS

REVISIONS:

. PER SPA 11/22/20

3. PERMITS 12/28/20

4. PER OWNER & CITY 01/20/2

. PER OHM 03/24/21 . PER OWNER 08/26/21



CALE VERIFICATION:

CALE: NONE

PROJECT NO: TD20003

PRAWING NO: TD20003C0

CO-1

# PRECEDENCE NOTE

IF ANY DISCREPANCY BETWEEN THESE PLANS AND THE JURISDICTIONAL AGENCY STANDARDS OCCURS, THE AGENCY STANDARDS SHALL GOVERN.

<u>AGENCY</u> EAGLE — WATER MAIN ORION TWP - SESC

UNDER REVIEW UNDER REVIEW UNDER REVIEW

NOT ISSUED

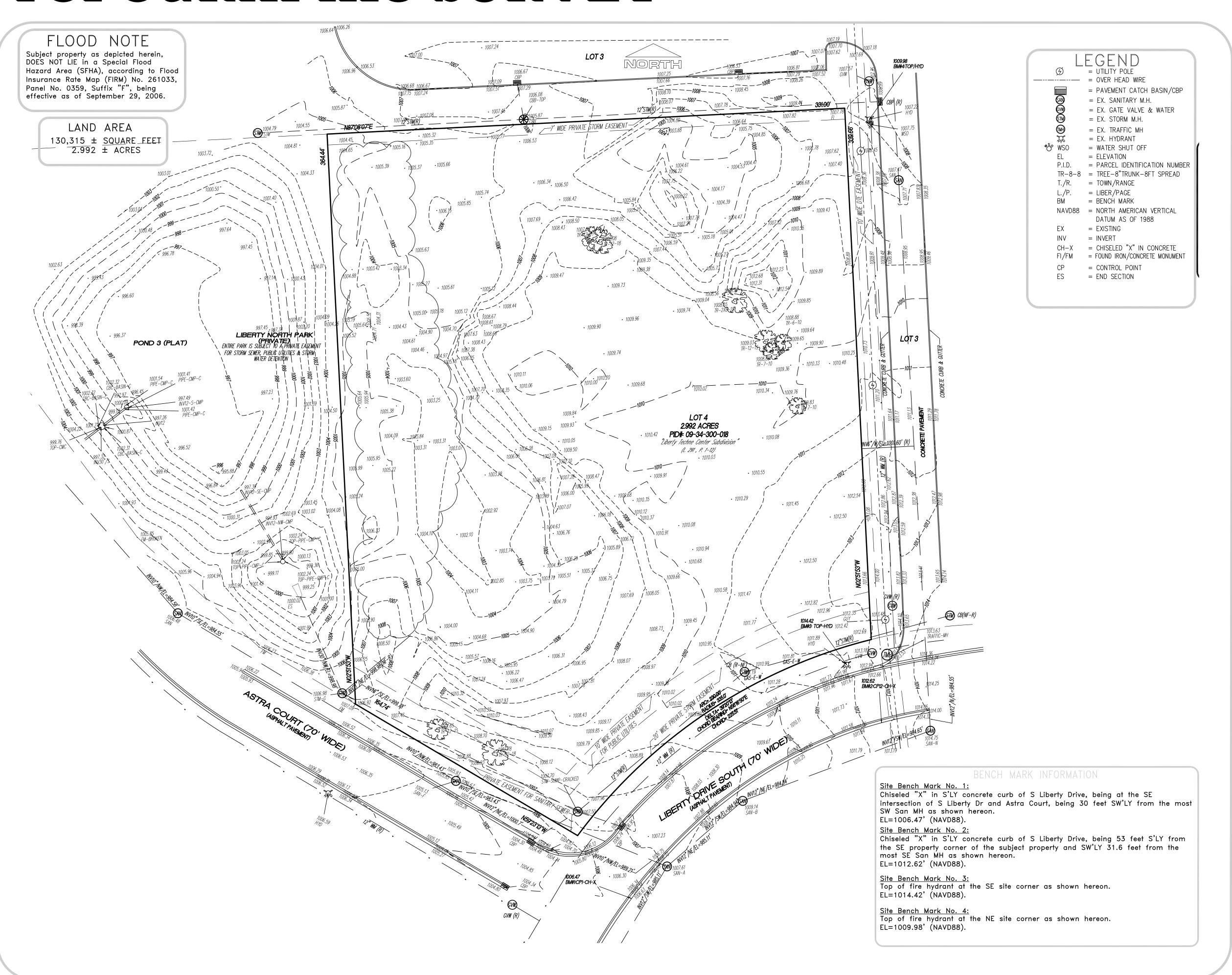
DATE ISSUED NOT ISSUED NOT ISSUED

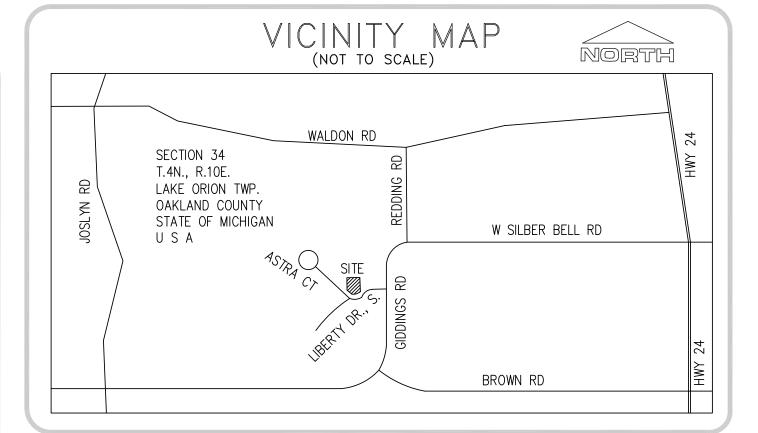
**PERMITS** 

THE UTILITY LOCATIONS AS SHOWN ARE BASED ON FIELD OBSERVATIONS AND REVIEW OF MUNICIPAL AND UTILITY RECORDS. ACTUAL CONDITIONS MAY VARY. WE CANNOT GUARANTEE OR IMPLY THE ACCURACY AND COMPLETENESS OF UNDERGROUND / OVERHEAD UTILITY INFORMATION AS SHOWN. CONTRACTÓR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL INFORMATION PRIOR TO CONSTRUCTION, MAKE EVERY EFFORT TO PROTECT AND SUPPORT AS REQUIRED AT NO COST TO THE OWNER. CONTRACTOR SHALL NOTIFY ENGINEER PROMPTLY OF ALL FOUND DISCREPANCIES.

ORION TOWNSHIP PROJECT # PC-2020-39

# TOPOGRAPHIC SURVEY





## GENERAL NOTES

—Utility information as shown herein are compilation of field observation, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.

- -All measurements as shown herein are existing.
- -All symbols as shown herein are not to scale.

-Client/contractor shell arrange timely all connections with public/private utilities and obtain all necessary permits.

—All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)

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# LEGAL DESCRIPTION

Vacant Land, Liberty Drive South, Lake Orion, MI, 48359
Part of the NW 1/4 of Section 34, Town 4 North, Range 10 East, Lake Orion Township, Oakland County, Michigan, being more particularly described as follows:

Lot 4 of "Liberty Techne Center Subdivision", as being recorded in Liber 291 of Plats, on Page 1 thru 12, both inclusive, Oakland County Records.

Containing: 130,315 Square Feet——2.992 Acres, more or less. Parcel Identification Number:# 09—34—300—018.

Subject to the rights of a public and any easements and/or

restrictions of record or otherwise.

Note: Declaration of Easements, Covenants, and Restrictions as

92; Liber 37745, Page 560, Oakland County Records and as shown

contained in the instrument recorded in Liber 33911, Page



on recorded plat.

Mende Bezanovski, P.S. 49430

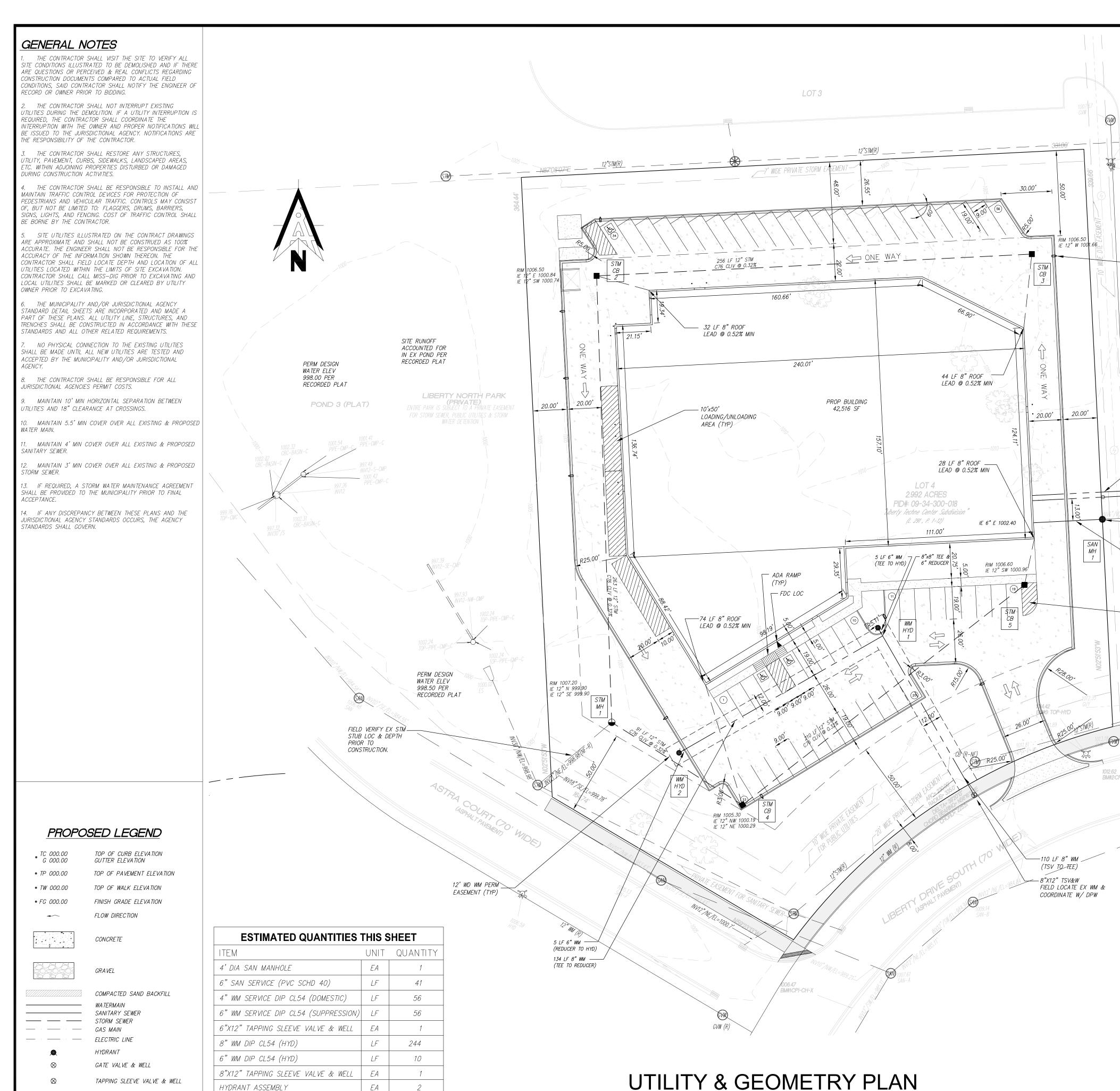
Professional Surveyor in the State of Michigan



0' 15'	30' 60'
SCALE: 1" = 30'	PAGE: 1 OF 1
JOB NUMBER: 2020-09-24-256-SS	DRAWN: MB
FIELD: MB	CHECKED: MB
REVISIONS:	DATE: 10-11-2020

CLIENT: TRI COUNTY ENG.

Vacant Land, Liberty Drive TEL: (810)-394-7887 Lake Orion, MI, 48359 FAX: (586)-566-7887



178

820

*1,250* 

4

EΑ

REAR YARD CATCH BASIN

STORM MANHOLE

CATCH BASIN

END SECTION

SANITARY MANHOLE

STRUCTURE TYPE

---- STRUCTURE ID NO

INLET

8" ROOF LEAD (PVC SCH 40)

4' DIA STM CATCH BASIN

MDOT CL II SAND BACKFILL

4' DIA STM MANHOLE

12" STM PIPE (RCP C76 CL IV)

# **UTILITY & GEOMETRY PLAN**

SCALE 1:30

VICINITY MAP (NOT TO SCALE) T.4N., R.10E. LAKE ORION TWP. OAKLAND COUNTY STATE OF MICHIGAN W SILBER BELL RD BROWN RD

# LEGAL DESCRIPTION

Vacant Land, Liberty Drive South, Lake Orion, MI, 48359 Part of the NW 1/4 of Section 34, Town 4 North, Range 10 East, Lake Orion Township, Oakland County, Michigan, being more particularly described as follows:

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Mende Bezanovski, P.S. 49430 Professional Surveyor in the State of Michigan

restrictions of record or otherwise.

### BENCH MARK INFORMATION

hiseled "X" in S'LY concrete curb of S Liberty Drive, being at the SE ntersection of S Liberty Dr and Astra Court, being 30 feet SW'LY from the most SW San MH as shown hereon. EL=1006.47' (NAVD88).

Site Bench Mark No. 2: hiseled "X" in S'LY concrete curb of S Liberty Drive, being 53 feet S'LY from the SE property corner of the subject property and SW'LY 31.6 feet from the most SE San MH as shown hereon. EL=1012.62' (NAVD88).

EL=1014.42' (NAVD88).

WATER MAIN

LIGHT POLE LOC

(TYP)

SEE ARCH PLANS

- 56 LF 6" FIRE

—6"X12" TSV&W

SUPPRESSION LINE

FIELD LOCATE EX WM &

COORDINATE W/ DPW

- 56 LF 4" DOMESTIC

SERVICE W/ 4"

SAN SERVICE

- 41 LF @ 1%

NO PARKING

ZONE (TYP)

6" SAN SERVICE (PVC SCHD 40)

MONITORING MH 4' DIA.

FIELD VERIFY EX LEAD

COORDINATE W/ DPW.

LOC & DEPTH PRIOR TO CONSTRUCTION.

NOTE: ALL UTILITIES UNDER

SHALL BE BACKFILLED WITH MDOT CL II SAND 95%

INFLUENCE OF PAVEMENT

DENSITY CIP (TYP)

VALVE BOX

SERVICE AREA —

(INITIAL / ULTIMATE)

Site Bench Mark No. 4: Top of fire hydrant at the NE site corner as shown hereon. =1009.98' (NAVD88).

### TOWNSHIP STANDARD NOTES

NOT BE LOCATED IN PAVED AREAS.

1. CONSTRUCTION SHALL CONFORM TO CURRENT CHARTER TOWNSHIP OF ORION STANDARDS. 2. NO SITE WORK SHALL OCCUR WHATSOEVER UNTIL THE SITE PLAN AND ENGINEERING PLAN HAVE BEEN APPROVED, ALL FEES HAVE BEEN PAID TO THE TOWNSHIP, AND THE PRE-CONSTRUCTION MEETING HAS BEEN HELD. IT SHALL ALSO BE NOTED THAT NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

3. ALL STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE.

4. WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS STRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONL AFTER WRITTEN APPROVAL OF THE TOWNSHIP SUPERVISOR OR THEIR DESIGNEE. PLEASE REFER ORDINANCE 135 (NOISE ORDINANCE) FOR ORION TOWNSHIP TO OBTAIN ADDITIONAL REQUIREMENTS FOR NOISE RESTRICTIONS.

5. ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS. 6. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL

7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF PUBLIC ACT 174 OF 2013 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY

8. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTEC

TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

9. PER INTERNATIONAL FIRE CODE 3310 — ACCESS FOR FIRE FIGHTING: APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF THE TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTION. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS. CAPABLE OF SUPPORT ING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ROADS ARF AVAII ABI F.

10. ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

11. ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES. 12. FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT" "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE TOWNSHIP BY THE DESIGN ENGINEER. THE TOWNSHIP SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

13. WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CHARTER TOWNSHIP OF ORION SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

14. 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

15. PERMANENT FACILITIES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER

16. THE OWNER WILL REGULARLY CLEAN AND MAINTAIN ALL STORM SEWER AND DETENTION BASINS PER THE TOWNSHIP'S STORMWATER MANAGEMENT AND EROSION CONTROL ORDINANCE

# WATER MAIN BASIS OF DESIGN

SERVICE AREA: RETAIL BUILDING 43,952 SF REU: 0.19 PER 1,000 SF (WRC 2018 SCHEDULE)

PEAK DAY FLOW = 0.002 X 2 = 0.004 MGD

 $REU = 0.19 \times 43.952 / 1.000 = 4.40 REU$ POPULATION = 4.40 REU X 3 PEOPLE PER REU = 13.20 PEOPLE

AVE DAY FLOW @ 150 GPCPD = 13.20 X 150 = 0.002 MGD

TRI-COUNTY **Engineering Consultants** 

> 48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

Lifted Industrial Partners 155 Romeo Road, Ste 300 Rochester, MI 48307 248-650-9850

> 3 WORKING DAYS 800-482-7171



Know what's below. Call before you dig.

RIOR TO CONSTRUCTION, ALL EXISTING TILITIES LOCATION AND DEPTH WITHIN THROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

TILITY INFORMATION SHOWN ON THIS RAWING ARE APPROXIMATE AND MAY BE CCORDING TO AVAILABLE RECORD OR CLOSED INFORMATION BY VARIOUS LITY COMPANIES, PUBLIC AGENCIES, O THER SOURCES AND THUS MAY NOT ECESSARILY REFLECT ACTUAL FIELD CATIONS AND NO GUARANTEE IS GIVEN T OMPLETENESS OR ACCURACY.

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NTAINED HEREIN ARE NOT TO BE USED

S DRAWING AND ALL INFORMATION

R REPRODUCED WITHOUT WRITTEN

RMISSION BY TRI-COUNTY ENGINEERING

ROJECT NAME:

LIFTED INDUSTRIAL Site Development

Lot 4

Orion Township, MI 48359 UTILITY &

**GEOMETRY PLAN** 

ROJECT LOCATION: SEC 34, TO4N, R10E ORION TOWNSHIP OAKLAND COUNTY

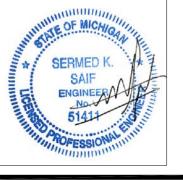
Drawn By: FH Checked By: SS Approved By: SS

EVISIONS:

. PER SPA 11/22/20 PERMITS 12/28/20

. PER OWNER & CITY 01/20/2 PER OHM 03/24/21

. PER OWNER 08/26/21



CALE VERIFICATION:

BAR IS ONE-INCH JUST SCALES ACCORDINGLY IF

1" = 30'

PROJECT NO: TD20003

DRAWING NO: TD20003UT

 $\cup \mid -1$ 

### PAVING AND GRADING NOTES EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MCDR STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS. REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND THER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED. EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM. THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557-91). SUBGRADE SHALL BE THOROUGHLY PROOFROLLED UNDER THE OBSERVATION OF THE JURISDICTIONAL AGENCY AND OR GEOTECHNICAL ENGINEER. SUBGRADE UNDERCUTTING TO BE PERFORMED AS NECESSARY TO REMOVE AND REPLACE UNSUITABLE GROUND, ON AN "AS NEEDED" BASIS AND AS DIRECTED, IN ACCORDANCE WITH CURRENT MDOT STANDARD SPECIFICATIONS. THE AGGREGATE BASE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557—91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE. ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANIC, OR OTHER DELETERIOUS MATERIALS. B. CONSTRUCTION ACCESS SHALL BE KEPT CLEAN AND MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. 9. THE CONTRACTOR SHALL GRADE THE SITE TO THE SUB-GRADE BASED ON THE GRADES AND CROSS-SECTIONS SHOWN ON THESE PLANS AND ANY OTHER ACCOMPANYING PLANS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE THE SITE SO THAT THE BUILDING PAD REMAINS DRY AND FREE FROM OBSTRUCTION AT ALL TIMES. O. SITE SHALL FIRST BE ROUGH-GRADED. THEN CONTRACTOR SHALL RETURN UPON COMPLETION OF UTILITIES TO FINE GRADE THE SITE FOR PAVEMENT CONSTRUCTION. 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EARTHWORK QUANTITIES FOR THE PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE ANY REQUIRED IMPORT OR EXPORT OF MATERIALS TO OR FROM THE SITE.

2. STRIPING AND MARKINGS SHALL BE FURNISHED USING

TO AN EXISTING JOINT OR SAWED JOINT. BITUMINOUS AND

MDOT STANDARDS. FREE HAND PAINTING NOT ALLOWED.

BE REPLACED WITH IN-KIND ACCEPTABLE MATERIAL.

FIRE DEPARTMENT NOTES

CONNECTION, PUBLIC OR PRIVATE.

(100) FEET.

NO PARKING SHALL BE PERMITTED AND/OR NO OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT

P. THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND

GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL

SERVICE, AND TRÂNSFORMERS MUST NOT BE LOCATED ON THE

DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE

!. ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH

UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN HE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS

A WHITE HIGH VISIBILITY STRIP SHALL BE PAINTED ON THE

MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

PROPOSED LEGEND

TOP OF CURB ELEVATION

TOP OF WALK ELEVATION

FINISH GRADE ELEVATION

COMPACTED SAND BACKFILL

FLOW DIRECTION

CONCRETE

**WATERMAIN** 

GAS MAIN

HYDRANT

SANITARY SEWER

STORM SEWER

ELECTRIC LINE

GATE VALVE & WELL

STORM MANHOLE

CATCH BASIN

END SECTION

SANITARY MANHOLE

STRUCTURE TYPE

—— STRUCTURE ID NO

INLET

REAR YARD CATCH BASIN

TAPPING SLEEVE VALVE & WELL

TOP OF PAVEMENT ELEVATION

GUTTER ELEVATION

SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE

HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN

UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

IPPER FLANGE OF ALL FIRE HYDRANTS..

G 000.00

• TP 000.00

• TW 000.00

• FG 000.00

WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE

GUIDE LINES, FORMS STENCILS AND TEMPLATES PER CURRENT

3. REMOVE PAVEMENT, DRIVEWAYS, CURB, GUTTERS, SIDEWALK,

CONCRETE SHALL BE SAWED FULL DEPTH. ADJACENT CUT SOILS

OR BASE MATERIALS REMOVED WHEN REMOVING CONCRETE SHALL

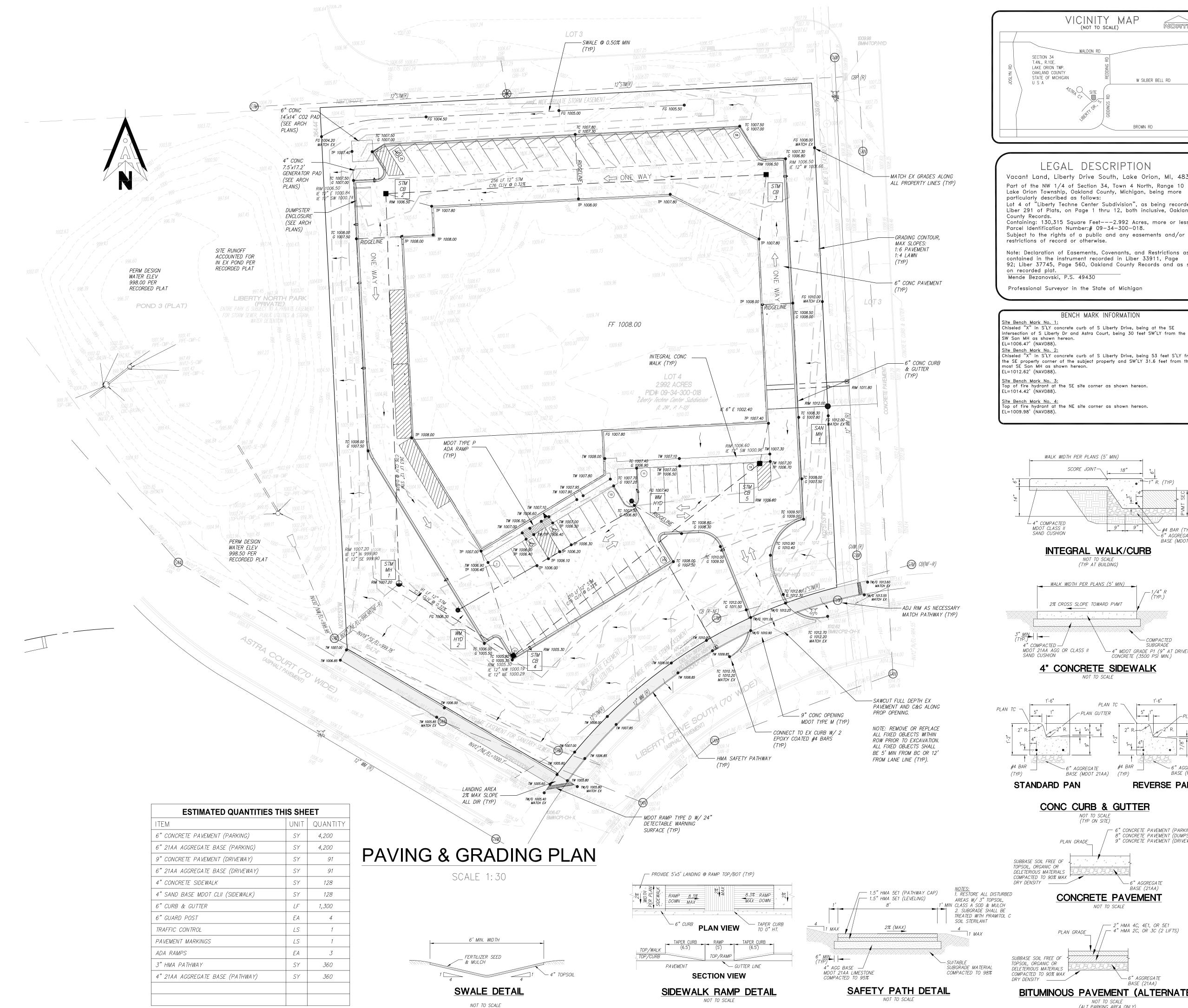
14. IT SHALL BE UNLAWFUL FOR ANY PERSON TO INTERFERE

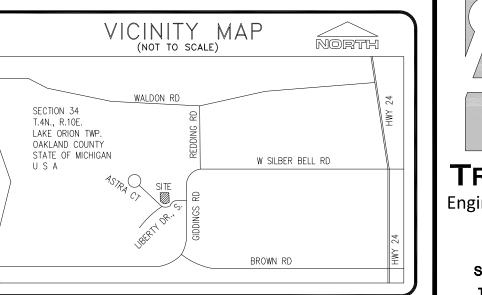
WITH OR OBSTRUCT FLOW OF SURFACE WATER OVER EASEMENTS

FOR PUBLIC UTILITIES OR TO IMPEDE THE FLOW OF SURFACE

FROM THE APPROVED GRADING PLAN AND DRAINAGE PATTERN.

WATER ACROSS PRIVATE PROPERTY IN A MANNER DIFFERENT





LEGAL DESCRIPTION Vacant Land, Liberty Drive South, Lake Orion, MI, 48359 Part of the NW 1/4 of Section 34, Town 4 North, Range 10 East, Lake Orion Township, Oakland County, Michigan, being more particularly described as follows:

Lot 4 of "Liberty Techne Center Subdivision", as being recorded i Liber 291 of Plats, on Page 1 thru 12, both inclusive, Oakland County Records. Containing: 130,315 Square Feet---2.992 Acres, more or less. Parcel Identification Number:# 09-34-300-018.

Note: Declaration of Easements, Covenants, and Restrictions as contained in the instrument recorded in Liber 33911, Page 92; Liber 37745, Page 560, Oakland County Records and as shown on recorded plat.

Professional Surveyor in the State of Michigan

### BENCH MARK INFORMATION

hiseled "X" in S'LY concrete curb of S Liberty Drive, being at the SE ntersection of S Liberty Dr and Astra Court, being 30 feet SW'LY from the mo SW San MH as shown hereon. EL=1006.47' (NAVD88).

Site Bench Mark No. 2: Chiseled "X" in S'LY concrete curb of S Liberty Drive, being 53 feet S'LY from the SE property corner of the subject property and SW'LY 31.6 feet from the nost SE San MH as shown hereon. EL=1012.62' (NAVD88).

<u>Site Bench Mark No. 3:</u> Top of fire hydrant at the SE site corner as shown hereon.

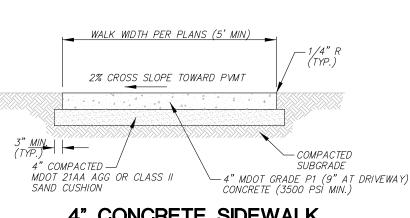
EL=1014.42' (NAVD88).

Site Bench Mark No. 4: op of fire hydrant at the NE site corner as shown hereon. L=1009.98' (NAVD88).

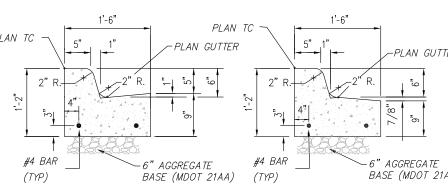
WALK WIDTH PER PLANS (5' MIN └ 4" COMPACTED ~6" AGGREGATE

# INTEGRAL WALK/CURB

NOT TO SCALE (TYP AT BUILDING)



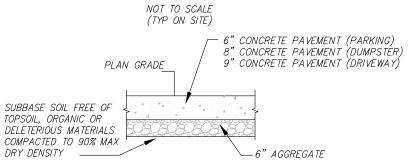
### 4" CONCRETE SIDEWALK NOT TO SCALE



# STANDARD PAN

# **REVERSE PAN**

# **CONC CURB & GUTTER**



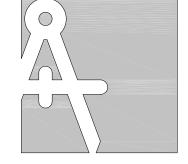
# **CONCRETE PAVEMENT**

NOT TO SCALE - 4" HMA 2C, OR 3C (2 LIFTS) SUBBASE SOIL FREE OF TOPSOIL, ORGANIC OR DELETERIOUS MATERIALS COMPACTED TO 90% MAX /

(ALT PARKING AREA ONLY)

BITUMINOUS PAVEMENT (ALTERNATE)

GP-1



TRI-COUNTY **Engineering Consultants** 

> 48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

Lifted Industrial Partners 155 Romeo Road, Ste 300 Rochester, MI 48307 248-650-9850

> 3 WORKING DAYS 800-482-7171



Know what's below. Call before you dig.

RIOR TO CONSTRUCTION, ALL EXISTING TILITIES LOCATION AND DEPTH WITHIN THROJECT AREA SHALL BE FIELD VERIFIED. CALL MISS DIG SYSTEM 3 WORKING DAYS PRIOR TO CONSTRUCTION.

THITY INFORMATION SHOWN ON THIS RAWING ARE APPROXIMATE AND MAY BE CCORDING TO AVAILABLE RECORD OR CLOSED INFORMATION BY VARIOUS LITY COMPANIES, PUBLIC AGENCIES, O THER SOURCES AND THUS MAY NOT ECESSARILY REFLECT ACTUAL FIELD CATIONS AND NO GUARANTEE IS GIVEN COMPLETENESS OR ACCURACY.

IIS DRAWING AND ALL INFORMATION ONTAINED HEREIN ARE NOT TO BE USED R REPRODUCED WITHOUT WRITTEN PERMISSION BY TRI-COUNTY ENGINEERING

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ROJECT NAME:

LIFTED INDUSTRIAL Site Development Lot 4

Orion Township, MI 48359 PAVING &

ROJECT LOCATION:

**GRADING PLAN** 

SEC 34, TO4N, R10E ORION TOWNSHIP OAKLAND COUNTY

> Drawn By: FH Checked By: SS Approved By: SS

REVISIONS:

. PER SPA 11/22/20 . PERMITS 12/28/20

. PER OWNER & CITY 01/20/ . PER OHM 03/24/21 . PER OWNER 08/26/21



CALE VERIFICATION:

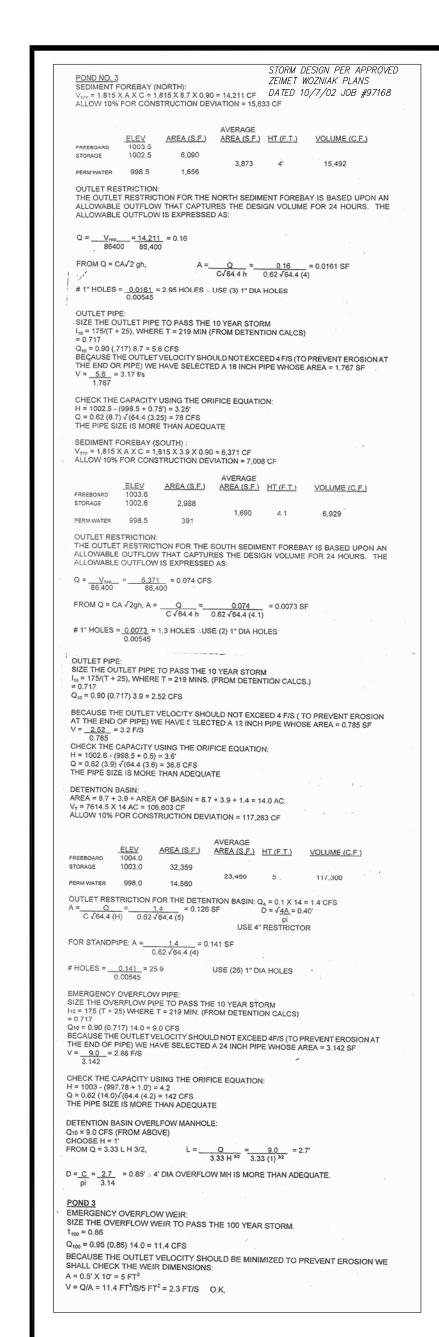
BAR IS ONE—INCH ADJUST SCALES ACCORDINGLY IF

CALE: 1" = 30'

PROJECT NO: TD20003

PRAWING NO:

TD20003GP



1005

1000

995

990

88 88

998

N H H

- FIELD VERIFY LOC & DEPTH OF EX 21" STUB PRIOR TO CONSTRUCTION.

DISCREPANCIES.

"SW NE SE

X W

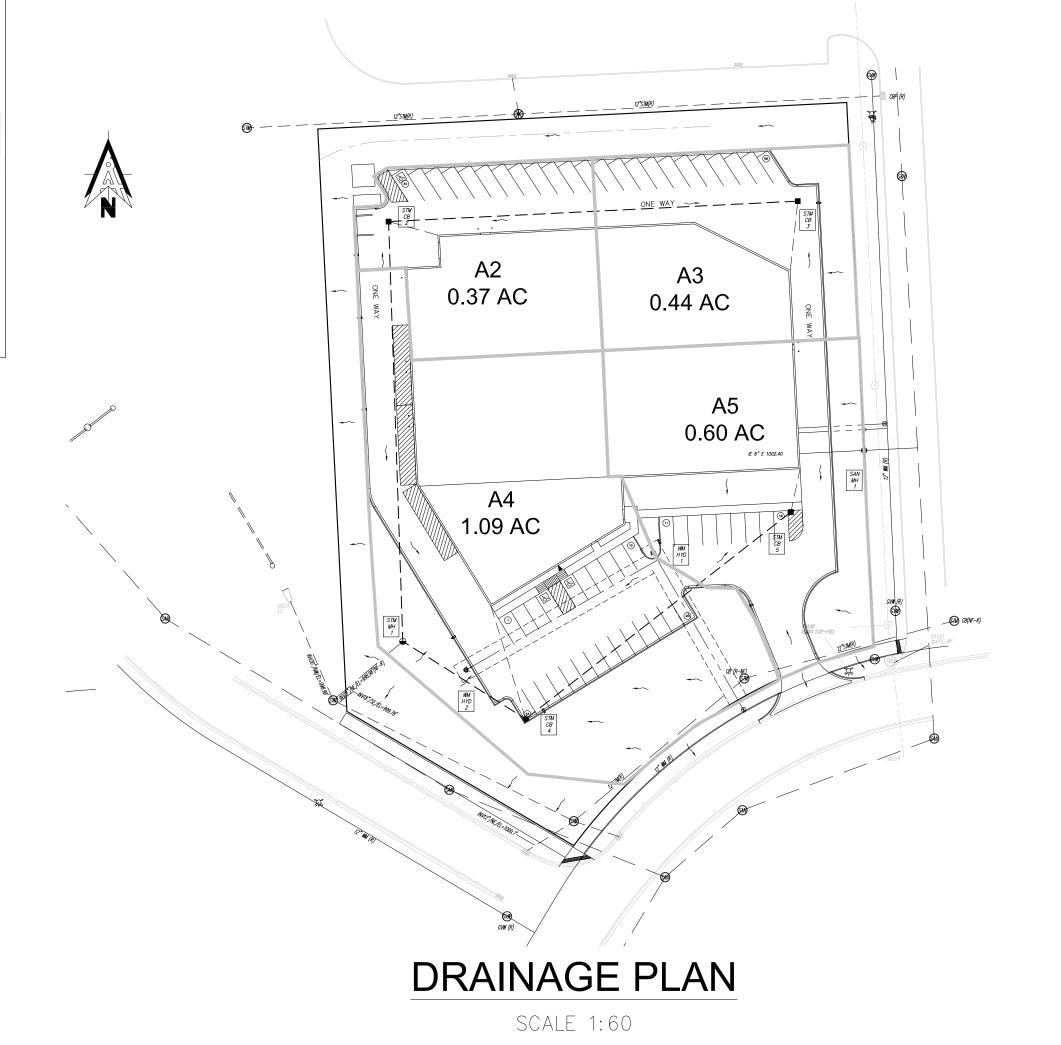
NOTIFY ENGINEER OF ANY

263 LF 12" RCP

C76 CLIV @ 0.32%

STORM SEWER DESIGN CALCULATIONS Job No: TD20003 Project: Liberty Tech Lot 4 Date: 03/24/21 DESIGNER/ENGINEER: SS User inputs invert X= 175.00 at the farthest  $I = \{X/(Y+t)\}$ Y= downstream manhole. 
 (User)
 (Calc)
 (User)
 (User)
 (Calc)
 (User)
 (Calc)< MANHOLE Area H.G. TO H.G. TO 
 0.60
 0.60
 0.90
 0.54
 0.54
 15.00
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 2.36

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 12 0.44 0.32 0.32 0.44 3.00 2.36 210 1.16 0.10 1000.96 1000.29 1004.61 1003.69 1006.60 4.64 1005.30 4.01 1.99 12 3.28 0.32 0.32 3.28 8.22 6.46 91 0.18 0.10 1000.19 999.90 1003.69 1000.70 1005.30 4.11 1007.20 6.30 1.61 CB5 CB4 0.44 0.44 0.90 0.40 0.40 15.00 4.38 1.75 12 0.24 0.32 0.32 0.32 2.57 2.02 256 1.66 0.10 1001.66 1000.84 1003.47 1002.65 1006.50 3.84 1006.50 4.66 3.03 CB3 0.37 0.81 0.90 0.33 0.73 16.66 4.20 3.06 12 0.74 0.32 0.32 0.74 3.90 3.06 263 1.12 0.10 1000.74 999.90 1002.65 1000.70 1006.50 4.76 1007.20 6.30 - 0.00 2.50 0.90 0.00 0.00 17.29 4.14 0.00 21 0.00 0.14 0.88 0.88 6.18 14.86 57 0.15 0.10 999.48 998.98 1000.88 1000.38 1007.20 5.97 1006.98 6.25 6.32



---- PROP GROUND

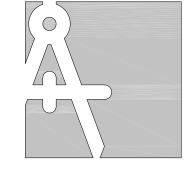
91 LF 12" RCP

C76 CLIV @ 0.32%

... SW NE SE

\(\frac{1}{2}\)

ALONG CL PROP STM



TRI-COUNTY
Engineering Consultants

48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

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UTILITY INFORMATION SHOWN ON THIS DRAWING ARE APPROXIMATE AND MAY BE ACCORDING TO AVAILABLE RECORD OR DISCLOSED INFORMATION BY VARIOUS UTILITY COMPANIES, PUBLIC AGENCIES, OR OTHER SOURCES AND THUS MAY NOT NECESSARILY REFLECT ACTUAL FIELD LOCATIONS AND NO GUARANTEE IS GIVEN TOMPLETENESS OR ACCURACY.

