

**CHARTER TOWNSHIP OF ORION
PLANNING COMMISSION REGULAR MEETING AGENDA
WEDNESDAY, JULY 19, 2023 - 7:00 PM
ORION TOWNSHIP MUNICIPAL COMPLEX BOARD ROOM
2323 JOSLYN ROAD
LAKE ORION, MI 48360**

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In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact Penny S. Shults, Clerk, at (248) 391-0304, ext. 4001, at least seventy-two hours in advance of the meeting to request accommodations.

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CHARTER TOWNSHIP OF ORION PLANNING COMMISSION

***** MINUTES *****

REGULAR MEETING, WEDNESDAY, JULY 5, 2023

The Charter Township of Orion Planning Commission held a regular meeting on Wednesday, July 5, 2023, at 7:00 p.m. at the Orion Township Municipality Complex Board Room, 2323 Joslyn Road, Lake Orion, Michigan 48360.

PLANNING COMMISSION MEMBERS PRESENT:

Don Gross, Vice-Chairman
Joe St. Henry, Secretary
Jessica Gingell, Commissioner

Don Walker, PC Rep to ZBA
Kim Urbanowski, BOT Rep to PC
James Cummins, Commissioner

PLANNING COMMISSION MEMBERS ABSENT

Scott Reynolds, Chairman

1. OPEN MEETING

Acting Chairman Gross opened the meeting at 7:00 p.m.

2. ROLL CALL

As noted.

CONSULTANTS PRESENT:

John Enos, (Township Planner) of Carlisle Wortman Associates, LLC

OTHERS PRESENT:

David Tank Danielle Reyes

3. MINUTES

A. 6-21-23, Planning Commission Regular Meeting Minutes

Moved by Commissioner Cummins, seconded by Commissioner Gingell, to approve the minutes as presented. **Motion carried.**

4. AGENDA REVIEW AND APPROVAL

Moved by Secretary St. Henry, seconded by Commissioner Cummins, to approve the agenda as presented. **Motion carried.**

5. BRIEF PUBLIC COMMENT – NON-AGENDA ITEMS ONLY

None.

6. CONSENT AGENDA

A. PC-22-39, Hudson Square PUD Final Plan, Plans Date Stamped 04-12-23 Approval of Destruction of Documents.

B. PC-21-90, Ridgewood Final PUD, Plans Date Stamped 11-21-22 Approval of Destruction of Documents.

C. PC-23-17, Edgar Development Administrative Review, Plans Date Stamped 05-01-23 Approval of Destruction of Documents.

D. PC-22-37, Stadium Ridge Apartments Site Plan, Plans Date Stamped 10-6-22, 11-30-22, 01-26-23 Approval of Destruction of Documents.

E. PC-23-15, Lapeer Road Burger King Site Plan³ & SLU, Plans Date Stamped 04-11-23 Approval of Destruction of Documents.

Moved by Liaison Urbanowski, seconded by Commissioner Walker, to approve the consent agenda as presented. **Motion carried.**

7. NEW BUSINESS

A. PC-23-23, Black Cat Beanery, Determination of Use/Uses Not Otherwise Included Within a District Request.

Acting Chairman Gross asked if the applicant was present. He asked the applicant to come up and present their project and state their name and address for the record.

David Tank from 44378 Apple Blossom Drive Sterling Heights, MI was present.

Mr. Tank stated that he had an additional document that answers what the Township Planner brought up. Mr. Tank explained that a cat café is a coffee shop with cats. Overseas, they let the cats mix and mingle with the customers. The health codes here are a little bit more strict. The best you can do here in the States is have a food license and the cats in one area and the food in another area separated by a wall, separate HVAC things like that. We tried to get that with Oakland County Health, but they will not go for it. We will not have a food license, but we are still going to try to preserve the concept of a café