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PROJECT NAME:

**LIFTED INDUSTRIAL**Site Development

Lot 4
Orion Township, MI 48359

STORM

DRAINAGE PLAN & PROFILES

PROJECT LOCATION:

SEC 34, TO4N, R10E
ORION TOWNSHIP

OAKLAND COUNTY

Drawn By: FH
Checked By: SS
Approved By: SS

REVISIONS: 2. per spa 11/22/20

1005

1000

995

990

— CL II SAND

210 LF 12" RCP C76 CLIV @ 0.32% BACKFILL (TYP)

3. PERMITS 12/28/20
4. PER OWNER & CITY 01/20/21
5. PER OHM 03/24/21

D. PER OHM 03/24/21
D. PER OWNER 08/26/21



CALE VERIFICATION:

0 0.5 1

BAR IS ONE-INCH

0 0.5 1

BAR IS ONE—INCH

ADJUST SCALES ACCORDINGLY IF NO

SCALE: 1" = 30'

PROJECT NO: TD20003

rawing no: TD20003DR

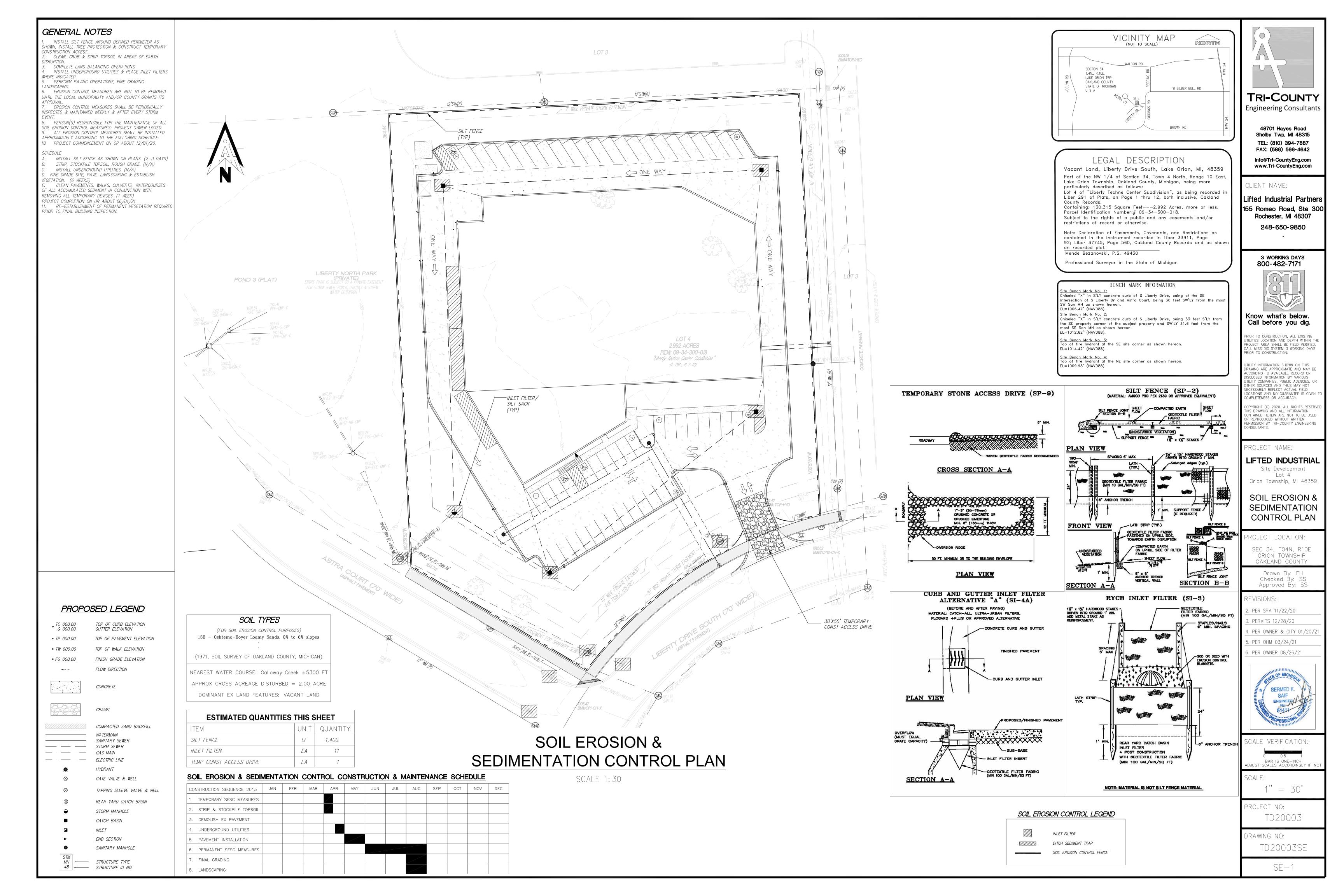
DR-1

SCALE 1:3 V SCALE 1:30 H

STORM SEWER PROFILES

256 LF 12" RCP C76 CLIV @ 0.32%

- 2' DEEP SUMP

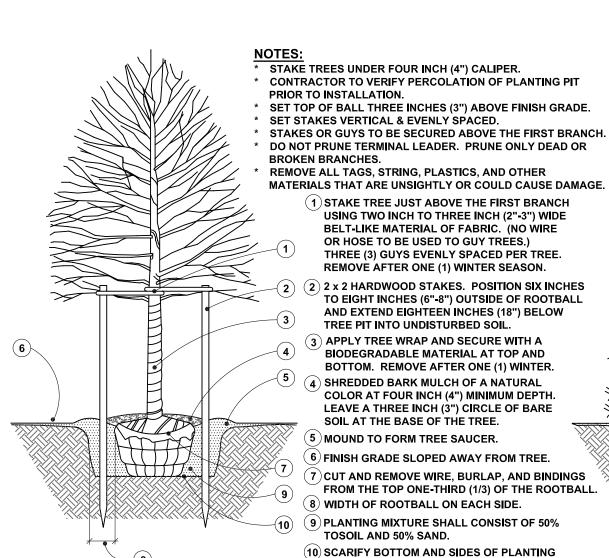


### PLANTING

- 1. Installation of all plant material shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock and with the specifications set forth by the Orion Township, Michigan,
- 2. The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the American Association of Nurserymen Standards for Nursery Stock.
- 3. The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- 4. Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- 5. Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level at which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- 6. The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance
- 7. When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- 8. Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4') deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Only natural color, finely shredded hardwood bark mulch will be accepted.
- 9. Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
- 10. All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- 11. Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement
- 12. All lawn areas shall be seeded with the Grade A Kentucky Blue Grass blend as specified over the topsoil.
- 13. All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Spring, 2017. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- 14. Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.

### MATERIAL

1. Required landscape material shall satisfy the criteria of the American Association of Nurserymen Standards for Nursery Stock and be: a.) Northern nursery grown; b.) State Department of Agriculture inspected; c.) No. 1 grade material with a straight, unscarred trunk, and well-developed uniform crown (park grade trees will not be accepted); d.) Staked, wrapped, watered, and mulched according to the details provided; and e.) Guaranteed for one (1) year.



- 2. Topsoil shall be friable, fertile soil of clayloam character containing at least five percent (5%) but not more than twenty percent (20%) by weight of organic matter with a pH range between 6.0 and 7.0. The topsoil shall be free from clay lumps, coarse sand, plant roots, sticks, and other foreign materials.
- The seed mixture shall consist of the following types and proportions: Kentucky Blue Grass blend "Baron/Sheri/Adelphi" @ sixty percent (60%), Chewing Fescue @ twenty-five percent (25%), Creeping Red Fescue @ ten percent (10%), and Perennial Rye Grass @ five percent (5%). Weed content shall not exceed one percent (1%). The mix shall be applied at a rate of 200 pounds per acre.
- 4. Sod shall be two (2) year old "Baron/Sheri/Adelphi" Kentucky Blue Grass blend grown in a sod nursery on loam soil.
- 5. Proposed perennials shall be full, well-rooted plants.
- 6. Cobblestone mulch to consist of two inch to six inch (2"-6") cobbles eight inches (8") deep over geotextile fabric.
- Callery Pear (*Pyrus calleryana*) and Norway Maple (*Acer* platanoides) shall not be substituted for any tree species in the plant list. Contact the Landscape Architect for acceptable plant substitutions.

### **GENERAL**

- Do not plant deciduous or evergreen trees directly over utility lines or under overhead wires. Maintain a six foot (6') distance from the centerline of utilities and twenty feet (20') from the centerline of overhead wires for planting holes. Call MISS DIG forty-eight (48) hours prior to landscape construction for field location of utility lines
- The Contractor agrees to guarantee all plant material for a period of one (1) year. At that time, the Owner's representative reserves the right for a final inspection. Plant material with twenty-five percent (25%) die back, as determined by the Owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor, and materials. These new plants shall also be guaranteed for a period of one (1) year.
- 3. The work shall consist of providing all necessary materials, labor, equipment, tools, and supervision required for the completion as indicated on the drawings.
- 4. Landscape areas shall be irrigated by an automatic underground irrigation system. Lawns and shrub/landscape areas shall be watered by separate zones to minimize overwatering.
- 5. All written dimensions override scale dimensions on the plans. 6. All substitutions or deviations from the landscape plan must be
- approved by Orion Township prior to installation. 7. All bidders must inspect the site and report any discrepancies to the Owner's representative.
- 8. All specifications are subject to change due to existing conditions.

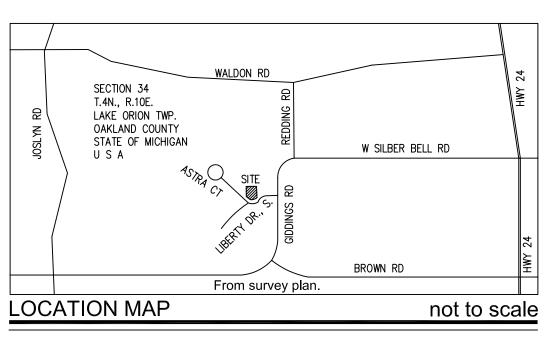
9. The Owner's representative reserves the right to approve all plant

# MAINTENANCE

- The Owner of the landscaping shall perpetually maintain such landscaping in good condition so as to present a healthy, neat, and orderly appearance, free from refuse and debris.
- 2. The Owner shall conduct a seasonal landscape maintenance program including regular lawn cutting (at least once per week during the growing season), pruning at appropriate times, watering, and snow removal during winter.
- The Contractor is responsible for watering and maintenance of all seed areas until a minimum of ninety percent (90%) coverage, as determined by the Owner's representative.
- 4. All diseased and/or dead material shall be removed within sixty (60) days following notification and shall be replaced within the next appropriate planting season or within one (1) year, whichever comes
- 5. Any debris such as lawn clippings, fallen leaves, fallen limbs, and litter shall be removed from the site on a weekly basis at the appropriate season.
- 6. All planting beds shall be maintained by removing weeds, fertilizing, and replenishing mulch as needed

### STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH **GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER** CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES. SET STAKES VERTICAL AND EVENLY SPACED. REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING. 1) STAKE TREE AS INDICATED USING TWO INCH TO THREE INCH (2"-3") WIDE BELT-LIKE MATERIAL OF FABRIC. (NO WIRE OR HOSE TO BE USED TO GUY TREES.) THREE (3) GUYS **EVENLY SPACED PER TREE. REMOVE AFTER** ONE (1) WINTER SEASON. 2 x 2 HARDWOOD STAKES. POSITION SIX INCHES TO EIGHT INCHES (6"-8") OUTSIDE OF ROOTBALL AND EXTEND EIGHTEEN INCHES (18") BELOW TREE PIT INTO UNDISTURBED SOIL SHREDDED BARK MULCH OF A NATURAL COLOR AT FOUR INCH (4") MINIMUM DEPTH. LEAVE A THREE INCH (3") CIRCLE OF BARE SOIL AT THE BASE OF THE TREE. f 4 ) MOUND TO FORM TREE SAUCER. FINISH GRADE SLOPED AWAY FROM TREE. 6) CUT AND REMOVE WIRE, BURLAP, AND SINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL. 7 PLANTING MIXTURE SHALL CONSIST OF 50% TOSOIL AND 50% SAND. (8) WIDTH OF ROOTBALL ON EACH SIDE. 9 SCARIFY BOTTOM AND SIDES OF PLANTING PIT TO FOUR INCH (4") DEPTH

**EVERGREEN TREE** 



13",15" White Oak -

### PLANT LIST **KEYQTY. BOTANICAL NAME** SIZE **COMMON NAME** PARKING LOT LANDSCAPING ADJACENT TO ROADS - LIBERTY DRIVE SOUTH 2" cal. B&B AR 8 Acer rubrum 'Armstrong Armstrong Red Maple 24" ht., 3 gal. pot CAH 75 Clethra alnifolia 'Hummingbird' **Hummingbird Summersweet** PARKING LOT LANDSCAPING ADJACENT TO ROADS - ASTRA COURT CAH 23 Clethra alnifolia 'Hummingbird' **Hummingbird Summersweet** 24" ht., 3 gal. pot Fastigiate Maidenhair Tree 2" cal. B&B GBF 3 Gingko biloba 'Fastigiata' PARKING LOT LANDSCAPING AGR 3 Amelanchier x grandiflora Robin Hill 1-1/2" cal. B&B Apple Serviceberry 24" spr., 3 gal. pot Wiltoni Creeping Juniper Juniperus horizontalis 'Wiltonii' Liriodendron tulipifera 'Fastigiatum' Fastigiate Tuliptree 2" cal. B&B RAG 12 Rhus aromatica 'Gro-Low' 24" ht., 3 gal. pot **Gro-Low Fragrant Sumac** 4' ht. B&B TOW 15 Thuja occidentalis 'Wintergreen' Wintergreen Arborvitae HHR 282 Hemerocallis sp. 'Happy Returns' Happy Returns Daylily 1 gal. pot, 24" o.c PLANTING TO PROVIDE A SCREEN 8' - 10' ht. B&B Amelanchier canadensis Clump Serviceberry PA 10 Picea abies Norway Spruce 10' ht. B&B 10' ht. B&B PGD 10 Picea glauca 'Densata' Black Hills Spruce 2" cal. B&B Red Oak QR 10 Quercus rubra **GENERAL SITE PLANTING** AGR 4 Amelanchier x grandiflora Robin Hill 'Robin Hill 1-1/2" cal. B&B Apple Serviceberry Fastigiate Maidenhair Tree GBF 2 Gingko biloba 'Fastigiata 2" cal, B&B LSS 4 Liquidambar styraciflua Slender Silhouette 2" cal. B&B 'Slender Silhouette' American Sweetgum Henry's Garnet Virginia Sweetspire 24" ht., 3 gal. pot IVH 16 Itea virginica 'Henry's Garnet' 24" ht., 3 gal. pot Rhus aromatica 'Gro-Low' Gro-Low Fragrant Sumac Spiraea japonica 'Shirobana' Shibori Japanese Spirea 24" ht., 3 gal. pot TMD 29 Taxus x media 'Densiformis' Densiformis Yew 24" ht., B&B 1 gal. pot, 24" o.c. Carex pensylvanica Pennsylvania Sedge Guacamole Hosta 1 gal. pot, 30" o.c. Hosta sp. 'Guacamole' REPLACEMENT TREES PSF 6 Pinus strobus 'Fasigiata' Fastigiate White Pine 8' ht. B&B QB 1 Quercus bicolor 2" cal. B&B Swamp White Oak

### LANDSCAPE CALCULATIONS:

PARKING LOT LANDSCAPING ADJACENT TO ROADS

Liberty Drive South (220 In.ft.)

QWL 4 Quercus x warei 'Long'

\* Quantity to be determined in the field.

\* One (1) deciduous or evergreen tree for each 30 ln. ft. or fraction thereof of required greenbelt = 7.33 = 8 trees

\* A hedge, wall, decorative fence, or berm with a vertical rise of thirty inches (30") shall be constructed within the greenbelt Astra Court (78 In.ft.)

Regal Prince Oak

2" cal. B&B

not to scale

- \* One (1) deciduous or evergreen tree for each 30 ln. ft. or fraction thereof of required greenbelt = 2.60 = 3 trees
- \* A hedge, wall, decorative fence, or berm with a vertical rise of thirty inches (30") shall be constructed within the greenbelt
- PARKING LOT LANDSCAPING (54 Parking Spaces) \* Twenty (20) sq. ft. of interior landscaping per parking space @ 54 spaces
- \* One (1) deciduous or evergreen tree per 200 sq. ft. or fraction thereof of interior
- landscaped area = 5.4 = 6 trees \* Interior landscaped area provided = 1,382 sq. ft.
- GENERAL SITE LANDSCAPING (24,498 square feet)

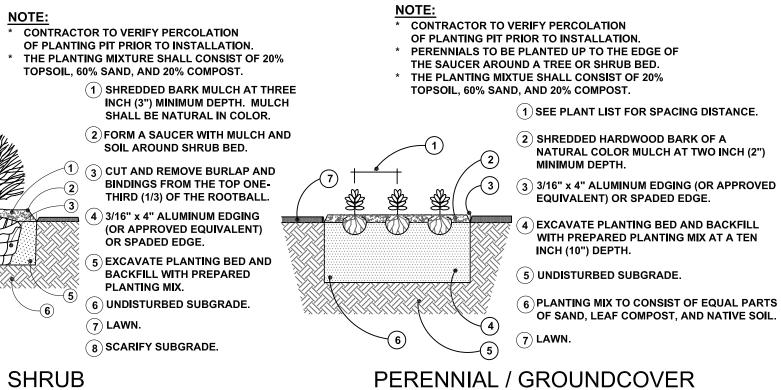
FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED

- \* One (1) deciduous or evergreen tree per 3,000 sq. ft. or fraction thereof of any unpaved open area for which specific landscaping requirements do not apply \* 24,166 / 3,000 = 8.17 = 9 trees
- REPLACEMENT TREES
- \* Regulated trees outside the building envelope to be removed equals five (5) \* Tree replacements required = 5 nursery stock trees

### **GENERAL NOTES FOR ALL PLANTINGS:**

\* DO NOT CUT CENTRAL LEADER. REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS

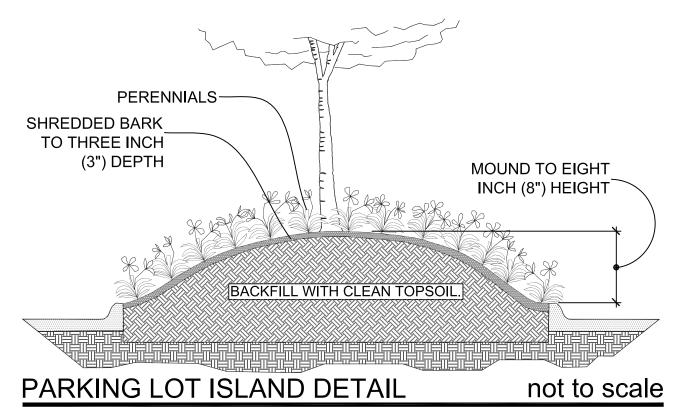
GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING **GRADE IF PLANTING IN CLAY SOILS.** \* CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND



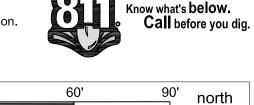
-SODDED LAWN (2) 4" Red Oak — № N87°08'07"E (2) 4" White Oak SODDED (1) 4" Red Oak LAWN 11" White Oak -4" Black Cherry -10" White Oak — ONE WAY 1 LTF B PSF PRESERVE YOUNG OAK TREES 3 AC-LESS THAN FOUR INCH (4") cal. LOT 3 PROP BUILDING ALONG THE PROPERTY LINE -WHERE POSSIBLE. ADJUST 43,952 SF PROPOSED PLANTINGS **ACCORDINGLY FOR OPTIMUM** SPACING AND GROWTH. -4 LSS ⊢4 AGR ZWINZ ZWINZ ⊢11 SJS –HOSTAົ 6" SAN. SERVICE -SEDGE 11 TMD-12 RAG— 13 JHW-5 PGD-COBBLESTONE MULCH-18" White Oak 1 LTF-AGR ⊢14 RAG 74 HHR--92 HHR 24 CAH-(3) 5" White Oak-16" White Oak 22" American \_3 GBF --81 CAH SODDED LAWN -- 1 AGR SODDED -80 HHR LAWN GAS-E-W LAWN MULCH TREES AND SHRUB BEDS ACC. TO THE PLANTING DETAILS AND ACC. TO NOTE #8 UNDER PLANTING ON THIS SHEET. LANDSCAPE PLANTING PLAN scale: 1'' = 30

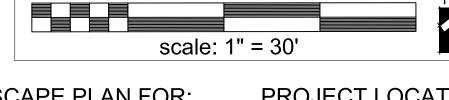
-5 QR

5 PA



date: November 3, 2020 11-08-2020 Revise for review by Association. 11-22-2020 Revise for site plan changes. 01-14-2021 Revise for site plan changes.





LANDSCAPE PLAN FOR: J.S. Capitol Group 155 Romeo Road Rochester, Michigan 48307 (248) 909-7697

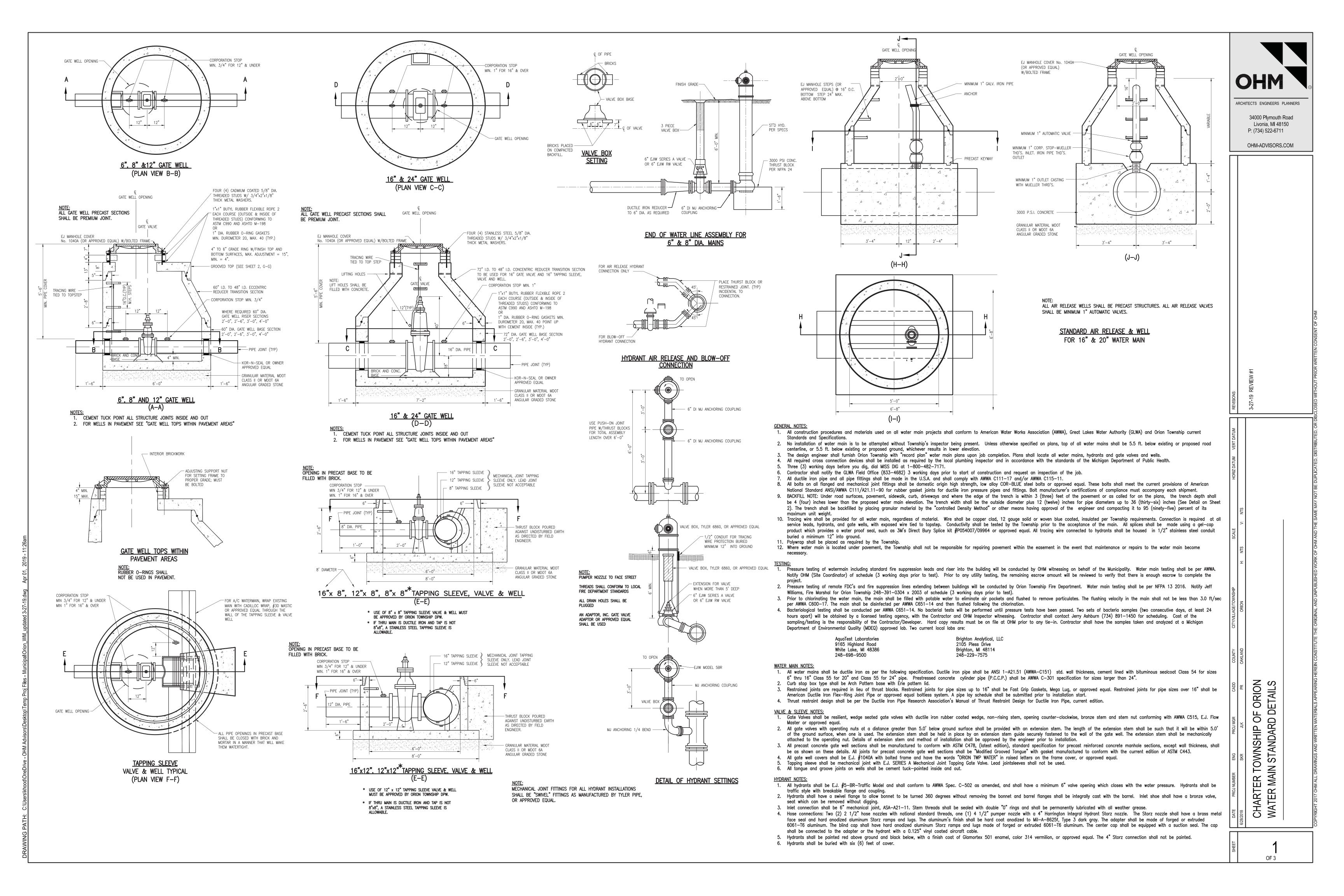
LANDSCAPE PLAN BY: Nagy Devlin Land Design 31736 West Chicago Ave № Livonia, Michigan 48150

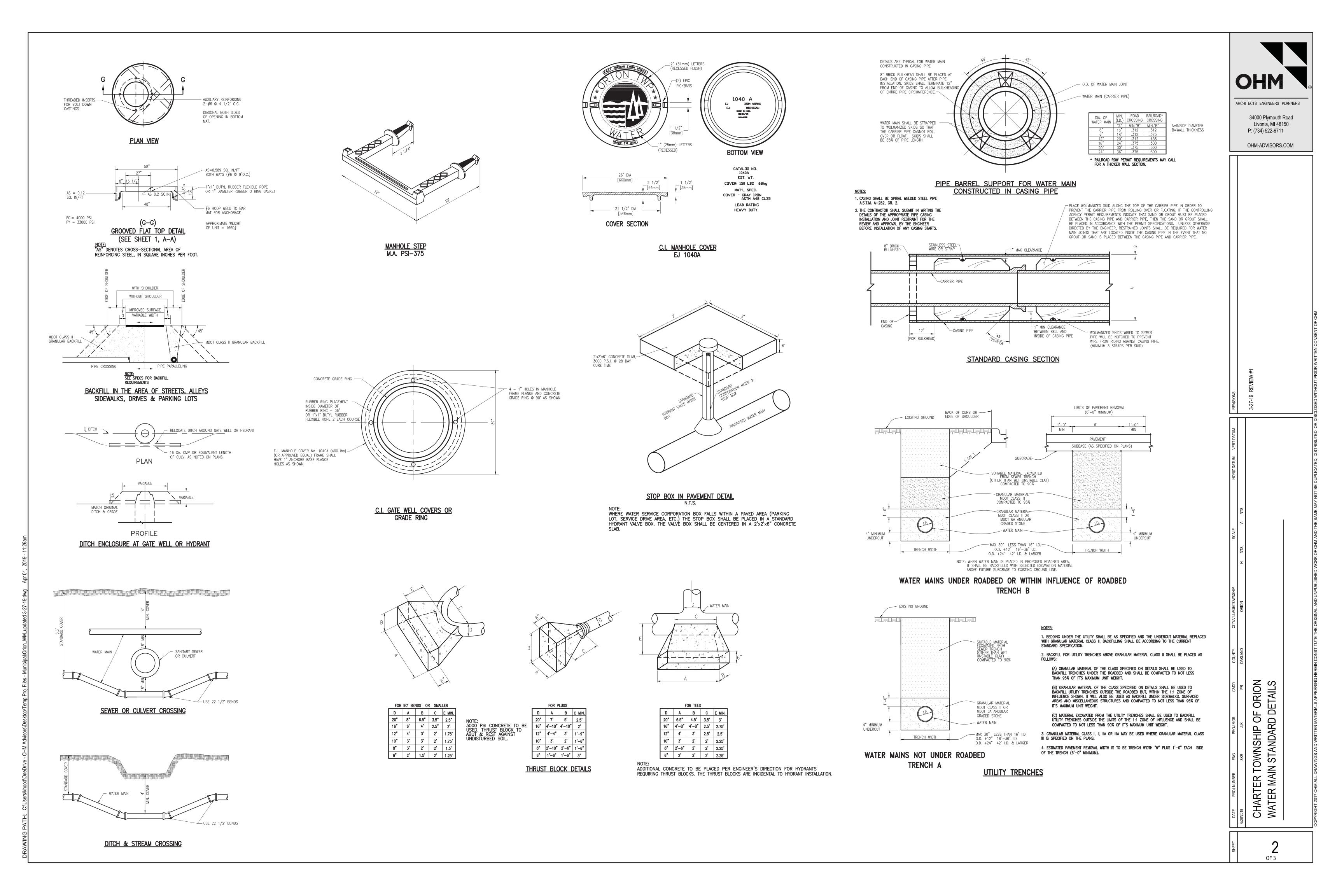
PROJECT LOCATION: Lifted Industrial Grow Facility Astra Court and Liberty Drive South Orion Township,

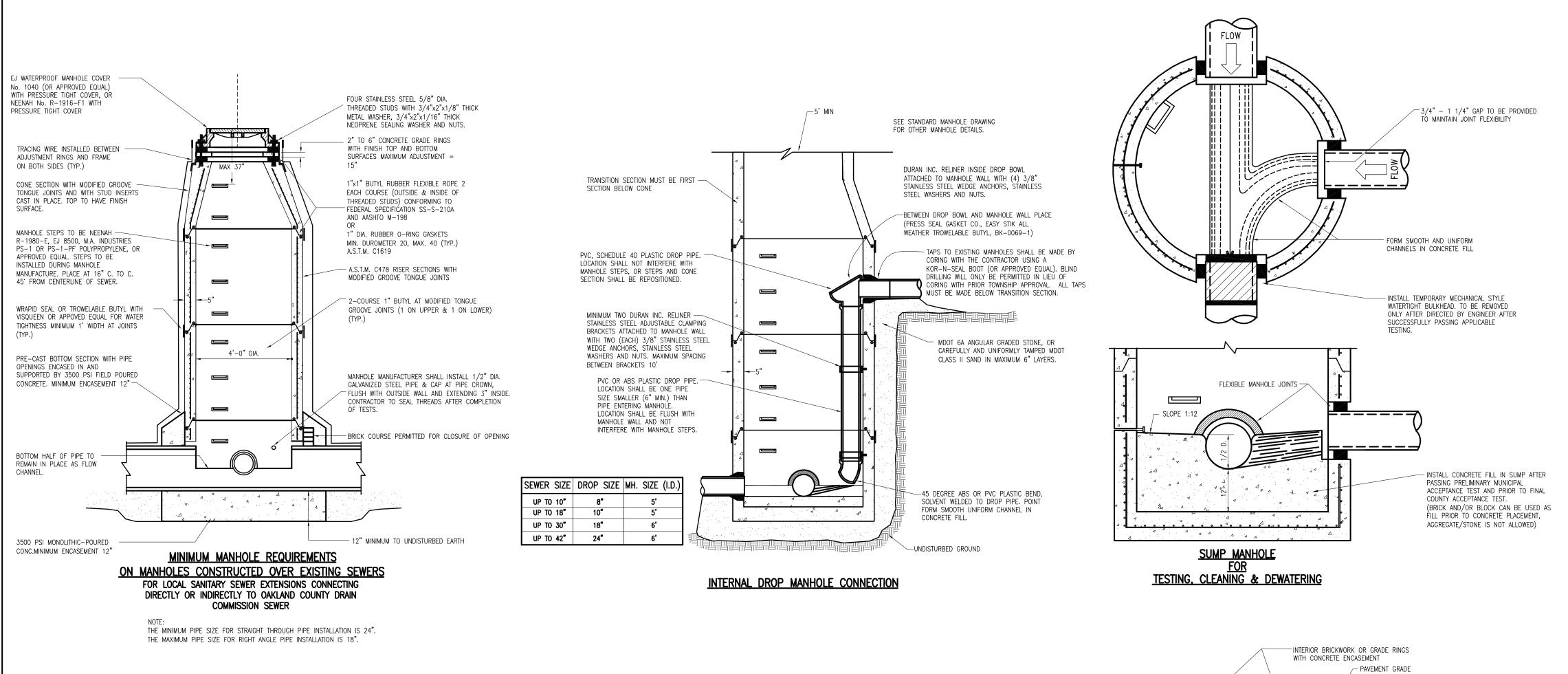
(734) 634-9208

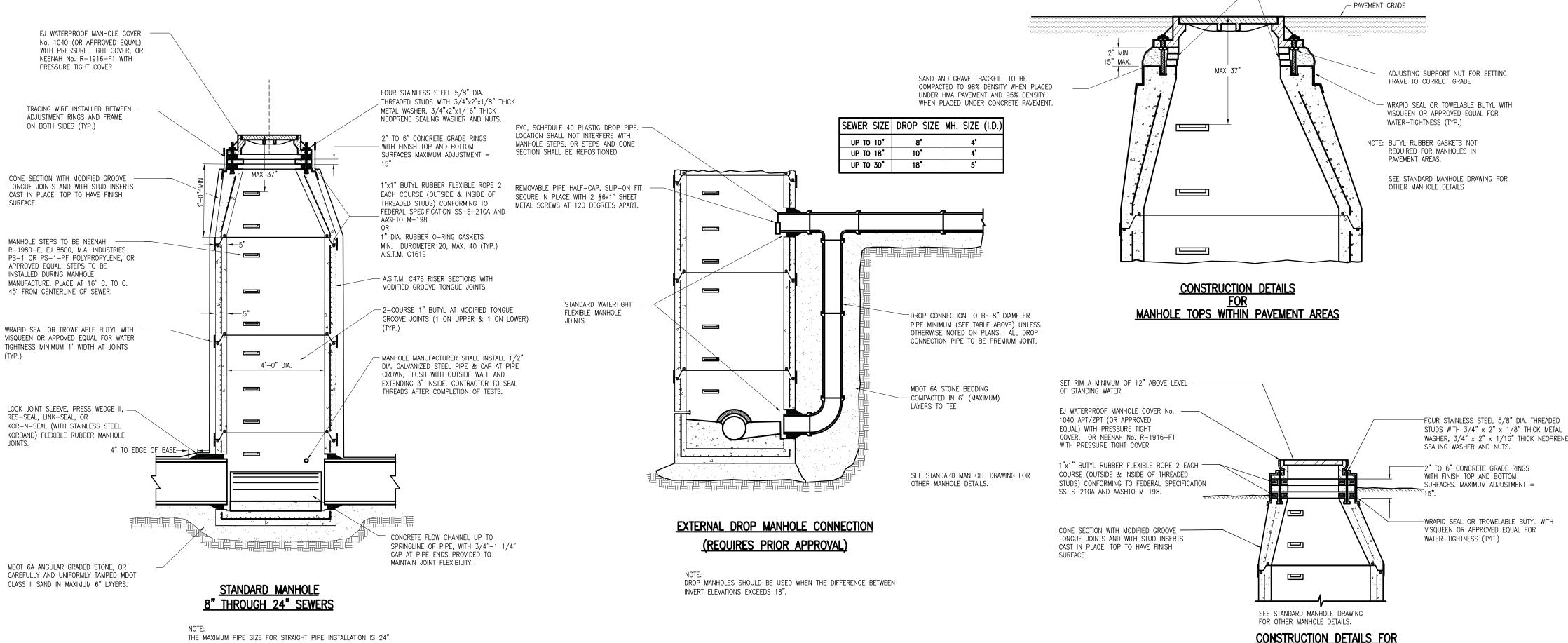
LP - 1: LANDSCAPE PLANTING PLAN \* Base data provided by Tri-County Engineering Consultalts.

**DECIDUOUS TREE** PLANTING DETAILS









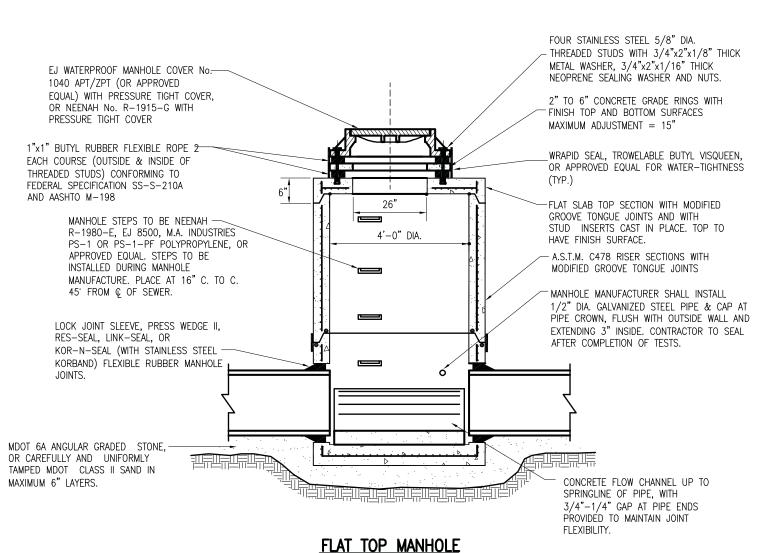
### SANITARY SEWER CONSTRUCTION NOTES

- 1. All construction shall conform to the current standards and specifications of the Charter Township of Orion and the Oakland County Water Resource Commissioner (O.C.W.R.C.). All sanitary sewer construction shall have full—time inspection directed by a professional engineer provided by, or caused to be provided by, the Charter Township of Orion.
- 2. At all connections to O.C.W.R.C. sewers or to extensions thereto, and before the start of construction, the Contractor must request and have in his possession an approved Sewer Inspection Permit issued by the O.C.W.R.C. The Contractor shall be responsible for all O.C.W.R.C. charges and shall contact O.C.W.R.C. for their fees, bonds and deposit requirements. The Contractor shall notify the Charter Township of Orion, Orchard, Hiltz & McCliment and the O.C.W.R.C. 72 hours, or three working days, prior to the beginning of any construction. Final air test must be witnessed by the O.C.W.R.C. personnel and must be scheduled in advance. Prior to County testing, a preliminary test will need to be conducted with the OHM inspector present. All structures must be completed before scheduling. Site tubes must be in place for at least 24 hours, if ground water was present during construction.
- 3. No sewer installation shall have an infiltration or exfiltration exceeding 100 gallons per inch diameter per mile of pipe per 24 hour period, and no single run of sewer between manholes shall exceed 100 gallons per inch diameter per mile. All sewer runs of 8 inches in diameter or greater shall be tested. Air tests in lieu of infiltration tests shall be as specified in O.C.D.P.W. "Acceptance Tests", dated September 1972. Only Modified Groove Tongue, ASTM C 425, ASTM C 443, 0-Ring, Uniloc, Amvit, Nobel, Ring-Tite, Fluid-Tite or equal, as approved by O.C.W.R.C. may be used for sewer joints. All joints shall meet requirements of ASTM C 425 or C 443. No clay pipe or schedule 35 will be allowed for main line sanitary sewer or for sewer leads.
- 4. At all connections to an existing O.C.W.R.C. sewer or to extensions thereto, a temporary watertight bulkhead with a threaded, capped or valved 1 inch diameter pipe to permit measuring infiltration shall be provided to be removed only after directed by the engineer. A 12 inch temporary sump and a watertight mechanical bulkhead shall be installed on the first manhole upstream of the proposed connection. The temporary sump shall be filled in after successful completion of any infiltration test up to the standard fillet provided for the flow channel, and the bulkhead shall be removed after directed by engineer. Infiltration testing is required for all sewers twenty—four (24) inch diameter and greater, or for all sewer pipe diameters where the ground water level is seven (7) feet above the top of the sewer pipe.
- 5. All building leads and risers shall be 6 inch diameter, S.D.R. 23.5 ABS OR PVC pipe with chemically fused joints or an approved equal pipe and joint. Sewer pipe wye or tee openings shall contain factory installed premium joint material of the type identical to that of the building lead pipe used. Building leads to be furnished with removable air—tight and water-tight stoppers.
- 6. All sewer pipe shall be installed in the trench and bedding shown on the Orion Township Standard Sanitary Sewer Detail sheets, unless otherwise noted.
- 7. All new manholes shall have O.C.W.R.C. approved flexible, water—tight seals where pipes pass through walls. Manholes shall be precast sections with modified groove tongue and rubber gasket type joints. Precast manhole sections shall be O.C.W.R.C. approved modified eccentric cone type. All manholes shall be provided with water—tight covers.
- At all connections to manholes on O.C.W.R.C. sewers or extensions thereto, drop connections will be required when the difference in invert elevations exceed 18 inches. Only inside drop connections will be approved, an external drop may be used if approved by the Township and the O.C.W.R.C.
- 9. Wherever existing manholes are to be tapped, the tap shall be made by coring. The Contractor shall place a KOR-N-SEAL boot (or approved equal) after coring is completed. Blind drilling will not be permitted in lieu of coring.
- 10. New manholes constructed directly on O.C.W.R.C. sewers shall be provided with covers reading "Oakland County-Sanitary" in raised letters. New manholes built over any existing sanitary sewers shall have monolithic bottoms.
- 11. No ground water, storm water, construction water, downspout drainage or weep—tile drainage shall be allowed to enter any sanitary sewer installation.
- 12. Three (3) working days prior to construction, the Contractor shall contact MISS DIG (1-800-482-7171) for
- 13. 18 inch minimum vertical separation and 10 feet horizontal separation must be maintained between sanitary
- sewer and water main. 14. The sanitary sewer contractor shall notify the inspection section of the Great Lakes Water Authority (GLWA) at
- (313) 833-4949 at least 3 working days prior to beginning of construction.
- 15. No clay pipe will be allowed for main line sanitary sewer or for sanitary sewer leads.

underground facilities locations.

MANHOLE TOPS WITHIN FLOOD PRONE AREAS

- 16. A video (with log and lead locations) shall be submitted and approved by the Township prior to final acceptance. Said videotape shall be performed a minimum of 30 days after construction is completed. The sanitary sewer must be cleaned prior to videoing. Water must be run through the system from the upstream manhole prior to videoing. The videoing will not be accepted if the sewer is not cleaned prior to the inspection.
- 17. Where sanitary sewer cleanouts fall within a paved area (parking lot, service drive area, etc.), the cleanout shall have a cast iron cover that is centered in a 2'x2'x6" concrete slab having a compressive strength of 3000 psi at 28-day cure time. All sewer leads require at least one cleanout within 5' of the building. Additional cleanouts are required at all horizontal bends when lead length is greater than 100'.
- 18. Tracing wire shall be provided for all sewers regardless of material. Wire shall be 7x7 standard copper clad steel wire with a bare OD of 0.208—inches (OD including 50mil green insulation is 0.258—inches). Connection is required at all service leads and manholes, with exposed wire tied installed between the adjustment ring and frame. Conductivity shall be tested by the Township prior to acceptance of sanitary sewer. All splices shall be made using a gel-cap product which provides a water proof seal, such as 3M's Direct Bury Splice Kit #P054007/09964 or approved equal.



SHALLOW MANHOLE INSTALLATIONS

ARCHITECTS ENGINEERS PLANNERS

34000 PLYMOUTH RD LIVONIA, MI 48150 P: (734) 522-6711

OHM-ADVISORS.COM

S

TOWNSHIP OF ORION SEWER STANDARD DET

CHARTER SANITARY

OF 2

### MATERIALS AND CERTIFICATIONS

PVC Pipe and Fittings shall be as described under ASTM Designation D 3034-81, Standard Specification for Polyvinyl Chloride Sewer Pipe and Fittings.

All pipe shall be certified by the manufacturer to meet the applicable ASTM specification requirements. Certification forms together with a report of the test results shall be provided to the construction inspector with pipe deliveries and copies shall be forwarded to the Engineer or the Owner. Certification forms shall include project name, location, Contractor, and test lot number. Lot sizes shall be acceptable to the Engineer

All pipe and fittings shall be suitably marked to provide manufacturer's name or trademark, lot or production number (including date and location of manufacturer), ASTM designation, PVC cell classification, SDR number, and nominal diameter. Fittings, however, need not contain lot number, cell classification, or SDR number. Pipe shall have a "home" mark.

Bedding for PVC pipe shall be in accordance with ASTM D 2321-74, except (1) only Class I and Class II materials may be used, (2) embedment shall extend to minimum 12" above top of pipe, and (3) flooding or puddling shall not be used. It is essential that it be recognized that the successful use of flexible pipe requires bedding that provides unvielding side support and complete bedding contact under pipe haunches. Bedding material must be properly placed and compacted provide lateral restraint against deflection in the pipe diameter. Pipe must be bedded to true line and grade throughout its length. Bell holes shall be provided

Where unstable bottoms are encountered, the Contractor shall provide a foundation consisting of an approved graded and processed angular stone to act as an impervious mat to prevent migration or vertical movement of unstable soils or bedding materials. Where trench sheeting, plates, or a trench box are used due to severe ground conditions, all voids to the side and below the top of the pipe caused by the sheeting, plates, or box withdrawal shall be completely filled or the supports left in place below the top of the pipe.

Concrete cradle bedding shall not be used where allowable trench widths are exceeded. In lieu of concrete cradle bedding, standard pipe bedding shown shall be provided to the full width between undisturbed trench walls or at least 2.5 pipe diameters on both sides of the pipe.

Due to potential damage to exterior walls of plastic pipe, caused by rocks, frozen material, or large objects (particularly in cold weather conditions), the Contractor shall carefully avoid dumping any materials other than approved bedding sand or stone on the pipe until a 12" cover is placed on it. Pipe walls and joints shall also be protected from abrasion and damage during handling, and shall be fully inspected just prior to placing

Care shall be taken during bedding compaction to avoid distorting the shape of the pipe or damaging its wall. Mobile equipment shall not be used over the pipe trench until 48" of cover has been placed.

House connections shall be made to wye. Field taps of sewer are prohibited. Bedding for house connection sewers shall be equal to that of the main sewer bedding. Risers in deep and unstable trenches should be bedded in Class I angular stone to avoid settlement. Concrete shall not be used for bedding. End caps or plugs shall be braced or anchored to withstand air test pressures. Caps or plugs shall not be chemically welded in place.

Joints for pipe and fittings shall be of the elastomeric gasket push—on type. Such joints shall conform to ASTM Designation D 3212-81, and the pipe manufacturer shall file with the O.C.W.R.C. a copy of certified test results of its jointing system prior to use. Gasket joints shall be installed in accordance with procedures specified by the pipe manufacturer, such that the gasket will be compressed (not displaced) in the joint to form a positive seal. Care shall be taken to ensure all joints being pushed to the full "home" position and held together in the "home" position during any grade or line adjustments.

### CUTTING AND HANDLING

Cutting of pipe lengths, where required, shall be performed by the use of tools or equipment that will provide a neat, perpendicular cut without damage to the plastic. All burrs shall be removed by the use of a file, knife, or abrasive paper. Spigot ends on cut pipe shall be beveled similar to factory beveling to prevent gasket damage.

Bowing or warping of plastic pipe can occur with temperature fluctuations. The Contractor shall store and protect the pipe to minimize bowing. Nominal pipe lengths of 10', 12'-6", or 20' having deviations from straight greater than 1" shall not be used.

### SPECIAL CONDITIONS

The completed installation shall at no point have out-of-round pipe deflections greater than 5%. The Engineer shall have the option of requiring deflectometer or go/no-go gauging tests run prior to acceptance on pipelines where high deflections are suspected.

All standard O.C.W.R.C. specifications and details shall apply to this work except where covered otherwise by these supplemental specifications. O.C.W.R.C. air test requirements shall be met. To maintain the flexibility of the pipe materials, concrete encasement of drop connections shall not be used. Where adapters to other materials are required, only approved adapters and joints may be used. Where the connections are made to existing manholes, the manhole shall be cored and a rubber waterstop shall be used around the pipe.

"As-built" plans shall be provided to the O.C.W.R.C. and the local unit of Government by the Engineer and "as-built" plans shall specifically designate where ABS and PVC Truss Pipe was installed.

COMPACTED TO 909

4" FOR PVC
AND TRUSS PIPE
6" MIN FOR CONCRETE PIPE T

SEWER PIPE

### SPECIFICATIONS FOR TRUSS PIPE

### MATERIALS AND CERTIFICATIONS

Contech Truss Pipe and Fittings shall be as described under ASTM Designation D2680, Standard Specification for Acrylonitrile-Butadiene-Styrene (ABS) and Poly Vinyl Chloride (PVC) Composite Sewer Pipe. Appendix XI of said specification shall be as modified by the bedding requirements outlined below.

All pipe shall be certified by the manufacturer to meet the applicable ASTM specification requirements. Certification forms, together with a report of the test results, shall be provided to the inspector with pipe deliveries and copies shall be forwarded to the Engineer or the Owner. Certification forms shall include project name, location, Contractor, and test lot number. Lot sizes shall be acceptable to the Engineer.

All pipe and fittings shall be suitably marked to provide manufacturer's name, lot or production number (including date and location of manufacturer), ASTM designation, material type (ABS or PVC) and nominal diameter where applicable. Fittings, however, need not contain lot or production number. Pipe shall have a "home" mark. Truss Pipe with an absence of filler material at the ends greater than 1/4" deep shall be subject to rejection or acceptable repair.

### **BEDDING**

Bedding for Truss Pipe shall be in accordance with ASTM D2321-74, except, (1) only Class I and Class II materials may be used. (2) embedment shall extend to minimum 12" above top of pipe, and (3) flooding or puddling shall not be used. It is essential that it be recognized that the successful use of flexible and semi-flexible pipe require bedding that provides unyielding side support and complete bedding contact under pipe haunches. Bedding material must be properly placed and compacted to provide lateral restraint against deflection in the pipe diameter. Pipe must be bedded to true line and grade

Where unstable bottoms are encountered, the Contractor shall provide a foundation consisting of an approved graded and processed angular stone to act as an impervious mat to prevent migration or vertical movement of unstable soils or bedding materials. Where trench sheeting, plates, or a trench box are used due to severe ground conditions, all voids to side and below the top of the pipe caused by the sheeting, plates, or box withdrawal shall be completely filled or the supports left in place below the top of the pipe.

Concrete cradle bedding shall not be used where allowable trench widths are exceeded. In lieu of concrete cradle bedding, standard pipe bedding shown shall be provided to the full width between undisturbed trench walls or at least 2.5 pipe diameters on both sides of the pipe. Due to potential damage to exterior walls of truss pipe, caused by rocks, frozen material, or large objects (particularly in cold weather conditions), the Contractor shall carefully avoid dumping any materials other than approved bedding sand or stone on the pipe until a 12" cover is placed on it. Pipe walls and joints shall also be protected from abrasion and damage during handling, and shall be fully inspected just prior to placing in the trench.

Care shall be taken during bedding compaction to avoid distorting the shape of the pipe or damaging its exterior wall. Mobile equipment shall not be used over the pipe trench until 48" of cover has been placed.

House connections shall be made to wye or tee fittings. Field taps of sewer are prohibited. Bedding for house connection sewers shall be equal to that of the main sewer bedding. Risers in deep and unstable trenches should be bedded in Class I angular stone to avoid settlement. Concrete shall not be used for bedding. End caps or plugs shall be braced or anchored to withstand air test pressures. Caps or plugs shall not be chemically welded in place.

Joints shall be chemically welded in accordance with the manufacturer's recommendation and the current ASTM Designations D2680 and D2235 for ABS Truss Pipe and D2680 and D2855 for PVC Truss Pipe. Additionally, all exposed ends of Truss Pipe shall be fully and thoroughly coated with plastic jointing cement prior to making joints so as to seal ends to eliminate the possibility of false low pressure air tests. Elastomeric gasket push-on type joints may be utilized for PVC Truss Pipe in accordance with ASTM Designation D3212. Care shall be taken to ensure all joints being pushed to the full "home" position and held tightly in the "home" position during any grade or line adjustments. Pipe shall be rotated during joint insertion to insure a complete spread of jointing cement. ABS and PVC Plastic Cement Primers and ABS and PVC Plastic Pipe Cements shall arrive at the job site in sealed and labeled containers. "Johnny Mops" or similar swab type applicators shall be used to apply primer and cernent. Opened containers in the trench shall be protected from, dirt, water and other contaminants. The pipe manufacturer shall file with the O.C.W.R.C. a copy of certified test results of its jointing system prior to use. Gasket joints shall be installed in accordance with procedures specified by the pipe manufacturer, such that the gasket will be compressed (not displaced) in the joint to form a positive seal. Care shall be taken to insure all joints being pushed to the full "home" position and held together in the "home" position during any grade or line adjustments.

## CUTTING AND HANDLING

Cutting of pipe lengths, where required, shall be performed by the use of tools or equipment that will provide a neat, perpendicular cut without damage to the plastic or the filler material. Bowing or warping of ABS and PVC pipe can occur with temperature fluctuations. The Contractor shall store and protect the pipe to minimize bowing. Nominal 12'-6" pipe lengths having deviations from straight greater than 1" shall not be used.

### SPECIAL CONDITIONS

The completed installation shall at no point have out-of-round pipe deflections greater than 5%. The Engineer shall have the option of requiring deflectometer or go/no-go gauging tests run prior to acceptance on pipelines where high deflections are suspected.

All standard O.C.W.R.C. specifications and details shall apply to this work except where covered otherwise by these supplemental specifications. O.C.W.R.C. air test requirements shall be met. To maintain the flexibility of the pipe materials, concrete encasement of drop connections shall not be used. Where adapters to other materials are required, only approved adapters and joints may be used. Where the connections are made to existing manholes, the manhole shall be cored and a rubber waterstop shall be used around the pipe.

"As-built" plans shall be provided to the O.C.W.R.C. and the local unit of Government by the Engineer and "as-built" plans shall specifically designate where ABS and PVC Truss Pipe was installed.

> LIMITS OF PAVEMENT REMOVAL (6'-0" MINIMUM)

> > PAVEMENT

SUBBASE (AS SPECIFIED ON PLANS)

### PLACE FINAL RISER A MAXIMUM OF 6' BELOW GROUND 2"x2" LOCATION STAKE SURFACE OR MIN. 1' ABOVE GROUNDWATER ELEVATION WHICHEVER IS HIGHER. 10' MINIMUM AT PROPERTY LINE FOR BASEMENT SERVICE -MINIMUM 1/8" FALL PER FOOT. RECOMMEND 1/4 SPECIFIED BACKFILL AS REQUIRED BY ENGINEER - REMOVABLE WATERTIGHT AND AIRTIGHT STOPPER AS FALL PER FOOT. RECOMMENDED OR SUPPLIED BY PIPE AND JOINT ALL HOUSE LEAD PIPE TO BE O.C.W.R.C. APPROVED MATERIAL AND JOINT. 6" RISER -45' BEND-- PLACE PIPE AGAINST UNDISTURBED GROUND. BACKFILL WITH STAINLESS STEEL APPROVED PREMIUM JOINT CARE TO AVOID SETTLEMENT. EXTERNAL BAND 6" DIA HOUSE LEAD STAINLESS STEE \ MAXIMUM KORBAND -2" (51mm) RAISED LETTERS (RECESSED FLUSH) -MDOT 6A CRUSHED LIMESTONE AGAINST UNDISTURBED GROUND FOR SUPPORT OF WYE NEOPRENE BOOT - MACHINE DRILLED HOLE — STANDERD BEDDING HOUSE LEAD DETAIL EAST JORDAN MICHIGAN

### KOR-N-TEE TAP FOR CONCRETE PIPE

### OAKLAND COUNTY WATER RESOURCE COMMISSIONER GRAVITY BUILDING LEAD REQUIREMENTS AND DETAILS

- 1. ALL BUILDING LEAD WORK MUST BE PROFORMED UNDER OAKLAND COUNTY WATER RESOURCE COMMISSIONER (OCWRC) AND/OR THE CHARTER TOWNSHIP OF ORION. 2. FOR ALL OCWRC-OPERATED SYSTEMS, CALL (248) 858-1110 24-HOURS IN ADVANCE OF WORK TO
- 3. NO SANITARY SEWER MAY BE USED AS A CLEANOUT OF 4. WHERE AN EXISTING BUILDING LEAD IS BEING
- EXTENDED, DISSIMILAR TYPES AND SIZES OF PIPE SHALL BE JOINED USING AN OCWRC APPROVED ADAPTER.
- 5. APPROVED BUILDING LEAD PIPE FOR GRAVITY SEWER LEADS: A. PVC PLASTIC, ASTM D3034 SDR 23.5 OR ASTM D2665, SCHEDULE
- B. DUCTILE IRON PIPE, AMERICAN WATER WORKS ASSOCIATION (AWWA) C-104/A21.4 CLASS 54. JOINTS SHALL BE SUPER BEL TITE, TYTON, TY-SEAL, MULTI-TITE, DUAL-TITE, OR VERI-TITE.

  C. ANY DEVIATIONS FROM SPECIFIED ABOVE REQUIRE APPOVAL BY
- 6. ALLOWABLE TYPES OF SEWER PIPE ADAPTERS:
- A. FERNCO ADAPTER/REDUCER DONUTS. B. FERNCO FLEXIBLE COUPLING (ONLY ALLOWABLE ON 6"
- OR LESS HOUSE LEADS).
  C. MISSION CLAY BAND—SEAL COUPLING.
- D. SMITH-BLAIR STAINLESS STEEL REPAIR CLAMP. HURON—CLINTON O—RING ADAPTER HAMILTON-KENT GEAR GRIP ADAPTER. G. PLANT FABRICATED JOINT CONVERSION PIPE.

1. BEDDING UNDER THE UTILITY SHALL BE AS SPECIFIED AND THE UNDERCUT MATERIAL

STANDARD SPECIFICATION.

NOTE: NO FROZEN MATERIAL SHALL BE USED.

CLASS III IS SPECIFIED ON THE PLANS.

SIDE OF THE TRENCH (6'-0" MINIMUM).

REPLACED WITH GRANULAR MATERIAL CLASS II. BACKFILLING SHALL BE ACCORDING TO THE

2. BACKFILL FOR UTILITY TRENCHES ABOVE GRANULAR MATERIAL CLASS II SHALL BE PLACED AS

BACKFILL UTILITY TRENCHES OUTSIDE THE LIMITS OF THE 1:1 ZONE OF

TRENCH B: GRANULAR MATERIAL OF THE CLASS SPECIFIED ON DETAILS SHALL BE USED TO

INFLUENCE AND SHALL BE COMPACTED TO NOT LESS THAN 90% OF IT'S

BACKFILL TRENCHES UNDER THE ROADBED AND SHALL BE COMPACTED TO NOT

granular material of the class specified on details shall be used to BACKFILL UTILITY TRENCHES OUTSIDE THE ROADBED BUT, WITHIN THE 1:1 ZON

OF INFLUENCE SHOWN. IT WILL ALSO BE USED AS BACKFILL UNDER SIDEWALKS.

SURFACED AREAS AND MISCELLANEOUS STRUCTURES AND COMPACTED TO NOT

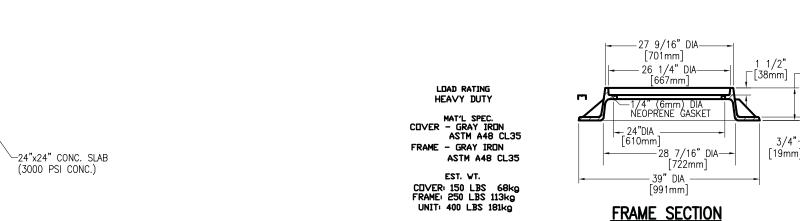
TRENCH A: MATERIAL EXCAVATED FROM THE UTILITY TRENCHES SHALL BE USED TO

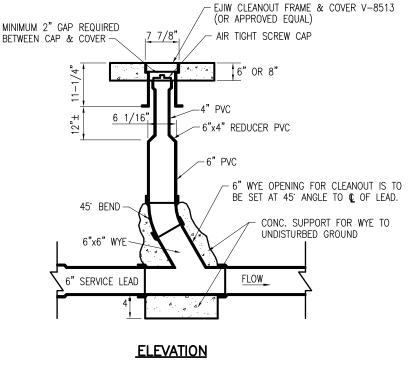
LESS THAN 95% OF IT'S MAXIMUM UNIT WEIGHT.

LESS THAN 95% OF IT'S MAXIMUM UNIT WEIGHT.

3. GRANULAR MATERIAL CLASS I, II, IIA, OR IIIA MAY BE USED WHERE GRANULAR MATERIAL

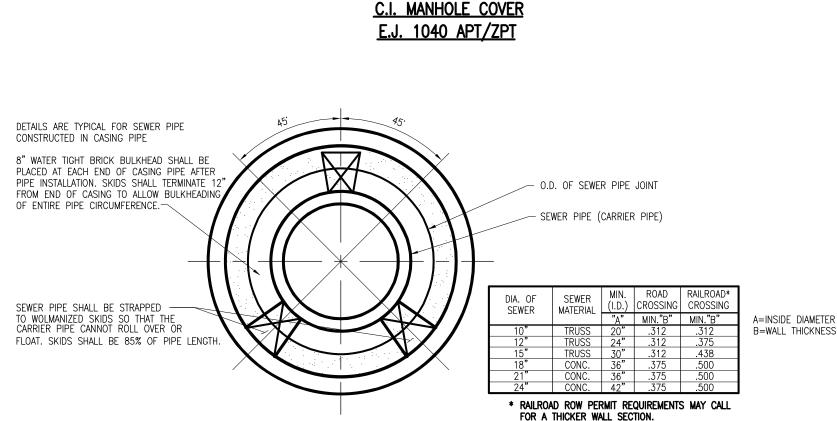
4. ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH





# DETAIL OF SANITARY SEWER CLEANOUT IN PAVED AREA

TOP VIEW



### PIPE BARREL SUPPORT FOR SEWER PIPE CONSTRUCTED IN CASING PIPE

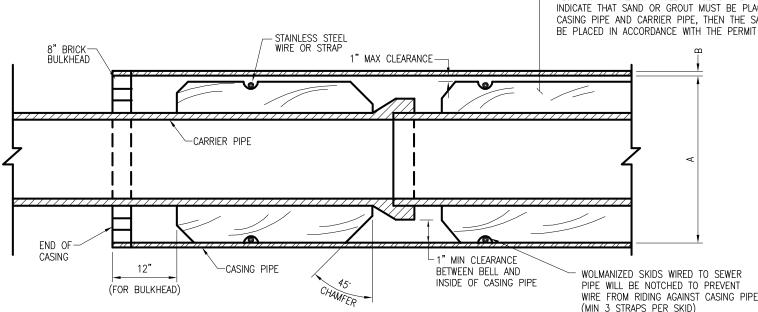
**COVER SECTION** 



CASING SHALL BE SPIRAL

A-252, GR. 2.

WELDED STEEL PIPE A.S.T.M.



STANDARD CASING SECTION

### FXTERIOR MANHOLE WALL DOWNSTRFAM MANHOLE -PROPOSED SANITARY SEWER SIZE AS INDICATED ON PLANS -INSTALL HIGH PRESSURE WATERTIGHT BULKHEAD

-FORM SMOOTH CHANNEL

THROUGH EXISTING BENCH

## TESTING BULKHEAD WITH PIPE TAP

\* AT ALL CONNECTIONS TO AN EXISTING O.C.W.R.C. SEWER OR EXTENSIONS THERETO, A WATERTIGHT BULKHEAD WITH A THREADED CAPPED OR VALVED 1 INCH DIA. PIPE TO PERMIT MEASURING INFILTRATION SHALL BE PROVIDED. TO BE REMOVED ONLY AFTER DIRECTED BY ENGINEER. \* INFILTRATION TESTING IS REQUIRED FOR ALL SEWERS TWENTY-FOUR (24) INCH DIAMETER AND LARGER OR FOR ALL SEWER PIPE DIAMETERS WHERE THI

GROUND WATER LEVEL IS SEVEN (7) FEET ABOVE THE TOP OF THE SEWER

# - EXISTING GROUND ÁNGULAR GRÁDED STONE TRENCH WIDTH

SEWER NOT UNDER ROADBED TRENCH A

SEWER UNDER ROADBED OR WITHIN INFLUENCE OF ROADBED TRENCH B

SUBGRADE—

MDOT CLASS II COMPACTED TO 95%

GRANULAR MATERIAL

1/4" TO 1 1/2" ANGULAR

—MAX 30" 4"−15" I.D.—

O.D. +18" 18"-24" I.D.

O.D. +24" 27" I.D. AND LARGER

**UTILITY TRENCHES** 

TRENCH WIDTH

- EXISTING GROUND

CHARTER SANITARY S

OF 2

TOWNSHIP OF ORION SEWER STANDARD DET

S 4

ARCHITECTS ENGINEERS PLANNERS

34000 PLYMOUTH RD

LIVONIA, MI 48150

OHM-ADVISORS.COM

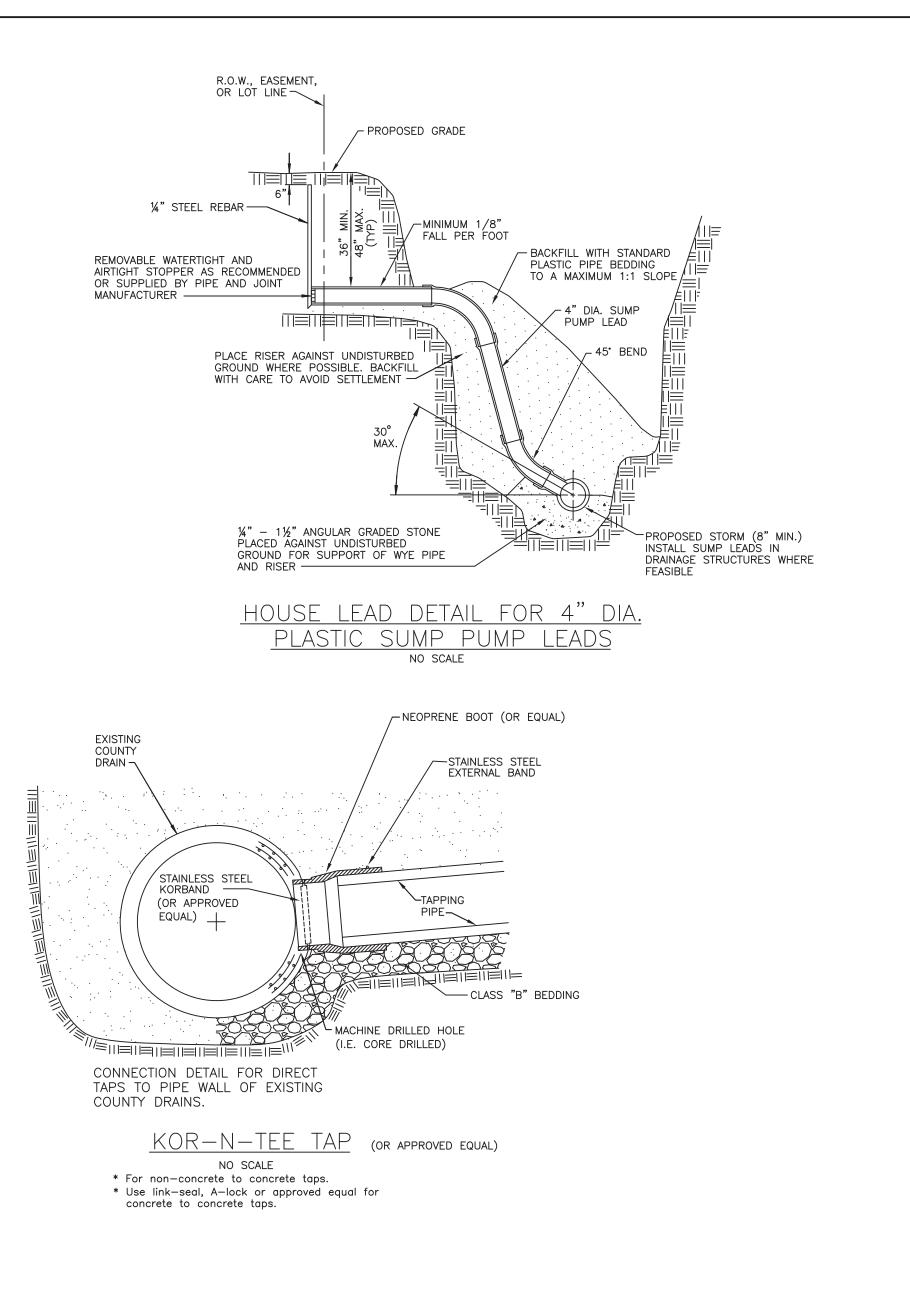
P: (734) 522-6711

MADE IN USA

1040AGS MO/DA/YR

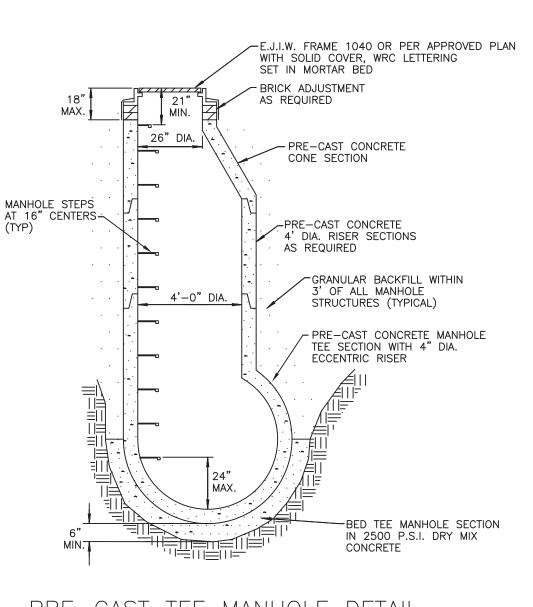
**BOTTOM VIEW** 

OF COVER

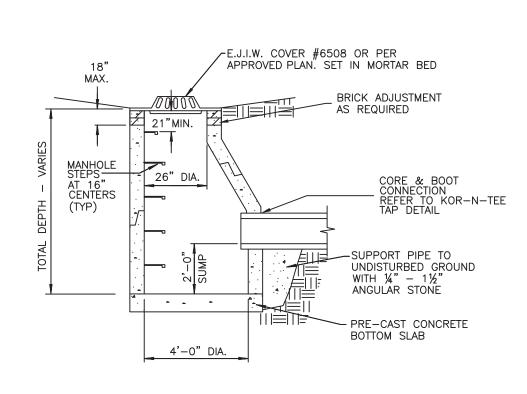


-MINIMUM 8" TO 15"

RIP-RAP ROCK FRAGMENT



PRE-CAST TEE MANHOLE DETAIL



PRE-CAST CATCH BASIN DETAIL

-MINIMUM 8" TO 15"

CRUSHED STONE

END HEADER OR

APPROVED EQUAL

-ANCHOR PIN

- 3000 P.S.I.

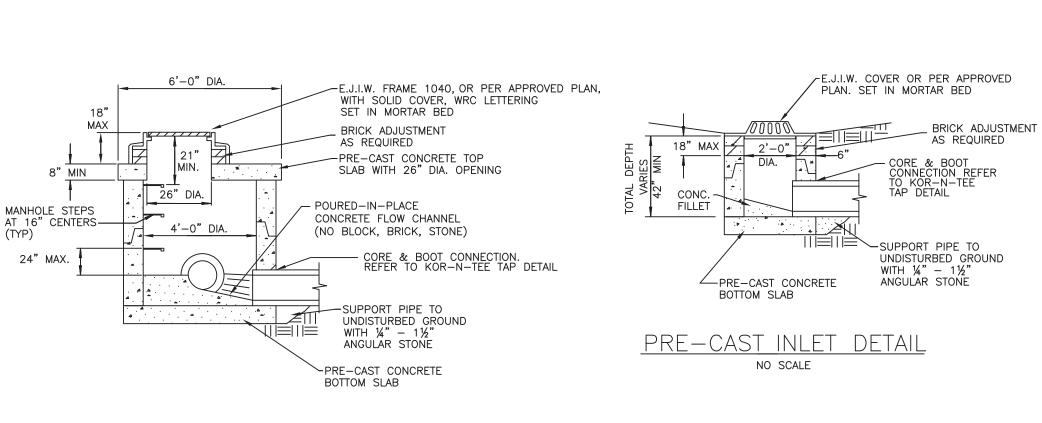
CONCRETE

RIP-RAP ROCK FRAGMENT

TOE IN FABRIC

PER MANUFACTURER'S

RECOMMENDATION



PRE-CAST LOW HEAD MANHOLE DETAIL NO SCALE (PRIOR APPROVAL ONLY)

-E.J.I.W. FRAME 1040 OR PER APPROVED PLAN

WITH SOLID COVER, WRC LETTERING

PRE-CAST CONCRETE

-PRE-CAST CONCRETE

4' DIA. RISER SECTIONS

CONCRETE FLOW CHANNEL (NO BLOCK, BRICK, STONE

& BOOT CONNECTION.
TO KOR-N-TEE TAP DETAIL

SUPPORT PIPE TO UNDISTURBED GROUND

WITH  $\frac{1}{4}$ " - 1\(\frac{1}{2}\)' ANGULAR STONE

--PRE-CAST CONCRETE

BOTTOM SLAB

PRE-CAST MANHOLE

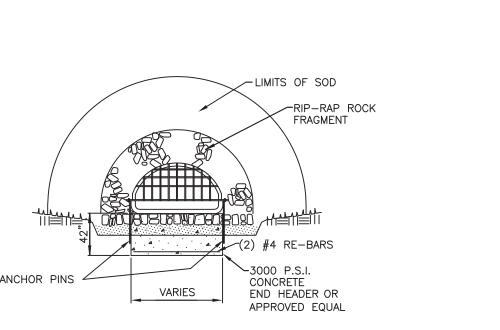
CONE SECTION

AS REQUIRED

AT 16" CENTERS-

SET IN MORTAR BED

- BRICK ADJUSTMENT



END SECTION AND BAR SCREEN DETAIL NO SCALE

PROFILE VIEW

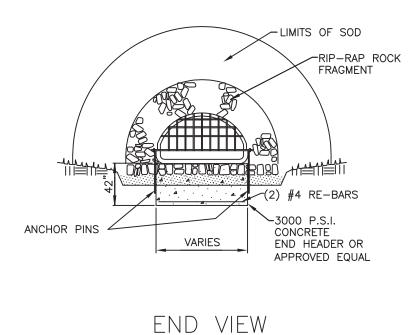
-4' SOD STAKED IN PLACE

(2) #4 RE-BARS-/

BAR SCREEN DETAILS PER MOOT ROAD

& BRIDGE STANDARD PLANS, STEEL GRATES FOR END SECTIONS. BARS ARE TO BE CUT OFF AT EDGE OF END SECTION

RIP-RAP



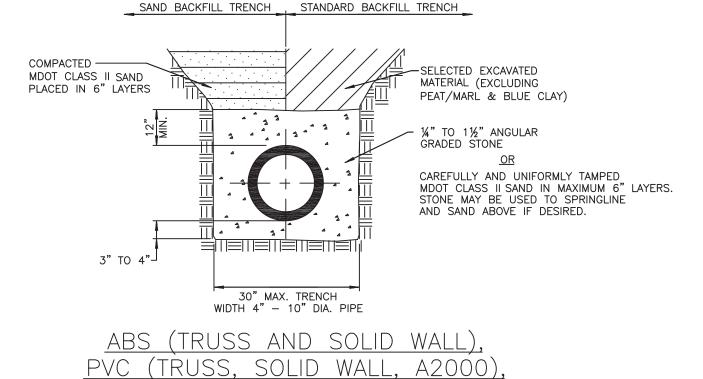
TOE IN FABRIC

PER MANUFACTURER'S

RECOMMENDATION —

GEOTEXTILE FABRIC -

PIPE BEDDING-

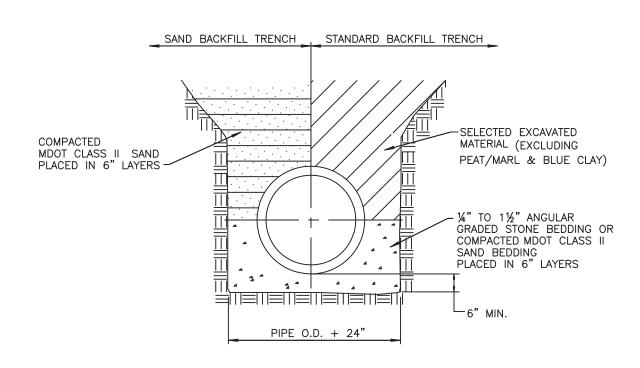


ADS N-12 WT PIPE BEDDING DETAIL

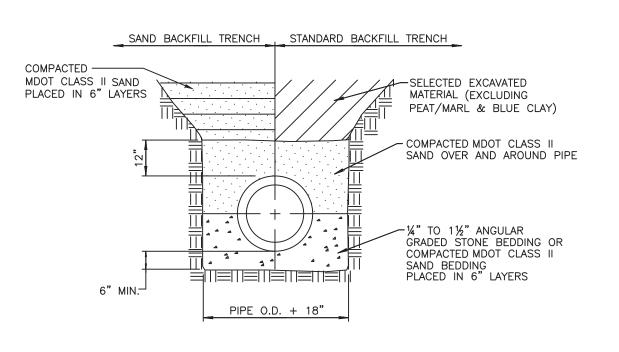
NO SCALE

STAKED IN PLACE SOD

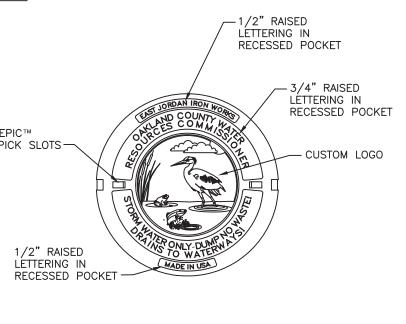
<u>PLAN VIEW</u>

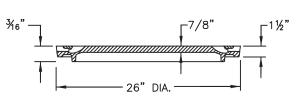


CLASS "B" BEDDING TRENCH DETAIL FOR 27" DIAMETER AND LARGER CONCRETE PIPE NO SCALE



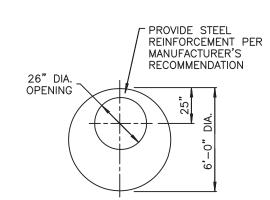
CLASS "B" BEDDING TRENCH DETAIL FOR 24" DIAMETER AND SMALLER CONCRETE PIPE NO SCALE





EAST JORDAN IRON WORKS OR APPROVED EQUAL HEAVY DUTY MATERIAL ASTM A48 CL.35B CATALOG NO. 1040A PATTERN NO. 1040A, PRODUCT NO. 104718 OAKCOSTD. 2" HIGH RAISED LETTERS, 1" WIDE RAISED LETTERS ALL IN RECESSED POCKET.

LETTERED MANHOLE COVER FOR WRC NO SCALE



PRECAST CONCRETE TOP SLAB DETAIL

# GENERAL NOTES

-E.J.I.W. FRAME 1040 OR PER APPROVED PLAN

- ½"CEMENT PLASTER ON OUTSIDE OF STRUCTURE

SUPPORT PIPE TO UNDISTURBED GROUND

ANGULAR STONE

- PRE-CAST CONCRETE

BOTTOM SLAB

BLOCK MANHOLE (PRIOR APPROVAL ONLY)

POURED-IN-PLACE(NO BLOCK, BRICK, STONE)
CONCRETE FLOW CHANNEL

USE 12" MANHOLE BLOCK

FOR DEPTHS GREATER THAN

WITH SOLID COVER, WRC LETTERING SET IN MORTAR BED

- BRICK ADJUSTMENT

- 8" MANHOLE BLOCK

AS REQUIRED

26" DIA.

MANHOLE STEPS

STANDARD MANHOLE DETAILS

NO SCALE

AT 16" CENTERS-

- 1. Type and class of pipe shall be as specified on plans.
- 2. Class "B" bedding shall be used throughout, unless otherwise specified on the plan.
- 3. All end sections 18" and larger shall be provided with a bar screen unless otherwise approved.
- 4. Standard rip—rap shall be 8"—15" fragmented rock, heavy
- rip—rap shall be 16"—24" fragmented rock. (No Broken Concrete)
- 5. MANHOLE REQUIREMENTS:
- All new catch basins, inlets, and manholes are to be manufactured to ASTM C-478 specifications.
- All new catch basins, inlets, and manholes shall have WRC approved flexible, watertight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Pre cast manhole cone sections shall be WRC approved modified eccentric cone type.
- Taps through manhole joints or cone sections are prohibited unless otherwise approved.
- Manhole steps to be plastic coated steel meeting the requirements in ASTM D 2146, Type II, Grade 49108, MA. Industries P.S.I. Polypropylene, (or approved equal). Steps to be installed during manhole manufacture. Place at 16" centers 45° from centerline of sewer.
- Cone section with modified groove tongue joints and with stud inserts cast in place. Top to have flush surface.
- ASTM C-478 riser section with modified groove tongue joints.
- Res-seal, link-seal, press wedge II, or kor-n-seal boot (with stainless
- steel korband) flexible rubber manhole joints. (or approved equal). - The inside joints of manholes, catch basins, and pipe sizes over 42"
- and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- 6. CONCRETE PIPE REQUIREMENTS:
- Concrete pipe to be per ASTM C76 standards
- It will be required to TV all pipe 30 days after installation — The contractor shall provide reinforced concrete pipe as
- specified on the plans. - All reinforced concrete pipe shall have modified grooved tongue joints
- with o-ring type rubber gasket, per A.S.T.M. specifications C443.
- The inside joints of manholes, catch basins, and pipe sizes over 42" and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- 7. SUMP PUMP LEAD REQUIREMENTS:
- All sump pump leads connected to a County Drain pipe shall be
- pre-manufactured. - Sump pump leads connected to a manhole shall be cored and
- booted. Refer to Kor-N-Tee Tap Detail. - Sump pump mains and leads shall be
- ABS (truss and solid wall), PVC (truss, solid wall , A2000), ADS N-12 WT with premium joints.
- and their location staked, witnessed and recorded.
- All sump pump leads to be taken to the property line, easement line or as indicated on the plan.
- Sump pump mains must have a cleanout with a minimum inside diameter of 24" and be constructed at changes of alignment,

- Ends of all 4" sump pump leads shall be temporarily capped

- ends of sump pump mains or as indicated on the plan. 8. RESTORATION REQUIREMENTS:
  - All disturbed area within the County Drain right—of—way shall
  - be restored as follows:
- Under roads, sidewalks, driveways and parking areas, backfill material shall be placed loosely into trenches in six (6) inch layers with each layer compacted to not less than 95% of maximum dry density as determined by the ASTM D 1557 Compaction Standard (modified proctor compaction test). All other areas shall have each layer compacted to not less than
- 90% of maximum dry density. - Finish subgrade
- Place 3" thickness clean topsoil acceptable to the engineer to attain finished grade. Topsoil must not be contaminated and may not be a mixture of natural underlying soils, subbase materials, or other materials It must consist of natural loam, sandy loam, silty loam or clay loam humus—bearing soil adapted to the sustenance of plant life. Topsoil must be neither excessively acidic nor excessively alkaline. It must be
- of mineral origin, exclusive of any peat or muck. - Apply seed and fertilizer as follows:\*

Location		Fertilizer <u>Requirement</u>
Slopes and Ditch, Banks, Etc.	M.D.O.T. "Roadside Mix" Turf Seed Mixture TGM (10% Kentucky Blue, 20% Perennial Rye, 30% Hard Fescue, 40% Creeping Red Fescue) applied at 220 lb/acre	M.D.O.T. Seeding and Sodding Fertilizers, Class A

Other Areas M.D.O.T. "Roadside Mix" M.D.O.T. Turf Seed Mixture THM Seeding and (30% Kentucky Blue, 20% Sodding

Perennial Rye, 50% Creeping Fertilizers, Red Fescue) applied at Class A 220 lb/acre \* Sod is required in maintained lawn areas. Refer to WRC

- apply straw or marsh hay mulch in an air-dry condition to all seeded areas over the surface to a uniform thickness at 2 tons/acre. - mulch shall be anchored in place with biodegradable netting, not larger than  $1\frac{1}{2}$ " by 2" nor smaller than  $\frac{1}{2}$ " by  $\frac{1}{2}$ ".

General Specifications for additional requirements and information.

- The contractor shall be responsible to insure the growth of all seeded areas, and shall re-seed as necessary to accomplish this.
- 9. The Storm Drain Notes and Details Sheet shall be a supplement to WRC Standards and Specifications, which are available on the WRC website (www.oakgov.com/water).

# **STORM DRAIN NOTES**

**DETAILS** 

ORIG. DATE: 05/05/97 ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907

DRAWN BY:

**DESIGNED BY:** SHEET NO.: Jim Nash 1 of 1

### Charter Township of Orion



Planning & Zoning Department 2525 Joslyn Rd., Lake Orion MI 48360 P: (248) 391-0304 ext. 5000; Fax (248) 391-1454

TO: The Charter Township of Orion Planning Commission

FROM: Tammy Girling, Planning & Zoning Director

DATE: October 14, 2021

RE: PC-2021-67, J.S. Brown Rd., LLC, Site Plan Modification

As requested, I am providing suggested motions for the abovementioned project. Please feel free to modify the language. The verbiage below could substantially change based upon the Planning Commissions' findings of facts for the project. Any additional findings of facts should be added to the motion below.

### Multi-tenant /10 acre Requirement Waiver (Ord. No. 78, Section 34.01,C)

**Motion 1:** I move that the Planning Commission **grants/does not grant** a waiver from the requirement that the ancillary use of a Mattress Retail be developed in conjunction with a larger-scale planned development project having multiple tenants with a total land area of at least 10 acres for the following reasons:

a. The project **does/does not** promote the economic development goals of the Township.

### Modification of the Brown Road Standards (Ord 78, Article 34, section 34.04)

**Motion 2:** I move that the Planning Commission waives/modifies the following standards of Section 34.03 for PC-2021-67, J.S. Brown Rd. LLC, based on the economic impact, quality of architectural design, and overall compatibility with the District: (motion maker to insert findings of facts for each that are granted)

- a. Side yard setback
- b. Parking setback waiver if parcel is to be split and applies to Tommy's also
- c. Front yard parking waiver
- d. Greenbelt Width
- e. Berm/Knee wall waiver

### Site Plan (Ord. No. 78, Section 30.01)

**Motion 3:** I move that the Planning Commission grants site plan **approval** for PC-2021-67, J.S. Brown Rd., LLC site plan, located at 851 & 861 Brown Rd. (parcels 09-33-351-020, 09-33-351-021) for plans date stamped received September 27, 2021. This **approval** is based on the following conditions:

a. (Motion maker to list any unresolved issues).

Or

I move that the Planning Commission **denies** site plan approval for PC-2021-67, J.S. Brown Rd., LLC site plan, located at 851 & 861 Brown Rd. (parcels 09-33-351-020 & 09-33-351-021) for plans date stamped received September 27, 2021. This **denial** is based on the following reasons (insert findings of facts).

Or

I move that the Planning Commission **postpones** site plan approval for PC-2021-67, J.S. Brown Rd., LLC site plan, located at 851 & 861 Brown Rd. (parcels 09-33-351-020 & 09-33-351-021) for plans date stamped received September 27, 2021 for the following reasons (motion maker to indicate outstanding items to be addressed from the Planner's and Engineer's review letter(s)).

giffels# webster

October 12, 2021

**Orion Township Planning Commission** 2525 Joslyn Road Lake Orion, MI, 48360

# Site Plan Review no. 2 Mattress Firm

Case Number: PC-2021-67

Plan Date:

09/27/2021 (SPA Revised)

Address:

851 Brown Road

Zoning:

**Brown Road Innovation Zone** 

Parcel ID:

09-33-351-020 & -021

(BIZ)

Area: 2.02 AC Reviewer:

Matt Wojciechowski

Applicant:

J.S. Brown Rd., LLC

Rod Arroyo

**Dear Planning Commission Members:** 

We have reviewed the above application and site plan, landscape plan, and tree survey and a summary of our findings is below. Items in italics require discussion or specific action by the Planning Commission. Items in **bold** require additional information or plan amendments.



### **SUMMARY OF REVIEW**

Revisions & Additional Information. We find the plan is not in substantial compliance with the Zoning Ordinance and should be revised prior to Planning Commission review. Below is our previous comment with an updated response. The following information should be provided, and the noted revisions should be made to the site plan or landscape plan:

- 1. Revise the Brown Road Line of 60' ROW label to correctly reflect the 60' half ROW
  - This edit was not observed on the site plan submitted. The front setback shall be dimensioned to the centerline of the Brown Road ROW. Also, the landscape plan still shows 40' ROW.
- 2. We recommend that applicant explore land banking excess parking. The site proposes 36 spaces above the required minimum
  - The applicant has removed 19 spaces from the original proposal and is now seeking 37 spaces.

    The number of spaces proposed is closer to the required 22, although it is still excessive.
- 3. The parking area along the western property line does not meet required 20' setback. This setback can be met if the excessive drive isle widths are reduced. Alternatively, a landscape island could be introduced north of the building within the parking lot.
  - The applicant has removed the western row of parking spaces and the lot now meets the required 20' setback
- 4. The internal sidewalk network needs to connect to the pathway along Brown Road
  - This has been added to the plan
- 5. Address the 60% window/awning/arcade standard on south elevations that face Brown Road, as it does not appear to be met
  - The awing on the front now spans 32' of the 53' south façade; this standard is now met
- 6. The front yard Landscape greenbelt does not meet minimum 20' width. This can be accommodated if the front yard parking is removed
  - Waiver requested in order to accommodate front yard parking
- 7. Note location of berm (within the front yard greenbelt) intended to screen front yard parking area. Alternatively, a low wall may be used or the parking can be removed from the front yard and no berm or wall would be required.
  - The applicant stated that the landscaping was constructed "per the previously approved plan"; however, the approved plans for Tommy's car wash showed a berm along the frontage of the site. The PC may wish to discuss how the applicant intends to meet the intent of this standard. See page 10 for details
  - This standard is not met PC may waive and accept the existing hedgerow as an alternative as part of BIZ overlay
- 8. Provide details of light fixture "EX G" as shown on photometric plan (page 1 of 2)
  - This has been provided
- 9. Provide a note to the site plan indicating compliance with underground utility requirement
  - The applicant stated this was added to one of the sheets; defer to Engineering
- 10. Add details of the enclosed trash area, including the height and materials, to site plan
  - This was provided on sheet C.102 and is compliant
- 11. Drive isle widths within that parking area are excessive, we recommend they are reduced to 22', which is the standard. Excess aisle width could increase vehicular speeds and reduce pedestrian safety

• The drive aisles widths were reduced slightly; however, the aisles are still between 6' and 11' wider than required (28'-33'). The parking area (and building) could be shifted 4' east to alleviate the excessive drive aisles as well as the deficient building setback (see comment no. 19 under PC waivers listed below)

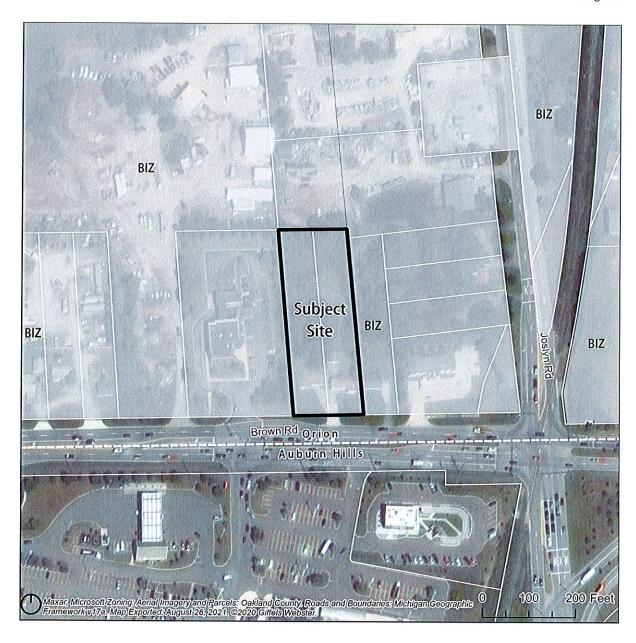
- 12. If necessary, increase turning radii at end islands and turns to address fire truck circulation.
  - The fire department should review the revised layout to confirm compliance
- 13. Wheel stops are required for all parking spaces
  - This has been added to the site plan
- 14. Light poles details (height) shall be added to site plan
  - Height pole measurements are now shown as 19 feet.
- 15. Clear vision triangle should be added to landscape plan to demonstrate compliance.
  - · This has been added
- 16. Dimensions and areas of all parking lot landscape islands shall be added to landscape plan
  - The landscape plan was updated to include these measurements. See table on page 9 for comments
- 17. Provide the required information for proposed replacement of landmark trees.
  - This was not provided (Landscape plan indicates 15 trees removed with replacement). Planning Commission should determine if additional information is required.

### **Planning Commission Waivers**

- 18. APPROVED PC waived 10-acre min. & stand-alone requirements for site (03/27/2019)
- 19. Setback waiver requested for deficient building setback along west side setback.
- 20. Setback waiver for deficient parking setback along west property line.
  - This setback is now met
- 21. If this property is to be split into two, additional deficient parking setback waivers will be necessary for both Mattress Firm and Car Wash sites.
- 22. Front yard parking spaces are proposed and require planning commission approval and additional screening. Alternatively, they can be removed as they are not required.
- 23. A berm or knee wall is required to screen front yard parking. Applicant is proposing a hedgerow.
- 24. Landscape islands deficient in size and accept number of parking lot trees based on required not provided parking area.
- 25. This would be a second ancillary use permitted prior to a primary use.

### **Project Summary**

1. The applicant is seeking site plan approval to construct a 4,309 sq.-ft. retail structure on the property located on the north side of Brown Road, west of Joslyn Road, within the Brown Road Innovation Zoning (BIZ) district. The project entails developing the western parcel; the parcel to the east was recently approved and developed with a car wash facility. The projects share an access drive and internal circulation drive, which is currently constructed as shown on the proposed site plan.



### **Zoning Ordinance Compliance Tables**

- 2. **BIZ District Waivers**. The Planning Commission is permitted to waive or modify the standards of Section 34.03 (required conditions) based upon the economic impact, quality of architectural design, and overall compatibility with the District.
- 3. **BIZ District Standards**. Retail uses consisting of less than 55,000 square feet are considered Type C ancillary uses in the BIZ district. The table below indicates compliance or required waivers with respect to the applicable standards for this site and proposed use within the BIZ district.

	Brown	Road Innovation Zon	e (Article XXXIV	) 35	
34.0	1 – Uses Permitted		Proposed	Comment	
В.	Ancillary/Stand-alone uses with larger-scale projects developments of over te	involving planned	4,309 sqft.	PC waived 10-acre min. & stand-alone requirements for site	
С	Ancillary commercial only permitted after primary permitted		standalone Type C ancillary retail	(03/27/2019) This would be a second ancillary use permitted prior to a primary use	
	Development Agreement			Required	
34.0	3 – Required Conditions / F				
		xed-Use Regulations – Grou	<del> </del>	Т	
	Min. Lot Area	40,000 sf	88,000 sqft.	Compliant	
	Min. Lot Width	100′	225′	Compliant	
В.	Min. Front Yard	40′	~71′	Change ROW label to reflect 60' half ROW	
	Min. Side Yard	20′	16′	20% setback Waiver requested	
	Min. Rear Yard	30'	~243′	Compliant	
	Height Limit.				
c.	The Brown Road Innovation Zone does not contain a height limit. However, all applications for development shall be reviewed by the PC for height compatibility with adjoining residential areas.		One Story 20′ – 5″	Compliant	
	Parking.				
	1. One (1) parking space per two hundred (200) square feet of gross floor area for general retail uses  Mattress Firm requires 22 spaces (4,309/200 = 21.5)		37 proposed	Excessive parking still proposed. Consider landbanking extra.	
	3. Parking area and driveway setback require 20' when adjacent comm./ind. zone		27′	Compliant	
E.	6. The required setback for parking may be reduced in width or waived by the PC subject to landscaping or screening requirements		-	If this property is to be split into two, additional deficient parking setback waivers will be necessary for both Mattress Firm and Car Wash sites	
	Design Standards (See ZO				
	1. Design shall be consiste		PC Discretion		
	<ol><li>Mix of uses allowed as least formula</li><li>buffered and sited</li></ol>	ong as appropriated	Located adjacent to car wash	PC Discretion	
F.	3. Access management		Shared Access	Complaint	
	4. The Planning Commission front yard, subject to traff convenience, landscape by factors	15.00	Five (5) unscreened spaces within front yard	Waiver requested	

Date: October 12, 2021

Project: Mattress King – Site Plan Review no. 2

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	5. Pedestrian Pathways and Sidewalks	Provided around buildings	Internal site connection to path provided
	6. General Site Design/Architectural Guidelines. It is the intent of the District to provide an environment of high quality and complementary building architecture and site design.	See site plan	PC Discretion
	7. Brown Road Design/Architectural Guidelines		
	a. Architectural interest shall be provided through the use of repetitious patterns of color, texture and material modules, at least one of which shall repeat horizontally. Each module should repeat at intervals of no more than 50 feet. Plain 8" x 16" concrete masonry units shall be avoided. Clay brick, stone and/or textured, split face or patterned masonry units shall be used.	Aluminum panels, brick masonry, metal panels & break metal / coping	Appears compliant subject to PC accepting decorative metal panels
	b. Varying roof lines, projections/recesses etc. are encouraged. Windows, awnings, and arcades must total at least 60% of a façade length abutting a public street.	~60% south façade is window/awning	Compliant
	c. Standardized pre-engineered metal sided industrial buildings shall be prohibited unless approved by the Planning Commission.	Decorative metal panels	This does not apply to decorative metal panels that are proposed.
	d. Primary building entrances should be clearly defined and recessed or framed by a sheltering element such as an awning, arcade or portico in order to provide shelter from the summer sun and winter weather.	Awning at entrance	Compliant
	e. Greenbelts for Use Group C shall be 20' in width.	< 20' greenbelt	Deficient (See landscaping review)
	Lighting Regulations		
	1. Lighting plan required in compliance with 27.11	_	Compliant
	Fully shielded and directed downward to prevent off-site glare	-	Compliant
	3. Illumination (max): 1.0 fc along property line	0.1	Compliant
Н.	4. Greenbelt ornamental lighting adj. to Brown Road compatible with DTE North Yorkshire poles and fixtures spaced 125' apart on the north side of the safety path facing road	Existing Light Poles north of pathway (EX G)	Applicant shall provide details of EX G (acorn) as shown on photometric plan (page 1 of 2)
	5. Lighting fixtures within the interior portion of the BIZ district and not within the greenbelt of Brown, Joslyn or Jordan Roads shall be bronze color, shoebox style LED on a square pole. (added 07.17.17)	Dark Bronze	Compliant

	Knee Wall		
1.	A 30" high knee wall shall be installed located within	None	Waiver requested.
	the greenbelt, parallel to the R.O.W. and adjacent to the entry planting.	None	Hedgerow provided.
	Utilities		
к.	All utilities servicing the buildings or structures shall be buried underground	To be verified	Applicant shall identify note on plan indicating compliance
I. A th the the the the the the the the the	Covered Trash Area		
L.	1. Covered trash receptacles shall be surrounded on three (3) sides by masonry brick-type walls one (1) foot higher than the receptacle shall be provided in the rear yard of the building or principal use structure  2. The fourth side of the trash enclosure shall be equipped with an opaque lockable gate that is the same height as the brick-type wall.	Proposed dumpster enclosure shown in rear yard; materials to match building	The split face CMU enclosure will match the building and is compliant
	Loading and Unloading		
м.	<ol> <li>Loading and unloading areas shall be located in the rear or side yard of a non-residential district</li> <li>Loading and unloading areas shall not be located where they will interfere with parking or obstruct</li> </ol>	50' x 12' Space located in Rear yard adjacent to	Complaint
	ingress and egress	building	
	General Provisions 27.04 apply  Performance Bond		
N.	PC Shall require per 30.09	-	Applicant to provide as required by Twp.
	Safety path		
P.	Safety path per 27.06 required	Existing path	See General Provisions Table
	Tree Preservation		
Q.	Require per 27.12		See General Provisions Table

4. **General Provisions**. The standards in the table below are a summary of the applicable Zoning Ordinance standards in Article XXVI; please refer to the individual sections referenced herein for the full Zoning Ordinance text

	General Provisions (Article XXVII)				
27.04	Parking and Loading	Proposed	Comment		
	A. Off Street Parking				
2.	a. Minimum setback of 20' shall be maintained for parking areas	5′	Waiver Requested		
	h. Parking for physically handicapped (3 required)	3	Compliant		
3.	a. Dimensions of off-street parking facilities	31' & 27' wide drive isles	Isle widths are excessive increases impervious surfaces and could present traffic safety concerns. We recommend they are reduced to the 22' min.		
	d. Parking lot lighting cannot exceed 3.0 fc at lot line	0.1	Compliant		
	f. Wheel stops required for all space	Yes	Compliant		
27.11 Lighting Regulations					
	1. Free standing pole lighting				
E.	d. Maximum pole height of 20'	Not provided	Applicant shall identify on plan		

### Landscape Plan

We have completed a review of the landscape plan and have identified the following on sheet C.101:

	Landscaping (Multiple Articles)				
34.0	3. Re	quired Conditions	Proposed	Comment	
	1. L	andscaping adjacent to roads			
т.	a. Where a use type C abuts a public road, a twenty (20) foot greenbelt shall be provided with one (1) shade tree per 30 lineal feet, and one (1) shrub per ten (10) lineal feet (Figure 34.6). A 24"-30" berm or 30" high knee wall shall be required to screen parking areas fronting on public roadways. The berm or knee wall shall be required to block headlight glare and screen parking lot areas.		7 trees proposed within greenbelt per previous site plan approval (car wash); No screenwall is proposed for front yard parking	PC Waivers: (1) Greenbelt does not meet 20' minimum width; (2) Applicant has requested waiver from screenwall/berm requirement (hedgerow provided)	
	c.	Landscaping of street trees and ornamental trees shall be comprised of the varieties or other species in Table 34-4 as approved by the Township.	None	Street trees approved and installed with adjacent development (berm not installed)	
		Entryway landscaping	Installed per the 2019 site plan approval of the car wash	Any dead landscaping shall be replaced to comply with previous site plan approval	

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	2. Screening Between uses		
	c. For screening between any other uses (C), a twenty (20) foot buffer shall be provided with one (1) shade tree per thirty (30) lineal feet, and a combination of shrubs at one (1) shrub per ten (10) lineal feet, wall, fence, or berm at a height of six (6) feet as approved by the Planning Commission (Figure 34.9).	13 Shawnee Brave Bald Cypress trees (ornamental) are provided within the west greenbelt	Greenbelt is deficient in width (-15'); parking lot isles can be reduced (from 35' to 22') to meet this standard
27.0	5 Landscape, Fences and Walls		
	3. Landscape Design Standards	Γ	
	<ul> <li>i. All portions of the landscaped area shall be planted with grass, ground cover, shrubbery, or other suitable plant material</li> <li>ii. A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each three thousand (3,000) square feet, or portion thereof, of landscaped open-space area.</li> </ul>	Four new canopy trees provided in rear open space area	Landscape area (sf) not provided – applicant shall provide
	iv. Irrigation system required	Landscape plan note no. 19 states underground irrigation provided	
	4. Parking lot landscaping adjacent to Roads	_	
	20' wide greenbelt required between ROW and parking are		Greenbelt does not appear to meet 20' width
Α.	<ul><li>a. One tree per 30' frontage required</li><li>(200' frontage = 7 trees required)</li></ul>	7 trees	Compliant
ζ.	b. Hedge, wall, decorative metal fence, or berm, or other landscape elements with a vertical rise of at least thirty (30) inches shall be developed within said separation zone and shall have the effect of reducing the visual effect of parked cars	30" HT berm	Waiver requested
	f. Clear vision triangle to remain unobstructed	-	Provided
	6. Interior Parking Lot Landscaping	·	
	a. 20 sf landscaping per space 37 spaces x 20 = 740 sf required	1,684	Compliant
	b. One tree required per 200 sf landscaping 1,517/200 = 8	5 within islands*	Deficient three parking lot trees based on island sf provided
	c. Landscape islands min. 200 sf and no less than 10' in any dimension	Not provided	*167 sqft. island does not meet area and width requirement
	The four compliant landscaped islands exceed the minimum requirements for the 37-space parking lot; however, the number of trees provided (5) is not consistent with the square footage provided. The Planning Commission may wish to accept this, as the number of trees provided meets the requirement based on the minimum required landscaped island square footage (740/200 = 4 trees required)		

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27.1	27.12 Tree and Woodlands Protection					
	2. Replacement Trees Required					
н.	d. One (1) landmark tree shall be replaced at a rate of one (1) inch of replacement tree for each d.b.h. inch of landmark tree removed.	15 landmark trees removed; 15 replacements proposed	The applicant has stated no landmark trees are being removed; however, the landscape plan indicates 15			

Staff will be available to discuss this review at the next Planning Commission meeting

Respectfully,

Giffels Webster

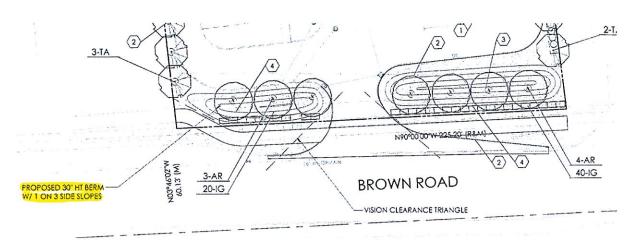
Rodney L. Arroyo, AICP

Partner

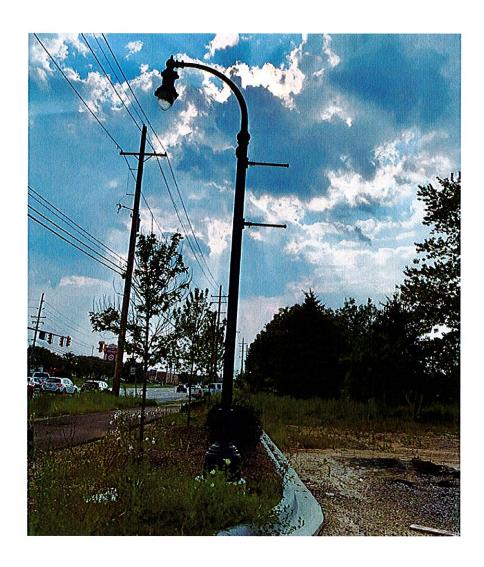
Approved plans (02/27/2019) showing berm

Matt Wojciechowski Associate Planner

Mat Vijin



**Site Condition October 2021** 





RECEIVED

OCT 1 2 2021

Orion Township Planning & Zoning

October 12, 2021

Scott Reynolds, Planning Commission Chairperson CHARTER TOWNSHIP OF ORION 2525 Joslyn Road Lake Orion, MI 48360

RE: Mattress Firm, PC-2021-67

Site Plan Review #2

Received: September 27, 2021, by Orion Township

Dear Mr. Reynolds:

We have completed our review of Mattress Firm plan set. The plans were prepared by Krieger Klatt Architects and were reviewed with respect to the Township's Zoning Ordinance, No. 78, Stormwater Management and Soil Erosion & Sedimentation Control Ordinance, No. 139, and the Township's Engineering Standards.

### **EXISTING SITE CONDITIONS:**

The site is located on the north side of Brown Rd. west of Joslyn Rd. within the southwest quadrant Section 33 of the Charter Township of Orion. The site is zoned Brown Road Innovation Zone (BIZ) and bound by parcels to the north, east, and west zoned Brown Road Innovation Zone (BIZ) and to the south of the property is the border between Orion Township and the City of Auburn Hills.

The existing site currently shares a parcel with the recent Tommy's Car Wash development. The site is located on the west side of the car wash and has been cleared as part of the Tommy's development. Overall, the combined site is 2.02 acres. The applicant is proposing to split the parcel with the Mattress Firm site resulting in 0.946 acres. The applicant is proposing a 4,309 sqft building as well as associated parking facilities and landscaping to complete the development.

The required reciprocal access easement has been shown on the plans since the main entrance and drive will be used by both Tommy's Car Wash and the Mattress Firm store. A shared use agreement for the storm network and drainage system will be required at engineering.

The Topographic Survey has been updated to show the existing completed work at Tommy's Car Wash. The survey needs to include the signature and seal of the professional surveyor. In addition, a second benchmark is typically required for engineering plans. The hydrant used for Benchmark #1 appears to be in a work area that may cause the hydrant to be adjusted during construction. An additional benchmark should be provided for this site to ensure that there is always an elevation reference for grading and inspection purposes.

### WATER MAIN AND SANITARY SEWER:

There is existing 16-inch water main along Brown Rd. and 8-inch main was extended north along the east side of the proposed development as part of the Tommy's Car Wash development. The 8-inch water main was shown in the plans along with the 12-foot water main easement that extends into the site. The 12-foot water main easement

Mattress Firm, PC-2021-67 Site Plan Review #2 October 12, 2021 Page 2 of 3



does not appear to be centered over the water main near the southern border of the site. The proposed easement will need to be revised as part of the Tommy's Car Wash close out prior to recording. It is our understanding the building will not be suppressed. As such an FDC and fire suppression line were not included in the plans. We defer further comment on suppression to the Fire Marshal.

There is existing 10-inch sanitary sewer located along Brown Rd. that is north of the right-of-way and within a 20-foot sanitary sewer easement. The applicant appears to be proposing to connect to an existing sanitary sewer stub that extends northward into the property from the 20-foot sanitary sewer easement. The sanitary service extends to the north face of the building and includes 4 cleanouts along the lead. At engineering, a 4-foot diameter Monitoring Manhole will be required upstream of the connection point to the public main per OCWRC requirements.

### STORMWATER MANAGEMENT:

The existing collection system includes a series of catch basins, storm sewer, underground detention system and pump station located just north of the proposed Mattress Firm. The system outlets to Brown Rd. The existing storm sewer network and underground storage were included on the Utility and Geometry Plan. A note has been added to the site saying that the site runoff has been accounted for in the underground detention pond per N&F approved plans. The applicant should provide preliminary runoff coefficient calculations to show the final conditions are less than or meet the initial design assumptions.

### **PAVING/GRADING:**

Limited proposed grades were provided on the revised grading plan. The grading plan shows the limits of disturbance matching the existing grades at the perimeter. The site grading should be able to meet the Township Engineering Standards and appears acceptable. More detailed grading information shall be provided at engineering. Pavement slopes are to remain between 1% and 6% for drive areas, and between 1% and 4% for parking areas. Pavement sections were included for the internal site sidewalk, the public pathway, the asphalt pavement on site, and the concrete pavement for the dumpster pad. The sidewalk section is comprised of 4 inches of concrete atop 4 inches of aggregate. The public pathway pavement section is comprised of 3 inches of HMA atop 4 inches of aggregate. The standard asphalt pavement section is 4 inches of HMA atop an 8-inch aggregate base. The standard concrete pavement section is made up of 8 inches of concrete atop 6 inches of aggregate. The pavement sections provided appear to meet Township requirements and are acceptable.

### **TRAFFIC & CIRCULATION:**

Existing site access is provided via a single drive entrance onto Brown Road which allows access to Tommy's Car Wash as well as the proposed site. Proposed drive aisles appear to provide a minimum width of 22 feet which is acceptable. The drive aisle at the north does not appear to facilitate movement of the Orion Township Fire Truck and will need to be revised.

### LANDSCAPING:

Landscape trees appear to be proposed around the perimeter of the site and in landscape islands. The tree location appears to be generally acceptable in reference to the location of the site utilities.

### **NATURAL FEATURES:**

The site has already been cleared and mass graded. No wetlands or woodlands exist currently on the site.

### **CONCLUSION:**

In our opinion, the site plan as submitted is in substantial compliance as noted below with the Township's ordinances and engineering standards. We ask that any approval include the following:

1. Adjust the plan to facilitate the Orion Township Fire Truck through the site.

Mattress Firm, PC-2021-67 Site Plan Review #2 October 12, 2021 Page 3 of 3



- 2. Provide runoff coefficient calculations to indicate the proposed site and as-built adjoining site conditions meet the design assumptions for the storm water detention system.
- The Topographic Survey should include the signature and seal of the professional surveyor.
- The engineering plan, designed in accordance with Zoning Ordinance No. 78, Stormwater Management and Soil Erosion & Sedimentation Control Ordinance No. 139, and the Township's Engineering Standards shall be submitted to the Township for review and approval prior to construction. A detailed cost estimate for the improvements shall be submitted with the plans signed and sealed by the design engineer.

The applicant should note the Township may require performance bonds, fees, and/or escrows for a preconstruction meeting and necessary inspections. Please feel free to contact us with any questions at (248) 751-3100 or mark.landis@ohm-advisors.com.

Sincerely,

cc:

**OHM Advisors** 

Joe Lehman Project Engineer

Project Manager

Chris Barnett, Township Supervisor David Goodloe, Building Official Jeff Stout, Director of Public Services Tammy Girling, Director of Planning and Zoning

Lynn Harrison, Planning and Zoning Coordinator Jeff Williams, Township Fire Marshal Bill Basigkow, Water and Sewer Superintendent

Bill Schmitz, JS Brown Rd, LLC. Jeff Klatt, Krieger Klatt Architects

P:\0101\_0125\SITE\_OrionTwp\2021\01211311 Mattress Firm\Site\2nd Review\2021.10.12\_Mattress Firm\_NISC2.docx

Fire Department

Phone: (248) 391-0304, ext. 2000 Fax: (248) 309-6993

To: Planning Commission/Planning & Zoning Director

From: Jeff Williams, Fire Marshal

www.oriontownship.org

Re: PC-2021-67, J.S Brown Road Site Plan 2nd Submittal

Date: 10/07/2021

The Orion Township Fire Department has completed its review of Application PC-2021-67 for the limited purpose of compliance with Charter Township of Orion Ordinance's, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

Approved

X Approved with Requirements (See below)
Not approved

### Requirements:

- Orion Township truck turning template overlay shall be shown on the revised site plan.

This approval is limited to the application and materials reviewed which at this time do not raise a specific concern with regard to location and/or impact on health and safety. However, the approval is conditioned upon the applicant providing sufficient additional information at time of building permit application that includes data or documents, confirming full compliance with all applicable building codes, fire codes and Township Ordinances.

If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

Jeff Williams, Fire Marshal

Jeffrey Williams

Orion Township Fire Department



## Charter Township of Orion

2525 Joslyn • Lake Orion, Michigan 48360 • (248) 391-0304

To:

Tammy Girling

Planning & Zoning Director

From:

Jeffery T. Stout

Director, Department of Public Services

OCT 7 2021

Date:

Re:

October 7, 2021

PC-2021-67, J.S. Brown Rd Site Plan Second Submittal

Orion Township Planning & Zoning

RECEIVED

Dear Tammy,

The Department of Public Services has reviewed the above-mentioned project and has no further comments at this time.

If you have any questions, please contact me.

Respectfully Submitted,

Jeffery T. Stout Director Department of Public Services



Jim Nash

September 8, 2021

Lynn Harrison, Planning & Zoning Coordinator Charter Township of Orion Planning & Sonning Department 2525 Joslyn Rd Lake Orion, MI 48360 SEP 8 2021
Orion Township
Planning & Zoning

Re:

Mattress Firm - Preliminary Review

OCWRC Submittal No. 0230-2021

Part of the SE 1/4 of Section 33, Orion Township

Dear Ms. Harrison,

This office has received a request for information pertaining to possible public facilities under the jurisdiction of this office for the referenced project. The subject plans were submitted by your office for review.

Our review indicates that the proposed project has no direct involvement with any legally established County Drain, Sanitary Sewer or Water Main under the jurisdiction of this office.

• The construction plans did not propose/indicate any sanitary sewer improvements.

Storm Drainage, Sewage Disposal & Water Main serving this area are under the jurisdiction of the Orion Township and/or Oakland County Health Department. It shall be the responsibility of the local municipality, in their review and approval of the site plan, to ensure compliance with their requirements.

Related earth disruption must conform to applicable requirements of Part 91, Soil Erosion and Sedimentation Control of the Natural Resource and Environmental Protection Act, Act 451 of the Public Acts of 1994. Application must be made to Orion Township for any required soil erosion permit.

Please call me at 248-897-2748 with any questions or concerns.

Sincerely,

Mark W. Davis

Senior Engineering Systems Coordinator

Mark W. Dauf

g .,....

Chris Barnett, Twp. Supervisor – Orion Township Jeff Stout, Twp. DPW Director – Orion Township

Tammy Girling, Twp. Planning & Zoning Director - Orion Township

Mark A. Landis, P.E. - OHM Advisors



c:





### **Charter Township of Orion**

Planning & Zoning Department 2525 Joslyn Rd., Lake Orion MI 48360 P: (248) 391-0304 ext. 5000; Fax (248) 391-1454 Case # \_ PC-2021-67
Meeting Date: \_ 911512021
RECEIVED

# Charter Township of Orion Planning Commission Site Plan Approval Application

AUG 2 4 2021

30.01, A. Intent: The site plan review procedures and standards are intended to provide an opportunity for consultation and ship cooperation between the applicant and the Planning Commission so as to achieve maximum utilization of land with minimum ing adverse effects on adjoining property. Furthermore, it is the intent of these procedures and standards to allow for review of site plans by the Planning Commission, to provide a consistent and uniform method of review, and to ensure full compliance with the standards contained within Zoning Ordinance 78, and other applicable local ordinances and State and Federal laws.

Project	Name: J.S. BROWN RD., LLC			
Name o	of Development if applicable:			
	Name: J.S. BROWN RD., LLC			
cant	Address: 155 ROMEO RD., SUITE 300	City:ROCHESTER	State:_MI	Zip:_48307_
Applicant	Phone: 248-650-9850Cell:	Fax:		
	Email: BILL.SCHMITZ@JSCAPITOL.COM			
		4.0		
(s)	Name: JEFF-SCHMITZ BRUJIS CAN	rifol Mant.		
wner	Address: 155 ROMEO RD.	City:ROCHESTER	State: MI	Zip: <u>48307</u>
*Property Owner(s)	Phone: <u>248-650-9850</u> Cell: <u>248-909-76</u>	97Fax:		
roper	Email: JEFF.SCHMITZ@JSCAPITOL.COM			
*	* If the name on the deed does not match the name of t		cation, documentatio	n showing the
	individual is the same as the company name must be pro	ovided.		
ja c	Name: Krieger Klatt Architects / Jeff Klatt	<del></del>		
epar	Address: East 11 Mile 2120	City:Royal Oak	State: MI	Zip:48237_
Plan Preparer Firm/Person	Phone: 248.414.9270Cell:	Fax:	· · · · · · · · · · · · · · · · · · ·	
<u> </u>	Email:jeff@kriegerklatt.com			
ಕ	Name: BILL SCHMITZ			
Conta	Address: 155 ROMEO RD., SUITE 300	City:ROCHESTER	State: MI	Zip: <u>48307</u>
Project Contact Person	Phone: 248-650-9850 Cell: 248-467-93	83Fax:		
Pro	Email:BILL.SCHMITZ@JSCAPITOL.COM			

Property Description	Sidwell Number(s): 09-33-351-020 Lot #18, 09-33-351-021 Lot #19, 09-33-376-010 Lot #20	
🗟	Location or Address of Property: 851 Brown Road	
Des	Side of Street: Brown Road Nearest Intersection: Brown Road / Joslyn Road	
4		
bel	Acreage: 2.02 Current Use of Property: C	
Pro	Is the complete legal description printed on the site plan? Yes No (if no please attach to the application)	
	Subject Property Zoning: I-1, BIZ Adjacent	t Zoning: N. BIZ S E. BIZ W. BIZ
Project Information	List any known variances needed (subject to change based on Township consultant's review)	
Project Inf	Give a detailed description of the proposed development, including the number and size of the buildings or units being proposed Proposed 4,309 SQFT. building for Mattress Firm to the West of existing Tommy's Car Wash. Proposed site plan	
	includes a new asphalt parking lot and landscape areas	5.
	Pursuant to Zoning Ordinance 78, Section 30.01 C. a copy of this application and two copies of the site plan must be submitted to the each of the following agencies. Please provide the Township with a copy of each transmittal as proof of delivery.	
l ië	AT&T	Consumers Power Company
Agenc	54 Mill St.	530 W. Willow St.
	Pontiac, MI 48342	Lansing, MI 48906
de	DTE Energy Co.	Oakland County Health Department
Submittal to Outside Agencies	ATTENTION: NW Planning & Design	Building 34 East
	1970 Orchard Lake Rd.	1200 N. Telegraph Rd.
=	Sylvan Lake, MI 48320	Pontiac, MI 48341
1 2	Michigan Department of Transportation (if applicable) 800 Vanguard Dr.	Road Commission of Oakland County (if applicable) ssintkowski@rcoc.org
5	Pontiac, MI 48341	(electronic submittal only)
35	Oakland County Water Resources	(ciectionic submitted only)
	To Be Submitted by the Township	
Towns	hip of Orion Zoning Ordinance; No. 78, Section 30.01 and facts are provided. I hereby certify that the information p	re Plan Approval, pursuant to the provisions of the Charter applicable ordinance requirements. In support of this request the provided is accurate and the application that has been provided is
/		1
_	ire of Applicant:	8/17/2071
(must be	original ink signature)	Date: Office I
Print N	ame: JEST SUHMITZ	
corresp	oondence and to represent me at all meetings. I also gran	isted above to act as my agent in submitting applications, nt permission to the Planning Commission members to visit the
proper	ty, without prior notification, as is deemed necessary.	
Signatu be pro	ure of Owner (if the deed of ownership does not show an vided showing the individual signing this application has	individual, ie is a corporation, partnership, etc., documentation must signing rights for the entity):
(must be	original ink signature)	Date: 8/17/202/
Print N	ame: JEST SCHMIIZ	

Version 12/7/20

Page 2 of 3

KRIEGER KLATT

ARCHITECTS

RECEIVED

SEP 27 2021

September 27, 2021

Orion Township Planning Commission 2525 Joslyn Road Lake Orion, MI 48360 Orion Township Planning & Zoning

Re: Site Plan Review #1, Mattress Firm

Thank you for your review of the Mattress Firm project dated 08.23.2021. This letter is to address the following review comments below. Please see the revised plans labeled "that accompany this response letter.

### **Revisions & Additional Information**

1. Revise the Brown Road Line of 60' ROW label to correctly reflect the 60' half ROW.

The Brown Road Line of 60' ROW has been adjusted. Please see the revised plan.

We recommend that applicant explore land banking excess parking. The site proposes 36 spaces above the required minimum.

Revised site plan shows removal of previously proposed (19) spaces to provide more landscape area to the West of proposed parking lot.

3. The parking area along the western property line does not meet required 20' setback. This setback can be met if the excessive drive isle widths are reduced. Alternatively, a landscape island could be introduced north of the building within the parking lot.

Please see revised Site Plan C.100. Parking along the West property meets the 20' setback. Widths of driving aisles have been reduced to.

4. The internal sidewalk network needs to connect to the pathway along Brown Road.

The internal sidewalk network was modified to show a connection to the public walk along Brown Road. Please see the attached plans for the modification.

 Address the 60% window/awning/arcade standard on south elevations that face Brown Road, as it does not appear to be met.

The south elevation was modified to comply with the 60% glazing requirement.

The front yard Landscape greenbelt does not meet minimum 20' width. This can be accommodated if the front yard parking is removed.

We are proposing to maintain the parking area along the south side of the building. The paved area is consistent with the Tommy's carwash layout on the site. We propose to maintain the plantings that have already been installed.

## KRIEGER KLATT ARCHITECTS

Note location of berm (within the front yard greenbelt) intended to screen front yard parking area.

Please note that the front yard has already been landscaped per the previously approved plan. A note has been added to the plan to indicate the existgin landscaped area. In addition, more landscape screening has been provided to reflect the condition in front of Tommy's.

8. Provide details of light fixture "EX G" as shown on photometric plan (page 1 of 2).

Details for this light fixture have been added.

9. Provide a note to the site plan indicating compliance with underground utility requirement.

A note has been added to the site plan indicating compliance with the underground utility requirement. See drawings from Tri-County Engineering.

10. Add details of the enclosed trash area, including the height and materials, to site plan.

Details for the enclosed trash area have been added to the plans.

 Drive aisle widths within that parking area are excessive, we recommend they are reduced to 22', which is the standard. Excess aisle width could increase vehicular speeds and reduce pedestrian safety.

Please see revised site plan C.100. Drive aisle widths have been reduced per comments.

12. If necessary, increase turning radii at end islands and turns to address fire truck circulation.

No adjustments have been made to the turning radii, but we will comply with any engineering or fire department standards. We agree to make any adjustments during the building permit submittal.

13. Wheel stops are required for all parking spaces.

Wheel stops have been added to the plans.

14. Light poles details (height) shall be added to site plan.

Light pole details have been added to the revised plans.

15. Clear vision triangle should be added to landscape plan to demonstrate compliance.

Clear vision triangles have been added to the revised landscape plan to indicate compliance.

16. Dimensions and areas of all parking lot landscape islands shall be added to landscape plan.



All lot landscape islands have been dimensioned on the landscape plans. The area of each island has been identified

17. Provide the required information for proposed replacement of landmark trees.

We are not proposing to remove any landmark trees on the site

#### **Planning Commission Waivers**

- 1. Approved-PC waived 10-acre min. & stand-alone requirements for site (3/27/2019)
- 2. Setback waiver requested for deficient building setback along west side setback.
- 3. If this property is to be split into two, additional deficient parking setback waivers will be necessary for both Mattress Firm and Car Wash sites.
- 4. Front yard parking spaces are proposed and require planning commission approval and additional screening. Alternatively, they can be removed as they are not required.
- 5. This would be a second ancillary use permitted prior to a primary use.

Please note, the following revisions (not staff review comment related) were made to this submittal package:

If you have any further comments, concerns, or questions; please do not hesitate to contact me.

Thank you,

Jeff Klatt, AIA

Krieger Klatt Architects, Inc.

# Mattress Firm

## 851 Brown Rd. Orion Twp., MI 48369

#### Owner

J.S. Capitol Group Jeff Schmitz 155 Romeo Rd. Suite 300 Rochester, MI 48307 P. 248.650.9850

### Architect

Krieger | Klatt Architects Inc. Jeff Klatt 1412 E. 11 Mile Rd. Royal Oak, MI 48067 P.248.414.9270 F.248.414.9275

### Civil Engineer

Tri-County Engineering Consultants Sermed K. Saif, PE, CDT 48701 Hayes Rd. Shelby Township, MI 48315 P. 810.394.7887

### MEP Engineer

Clark Trombley Randers Robin Hyman, PE 504 S. Creyts Rd Suite B Lansing, MI 48917 P. 517.886.0550 F. 517.886.0003

### Sheet Index:

Cover Sheet

Boundary/Topographic/ Tree Survey

C.100 Site Plan

C.101 Landscape Plan

C.102 Site Details

C.103 Site Details A.100 Floor Plan

A.200 Building Elevation

Building Elevation

A.300 Renderings

Paving & Grading Plan

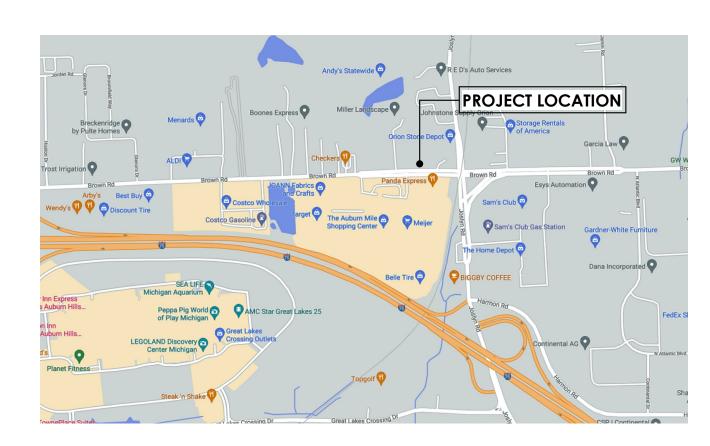
Soil Erosion & Sedimentation Control Plan

2 of 2 Photometric Plan

UT-1 Utility & Geometry Plan 1 of 2 Photometric Plan



View toward Northwest









RECEIVED September 27, 2021 Orion Township Planning & Zoning

## krieger klatt ARCHITECTS

architecture interiors consulting 1412 E. 11 Mile Rd. | Royal Oak, MI 48067 **P:** 248.414.9270 **F:** 248.414.9275 www.kriegerklatt.com

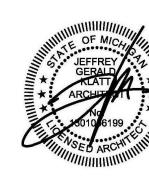
#### Client:

1201 S. Main Street Houston, TX 77025

### Project:

Mattress Firm 851 Brown Rd. Orion Twp, MI 48369

Issued	Description
08.23.2021	Site Plan Approval
09.27.2021	SPA Revisions
Seal:	



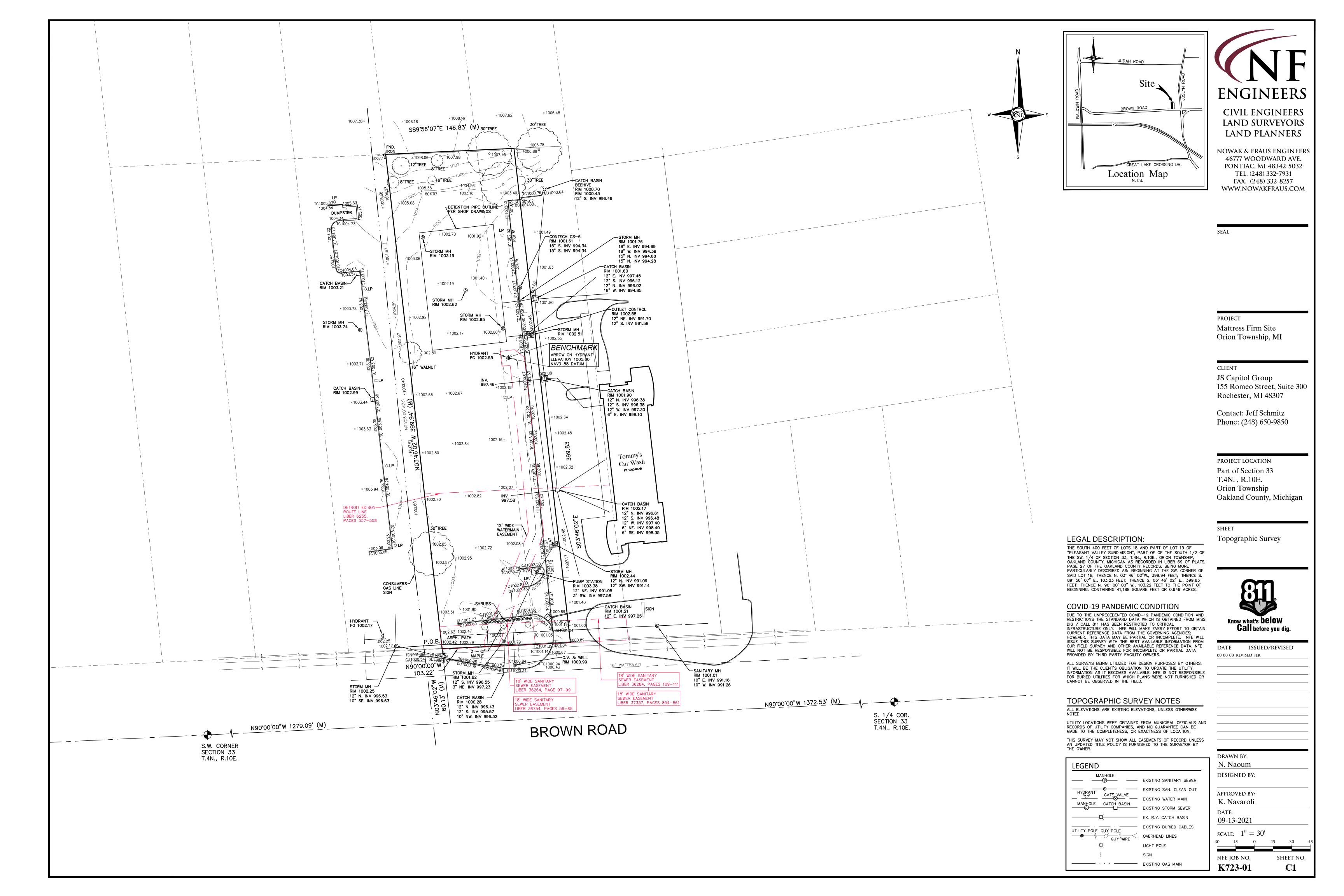
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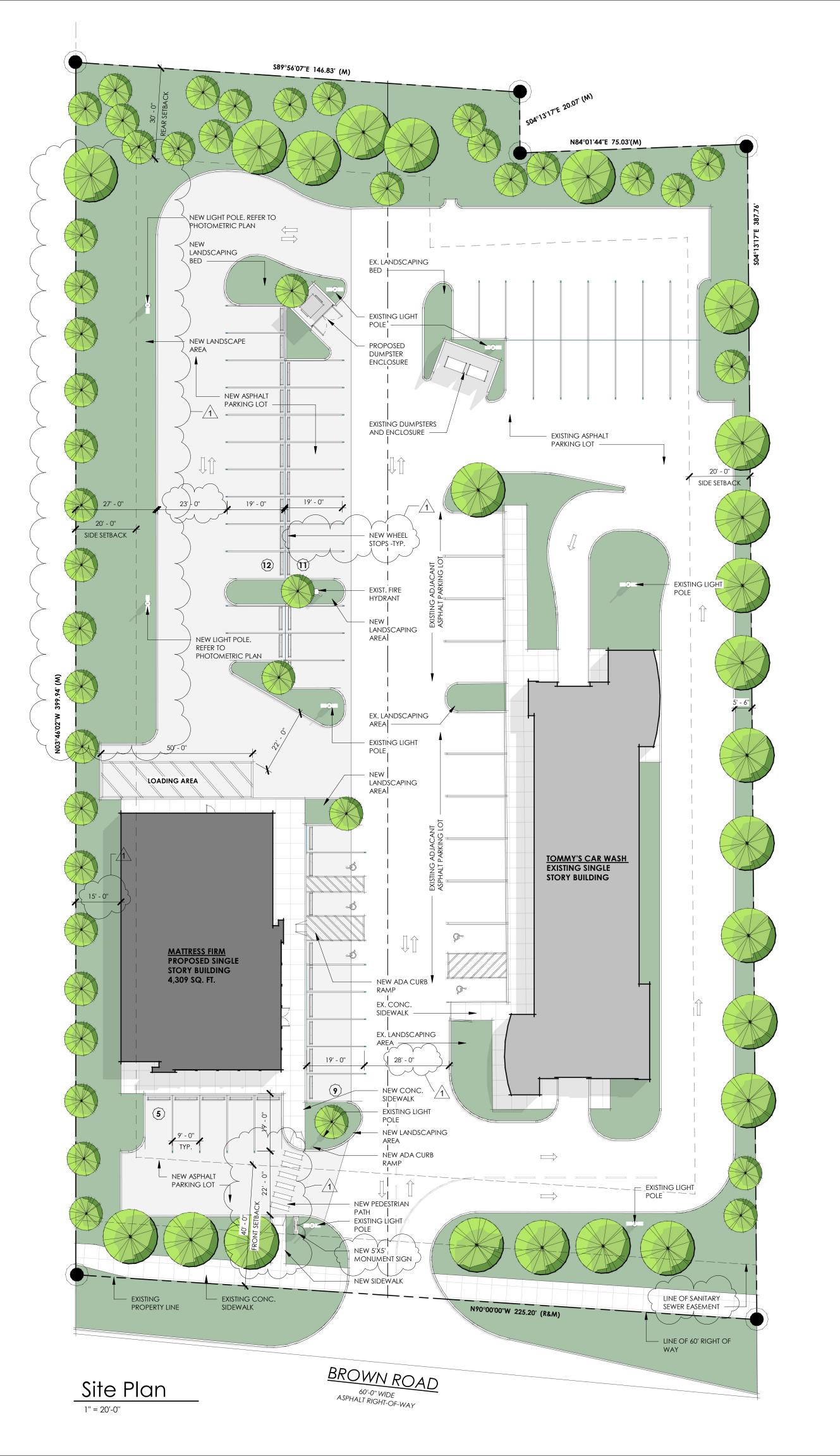
Do not scale drawings. Use calculated dimensions only.

Verify existing conditions in field. North Arrow:

Sheet Title: Cover Sheet

Project Number:





## krieger klatt

architecture interiors consulting 2120 E. 11 Mile Rd. | Royal Oak, MI 48067 P: 248.414.9270 F: 248.414.9275 www.kriegerklatt.com

#### Client:

JS Capitol Group (Jeff Schmitz) 155 Romeo Rd, Suite 300 Rochester, MI 48307

#### Project:

Mattress Firm 851 Brown Rd. Orion Twp, MI 48369

Issued	Description	
08.23.2021	Site Plan Approval	
09.27.2021	SPA Revisions	

Seal:



## Note:

Do not scale drawings. Use calculated dimensions only.

Verify existing conditions in field. North Arrow:



Sheet Title:

Architectural Site Plan

Project Number:

21-064

**Sheet Number:** 

## **Zoning Information (Orion Township)**

Parcel Identification Number: 09-33-351-020, 09-33-351-021 Zoned: Brown Road Innovation Zone, Use Group C Lot Area: 88,000 SQ. FT. Maximum Lot Coverage Allowed: N/A

Lot Coverage (Footprints)

4,300 SQ. FT.

<u>Height</u> Maximum Building Height: N/A - Proposed 22' one-story

#### <u>Setback Information</u>

- 1. Front Yard Required: 40.00'
  - Existing Front Yard Setback to Remain

- Existing West Side Yard to Remain

- 2. East Side Yard Required: 20.00' - Existing Side Yard to Remain
- 3. West Side Yard Required: 20.00'
- 4. Rear Yard Required: 30.00' - Existing Rear Yard to Remain

Parking Information: Mattress Firm

### Required Spaces

(1) Space per 200 SQ. FT. of floor area 4,000 SQ. FT./200 SQ. FT. = **20 Parking Spaces Required** 

#### Provided Spaces

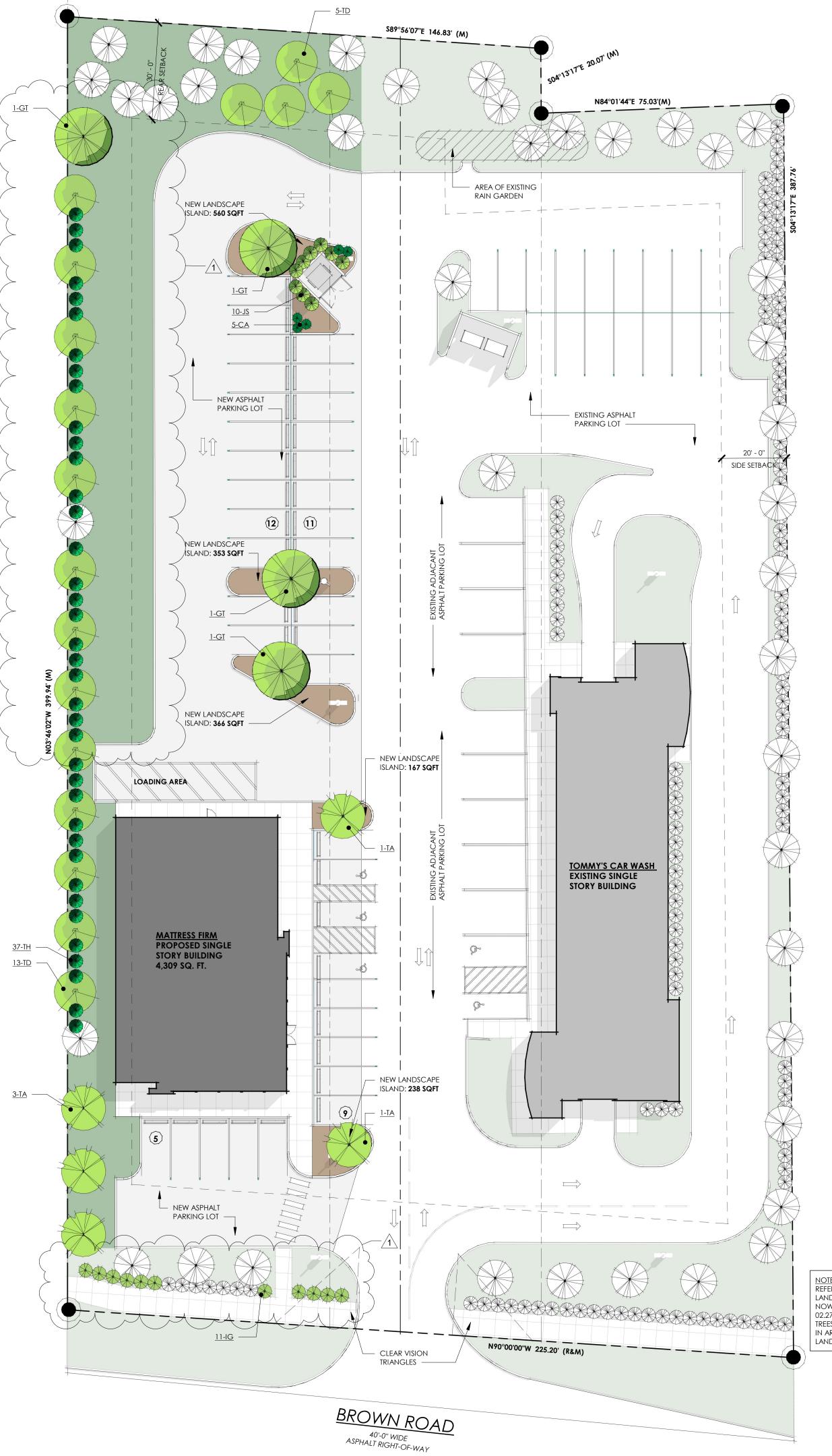
Off Street Parking:

(37) Parking Spaces Provided Sec. 22-340. - On-site parking.

(2) A parking space shall meet the following criteria in order to satisfy the requirements of this section:

a.Have a minimum length of 19 feet; b.Have a minimum width of either the width of the existing

driveway or nine feet, whichever is less.



#### LANDSCAPE REQUIREMENTS

EXISTING SITE ZONING: I-1, LIGHT INDUSTRIAL DISTRICT 88,002.53 S.F. OR 2.02 ACRES

LANDSCAPE ABUTTING A R.O.W.

1 TREE PER 30 L.F., 1 SHRUB PER 10 L.F., PLUS 30" BERM OR KNEE WALL
BROWN ROAD: 225.20 L.F.-26.33 L.F. DRIVEWAY=198.87 L.F.
REQUIRED: 198.87 L.F. / 30 L.F. = 6.6 OR 7 TREES REQUIRED
198.87 L.F. / 10 L.F. = 19.89 OR 20 SHRUBS REQUIRED
PROVIDED: 8 TREES, 60 SHRUBS AND 30" HT BERM

PARKING LOT LANDSCAPE REQUIREMENTS

20 S.F. OF LANDSCAPE AREA FOR EVERY SPACE OVER 20 SPACES,
W/ 1 TREE PER 200 S.F.

37 PKG SPACES X 20 S.F. = 740 S.F. REQUIRED
740 S.F. / 200 S.F. = 3.7 OR 4 TREE REQUIRED

SCREENING REQUIREMENTS

1 TREE PER 30 L.F. AND 1 SHRUB PER 10 L.F.
EAST PROPERTY LINE: 367.76 L.F.
367.76 L.F. / 30 L.F. = 12.3 OR 12 TREES REQUIRED
367.76 L.F. / 10 L.F. = 36.77 OR 37 SHRUBS REQUIRED
PROVIDED: 11 TREES, PLUS 1 EXISTING, 37 SHRUBS

WEST PROPERTY LINE: 379.95 L.F. 379.95 L.F. / 30 L.F. = 12.6 OR 13 TREES REQUIRED 379.95 L.F./ 10 L.F. = 37.9 OR 38 SHRUBS REQUIRED PROVIDED: 11 TREES, PLUS 2 EXISTING, 38 SHRUBS

LANDMARK TREE REPLACEMENTS
15 TREES REQUIRED
15 TREES PROVIDED

#### GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE
- LANDSCAPE ARCHITECT WITH ANY CONCERNS.

  THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

  THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTACBLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.

  PLANTS SHALL BE FULL, WELL-BRANCHED, AND IN HEALTHY
- VIGOROUS GROWING CONDITION.
  5. PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- 6. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES STABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
   CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS
- NECESSARY TO SUPPLY PLANT MIX DEPTH IN ALL PLANTING BEDS
  AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL
  LAWN AREAS.
  PROVIDE CLEAN BACKFILL SOIL, USING MATERIAL STOCKPILED
  ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS,
- FOREIGN MATERIAL, AND STONE.

  10. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT PITS
  BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE
- MANUFACTURERS RECOMMENDED RATES.

  1. AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN BLANTING DETAILS.
- INDICATED IN PLANTING DETAILS.

  2. ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL AND PIECES ON NCONSISTENT
- DEBRIS AND FOREIGN MATERIAL, AND PIECES ON NCONSISTENT SIZE.

  3. NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE
- 4. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS PRIOR TO INSTALLATION.

ARCHITECT OR OWNERS REPRESENTATIVE.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.

6. THE LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE

SHALL HAVE THE RIGHT TO REJECT ANY WORK OR MATERIAL

- THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.

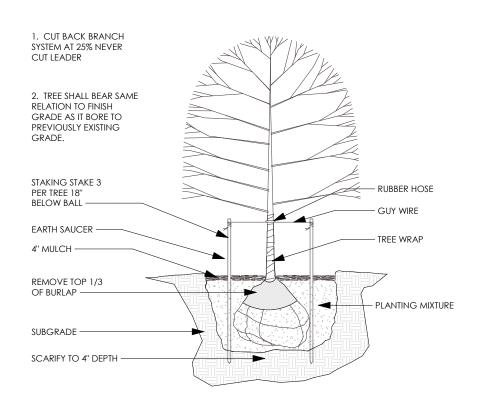
  7. THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH OR SOD (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS THROUGHOUT THE CONTRACT LIMITS.
- SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS.
  FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR
  RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN
  THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
  8. ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT
- PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.

  ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

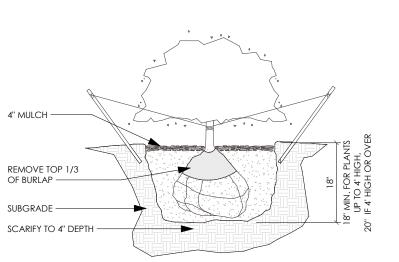
NOTE:
REFER TO APPROVED
LANDSCAPE PLAN BY
NOWAK & FRAUS ISSUED
02.27.2019 FOR ACCURATE
TREES AND PLANTS SPECIES
IN AREAS OF EXISTING
LANDSCAPE

\*REFER TO ENGINEERED LANDSCAPE PLAN FOR MOST CURRENT PLANTING LEGEND & PLANTING LOCATIONS ON SITE\*

LAND	SC	APE LEGEND				
KEY	QTY.	BOTANICAL/COMMON NAME	SIZE	SPACING	ROOT	
	1	GI GLEDITSIA TRIACANTHOS "SUNBURST SUNBURST HONEY LOCUST	2.5" CAL	SEE PLAN	B&B	
	18	ID TAXODIUM DISTICUM "SHAWNEE BRAVE" SHAWNEE BRAVE BALD CYPRESS	2.5" CAL	SEE PLAN	B&B	
	5	TA TILA AMERICANA "BOULEVARD BOULEVARD LINDEN	2.5" CAL	SEE PLAN	B&B	
	20	<u>JS</u> JUNIPERUS SCOPULORUM "SKYROCKET" SKYROCKET JUNIPER	30" HGT	SEE PLAN	CONT	
	10	TH TAXUS X M. "HICKSIL" HICK'S YEW	36" HGT	48" O.C.	CONT	
	5	CALAMAGROSTIS A. "KARL FOERSTER" KARL FOERSTER FEATHER REED GRASS	3 GAL	36" O.C.	CONT	
	11	IG CALAMAGROSTIS A. "KARL FOERSTER" KARL FOERSTER FEATHER REED GRASS	30" HGT	30" O.C.	CONT	
		EXIST. TREE TO REMAIN	-	-	-	
*		exist. Plants to remain	-	-	-	
		proposed Lawn Area (sod)	-	-	-	
		PROPOSED LAWN AREA (MULCH)	-	-	-	
		EXISTING LAWN AREA (SOD)	-	-	-	



Canopy Planting Details



Shrub Planting Detail

## krieger klat

architecture interiors consulting
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www.kriegerklatt.com

#### Client:

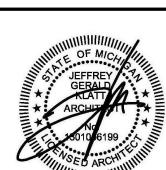
JS Capitol Group (Jeff Schmitz) 155 Romeo Rd, Suite 300 Rochester, MI 48307

#### Project:

Mattress Firm 851 Brown Rd. Orion Twp, MI 48369

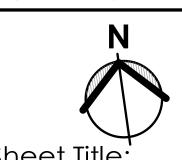
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Seal:



## Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field. North Arrow:



Sheet Title:

Landscape Plan

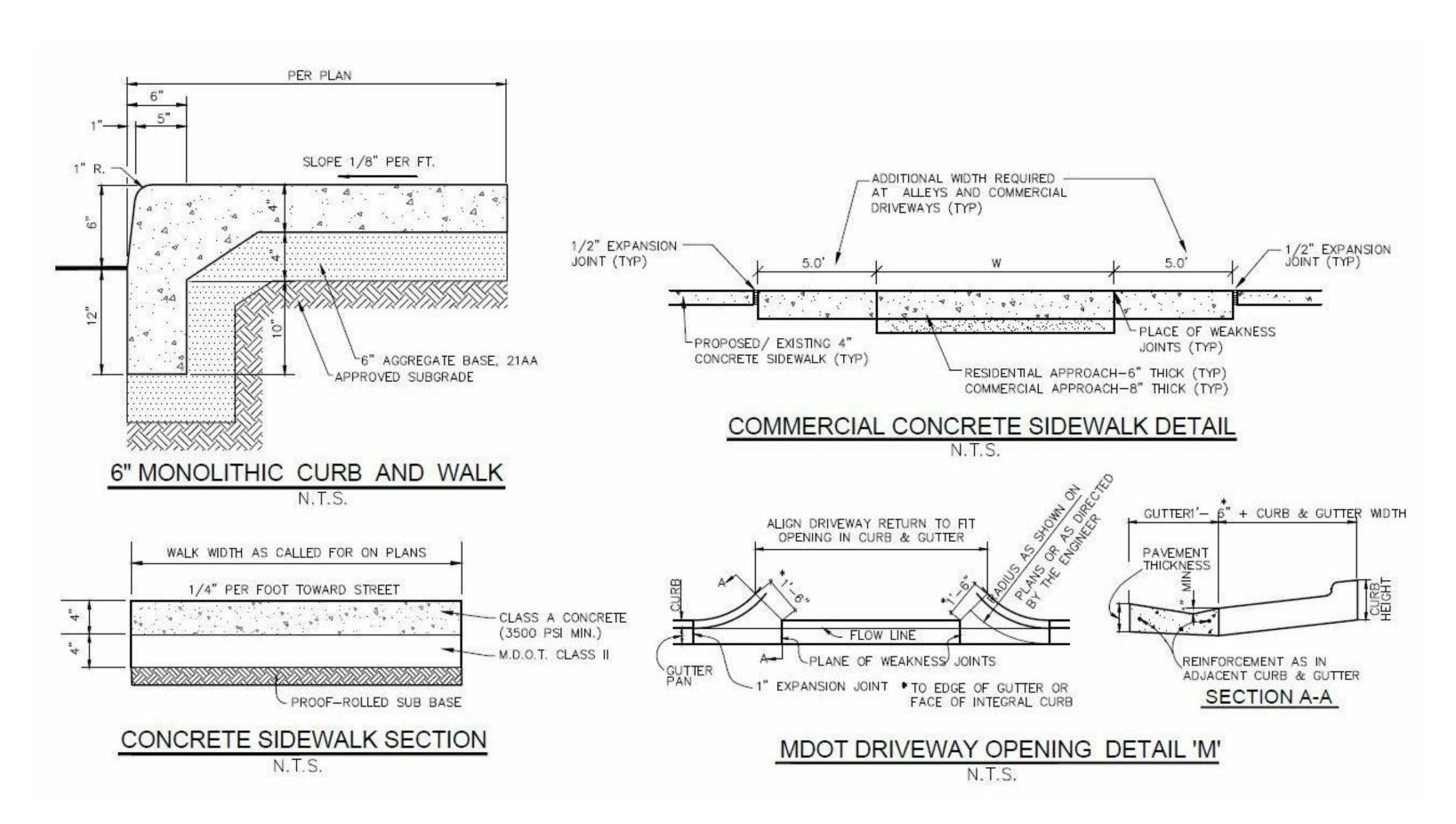
Project Number:

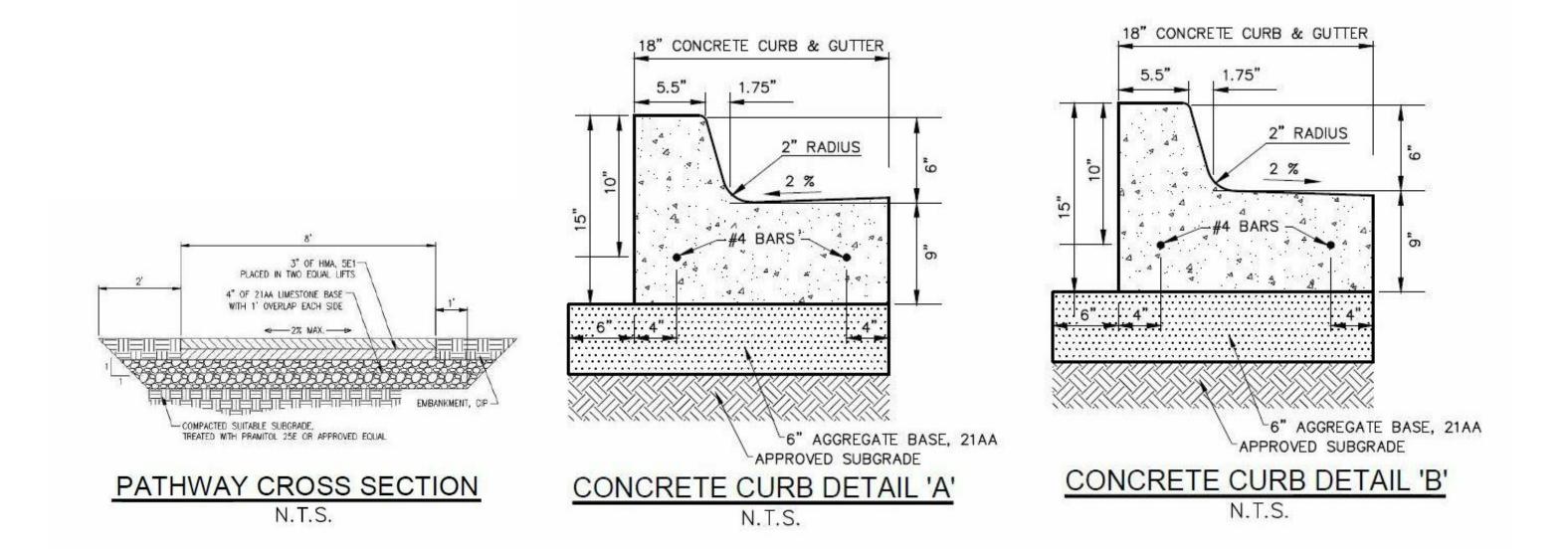
Sheet Number:

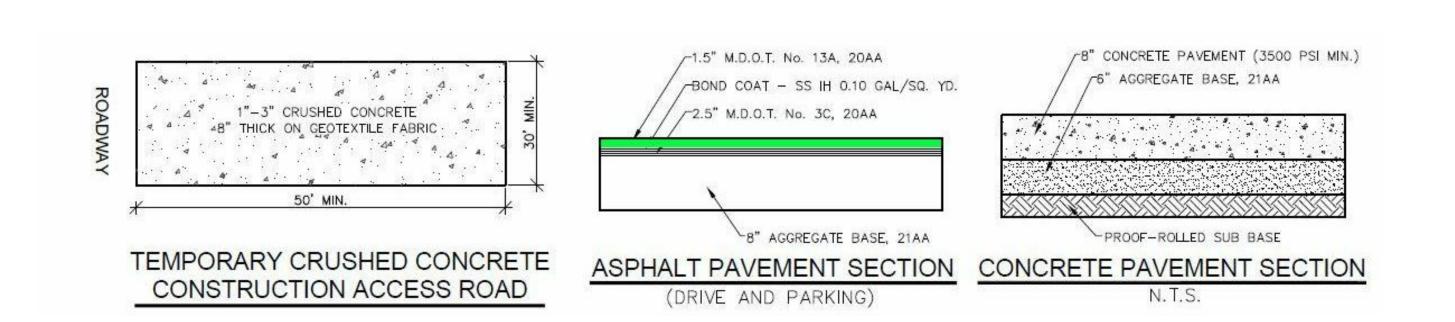
21-064

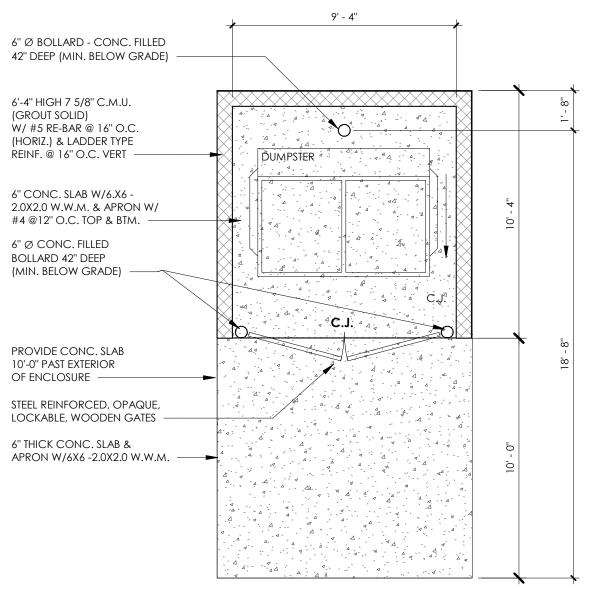
C.101

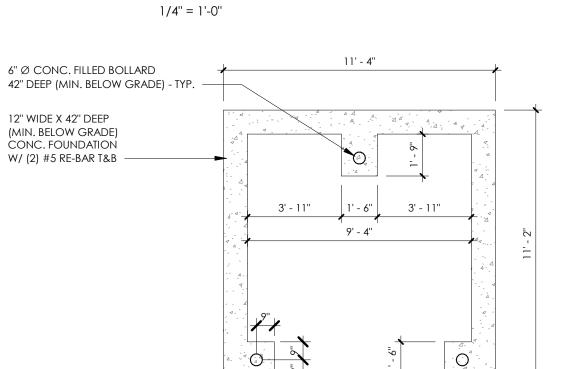
Landscape Plan





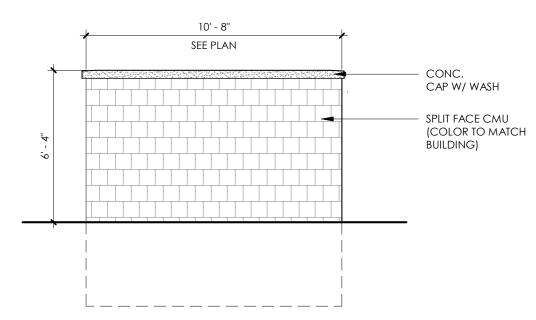




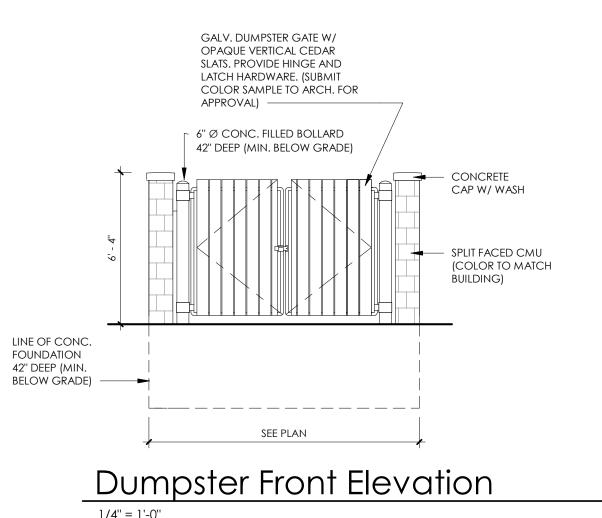


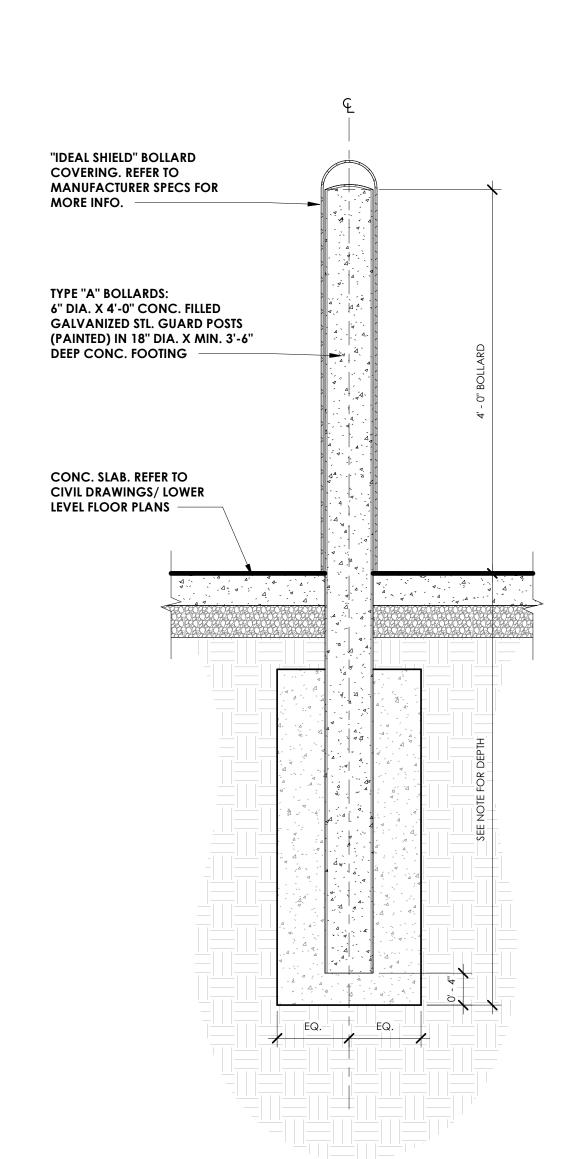
Dumpster Floor Plan

## <u>Dumpster Foundation Plan</u>

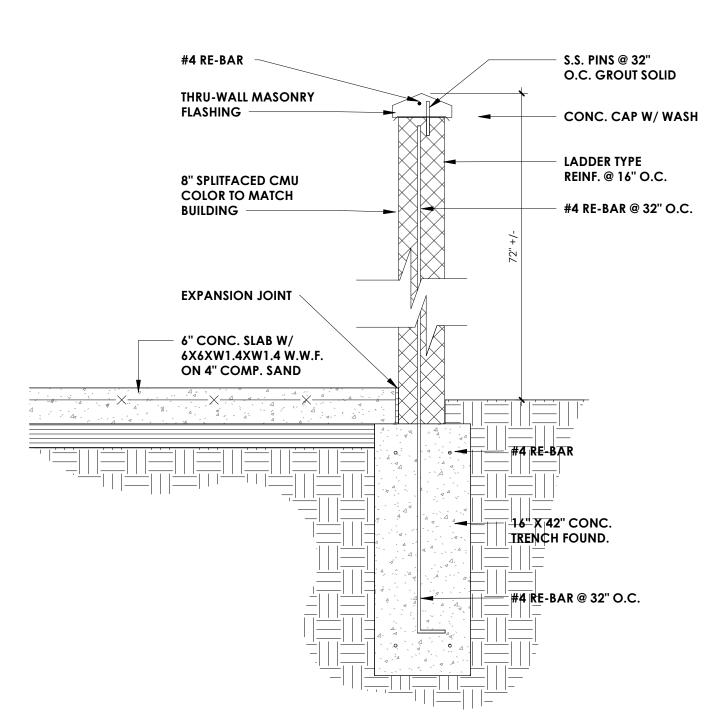


Dumpster Side/Rear Elevation





Dumpster Bollard Section



Dumpster Wall Section

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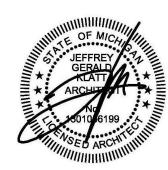
JS Capitol Group (Jeff Schmitz) 155 Romeo Rd, Suite 300 Rochester, MI 48307

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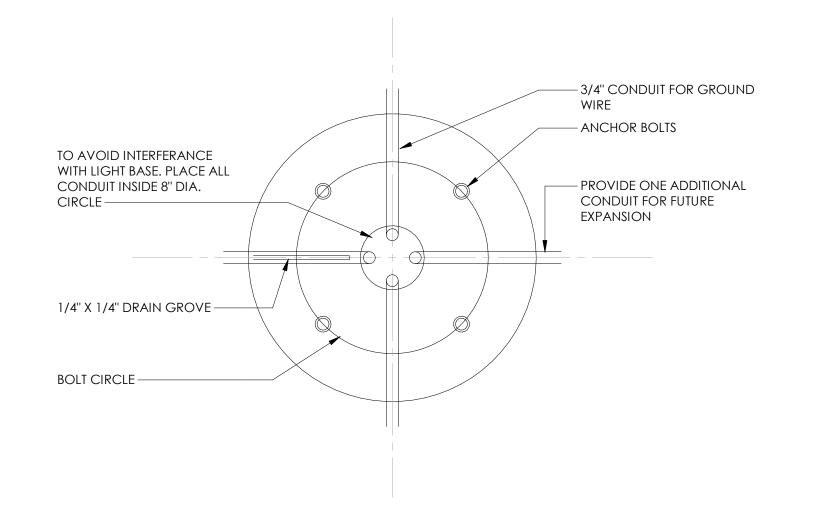
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Sheet Title:

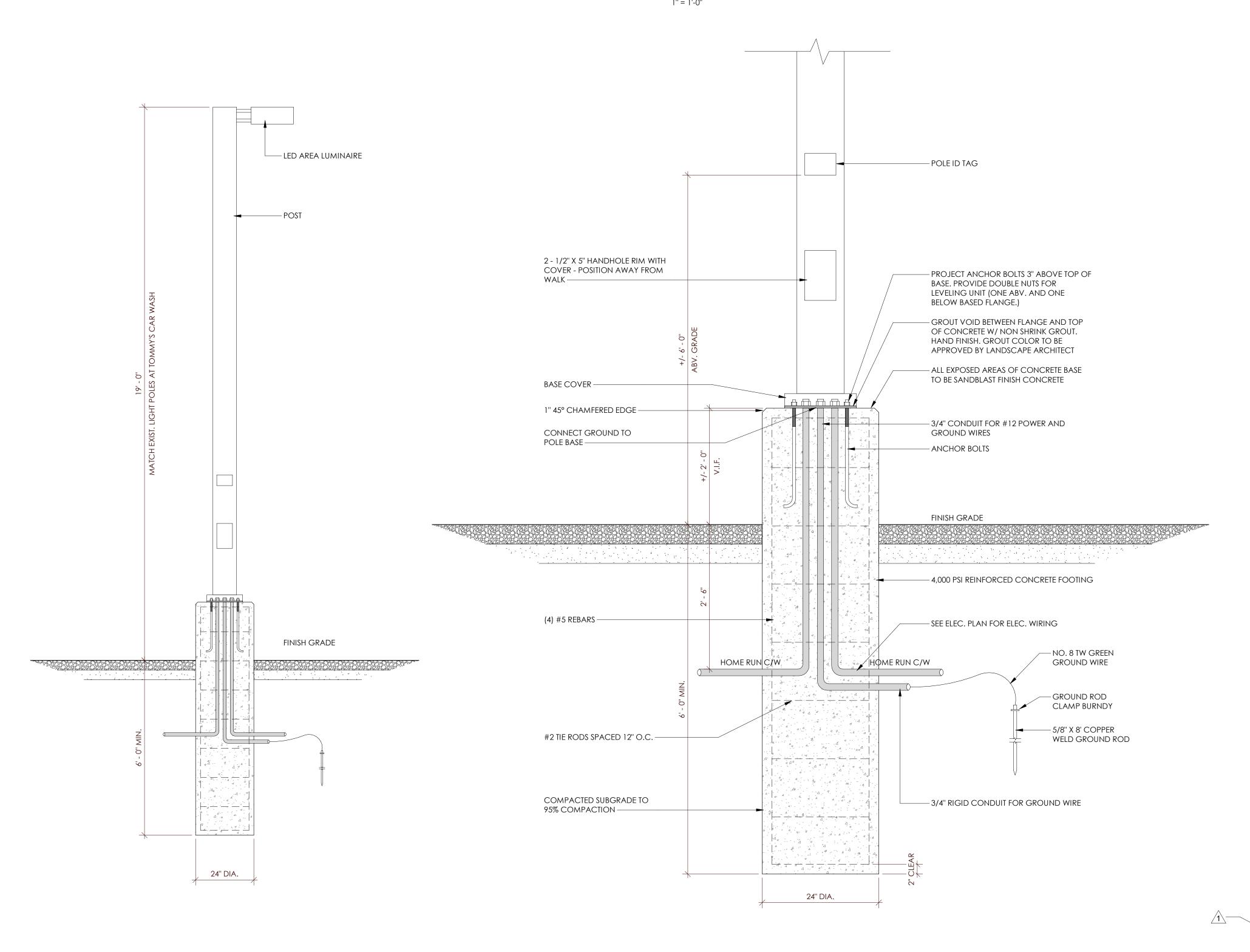
Site Details

Project Number:

21-064



## Exterior Light Pole Base Detail



Exterior Light Pole Base Detail

Exterior Light Pole Base Detail

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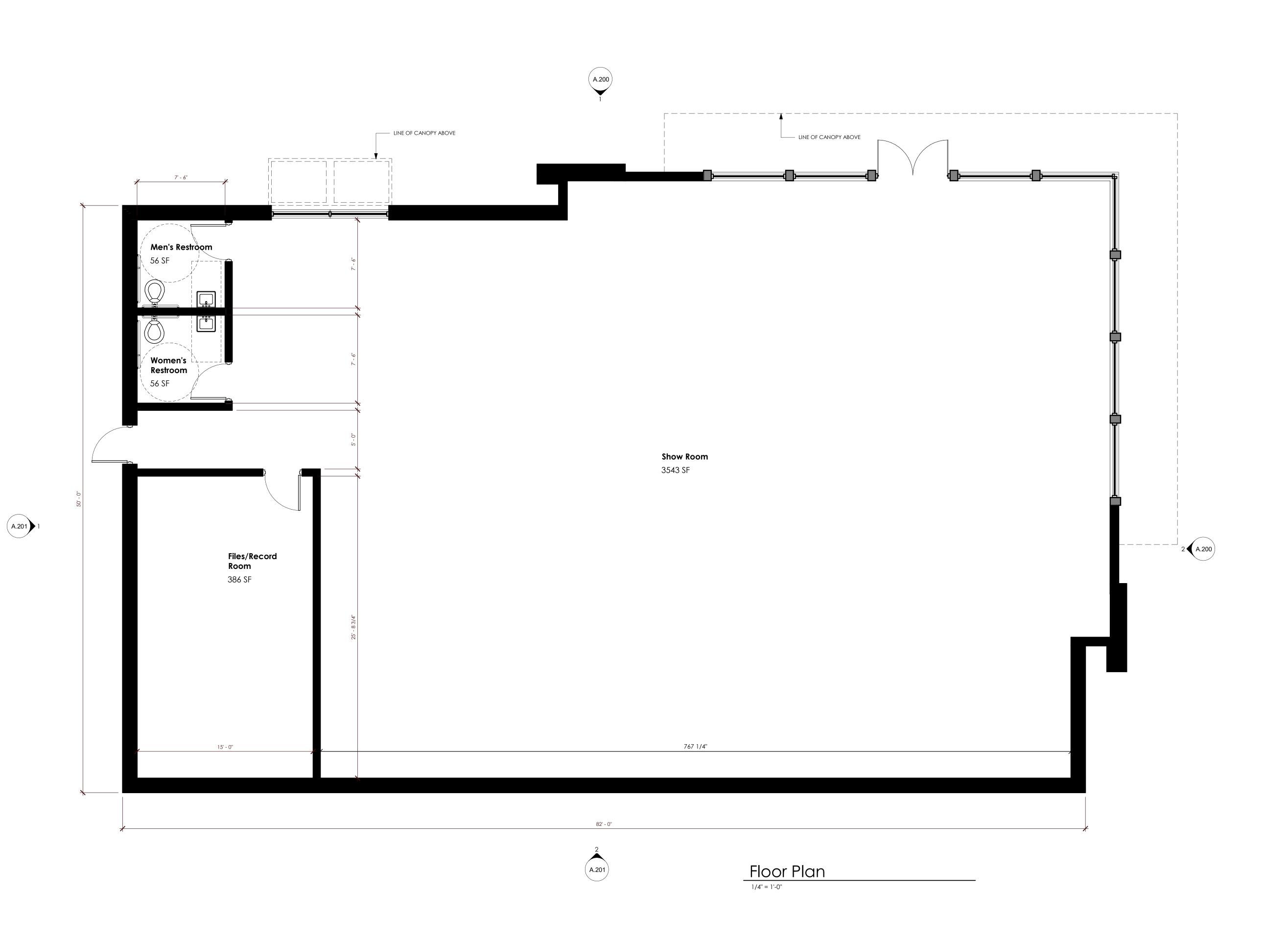
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Sheet Title:

Site Details

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Client:

Mattress Firm 1201 S. Main Street Houston, TX 77025

Project:

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		Plan	

Project Number: 21-064



Proposed East Elevation

Exterior Material Schedule 🗵

LOCATION

AS NOTED ON ELEVATIONS

AS NOTED ON ELEVATIONS

AS NOTED ON ELEVATIONS

MANUFACTURER

LONGBOARD OR

TAYLOR CLAY PRODUCTS OR

BELVEDERE OR SIMILAR

SIMILAR

SIMILAR

FINISH / COLOR

WIRECUT / COBALT BLACK

CHARCOAL GRAY

WOODGRAIN / WESTERN RED CEDAR

SYMBOL

M-1

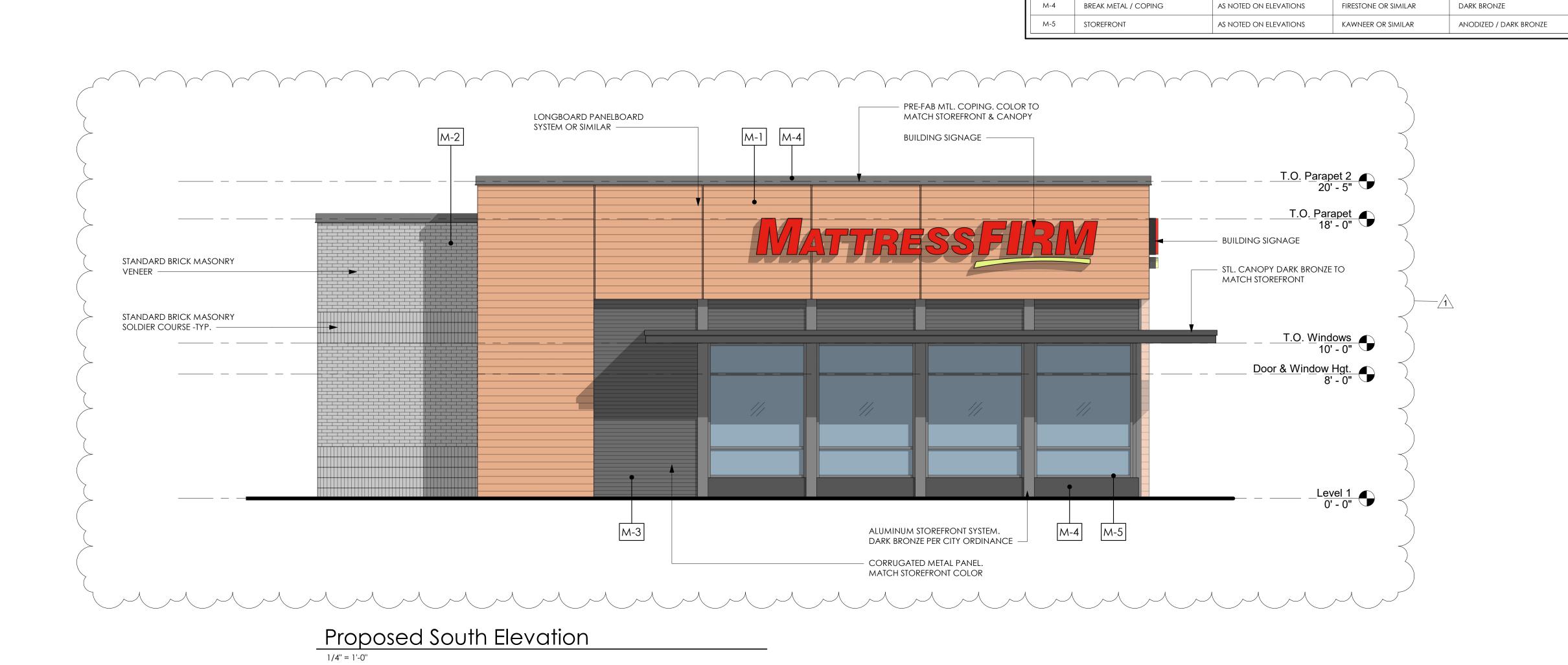
M-2

DESCRIPTION

ALUMINUM PANELS

BRICK MASONRY

CORRUGATED METAL PANELS



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North Arrow:

## Sheet Title:

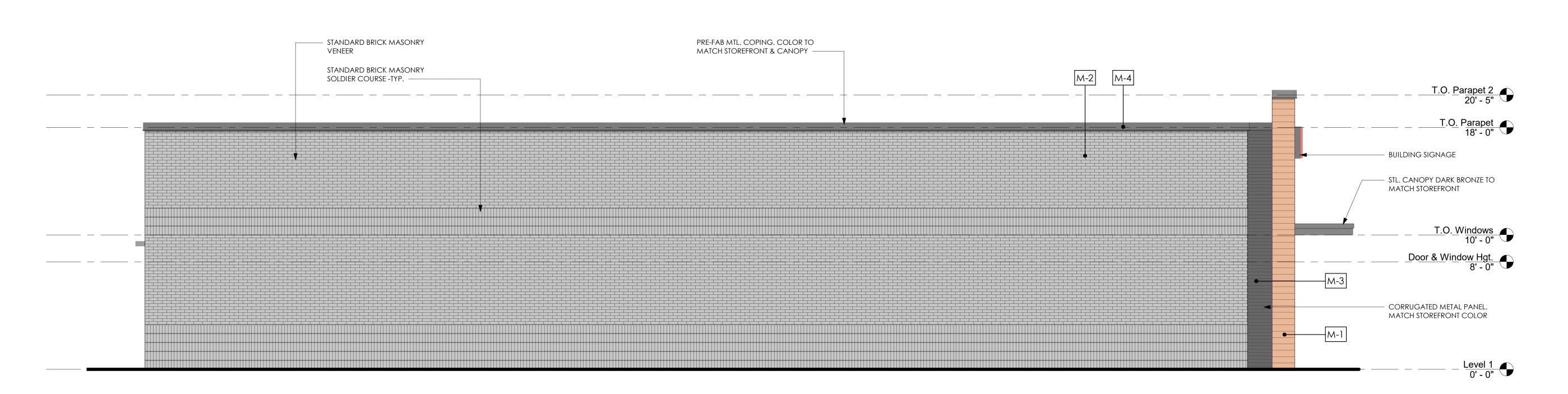
Elevations

Project Number:

21-064

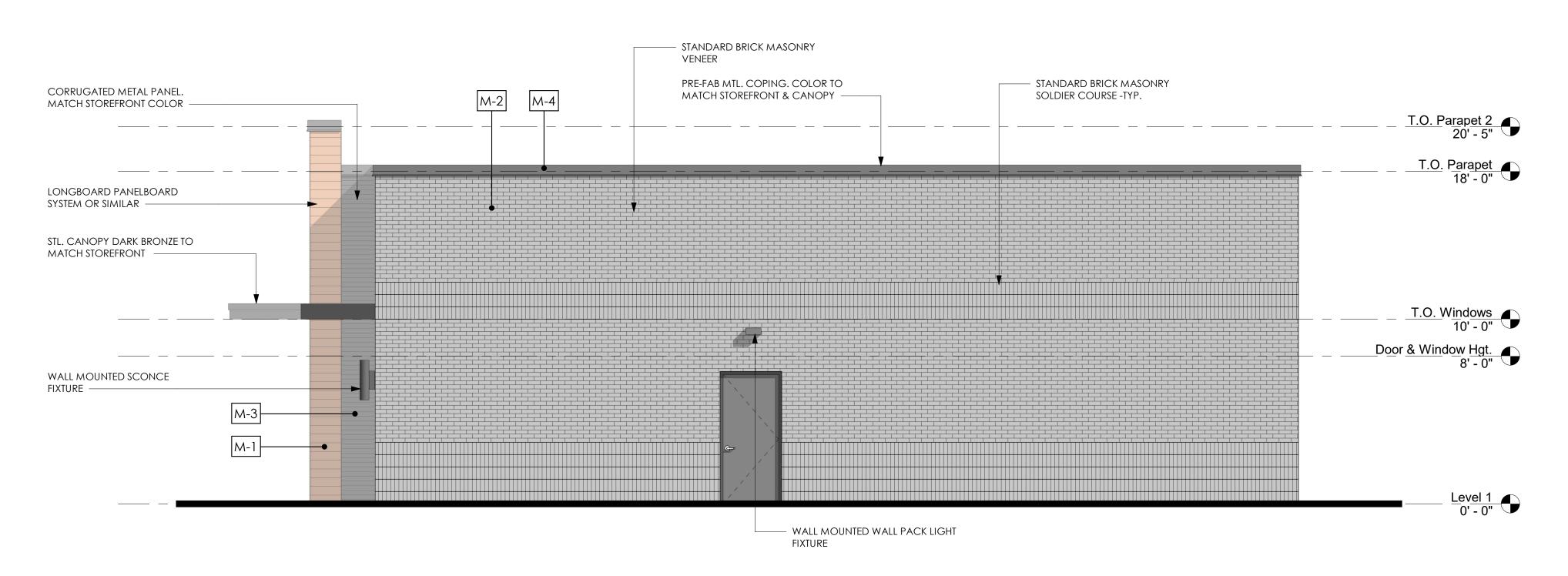
Sheet Number:

A.200



Proposed West Elevation 1/4" = 1'-0"

Exterior Material Schedule 🗵					
SYMBOL	DESCRIPTION	LOCATION	MANUFACTURER	FINISH / COLOR	
M-1	ALUMINUM PANELS	AS NOTED ON ELEVATIONS	LONGBOARD OR SIMILAR	WOODGRAIN / WESTERN RED CEDAR	
M-2	BRICK MASONRY	AS NOTED ON ELEVATIONS	TAYLOR CLAY PRODUCTS OR SIMILAR	WIRECUT / COBALT BLACK	
M-3	CORRUGATED METAL PANELS	AS NOTED ON ELEVATIONS	BELVEDERE OR SIMILAR	CHARCOAL GRAY	
M-4	BREAK METAL / COPING	AS NOTED ON ELEVATIONS	FIRESTONE OR SIMILAR	DARK BRONZE	
M-5	STOREFRONT	AS NOTED ON ELEVATIONS	KAWNEER OR SIMILAR	ANODIZED / DARK BRONZE	



Proposed North Elevation

1/4" = 1'-0"

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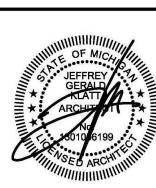
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Verify existing conditions in field.

North Arrow:

Sheet Title:

Project Number:

21-064



View toward West Scale: N.T.S.

Scale: N.T.S.

Scale: N.T.S.

View toward Northwest





View toward Southwest

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## — Note:

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Sheet Title: Renderings

Project Number:

21-064

#### PAVING AND GRADING NOTES EARTHWORK AND PAVEMENT CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT MCDR STANDARD SPECIFICATIONS FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE FOLLOWING ITEMS. REMOVE ANY EXISTING TOPSOIL, VEGETATION, TREES AND THER DELETERIOUS MATERIALS TO EXPOSE THE SUBGRADE SOIL. TREE ROOTS SHALL BE COMPLETELY REMOVED. EXCAVATE TO THE DEPTH OF THE FINAL SUBGRADE ELEVATION TO ALLOW FOR GRADE CHANGES AND THE PLACEMENT OF THE RECOMMENDED PAVEMENT SYSTEM. . THE TOP 12 INCHES OF THE EXPOSED SUBGRADE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557-91). 5. SUBGRADE SHALL BE THOROUGHLY PROOFROLLED UNDER THE OBSERVATION OF THE JURISDICTIONAL AGENCY AND/OR GEOTECHNICAL ENGINEER. SUBGRADE UNDERCUTTING TO BE PERFORMED AS NECESSARY TO REMOVE AND REPLACE UNSUITABLE GROUND, ON AN "AS NEEDED" BASIS AND AS DIRECTED, IN ACCORDANCE WITH CURRENT MDOT STANDARD SPECIFICATIONS. 6. THE AGGREGATE BASE SHALL BE COMPACTED TO ACHIEVE A 95 PERCENT COMPACTION LEVEL (MODIFIED PROCTOR - ASTM D 1557—91). THE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVED EDGE. ON SITE FILL MATERIAL CAN BE USED IF THE SPECIFIED COMPACTION REQUIREMENTS CAN BE ACHIEVED. IF ON SITE MATERIAL IS USED, SHOULD BE CLEAN AND FREE OF FROZEN SOIL, ORGANIC, OR OTHER DELETERIOUS MATERIALS. R. CONSTRUCTION ACCESS SHALL BE KEPT CLEAN AND MAINTAINED IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD. 9. THE CONTRACTOR SHALL GRADE THE SITE TO THE SUB-GRADE BASED ON THE GRADES AND CROSS-SECTIONS SHOWN ON THESE PLANS AND ANY OTHER ACCOMPANYING PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO GRADE THE SITE SO THAT THE BUILDING PAD REMAINS DRY AND FREE FROM OBSTRUCTION AT ALL TIMES. O. SITE SHALL FIRST BE ROUGH-GRADED, THEN CONTRACTOR SHALL RETURN UPON COMPLETION OF UTILITIES TO FINE GRADE THE SITE FOR PAVEMENT CONSTRUCTION. 11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE EARTHWORK QUANTITIES FOR THE PROJECT. THE CONTRACTOR'S BID SHALL INCLUDE ANY REQUIRED IMPORT OR EXPORT OF MATERIALS TO OR FROM THE SITE. 2. STRIPING AND MARKINGS SHALL BE FURNISHED USING GUIDE LINES, FORMS STENCILS AND TEMPLATES PER CURRENT MDOT STANDARDS. FREE HAND PAINTING NOT ALLOWED. 3. REMOVE PAVEMENT, DRIVEWAYS, CURB, GUTTERS, SIDEWALK, TO AN EXISTING JOINT OR SAWED JOINT. BITUMINOUS AND CONCRETE SHALL BE SAWED FULL DEPTH. ADJACENT CUT SOILS OR BASE MATERIALS REMOVED WHEN REMOVING CONCRETE SHALL BE REPLACED WITH IN-KIND ACCEPTABLE MATERIAL. 14. IT SHALL BE UNLAWFUL FOR ANY PERSON TO INTERFERE WITH OR OBSTRUCT FLOW OF SURFACE WATER OVER EASEMENTS FOR PUBLIC UTILITIES OR TO IMPEDE THE FLOW OF SURFACE WATER ACROSS PRIVATE PROPERTY IN A MANNER DIFFERENT FROM THE APPROVED GRADING PLAN AND DRAINAGE PATTERN. FIRE DEPARTMENT NOTES NO PARKING SHALL BE PERMITTED AND/OR NO CONNECTION, PUBLIC OR PRIVATE. P. THE FIRE DEPARTMENT CONNECTION MUST BE LOCATED

OBSTRUCTIONS SHALL BE PLACED OR CONSTRUCTED WITHIN FIFTEEN (15) FEET OF ANY FIRE HYDRANT OR FIRE DEPARTMENT

WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT AND WITHIN FIFTY (50) FEET OF A MINIMUM EIGHTEEN (18) FOOT WIDE

GAS METERS, PROPANE TANKS, OVERHEAD ELECTRICAL SERVICE, AND TRANSFORMERS MUST NOT BE LOCATED ON THE SAME SIDE OF THE BUILDING OR STRUCTURE AS THE FIRE DEPARTMENT CONNECTION UNLESS A CLEAR DISTANCE OF ONE HUNDRED FIFTY (150) FEET CAN BE MAINTAINED BETWEEN UTILITIES AND THE FIRE DEPARTMENT CONNECTION.

4. ALL DRIVE AREAS MUST BE POSTED AS FIRE LANES WITH UNIFORM SIGNS IN KEEPING WITH THE STANDARD ESTABLISHED IN THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS MUST BE ERECTED ON BOTH SIDES OF THE FIRE LANES WITH SPACING BETWEEN SIGNS NOT TO EXCEED ONE HUNDRED (100) FEET.

DESIGNATED EXIT DOORS ONTO DRIVES OR PARKING AREAS MUST BE PROTECTED WITH GUARD POSTS OR PARKING BLOCKS.

A WHITE HIGH VISIBILITY STRIP SHALL BE PAINTED ON THE UPPER FLANGE OF ALL FIRE HYDRANTS..

#### PROPOSED LEGEND

TOP OF CURB ELEVATION

GUTTER ELEVATION

G 000.00 • TP 000.00 TOP OF PAVEMENT ELEVATION TOP OF WALK ELEVATION • TW 000.00 FINISH GRADE ELEVATION • FG 000.00 FLOW DIRECTION

GRA VEL

CONCRETE

COMPACTED SAND BACKFILL **WATERMAIN** SANITARY SEWER STORM SEWER

GAS MAIN ELECTRIC LINE HYDRANT

GATE VALVE & WELL

TAPPING SLEEVE VALVE & WELL REAR YARD CATCH BASIN

STORM MANHOLE CATCH BASIN

INLET

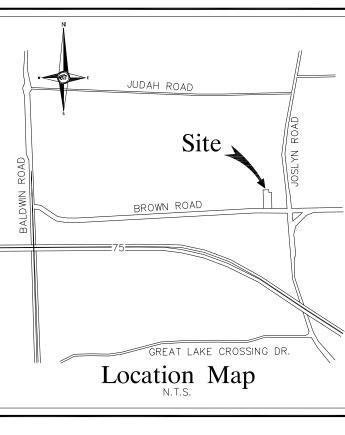
END SECTION SANITARY MANHOLE

STRUCTURE TYPE 48 ---- STRUCTURE ID NO

G 1004.00 g — SAWCUT FULL DEPTH EX PAVEMENT ALONG PROP FG 1005.00 MATCH EX PAVEMENT. MATCH EX 6" CONC CURB & GUTTER. SEE DETAIL SHEET C.102 (TYP) 4" HMA PAVEMENT. SEE DETAIL SHEET C.102 (TYP) TC 1003.20 G 1002.70 MATCH EX GRADES ALONG ALL PROP LINES (TYP) — BENCHMARK MDOT TYPE P ADA RAMP -(TYP) MONOLITHIC 6" CURB & 4" WALK. SEE DETAIL SHEET C.102 (TYP) Tommy's Car Wash RIM 1002.30 FG 1004.00 MATCH EX FF 1003.60 TW 1003.50 FG 1003.40 MATCH EX CONNECT TO EX CURB — W/ 2 EPOXY COATED #4 BARS (TYP) N90°00'00"W 1372.53' (M) 4 -BROWN ROAD

## PAVING & GRADING PLAN

SCALE 1:30



LEGAL DESCRIPTIONS

EXISTING CONDITIONS: LAND SITUATED IN THE TOWNSHIP OF ORION, COUNTY OF OAKLAND, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

THE SOUTH 400 FEET OF LOT 18, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS.

THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS.

LOT 20, OF "PLEASANT VALLEY SUBDIVISION NO. 1", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 80, PAGE(S) 37 OF PLATS, OAKLAND COUNTY SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD FOR

PROPOSED CONDITIONS: (UNDER REVIEW) LAND SITUATED IN THE TOWNSHIP OF ORION, COUNTY OF OAKLAND, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

PARCEL 1: (TOMMY'S CAR WASH) THE SOUTH 400 FEET OF LOT 18, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS,
AND, THE WESTERLY 29.81 FEET OF THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. PARCEL 2: (MATTRESS FIRM)

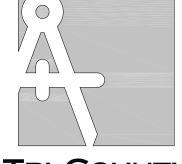
LOT 20, OF "PLEASANT VALLEY SUBDIVISION NO. 1", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 80, PAGE(S) 37 OF PLATS, OAKLAND COUNTY AND, THE EASTERLY 43.60 FEET OF THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD FOR

BOUNDARY NOTE

ALL BEARINGS ARE IN RELATIONSHIP TO THE PREVIOUSLY ESTABLISHED SOUTH LINE OF "PLEASANT VALLEY SUBDIVISION", BEARING S. 00° 00' 00" E., AS RECORDED IN LIBER 69, PAGE 27, OAKLAND COUNTY RECORDS. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE POLICY, THEREFORE ALL EASEMENTS OF RECORD AND OTHER FACTORS RELEVANT TO TITLE MAY NOT BE SHOWN.

5002,442012.356,13413437.001,1002.427,cpi 5112,442406.251,13413395.193,1007.837,fi 15000,442005.284,13413675.518,1000.357,cpi 15001.441948.045.13413428.262,1002.260,cpi 15003,442430.461,13413658.781,1005.000,cpi

SURVEY PROVIDED BY THE DEVELOPER. NOWAK & FRAUS ENGINEERS JOB NO. K723. TRI—COUNTY ENGINEERING DID NOT PROVIDE FIELD VERIFICATION DISCREPANCIES OF ACTUAL DATA.



TRI-COUNTY **Engineering Consultants** 

> 48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

JS CAPITOL GROUP 155 Romeo Road, Ste 300 Rochester, MI 48307 248-650-9850

> 3 WORKING DAYS 800-482-7171



Call before you dig.

OR TO CONSTRUCTION, ALL EXISTING TILITIES LOCATION AND DEPTH WITHIN TH ROJECT AREA SHALL BE FIELD VERIFIED. LL MISS DIG SYSTEM 3 WORKING DAYS RIOR TO CONSTRUCTION.

LITY INFORMATION SHOWN ON THIS RAWING ARE APPROXIMATE AND MAY BE CORDING TO AVAILABLE RECORD OR CLOSED INFORMATION BY VARIOUS LITY COMPANIES, PUBLIC AGENCIES, O THER SOURCES AND THUS MAY NOT CESSARILY REFLECT ACTUAL FIELD CATIONS AND NO GUARANTEE IS GIVEN T OMPLETENESS OR ACCURACY.

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ROJECT NAME:

MATTRESS FIRM Site Development Outlot - 851 Brown Rd Orion Township, MI 48359

PAVING & **GRADING PLAN** 

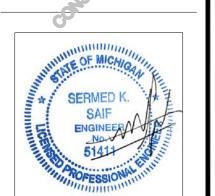
ROJECT LOCATION: SEC 33, T04N, R10E ORION TOWNSHIP

> Drawn By: FH Checked By: SS Approved By: SS

OAKLAND COUNTY

REVISIONS:

PRELIM PLANS 10/29/20 . PER TOWNSHIP 09/25/21



CALE VERIFICATION:

BAR IS ONE—INCH ADJUST SCALES ACCORDINGLY IF

CALE:

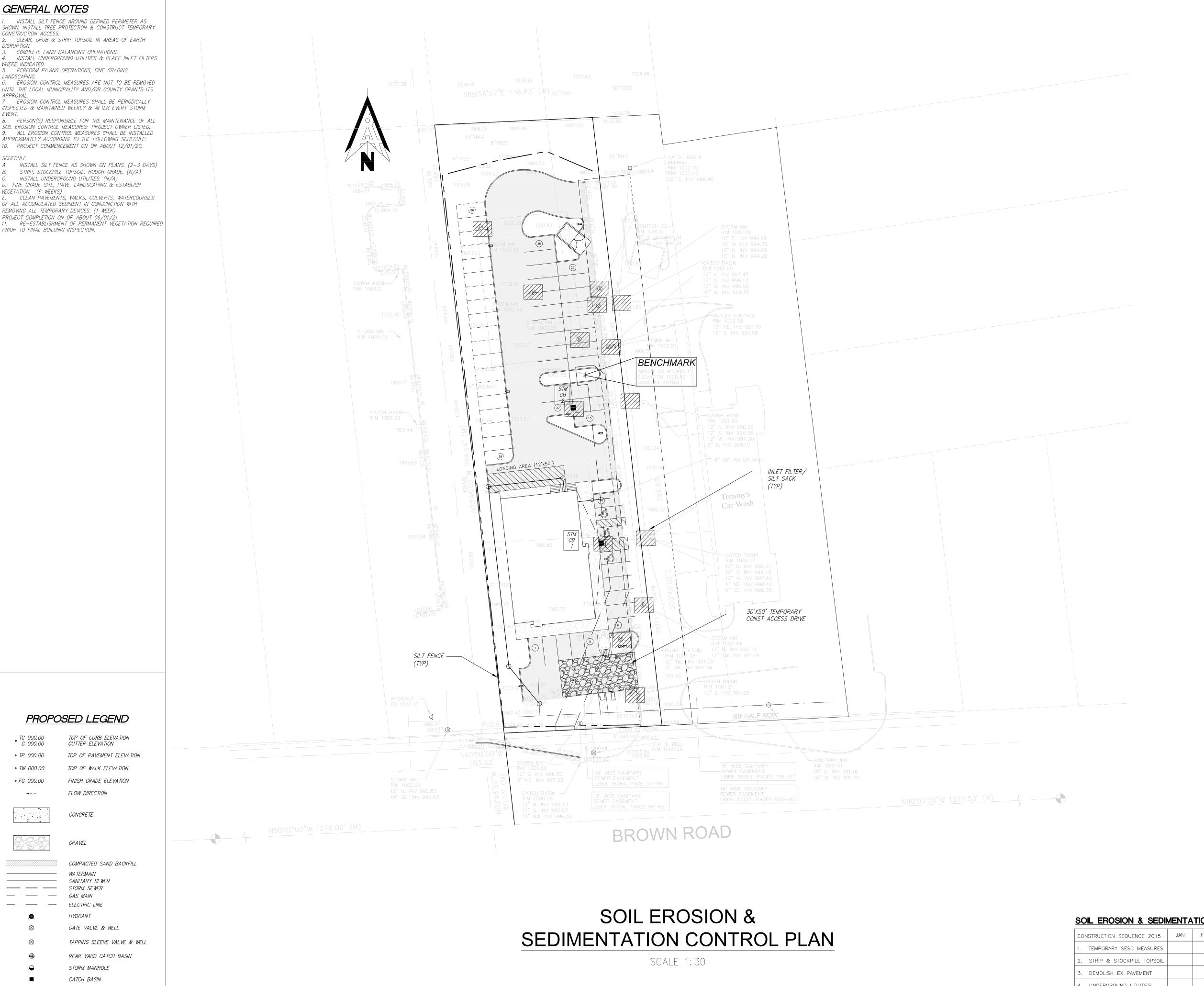
1" = 30'

PROJECT NO: TD21004

DRAWING NO:

TD21004GP

GP-1



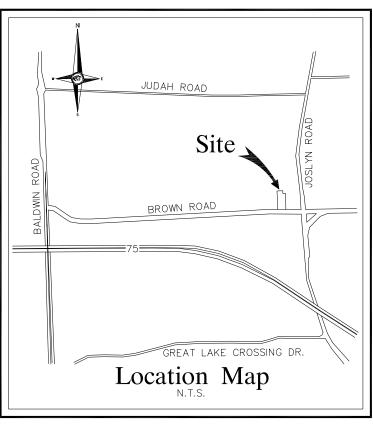
INLET

48 ---- STRUCTURE ID NO

END SECTION

SANITARY MANHOLE

STRUCTURE TYPE



LEGAL DESCRIPTIONS

EXISTING CONDITIONS: LAND SITUATED IN THE TOWNSHIP OF ORION, COUNTY OF OAKLAND, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

THE SOUTH 400 FEET OF LOT 18, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. 09-33-351-021:

THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION". ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. LOT 20, OF "PLEASANT VALLEY SUBDIVISION NO. 1", ACCORDING TO THE PLAT

THEREOF RECORDED IN LIBER 80, PAGE(S) 37 OF PLATS, OAKLAND COUNTY SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD FOR OTHERWISE.

PROPOSED CONDITIONS: (UNDER REVIEW) LAND SITUATED IN THE TOWNSHIP OF ORION, COUNTY OF OAKLAND, STATE OF MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

PARCEL 1: (TOMMY'S CAR WASH) THE SOUTH 400 FEET OF LOT 18, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS,
AND, THE WESTERLY 29.81 FEET OF THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. PARCEL 2: (MATTRESS FIRM)

LOT 20, OF "PLEASANT VALLEY SUBDIVISION NO. 1", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 80, PAGE(S) 37 OF PLATS, OAKLAND COUNTY AND, THE EASTERLY 43.60 FEET OF THE SOUTH 400 FEET OF LOT 19, OF "PLEASANT VALLEY SUBDIVISION", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 69, PAGE(S) 27 OF PLATS, OAKLAND COUNTY RECORDS. SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD FOR

#### BOUNDARY NOTE

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5002,442012.356,13413437.001,1002.427,cpi 5112,442406.251,13413395.193,1007.837,fi 15000,442005.284,13413675.518,1000.357,cpi 15001,441948.045,13413428.262,1002.260,cpi

15003,442430.461,13413658.781,1005.000,cpi

SURVEY PROVIDED BY THE DEVELOPER. NOWAK & FRAUS ENGINEERS JOB NO. K723. TRI—COUNTY ENGINEERING DID NOT PROVIDE FIELD VERIFICATION AND SHALL NOT BE HELD LIABLE FOR ANY ERRORS OR DISCREPANCIES OF ACTUAL DATA.

#### SOIL EROSION CONTROL LEGEND

DITCH SEDIMENT TRAP SOIL EROSION CONTROL FENCE

### SOIL TYPES

(FOR SOIL EROSION CONTROL PURPOSES) 31B - Metea Loamy Sands, 0% to 6% slopes

(1971, SOIL SURVEY OF OAKLAND COUNTY, MICHIGAN)

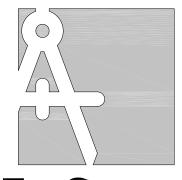
NEAREST WATER COURSE: Judah Lake ±2500 FT

APPROX GROSS ACREAGE DISTURBED = 0.75 ACRE DOMINANT EX LAND FEATURES: VACANT LAND

ESTIMATED QUANTITIES THIS SHEET				
ITEM	UNIT	QUANTITY		
SILT FENCE	LF	550		
INLET FILTER	EA	14		
TEMP CONST ACCESS DRIVE	EA	1		

## SOIL EROSION & SEDIMENTATION CONTROL CONSTRUCTION & MAINTENANCE SCHEDULE

CONSTRUCTION SEQUENCE 2015	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC
1. TEMPORARY SESC MEASURES												
2. STRIP & STOCKPILE TOPSOIL												
3. DEMOLISH EX PAVEMENT												
4. UNDERGROUND UTILITIES												
5. PAVEMENT INSTALLATION												
6. PERMANENT SESC MEASURES												
7. FINAL GRADING												
8. LANDSCAPING												



TRI-COUNTY **Engineering Consultants** 

> 48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

JS CAPITOL GROUP 155 Romeo Road, Ste 300 Rochester, MI 48307 248-650-9850

> 3 WORKING DAYS 800-482-7171



Know what's below. Call before you dig.

RIOR TO CONSTRUCTION, ALL EXISTING TILITIES LOCATION AND DEPTH WITHIN TH ROJECT AREA SHALL BE FIELD VERIFIED. ALL MISS DIG SYSTEM 3 WORKING DAYS RIOR TO CONSTRUCTION.

TILITY INFORMATION SHOWN ON THIS RAWING ARE APPROXIMATE AND MAY BE CCORDING TO AVAILABLE RECORD OR CLOSED INFORMATION BY VARIOUS LITY COMPANIES, PUBLIC AGENCIES, OF THER SOURCES AND THUS MAY NOT ECESSARILY REFLECT ACTUAL FIELD CATIONS AND NO GUARANTEE IS GIVEN T COMPLETENESS OR ACCURACY.

THIS DRAWING AND ALL INFORMATION
CONTAINED HEREIN ARE NOT TO BE USED
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ROJECT NAME:

MATTRESS FIRM Site Development Outlot - 851 Brown Rd

Orion Township, MI 48359 SOIPAEVRIOSION & SEERAND ENGERTRONN

ROJECT LOCATION:

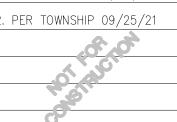
**CONTROL PLAN** 

SEC 33, T04N, R10E ORION TOWNSHIP OAKLAND COUNTY

Drawn By: FH Checked By: SS Approved By: SS

REVISIONS:

PRELIM PLANS 10/29/20





SCALE VERIFICATION:

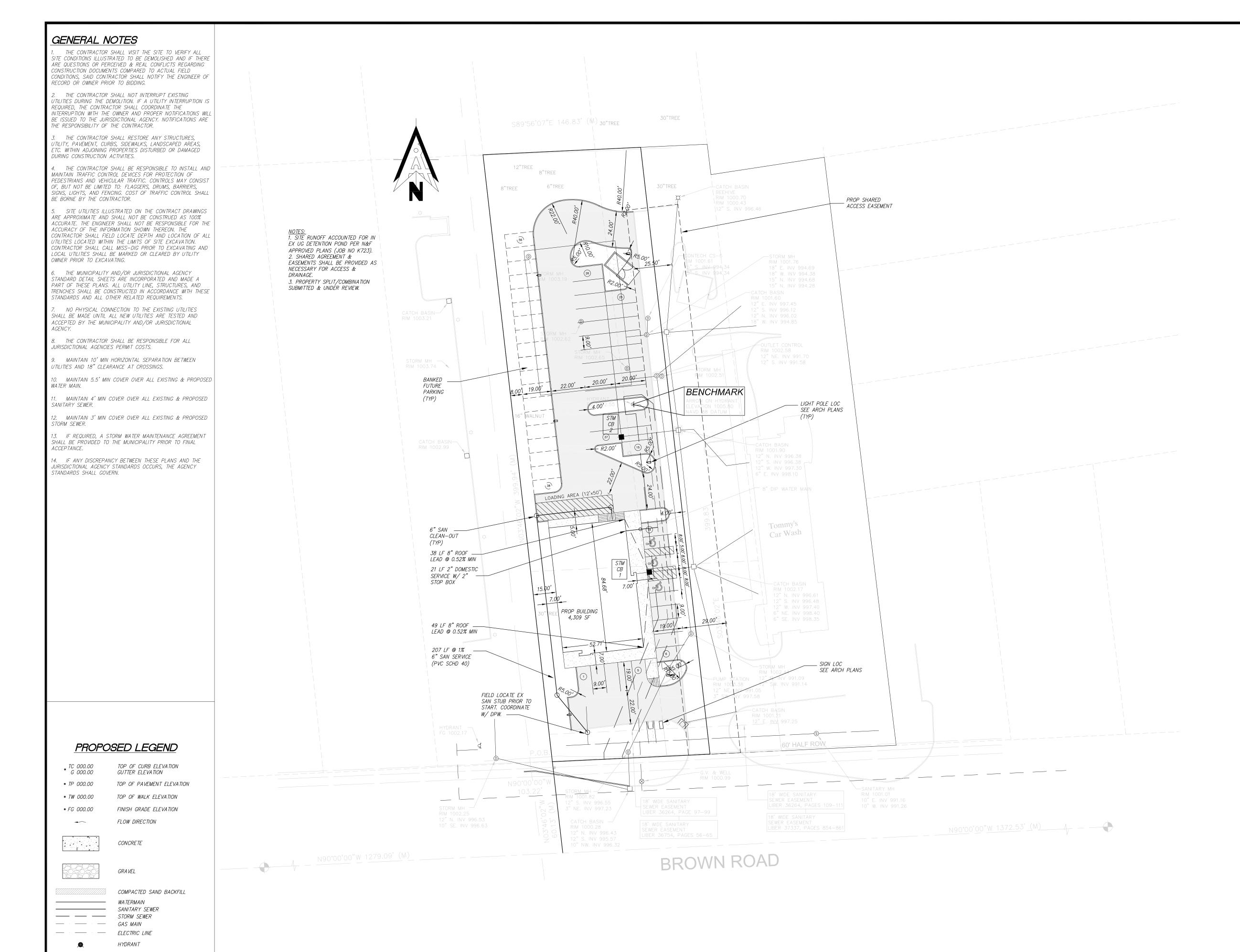
1" = 30'

PROJECT NO: TD21004

DRAWING NO:

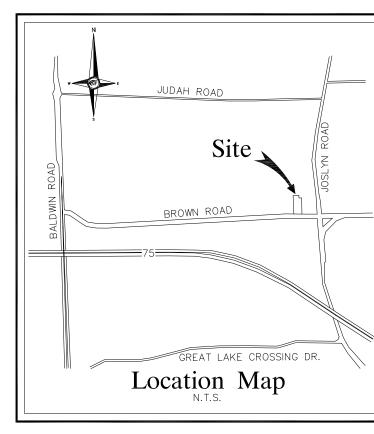
TD21004SE

SE-1



### **UTILITY & GEOMETRY PLAN**

SCALE 1:30



LEGAL DESCRIPTIONS

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09-33-376-010: LOT 20, OF "PLEASANT VALLEY SUBDIVISION NO. 1", ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 80, PAGE(S) 37 OF PLATS, OAKLAND COUNTY SUBJECT TO ANY AND ALL EASEMENTS AND RIGHTS OF WAY OF RECORD FOR OTHERWISE.

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5002,442012.356,13413437.001,1002.427,cpi 5112,442406.251,13413395.193,1007.837,fi 5000,442005.284,13413675.518,1000.357,cp 15001,441948.045,13413428.262,1002.260,cpi 15002.442405.182.13413392.066.1007.300.cp 15003,442430.461,13413658.781,1005.000,cpi

SURVEY PROVIDED BY THE DEVELOPER. NOWAK & FRAUS ENGINEERS JOB NO. K723. TRI-COUNTY ENGINEERING DID NOT PROVIDE FIELD VERIFICATION AND SHALL NOT BE HELD LIABLE FOR ANY ERRORS OR DISCREPANCIES OF ACTUAL DATA.

#### TOWNSHIP STANDARD NOTES

1. CONSTRUCTION SHALL CONFORM TO CURRENT CHARTER TOWNSHIP OF ORION STANDARDS. 2. NO SITE WORK SHALL OCCUR WHATSOEVER UNTIL THE SITE PLAN AND ENGINEERING PLAN HAVE BEEN APPROVED, ALL FEES HAVE BEEN PAID TO THE TOWNSHIP, AND THE PRE-CONSTRUCTION MEETING HAS BEEN HELD. IT SHALL ALSO BE NOTED THAT NO WORK SHALL BE PERFORMED WITHOUT INSPECTION.

3. ALL STREETS MUST BE MAINTAINED DURING CONSTRUCTION. STREETS SHALL BE KEPT FREE OF MUD, DIRT, CONSTRUCTION DEBRIS, DUST AND THE LIKE.

4. WORKING HOURS (INCLUDING RUNNING OF ANY MACHINERY) SHALL BE RESTRICTED TO MONDAY THROUGH SATURDAY, 7:00 AM TO 7:00 PM; SUNUP TO SUNDOWN; WHICHEVER IS LESS. CONSTRUCTION OPERATIONS BEYOND THE PERIODS MENTIONED ABOVE SHALL BE PERMITTED ONLY AFTER WRITTEN APPROVAL OF THE TOWNSHIP SUPERVISOR OR THEIR DESIGNEE. PLEASE REFER TO ORDINANCE 135 (NOISE ORDINANCE) FOR ORION TOWNSHIP TO OBTAIN ADDITIONAL REQUIREMENTS FOR NOISE RESTRICTIONS.

5. ALL MATERIALS AND MANUFACTURERS SHALL CONFORM TO THE STANDARD DETAILS.

6. UTILITY STRUCTURES SHALL NOT BE LOCATED IN DRIVEWAYS, AND WHERE POSSIBLE, SHALL NOT BE LOCATED IN PAVED AREAS.

7. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN ACCORDANCE WITH ACT 53 OF PUBLIC ACT 174 OF 2013 AND ALSO CONTACT OAKLAND COUNTY UTILITY AND PROTECTION SERVICE (MISS DIG 1-800-482-7171) THREE (3) WORKING DAYS BEFORE THE START OF ANY CONSTRUCTION.

8. THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES AND LIGHTS TO PROTECT TRAFFIC AND THE WORK AS DIRECTED BY THE ENGINEER. SUCH DEVICES SHALL BE PLACED PRIOR TO STARTING WORK IN AFFECTED AREAS.

9. PER INTERNATIONAL FIRE CODE 3310 - ACCESS FOR FIRE FIGHTING: APPROVED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF THE TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTION. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORT ING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ROADS

10. ALL SOIL EROSION AND SEDIMENTATION CONTROLS SHALL BE IN ACCORDANCE WITH THE OAKLAND COUNTY STANDARDS AND DETAILS. THE CONTRACTOR SHALL FOLLOW LOCAL RULES AND REGULATIONS FOR SOIL EROSION AND SEDIMENTATION CONTROL FOR ALL MATERIALS THAT ARE DISPOSED OF OFF OF THE PROJECT SITE.

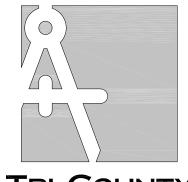
11. ALL SOIL EROSION MEASURES MUST BE PROPERLY PLACED PRIOR TO GRADING OR OTHER CONSTRUCTION ACTIVITIES. 12. FIELD CHANGES TO THE APPROVED PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE INSPECTOR ON SITE, WHO WILL DETERMINE WHETHER THE CHANGE IS CONSIDERED "SIGNIFICANT". "SIGNIFICANT" FIELD CHANGES SHALL BE SUBMITTED TO THE TOWNSHIP BY THE DESIGN ENGINEER. THE TOWNSHIP SHALL NOT BE HELD RESPONSIBLE FOR DELAYS IN APPROVAL OF CHANGES TO THE APPROVED SITE IMPROVEMENT (ENGINEERING) PLAN.

13. WHERE POSSIBLE, PUBLIC UTILITIES SHALL NOT BE PLACED UNDER PAVEMENT. THE CHARTER TOWNSHIP OF ORION SHALL NOT BE RESPONSIBLE FOR PAVEMENT, CURB, OR OTHER RESTORATION OF PERMANENT FACILITIES LOCATED WITHIN THE MUNICIPAL EASEMENT.

14. 3 WORKING DAYS PRIOR TO STARTING CONSTRUCTION, CONTACT THE CONSTRUCTION DEPARTMENT OF ORCHARD, HILTZ & McCLIMENT, INC. AT (734) 466-4539 TO SCHEDULE INSPECTION. OHM SHALL INSPECT ALL SITE IMPROVEMENTS INCLUDING UNDERGROUND UTILITY INSTALLATION, EARTHWORK OPERATIONS, RETAINING WALLS, ALL SIDEWALKS OR SAFETY PATHS IN ANY PUBLIC R.O.W., AND ANY ADDITIONAL ITEMS NOTED DURING REVIEW OR AT THE PRE-CONSTRUCTION MEETING. FINAL OCCUPANCY MAY BE AFFECTED IF PROCEDURES ARE NOT FOLLOWED FOR PROPER INSPECTION.

15. PERMANENT FACILITIES OF ANY TYPE, INCLUDING BUT NOT LIMITED TO, TREES, LIGHT POLES, DRAINAGE STRUCTURES, SANITARY STRUCTURES, BENCHES, TRASH RECEPTACLES, ETC., WILL NOT BE ALLOWED WITHIN THE INFLUENCE OF THE PUBLIC WATER MAIN OR SANITARY SEWER EASEMENTS

16. THE OWNER WILL REGULARLY CLEAN AND MAINTAIN ALL STORM SEWER AND DETENTION BASINS PER THE TOWNSHIP'S STORMWATER MANAGEMENT AND EROSION CONTROL ORDINANCE



TRI-COUNTY **Engineering Consultants** 

> 48701 Hayes Road Shelby Twp, MI 48315 TEL: (810) 394-7887 FAX: (586) 566-4642 info@Tri-CountyEng.com www.Tri-CountyEng.com

CLIENT NAME:

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> 3 WORKING DAYS 800-482-7171



Know what's below. Call before you dig.

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ROJECT NAME:

MATTRESS FIRM Site Development Outlot - 851 Brown Rd Orion Township, MI 48359

UTILITY & **GEOMETRY PLAN** 

ROJECT LOCATION: SEC 33, T04N, R10E ORION TOWNSHIP

OAKLAND COUNTY Drawn By: FH Checked By: SS

Approved By: SS

**EVISIONS**:

PRELIM PLANS 10/29/20





CALE VERIFICATION:

BAR IS ONE—INCH ADJUST SCALES ACCORDINGLY IF N

1" = 30'

ROJECT NO: TD21004

RAWING NO:

TD21004UT

 $\cup \mid -1$ 

---- STRUCTURE ID NO

STRUCTURE TYPE

SANITARY MANHOLE

GATE VALVE & WELL

STORM MANHOLE

CATCH BASIN

END SECTION

INLET

TAPPING SLEEVE VALVE & WELL

REAR YARD CATCH BASIN



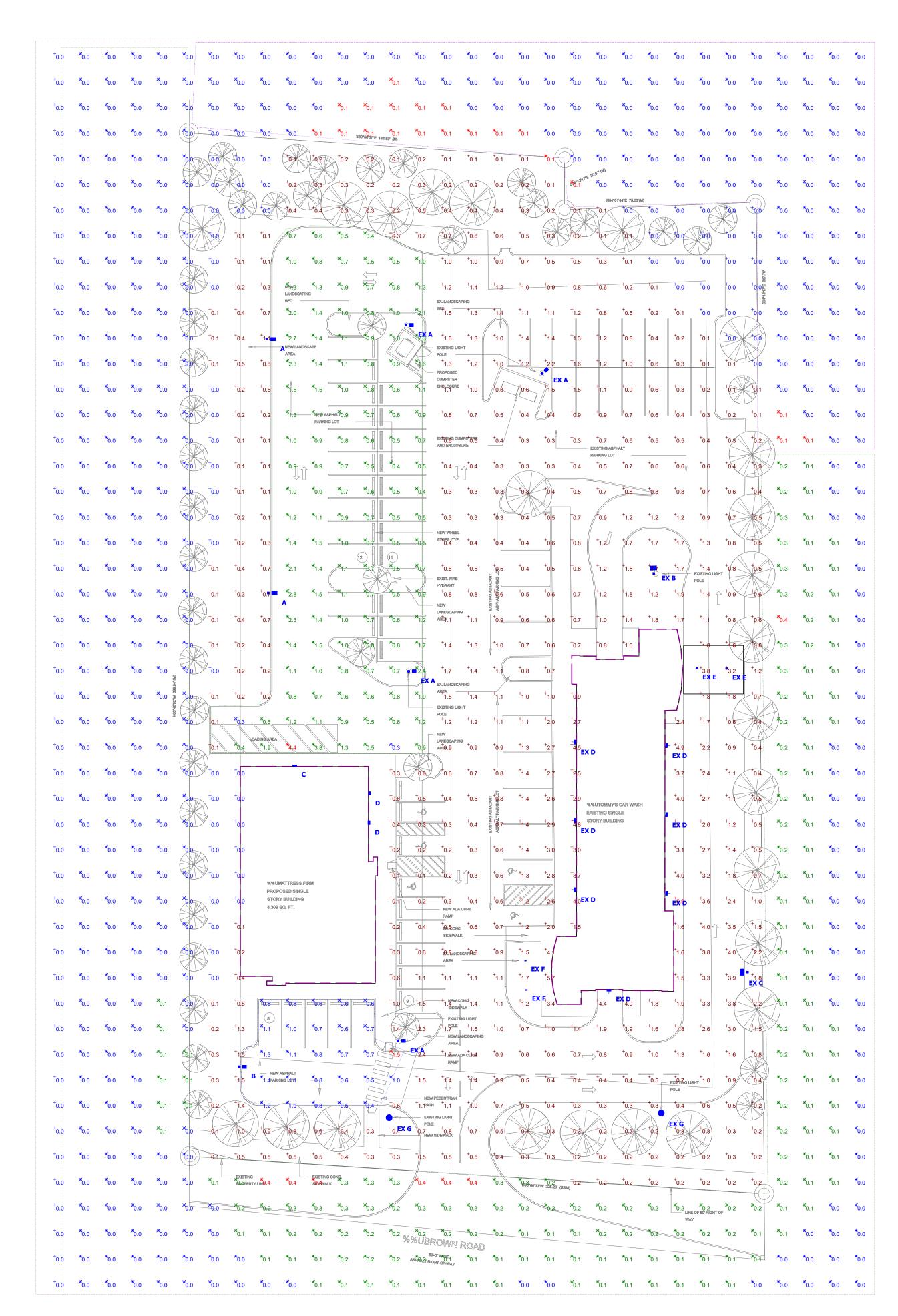
MATTRESS FIRM - ORION TOWNSHIP
PHOTOMETRIC SITE PLAN
REPARED FOR: NOWAK & FRAUS ENGINEERS
CLARK TROMBLEY RANDERS
WWW.CTRMEP.COM

Note

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

_						
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Mi
Commercial Boundry	ж	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
Overall	+	0.5 fc	5.9 fc	0.0 fc	N/A	N/A
Residential Boundry	ж	0.0 fc	0.1 fc	0.0 fc	N/A	N/A
North Lot	ж	1.0 fc	4.4 fc	0.3 fc	14.7:1	3.3:1
South Lot	ж	0.8 fc	1.5 fc	0.4 fc	3.8:1	2.0:1

Schedul	e				
Symbol	Label	Image	Quantity	Manufacturer	Description
	EX A		4	Lithonia Lighting	LED AREA LUMINAIRE
	EX B		1	Lithonia Lighting	LED AREA LUMINAIRE
	EX C		1	Lithonia Lighting	LED AREA LUMINAIRE
	EX D		7	Lithonia Lighting	WALLPACK
	EX E	Lighting Circles	2	Lithonia Lighting	6IN LED DOWNLIGHT
	EX F		2	Lithonia Lighting	LED FLOOD LIGHT
	EX G		2	Holophane	LED ACORN
	A		2	Lithonia Lighting	LED AREA LUMINAIRE
	В		1	Lithonia Lighting	LED AREA LUMINAIRE
	С		1	Lithonia Lighting	WALLPACK
	D		2	Lithonia Lighting	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT



Plan View
Scale - 1" = 25ft

Designer

**Date** 08/18/2021 **Scale** 

NO SCALE

Drawing No.
SITE PLAN
Summary

#### Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color

appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- · This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1
- This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+,

- visit www.acuitybrands.com/aplus. 1. See ordering tree for details.
- 2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

9	A+ Capable options indicated by this color background.	

**Specifications** 

17-1/2"

(44.5 cm)

17-1/2"

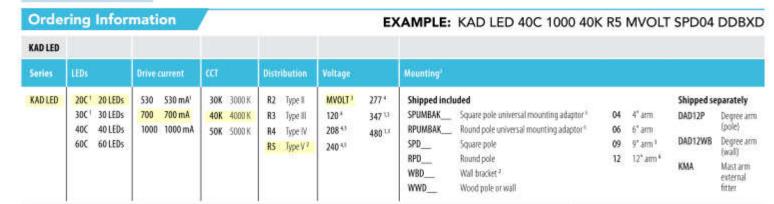
7-1/8"

36 lbs.

EPA:

Width:

Height:



KAD LED

LED Area Luminaire

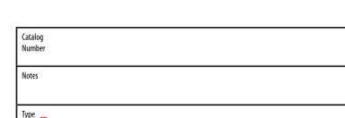
ption	tions .									inequired			
Shipp	ed installed					Shipp	ed separately 17	DOBXD	Dark bronze	DDBTXD	Textured dark		
PER5	NEMA twist-lock five-wire receptacle only (no controls) TAIL	PIR1FC3V	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient	PNMTDD3	Part night, dim till dawn <sup>STC 18</sup>	WG	Wire guard	DBLXD	Black Natural	DBLBXD	bronze Textured black		
PER7	Seven-wire receptacle only (no controls) 72.9	DIDUISECTIV	sensor enabled at 1fc 10x1120,0 Bi-level, motion/ambient sensor, 15-30 mounting height, ambient sensor enabled at 1fc 10x1120.0	PNMT5D3 PNMT6D3	Part night, dim S hes 15 to			43,04,000	aluminum	DNATXD	Textured natura		
SF	Single fuse (120, 277, 347V) *	PIKH IFC3V						DWHXD	White		aluminum		
DF	Double fuse (208, 240, 480V).4				Part night, dim 6 hrs 1036					DWHGXD	Textured white		
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc 330 13,353	BL30	Bi-level switched dimming, 30% <sup>3,2,18,11</sup>	PNMT7D3	Part night, dim 7 hrs <sup>1,71,76</sup>								
PIRH	Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 50c HOLKELIN	BL50	Bi-level switched dimming, 50% 32 IX.11	HS	Houseside shield <sup>17</sup>								

LITHONIA LIGHTING COMMERCIAL OUTDOOR

One Lithonia Way . Conyers, Georgia 30012 . Phone: 800-705-SERV (7378) . www.lithonia.com © 2012-2021 Acuity Brands Lighting, Inc. All rights reserved.

KAD-LED Rev. 04/19/21 Page 1 of 5

Outdoor General Purpose



### FEATURES & SPECIFICATIONS

Provides years of maintenance-free illumination for outdoor use in residential & commercial applications. Ideal for applications such as lighting walkways and stairways for safety and security.

LITHONIA LIGHTING

CONSTRUCTION Cast-aluminum housing with corrosion-resistant paint in either dark bronze or white finish.

ADA compliant. OPTICS 4000K CCT LEDs.

Polycarbonate lens protects the LED from moisture, dirt and other contaminants. LUMEN MAINTENANCE: The LED will deliver 70% of its initial lumens at 50,000 hour average LED life. See Lighting Facts label on page 2 for performance details. ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V Operating temperature -30°C to 40°C. 1KV surge protection standard.

INSTALLATION Surface mounts to universal junction box (provided by others).

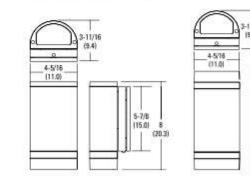
UL Listed to U.S. and Canadian safety standards for wet locations. Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY - 5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/support/customer-support/terms-and-conditions Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.





All dimensions are inches (centimeters)



Series	Performance Package	Color temperature (CCT)	Voltage	Finish
OLLWD LED Downlight	P1	40K 4000K	MVOLT 120V-277V	DDB Dark bronze

1. Only available with OLLWU and in DDB. Only available with OLLWU.

OLLWD-OLLWU

DECORATIVE INDOOR & OUTDOOR

KAD LED LED Area Luminaire

Specifications

EPA: 17-1/2" 17-1/2" 7-1/8" Height: Weight (max): 36 lbs.

Capable Luminaire This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

 All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency . This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1 This luminaire is part of an A+ Certified solution for ROAM®2 or XPoint™ Wireless control networks,

providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup> To learn more about A+,

visit www.acuitybrands.com/aplus.

See ordering tree for details.

2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: Link to Roam; Link to DTL DLL

A+ Capable options indicated by this color background.

KAD LED																
Series	LEDs		Drive.	current	αī		Distr	ibution	Voltage		Mounting					
KADLED	20C1	20 LEDs	530	530 mA <sup>1</sup>	30K	3000 K	R2	Type II	MVOLT 3	2774	Shipped inclu	ided			Shipped se	parately
	30C1	30 LEDs	700	700 mA	40K	4000 K	R3	Type #1	120 4	347 13	SPUMBAK	Square pole universal mounting adaptor 6	04	4" arm	DAD12P	Degree an
	40C	40 LEDs	1000	1000 mA	50K	5000 K	R4	Type IV	208 43	480 U	RPUMBAK	Round pole universal mounting adaptor 6	06	6" arm		(pole)
	60C	60 LEDs					100	Type V7	240 41	100	SPD	Square pole	09	9" arm <sup>s</sup>	DAD12WB	Degree an
											RPD	Round pole	12	12" amn 6	100.00	(wall)
											WBD	Wall bracket 2			KMA	Mast arm external
											WWD	Wood pole or wall				fitter

ptions	Sons:												
Shippe	ed installed					Shipp	oed separately 17	DOBXD	Dark bronze	DDBTXD	Textured dark		
PER5	NEMA twist-lock five-wire receptacle only	PIR1FG3V	Bi-level, motion/ambient sensor,	PNMTDD3	Part night, dim till	WG	Wire guard	DBLXD	Black		bronze		
	(no controls) TAN		8-15' mounting height, ambient		dawn Skin		0000000	DNAXD	Natural	DBLBXD	Textured black		
PER7	Seven-wire receptacle only (no controls) 74/9		sensor enabled at 1fc 130,11,22,15	PNMT5D3	Part night, dim			4,00,000	aluminum	DNATXD	Textured natura		
SF	Single fuse (120, 277, 347V) 4	PIRH1FC3V	15 W mounting baidst perhiant		5 hrs LFL to			DWHXD	White		aluminum		
DF	Double fuse (208, 240, 480V) *			PNMT6D3	Part night, dim					DWHGXD	Textured white		
PIR	Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc 500 1,1839	BL30	Bi-level switched dimming, 30% 3218.11	PNMT7D3	Part night, dim								
PIRH	Bi-level, motion/ambient sensor, 15-30/ mounting height, ambient sensor enabled at 5fc, \$100,50,00.	BL50	Bi-level switched dimming, 50% 3218,11	HS	Houseside shield <sup>17</sup>								

LITHONIA LIGHTING COMMERCIAL OUTDOOR

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KAD-LED Rev. 04/19/21 Page 1 of 5

Specifications

**WPX LED** 

effective, and aesthetically appealing solutions for both HID wall pack replacement and new construction opportunities. Available in three sizes, the WPX family delivers 1,550 to 9,200 lumens with a wide, uniform distribution. The WPX full cut-off solutions fully cover the Side View

footprint of the HID glass wall packs that they replace, providing a neat installation and an upgraded appearance. Reliable IP66 construction and excellent LED lumen maintenance ensure a long service life. Photocell and emergency egress battery options make WPX ideal for every wall mounted lighting application.

The WPX LED wall packs are energy-efficient, cost-

Ordering Information

Front View

naire Height (H) Width (W) Depth (D) Side Conduit Location Weigh

 WPX1
 8.1"(20.6 cm)
 11.1"(28.3 cm)
 3.2"(8.1 cm)
 4.0"(10.3 cm)
 0.6"(1.6 cm)
 6.1 lbs (2.8kg)

 WPX2
 9.1"(23.1 cm)
 12.3"(31.1 cm)
 4.1"(10.5 cm)
 4.5"(11.5 cm)
 0.7"(1.7 cm)
 8.2 lbs (3.7kg)

WPX3 9.5"(24.1 cm) 13.0"(33.0 cm) 5.5"(13.7 cm) 4.7"(12.0 cm) 0.7"(1.7 cm) 11.0 lbs (5.0kg)

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Introduction

Series	ries		les Color Temperature			Voltage		Options		Finish		
WPX1 LED P1 WPX1 LED P2 WPX2 LED WPX3 LED	1,550 Lumens, 11W <sup>-</sup> 2,900 Lumens, 24W 6,000 Lumens, 47W 9,200 Lumens, 69W	30K 40K 50K	3000K 4000K 5000K	MVOLT 347	120V - 277V 347V <sup>†</sup>	(blank) E4WH E14WC PE	None Emergency battery backup, CEC compliant [4W, 0°C min] ? Emergency battery backup, CEC compliant [14W, -20°C min] ? Photocell !	DOBXD DWHXD DBLXD Note : For	Oark bronze White Black r other options, consult fa			

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

 All WPX wall packs come with 6kV surge protection standard, except WPX1 LED P1 package which comes with 2.5kV surge protection standard. Add SPD6KV option to get WPX1 LED P1 with 6kV surge protection.
 Sample nomenclature: WPX1 LED P1 40K MVOLT SPD6KV DDBXD Battery pack options only available on WPX1 and WPX2.
 Battery pack options not available with 347V and PE options.

FEATURES & SPECIFICATIONS

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 250W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for -40°C to 40°C.

WPX feature a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66 rated, and sealed against moisture or environmental contaminants. ELECTRICAL Light engine(s) configurations consist of high-efficacy LEDs and LED lumen maintenance of L90/100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating

of 2.5kV. It can be ordered with an optional 6kV surge protection). All photocell (PE) operate on MVOLT (120V - 277V) input. Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output (to dim the luminaire).

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows poke-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

CSA Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QFL to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

5-year limited warranty. Complete warranty terms located at: Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C.

Specifications subject to change without notice.

LITHONIA LIGHTING COMMERCIAL OUTDOOR

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WPX LED Rev. 06/17/21

Designer AAZ Date 08/18/2021 Scale NO SCALE Drawing No. SITE PLAN Summary

VISUAL

## CHARTER TOWNSHIP OF ORION PLANNING COMMISSION \*\*\*\*\*\* MINUTES \*\*\*\*\*\* REGULAR MEETING, WEDNESDAY, SEPTEMBER 15, 2021

The Charter Township of Orion Planning Commission held a regular meeting on Wednesday, September 15, 2021, at 7:00 pm at the Orion Township Community Center, 1335 Joslyn Rd., Lake Orion, Michigan 48360

#### PLANNING COMMISSION MEMBERS PRESENT

Scott Reynolds, Chairman Don Gross, Vice-Chairman Joe St. Henry, Secretary Jessica Gingell, Commissioner Don Walker, PC Rep to ZBA Kim Urbanowski, BOT Rep to PC Derek Brackon, Commission

#### PLANNING COMMISSION MEMBERS ABSENT:

None.

#### 1. OPEN MEETING

Chairman Reynolds opened the meeting at 7:00 pm.

#### 2. ROLL CALL

As noted

#### **CONSULTANTS PRESENT:**

Rodney Arroyo, (Township Planner) of Giffels Webster Matt Wojciechowski, (Township Planner) of Giffels Webster Mark Landis (Township Engineer) of Orchard, Hiltz, and McCliment, Inc. Tammy Girling, Township Planning & Zoning Director

#### **OTHERS PRESENT:**

Jeff Klatt Jeff Schmitz
Bill Schmitz Ashley Hackman
Allen Eizember Tom Beauchamp
Dave Murphy Tom Roth

#### 3. MINUTES

A. 09-01-21, Planning Commission Regular Meeting Minutes

B. 09-01-21, Planning Commission Public Hearing Minutes, PC-2021-63, Meijer SLU Moved by Vice-Chairman Gross, seconded by Commissioner Walker, to approve both sets of minutes, as submitted. **Motion carried** 

#### 4. AGENDA REVIEW AND APPROVAL

#### 5. BRIEF PUBLIC COMMENT - NON-AGENDA ITEMS ONLY

None

#### **6. CONSENT AGENDA**

None

#### 7. NEW BUSINESS

<u>A. PC-2021-67, J.S. Brown Rd., LLC Site Plan, located at 851, & 861 Brown Rd, (parcel numbers 09-33-351-020 & 09-33-351-021).</u>

Chairman Reynolds asked if the applicant was present?

Mr. Jeff Klatt with Kreger Klatt Architects, 2120 E. 11 Mile Rd., Royal Oak, presented.

Mr. Klatt said he was also there with the developer and owner Jeff Schmitz, and Bill Schmitz as well. He noted that they also own Tommy's Car Wash which is on the same parcel as the one in question tonight. He stated that they have a brief architectural presentation that they will present. They are also aware that they have not received full approval from the various site plan, comments that they received, and they will address that in their presentation tonight. They are still seeking their approval with a caveat that they will work administratively with the Planning Department, as well, as their consultants to address these items administratively.

Mr. Klatt noted that there were a handful of items that were mentioned in the Giffels Webster letter, he believed that there were five items that were mentioned, that they are looking to gain their approval tonight as well, which they will address in their presentation.

Mr. Klatt said that Planning & Zoning Director Girling and her staff have been very helpful throughout the process, and appreciated their guidance. He said they had a great preapplication meeting which was helpful for their team as well. He thought that the misunderstanding happened because they thought it was a two-part submittal with the heavy engineering taking place at the permit level versus the Planning Commission level.

Mr. Klatt pulled up the presentation for the Commissioners. He stated that the highlighted areas is the property in question, as they are aware this is near the NW corner of Joslyn and Brown Rd. They are adjacent to the Bank of America building as well as Tommy's Car Wash. The proposed site is about 1.3 acres on the west side near Tommy's Car Wash. The original plan for Tommy's Car Wash did suggest a design for the adjacent parcel. It indicated about a 5,000sq. ft. retail building with the same general and maneuvering lanes that were laid out on the site. The only modification to their plan, the parking is the same, maneuvering lanes are the same, the building footprint decreased a bit, they are about 4,300-sq. ft, as compared to 5,000-sq. ft. In some of the photographs many of the site improvements have been made, there is landscaping in the front right-of-way, site lighting is already in place, a lot of the infrastructure is already in place, a lot of the catch basins are there, some of the landscaping islands are in place as well. The retail use is appropriate in this zoning district. He showed them some of the existing photos, many were shot that day. He said that they could see some of those improvements that he had mentioned, there is the maneuvering lane up the middle, which will be shared for the two uses. They can see the vegetation of the landscape that is already in the front setback. He showed them an existing view to the west looking at the existing sidewalk and some of that landscape that is already in place, and they could see the site lighting. He showed them a picture of one of the curb islands that were already in place.

Mr. Klatt showed the commissioner's the proposed site plan. He stated that they have made some of the adjustments, they have not submitted formally yet but they had already addressed some of the comments that were in the Giffels Webster write-up. So, #1 this is the actual parcel in question the 1.3-acres highlighted in the yellow, and Tommy's Car Wash is on the right-hand side. #2 suggests that maneuvering lane which is the blue line up the middle, which will provide access to the Tommy's Car Wash site, as well as, the Mattress Firm, and that runs right up the center of the site with one access point to Brown Rd. #3 is the proposed building in the darker shade of gray, and #4 is the existing Tommy's Car Wash Building. #5 is the proposed parking for the Mattress Firm site. They are proposing 56 parking spaces and thought they were over by 36. As they will indicate in the presentation this is a shared site so they thought that the park can be useful for both uses on the site so they are requesting to keep that. #6 is the loading zone; #7 is their new trash area. #8 one important feature, they placed the building here to maintain a consistent building setback, to match the line of the Tommy's Car Wash building that is in place.

Mr. Klatt showed them the floor plan of the Mattress Firm. The upper right-hand corner is the portion of the building that will face the road, a lot of corner glass a pretty simple layout, 4,300-sq. ft. mostly open space for Mattress Firm. The exterior design is fairly contemporary in nature which is really a playoff the Tommy's aesthetic, straight lines, fairly straightforward, contemporary appearance, one story in height, high-end materials, modular brick with some soldier course accents. They are using a high-quality metal siding which is Longboard replicates wood but of course low-maintenance. They also have some other decorative metals on the buildings for accents. A lot of glazing, which meets the ordinance requirements, was one comment that they adjusted. They had to meet the 60% requirement on Brown Rd., which they did, and there is a canopy as well too.

Mr. Klatt showed them some other views of the building.

Mr. Klatt said in regards to the site plan review letters, one from the WRC, there were no comments that they had to address. They received one from the Fire Department that was approved with no comments. They did receive a letter with various comments from Giffels Webster and they are confident that they can address the majority of them. There are five items that they do need their approval on. From OHM they had nine total comments, and their Tri-County Engineering is confident that they can address all of those requirements. He added that they needed a survey to complete the grading plan, the survey was completed this week, so he is actively working on the grading plan, and they are asking to work administratively with the engineering department on that.

Mr. Klatt said in the Giffels Webster letter there were five waivers that they needed from the Planning Commission. #1 is the setback waiver for deficient building setback along the west side. He thought that there was a 10% discrepancy they meet that. The ordinance is 20-ft. they have a 16-ft. setback and thought that they were in the ground for approval. #2 is a setback waiver for deficient parking setback along the west property line. They feel they need the parking due to the various uses on the site. They have a landscape buffer on the east side of the site, they are simply proposing to match that on the west side for consistency. #3 is the parking in front of the building. They are holding a consistent building line across the front they feel it is beneficial for the customers to have parking close to the building. Paving wraps around the front of the building, and they are holding a consistent landscape frontage in that area which is consistent with Tommy's and some of the photos that he showed them earlier so they would keep that parking.

Mr. Klatt stated that #4 the property will be split into two lots, and he believed that was the case, they are requesting to split the property. This has to deal with the deficient parking setback, from his understanding, if they split the lot, they may have a setback issue because they are tight to the lot line in each case, but felt it would be awkward to have an internal landscape island up the middle of the site since these are shared uses. #5 is to be an ancillary use permitted prior to a primary use. Those are the five items that they are seeking their approval for this evening.

Mr. Klatt said that a handful of other items suggested land banking some of the parking but they really want to keep the parking as they feel it is great for the shared uses on the site. He added that the front yard greenbelt that has to do with the parking that they have in the front. They feel that they are consistent with what is already in place for Tommy's, it is attractive and it works, and it helps to shield the view. The last comment is in regard to the drive aisles, they are in excess of 22-ft. which is the minimum standard. During the pre-application the Fire Marshal actually liked the fact that they had wider drives, so they are requesting to keep the drive aisles a bit wider than they have shown here.

Planner Arroyo read through his review date stamped September 8, 2021.

Engineer Landis read through his review date stamped September 9, 2021.

Chairman Reynolds stated that they had the Fire Marshal's review of the plan and had no additional comments. They also had the Public Service Director that had no issues or further comments at this point and time. There was a site walk completed by the Site Walk Committee. The RCOC had no preliminary comments at this time. WRC had no comments since there was not any storm proposed on the site or on the plans.

Commissioner Brackon asked if they reduce the aisle widths will that get rid of the need for the side yard setback? Planner Arroyo replied yes.

Commissioner Brackon asked what the purpose of the wider aisles?

Mr. Jeff Schmitz at 155 Romeo Rd., Rochester, Ml. He is the developer and owner of the site.

Mr. Schmitz said he didn't know if any of them have been to their new Tommy's Car Wash site that is open. They are at 22-ft., it is the Township's minimum requirement, they are at 28-ft., they are talking 6-ft. Those vacuums are busy all the time, the more space the better, they want to keep that buffer, drive aisle, separated. There is a lot of people that walk around their cars, they don't want the minimum. They are looking at their own personal liability and safety, they are talking about 6-ft., that is for safety. They have a mom and her two kids, she is vacuuming the kid's run around the outside, and the back of the car.

Mr. Schmitz stated that when he first brought the Tommy's concept to them there were three houses that were on those three different parcels. Those three houses were in terrible shape, he bought two of them. He came before them, with his Tommy's presentation, and in good faith, as a developer the Township said that he had to buy the third house because no one would ever do anything with that third house, it would stay there forever. He said, "okay, I will buy that third house". That third house was \$250,000, he has two kids in college, \$250,000 is a ton of money. It was under a handshake that he would buy that house and they would make a small development that fit the community there. Such a small facility they had to put in all the infrastructure for that little facility without harming Tommy's that is already open, and he thought it was a great development. They put in the underground detention system, so all of the stormwater management, storm sewers, catch basins, and the height of the curbs are all there. He respected the Engineer's saying they don't have a grading plan but they are just matching what they have there. They will put that on their construction drawings or for permitting they are just matching. He didn't think that this was going to be super difficult and tedious to get through. To answer the question, yeah, the 22 versus the 28, he personally told his architect he wanted to keep those aisles as wide as possible for exactly what he is saying. If he has a mom and two little kids are running around the outside as she is vacuuming, he wants that space, it is common sense.

Commissioner Brackon asked why does he want the front parking? Mr. Schmitz replied that he thought that the front parking fits there because those curbs were already there, it was already designed in the first plan, it was already approved that way. He asked if he should go and rip out all of those curbs and start over and start with new grades, and new catch basin elevations? He thought the front parking matches, they follow that line. He asked what do they do with that, make it a front yard for grass? It doesn't fit the retail motel. They are just trying to use some common sense in what their approach is to develop that site. They are not asking for something that is totally crazy.

Commissioner Brackon said what he heard was that the site plan requires A-Z, and they submitted 16 of the 26 requirements that the site plan requires. He was trying to figure out if they know it is A-Z, why turn it in not finished? Mr. Schmitz said that when they are talking about a cut section of a dumpster enclosure, it is a standard detail that is a permitting issue.

Commissioner Brackon asked if there was a legal description? Mr. Schmitz replied that he has the legal description, they actually have the easement it is all ready to go and fill out. He asked why they would spend the money to pay for the easements to change their financing package today, they are just asking for a site plan. Technically a site plan is, do they like the building, does the parking work, does the landscaping work, that is a site plan.

Commissioner Brackon said he thought that was a simplistic view of what OHM said and what they and the Township are requiring. Mr. Schmitz asked, is it? Commissioner Brackon replied in his opinion yes. Commission Brackon asked what the purpose of the parking numbers being so far in excess of the minimum, the 36 extra spaces, what is the thinking behind wanting those extra spaces, as opposed to land banking? Mr. Schmitz replied that the site plan originally for Tommy's has all the catch basins and utilities there for it, it was approved from the original inception. They (the Commissioner's) asked him to buy that property. He didn't want to buy that property. Not only did he buy that property but he put all the improvements to that property. He is trying to understand what is really different than the original design concept that they gave them, other than they didn't show a building on there they showed a dotted line of 5,000-sq. ft.

Commissioner Brackon said his question was what is the purpose of the extra spaces versus land banking? Mr. Schmitz said it was there from the original approval. Commissioner Brackon asked what are they going to be used for? Mr. Schmitz said for a lousy 4,000-sq. ft. they want him to start ripping up storm sewer catch basins?

Chairman Reynolds said they were not there to debate. He said he would like to not have this back and forth. They are there as a Planning Commission to go down a checklist. Even their personal opinions aside they are there to check those off. He said some of these comments are getting lost in a debate that they are looking for factual information. Their ordinance, for example, requires parking based on retail square footage, they are asking for a significant amount of parking spaces beyond that. It is not uncommon for them to grant that but they normally see a, not just a we want it, but they have X number of employees there is a model behind this Mattress store itself that there is more retail traffic, they have heard nothing factual supporting that yet. He would like to keep it to the facts and put the emotion aside if they could. He understood where they were coming from as a developer and the history of this parcel, and many of these people sitting here are not aware of all of those, and he appreciated them bringing that to the counter but at the same time that is not what they are there to debate.

Mr. Schmitz stated that the Mattress Firm has very few employees maybe two, maybe they see 10 customers per day.

Chairman Reynolds said where they are getting after with some of these, there is a need for additional parking spaces if he was understanding him. Is that because of the parking for employees for the car wash? He wanted to have this as a guided discussion. Mr. Schmitz said there is not a need for those parking spaces, his disappointment is, is that under their original design concept, so let's assume that he wasn't buying and creating a separate parcel for myself even though he owns the Tommy's and creating a separate entity. They probably wouldn't be having this discussion because all of those things were already in place based on the original approval, and it was just showing a 5,000-sq. ft. building and they would basically show an elevation and where the water and sewer were coming in. Because of the technicalities of having to form a new entity because they keep every new piece of real estate under a new

entity, they are having to go through that whole gambit again. He was really hoping that they didn't have to do that, he is asking for a site plan approval, he would like their approval tonight, he likes the drive aisle, he likes the parking in the front, it just matches the whole property. The whole landscape image is like a horseshoe, they just mirror each other. He thought the drive aisle was important, safety is really important. If they went out there on a sunny day after a rain the day before, they will know exactly what he is talking about. They will see moms and kids, dads and kids, and they are all playing around those cars, he thought it was important as far as that setback. He added that as far as the land banking, he would really hate to have to tear that out, all that work that he has already put in.

Secretary St. Henry said in terms of the 28-ft. aisle the applicant provided what he thought was a rational explanation for that, he said other car washes around town, some have plenty of room for that reason, others don't have enough and you wonder if you are going to get clipped. He was comfortable with that because when he did the site walk, he saw that the vacuums were right there on the side, it makes sense. In terms of the front parking, it is a retail establishment, people are going to want to see cars in the parking lot. He thought that if they just left that open something wouldn't look quite right with the overall development. He said that parking in the back, he was curious what the spaces are but it is true they approved this site plan a year or two ago and the parking was in the back, the building was a little bigger, they didn't know at the time what it would be if it was a restaurant he didn't know if they would even question the extra parking in the back. If they take the applicant's word that it is needed, if it is going to be needed for the car wash perhaps employees or whoever, that footprint it there. They are all curious about the extra space but in his opinion, it is not a dealbreaker. The setbacks on the side, closing the aisleway a little bit it would adjust the setback on the westside but the need for the space is a rational need for an additional 6-ft. which means a lot when they got cars coming through there. He added that perhaps there are other ways to slow cars down if there is a real concern about the speed going straightaway to the back of the piece of property. It is a challenging piece of property, when he did the site walk, it is not very wide, and he has a better feel for what he wants to do now. Overall, he is comfortable with it, assuming that he meets the other five requirements that were outlined by the Planner that any additional issue with OHM can be addressed.

Vice-Chairman Gross said that he spent some time looking at the site plan, and he has a concern as to why a requirement to waive the side yard setback for the building is required, a 4 or 5-ft. variance that is being requested. It is a block warehouse building and there is no reason why either the building could be setback an additional 4-ft. and if the square-footage is necessary it be expanded to the north because there is lots of room to the north that it could be expanded to accommodate the square footage of the building. He found it hard to justify a waiver of 4-ft. setback for the building.

Vice-Chairman Gross said that he also looked at the front parking, he could see the pluses of that but he was looking at the traffic conflict between that drive and the exiting drive from the car wash and the conflict it creates at that intersection right at Brown Rd., and just north of that where everything comes together. He added that the driveway widths, again, taking a couple of feet off of a 37-ft. wide driveway and adding that to the landscaping he thought that it is an acknowledgment of the fact that there is landscaping required along that west property line. He didn't see what the monument sign was going to look like, although it does have to be moved out of the sanitary easement. He thought it would be helpful to see what it looks like and where it is going to be. Mr. Schmitz stated that there will be no monument sign.

Vice-Chairman Gross said that the parking in the front if there were an entrance at the front it would make a lot more sense to have parking in the front. Anyone that parks there has to park has to walk around the side of the building to get into the building.

Chairman Reynolds said that they are always looking to be workable with developers and understand that it is a lot of money and a large endeavor to embark on this journey. There is a lot of open comments some very small in nature but in his perspective, there are some things to be addressed. Before hearing the discussion of the car wash and the vacuums he did the same math of, they are asking for a 4-ft. waiver on the setback which if they went back to even an increased aisle width across the board, they would still be greater than their minimums, they would still be at 23-ft. 3.5-inches. They would also be at 25-ft. 10-inches at the rear, so there is definitely some opportunity and flexibility there. The same thing goes for the parking setback that they have right now, it is a 27-ft. 6-inch drive aisle but they are also asking for a setback from that. Parking he could understand if there are calculations or discussion to support that, that between the joint properties looking at the parking together that it is needed, he as fine with having the additional parking being proposed. Their comment in the past was just to avoid the seas of parking lots that they see in shopping malls. From a visual standpoint, he didn't have a strong opinion about the parking in the front except for the conflicts if they are really going to talk about flow through the site, minimal accesses, or minimal opportunities of changes in direction. He added that there were a few things just for them on Brown Rd., if there is parking is it going to be screened? Was that something they were willing to add? He was fine with this property as a whole being ancillary use before the primary because it is occurring the way they want it to be from a development perspective. He stated that he was struggling with some of these setback waivers just from a sense of they could be avoided in some way. Could they stretch the building in a different direction? Is that not an opportunity then so be it but it is obviously something how they are looking at it saying, well why couldn't you take 4-ft. off and make the building a little deeper, one way or the other, especially since they are in excess of parking. would they miss one less parking spot if all of that shifted to the north?

Chairman Reynolds said that some of the stuff is low-laying fruit but it is their standard for Site Plan approval. Even if it is a \$100,000 project or \$50,000 project, himself, personally, and professionally have been through the process and have been held to the same standard. It is a pain sometimes but it is what they ask of everyone. It doesn't matter if it is 10-million or 100-thousand, it is their standard for Site Plan.

Secretary St. Henry asked Vice-Chairman Gross's to describe again his thinking on moving the building, he asked him to repeat that. Vice-Chairman Gross stated that if the size of the building is important then taking 4-ft. off of the west side of the building and adding it to the north side of the building can generate the same amount of square footage. If the square footage isn't that important, the reduction of 4-ft. of the building, would still accommodate the 20-ft. setback for the west side yard.

Mr. Schmitz said that they would be in breach of their potential lease with Mattress Firm, they need some many feet of front area building, and they are already at their minimum. He stated that they looked at those options but he thought what was first and foremost was protecting their Tommy's asset, and when it come to the drive aisles it was super important.

Trustee Urbanowski stated they have an access of parking, which is already there. She asked if the parking on the side have to be there? She was fine with leaving it upfront but that side parking if that was eliminated then the whole building would fit. They are not losing parking because they have a lot.

Mr. Schmitz said that this is a retail center, he has developed 30 Rite Aids in his lifetime, they require that parking all the way around. He stated that he can't get out of it. That was the reason why he was so reluctant to do the Tommy's deal because he was forced to buy all three houses because he knew this was going to be an issue. He knew from a retail standpoint this

would be an issue. If they put in a restaurant, they looked at several different restaurant chains with this drive-thru, none of those really fit. When they look at retail, they insist on that parking whether it is a Rite-Aid or a Chick-fil-A, it just doesn't work, and that was his hesitancy in spending all the money and the detention system early on because let's face it how do they put a detention system on a one-acre parcel like that that is so long and narrow. They went ahead and he put in the detention system for both lots knowing that this was going to be a very dramatic and difficult project. He was sure they had the tapes of the last Planning Commission meeting where they shot him down on the Tommy's where they required them to buy the third house, and he said he didn't know how to make that work. There was nothing they could do with this. Finally, after 1.5-years of working trying to get something viable here, as they can sense his frustration when they look at the landscaping plan in front of them, that is the landscape plan that was approved. Now they are talking about screen walls in the front, and things like that, he spent so much money on a little house because everyone knew that he had to have it. He noted that he was really flexible, he can get all the engineering and satisfy the engineer requirements, he was looking for a Site Plan approval. He was highly concerned about making that drive aisle smaller. Secretary St. Henry saw it himself, there is a lot of foot traffic around those cars, he is asking for 6-ft. He was told that the side yard setback issue would not be a problem, that the Planning Commission would work with him. When they look at 6-ft. it is not that great.

Chairman Reynolds asked about the aisle width behind the building that is 27-ft. in width, does that need to be 27-ft. in width which is prompting the setback waiver for the additional parking? He said the setback of #2 right now that is governing that buffer, right now it is 27-ft. 6-inches in width. Mr. Schmitz said that they were willing to do that.

Chairman Reynolds said from his perspective, they have a project that comes in and they have a list of not 2 things, they have 25 things, they usually don't appear. They have 5 waivers and there is no push and pull on any of them, and there is no support for some of it either. There has been some discussion here that has come out, arguing life safety, they have a drive aisle at the rear that 31-ft. 10-inches currently for the vacuums, and then at the front they have it and it is 27-ft. 3.5-inches, so both of those are significantly larger specifically the rear one is almost 10-ft. larger. There is not a consistent argument here between some of these. Then when they talk about some of these setbacks, and they say, ok it is narrow they have seen this on Brown Rd., and there are some of these instances including Tommy's where they said there is narrower side yard greenbelt or setback but then they are asking it for across the board and they are deviating from the ordinance not only on the front, but side, rear, and the islands, and all of it. From their perspective, it is asking for a lot. There is not really a supporting factor across the board that says this is why they did it, they have 20-employees rotating every hour with Tommy's Car Wash that supports 20 additional parking spots. They already have the infrastructure in there and there could be peak demand hours of the mattress store that support that. If they are asking for a parking calculation waiver, they ask that across the board with any project. That is some of the struggles that he knows himself, plus other Planning Commissioners are having here tonight, is that there is not a push and pull but there are areas where they are saying it is important for the car wash vacuums but what about the other areas. He gets it that maybe a 20-ft. setback is not possible but right now they are talking minimal to none, and they are also promoting an aisle width that is significantly larger than they typically hold as a standard for the Township. Mr. Schmitz asked how many parking spaces were they over? Chairman Reynolds replied 36. Mr. Schmitz asked if possible, and time is of the essence on this one, it happened fast, it is a project that has to open in June 2022. He was looking for at least a preliminary site plan approval, if he is at 36 spaces over can he say he will reduce it down by 20-spaces and make the purple area landscaping they adjust that in the back, handle that through the engineering process and they compromise. He said that he will rip out all of the catch basins and redo all the catch basins to conform to that.

Vice-Chairman Gross said that if they want to put in an extra 36 spaces from his standpoint, he said he thought that was ok, but why can't they reduce some of the aisle widths by 5-ft. instead of a 10-ft. landscape it's 15-ft., it didn't make sense to him. Mr. Schmitz said that his consultant architect said that they could do that, but he would like not to have to do that where the vacuums are for safety. He said he will adjust those in the back to make them conforming to their ordinances and he would like a recommendation for at least a preliminary site plan approval subject to addressing all the issues from their consulting engineers and go from there.

Mr. Schmitz liked the front parking he did want that approval on the 4-ft. encroachment on the building, only because that is the lease, he said he would provide it if they want it, they have to have so many feet of frontage.

Secretary St. Henry asked how many spaces are they talking in the front? Mr. Klatt replied that there were 19 spaces on the west side and 5 spaces in the front.

Secretary St. Henry asked how many people typically visit this mattress store on a given day? Mr. Schmitz replied that he would say, not including employees, 20. It is not a lot, but the future use is what if the Mattress Firm all go bankrupt, does it become a restaurant, then they need the parking again.

Commissioner Walker said that the representative when he opened up about an hour ago indicated that he wasn't aware that this could be a two-step process. Does that mean he has never applied for a Site Plan approval before? Mr. Schmitz replied that his architect has his engineering firm because of the way the construction industry is right now, and he thought that their consulting engineers will tell them, they had to move around, they have used Nowak & Fraus Engineers on numerous projects. Their consulting engineer who is not there actually represents a dozen municipalities and he was not under the impression because all of the infrastructure were already there. He assumed that everyone knew that they would match grades, use the same cross-section of asphalt, 3-inches of asphalt, 6-inches of stone, he assumed that they would use the same dumpster section, and water and sewer was already permitted there at the site. Commissioner Walker asked if he remembered his question? Mr. Schmitz replied he did, did he not know that it was not a two-step process? Commissioner Walker said that it could be a two-step process? Mr. Schmitz said that he can't speak for him.

Commissioner Walker said that one of his pet peeves when it comes to these site plans is when the applicant comes and asks for things. He thinks that sometimes their two consultants are almost too nice to the applicants. Where he says look if you can't do it now, come back another time after talking, they get a letter from both of their consultants, they explain what they feel their discrepancies are in their application. In spite of that, they are here tonight asking them to grant them a site plan on the if come, assuming that all of the 25 they are going to fix, they will give them the plan, they can go do it but they might come back another couple of times because they didn't do it. He heard from him today, that he is not willing to do some of those things that they asked for in those reports. They hire them to help them make decisions for the citizens of Orion Township, and he for one, likes to listen to them. He has not heard him refute much of what they said in those reports.

Chairman Reynolds asked Engineer Landis, their general fire lane even at our greatest widths, he knew that there was a couple of different standards that get applied, but what is that aisle width that is typically applied to the site? Engineer Landis replied the standard aisle for two-way traffic is 22-ft. His understanding is that the Fire Marshal requires 26-ft. in the vicinity of fire hydrants, where he is anticipating setting up an aerial appropriates, so 26-ft. would be the max. Mr. Schmitz replied that they are 27-ft.

Trustee Urbanowski said that they haven't said anything about what would happen with the landscaping knee wall berm if the parking stays in the front. She knew that they have existing plants there, she did see that the idea is that they don't see that parking very much.

Planner Arroyo said that the previously approved plan showed a 30-inch-high berm across the front of this portion of the property for the car wash. It actually showed a berm going across the front but does not appear that it has been constructed. Secretary St. Henry asked in front of the car wash? Planner Arroyo replied no in front of this property.

Trustee Urbanowski said that there is a lot to be resolved. She stated that she understood the point about the 27-ft. aisle between the vacuums. She was not aware that the parking spaces in the back were already there. Mr. Schmitz said that the grading and the catch basins are there. Chairman Reynolds stated that there was underwater storm that had been installed. Mr. Schmitz said that the subgrade is there, they could have paved it. Chairman Reynolds stated that there is an asphalt curb right now that splits that side of the property, some of it is primed and ready to go, but it is a pad site. They are strictly talking about modifying infrastructure. There are some curbs, light poles, and a few things that would be modified down the road.

Trustee Urbanowski said that the reason that all of this information that they are asking for to be put into these plans is to avoid something like this in the future. All plans have to have all of these things because 20-years down the line someone pulls the plans for this and it is not on there they are not going to know to go to the Tommy's Car Wash original plan set, so they have to be on here.

Chairman Reynolds said when a retail establishment is looking for parking, safety is always an important concern, he would still circle back to, if it is about having a comfortable width in their mind that comfortable width is at the front is 27-ft. and then at the rear it's 31 or almost 32-ft. it is not a consistent argument. Then they move over to an aisle that is not in front of those, those waivers would change if it was reworked. The 27-ft. aisle that is in the parking that is not across from the parking but rather where the #1 is shown that is worsening. There they have 31-ft. 10-inches, at the front they have 27-ft. 3.5-inches, if they go to the west of this, they have 27-ft. 6-inches. All of these endeavors are adding to some of these waivers.

Mr. Schmitz said aren't those two separate pieces of property, they are two separate owners. Chairman Reynolds said he is just getting after the sake of they are making a waiver worse by having a nonstandard drive aisle width. He would agree with having a larger aisle width here adjacent to a very active parking spot, but why on the west? If they were to come to him and say hey, here it is wider, here is your minimum, here is slightly wider so they can fit a truck through the site, and here is your minimum, and this is the product, that to him is a reasonable waiver. But here they are asking for additional parking, wider drive aisles, all of these pieces and it is adding up to a difficult puzzle to put together. He thought as a whole from a Planning Commission they are usually pretty workable and understandable from life safety issues and reasonable asks when it comes to the function of a property but there are some of these that are not supported by much. In his opinion, there is a long list here and he would like to see some of these things attempted to be worked out before they make an approval. A list of 30 items is a very long list and rarely if not ever do they grant a conditional approval on 30, or even 25. Especially with waivers that are going to push and pull based on some of these discussions here tonight.

Mr. Schmitz asked if anyone on the Planning Commission has an issue with the elevation? Other than the fact that they have addressed the glass issue in the front. He thought it was important to know now before they come back and address the 25 issues. Chairman Reynolds

said that it was an attractive building if the revised elevation meets that requirement or exceeds it, he didn't believe their professional consultants have had a chance to look at it but he welcomes retail establishments like this on Brown Rd., and was happy to see them coming. Mr. Schmitz said he said that because coming back next month he would like to make sure they could address all of the comments and if there was something they didn't like he would like to be able to modify it in the last go around. Chairman Reynolds said that they are happy to be constructive and that is typically what they do as just trying to push projects forward and they are not there to just shoot the thing down for fun.

Secretary St. Henry said when he looked at the original plans and the comments from the Planner, and the Engineer, there are 30 items out there, it was good to hear that some of them have been addressed but there are still plenty of outstanding. His initial reaction was this was going to be postponed just knowing how as a Planning Commission what they think of proposals that have a lot of issues. He thought that a postponement made sense, let's get them addressed, knocked off, and get everybody on the same page, and move forward from there.

Chairman Reynolds said he would like some constructive conversation as it goes to the last 5 items if they could get some feedback. He didn't have any issue with the ancillary use before the primary. The screening for the front parking does anyone disagree that is an ordinance requirement that they would like to see maintained if there were parking to be maintained in the front.

Secretary St. Henry asked did they not require any sort of buffer or wall on the Tommy's side? Planner Arroyo showed them the concept plan came forward and there is a 30-inch-high berm with 1:3 side slopes along the entire frontage on both sides. He also pointed out that there was a lot less parking than that, there was only one aisle with parking severed on either side, which is much less than what is being proposed now, a lot more. There was also a substantial separation of the parking on the side.

Chairman Reynolds asked for some big picture thoughts on waivers for setbacks and buffers. Vice-Chairman Gross thought that there was still the opportunity to maintain the side yard setback on the building, one way or another, either it is shrinking the size of the building, moving the building to the east into the sidewalk area, or expanding the building to the north. He thought that there were some options there that he would like to have some response to. Chairman Reynolds said that if it is not for the building, he appreciated the life safety issue, but thought there was some compromise there. He didn't think from a drive aisle engineering standpoint that 32-ft. makes sense, it is suggesting three ways of transportation, and would like those brought down. If a fire apparatus is planning on pulling up alongside two cars on either way and having space to operate in 26-ft. he didn't see why they weren't closer to standards such as that.

Mr. Schmitz said no, he appreciated it and thought that Jeff Klatt from Kreger Klatt, will handle these issues before the next meeting.

Moved by Secretary St. Henry, seconded by Commissioner Brackon, that the Planning Commission postpones site plan approval for PC-2021-67, J.S. Brown Rd., LLC site plan, located at 851 & 861 Brown Rd. (09-33-351-020 & 09-33-351-021) for plans date stamped received August 24, 2021, for the following reasons: that there are a number of outstanding issues that have been presented by both the Township Planning Consultant and the Township Engineering Consultant and that the Planning Commission feels need to be addressed, as well as, other comments from the Planning Commission that needs to be taken into consideration as they develop a second version of their Site Plan.

Roll call vote was as follows: St. Henry, yes; Walker, yes; Urbanowski, yes; Brackon, yes; Gross, yes; Gingell, yes; Reynolds, yes. **Motion carried 7-0** 

B. PC-2021-68, Dutton Park Site Plan Amendment, located at vacant parcel 09-35-400-048 and 09-35-477-003 located on the north side of Dutton Rd., 1 parcel east of Interpark N.

Chairman Reynolds asked the applicant to state their name and address for the record, and give a brief overview of the project.

Mr. Tom Beauchamp with Henry Yandt Construction, 4865 Broomfield Way, Orion Township. He was representing Premier Dr., LLC for the Dutton Park project. He said he had with him his associate Ashley Hackman, their engineer Allen with Nowak and Fraus, and David with DRN Architects if questions come up.

Mr. Beauchamp said that they have been in front of them before on this, and this is an amendment to a site plan that is currently being approved. He showed the plans to the Planning Commissioners. He said the west building increased from a 5,000-sq. ft. footprint to a 10,000-sq. ft. footprint. That is basically what this is about is amending that west building.

Mr. Beauchamp said it has increased the parking from what the initial one was, and if they look at Giffels Webster's review it has side by side comparisons of what has changed, and did a nice job of explaining that, which will hopefully make his job easier in getting though this.

Mr. Beauchamp said that part of that package, a little bit more detail on the building elevations renderings that they have. He did provide them with a summary of the review comments and then their responses too. He didn't know if they were aware of the history to get an explanation of where they are at, other than it is just that the west building is getting bigger, and they are looking to go to the next step with final engineering if this is all acceptable to them.

Chairman Reynolds disclosed that the applicant stated that he is working for Premier Dr., LLC, his firm also works for Premier Dr., LLC, no interest in this property or this proposal here. He has also worked with Mr. Beauchamp before in the past. He wanted to disclose that and didn't think that there was any conflict of interest but if they felt that there is, he would be happy to recuse himself. Commissioner Walker felt that there was no conflict.

Planner Arroyo read through his review date stamped September 9, 2021.

Engineer Landis read through his review date stamped September 9, 2021.

Chairman Reynolds said they had an additional comment from the Fire Marshal. He did recommend approval with comments, specifically referencing the letter that they have in front of them tonight and that was added to their packets, from the applicant in response specific to modifications to the existing gas collection system that there were some discussions and there would still be some pending outcomes and investigations in that progress. Also, that that gas collection system be reviewed and inspected by the Building Department at the time of construction. There was a review by Public Services, no issues there. A site walk was completed by the Site Walk Committee nothing explicatively called out there. The Water Resource Commission did ask that permits be applied for in the future and prior to any start of construction.

Chairman Reynolds said that a couple of things that got brought up was excess parking, drive aisle widths, and also now that they are over square footages recommending a traffic study.



TO: The Charter Township of Orion Planning Commission

FROM: Tammy Girling, Planning & Zoning Director

DATE: October 14, 2021

RE: PC-2021-73, Township Initiated Text Amendment to Zoning Ordinance #78,

Industrial Park (IP)

As requested, I am providing a suggested motion for the matter mentioned above. Please feel free to modify the language. The verbiage below could change based upon the Planning Commissions findings of facts.

Amendments to Zoning Ordinance No. 78 (Zoning Ordinance 78, Article XVIII)

Motion 1: I move that that the Planning Commission forwards a recommendation to the

Township Board to **approve and adopt** PC-2021-73, Township Initiated Text Amendment to Zoning Ordinance No.78, Industrial Park (IP), Article XVIII with the changes discussed this evening (if any), for the following reasons: (insert any findings of facts).

LAND USE	Zoning District	Footnotes
P = Permitted by Right S = Special Use S* = Special Use permitted within Lapeer Road Overlay District	IP	
Veterinary clinics and animal boarding	S*	D
Retail, Entertainment and Service		
Entertainment, Amusement and Recreational Uses		
Health clubs and exercise establishments	S	В
Private indoor recreation facilities (such as batting cages, dance studios, indoor soccer, ice rinks, archery)	S	В
Automobile-Related Uses		
Automotive retail and service facilities	S*	D
Automotive repair, paint and body shop, collision shop	S*	D
Equipment repair and sales	S*	D
Eating and Drinking Establishments		
Restaurants, including drive-through restaurants	S*	D
General Retail		
Building material sales	P	
Showrooms for kitchen, bath, household fixtures, household furniture or other retail activities associated with fabrication, assembly processing, or wholesaling.	S*	D
General Service		
Mini-storage and warehousing	S*	D
Hotels and motels	S*	D
Financial and insurance service (banks, credit unions, etc. with or without drive-through)	S*	D
Civic and Institutional		
Churches	S*	D
Other		THE PARTY OF THE P
Planned Unit Development, subject to the standards and approval requirements of Section 30.03	P	
Outdoor storage as a principle use in accordance with Section 27.19	P/S	
Accessory Uses		RAPE NEW YORK
Outdoor storage as an accessory use, in accordance with Section 27.19.	P/S	Committee of the Commit
Accessory buildings and accessory uses customarily incidental to the permitted uses in this Section, in accordance with Section 27.02	P	С
Uses Not Permitted		
Facilities where activities of a retail nature, except for building material sales and parcel delivery services, and licensed marihuana facilities that include a retail component as authorized under Ordinance No. 154, are conducted.		
Stand-alone facilities for the sale and/or consumption of food or beverages either on or off-site (except as special land use within the Lapeer Overlay District		

#### Section 18.02 – Footnotes to the Use Matrix (added 07.16.18)

- A. See Section 27.19
- B. Indoor recreation establishments are subject to a review of parking by the Planning Commission and subject to the submittal of parking studies based upon Institute of Transportation Engineers (ITE) standards, if required. The Planning Commission may allow a maximum building height of forty (40) feet, subject to the review of adjoining land use and a determination that additional building height for recreation uses will not adversely impact neighboring uses.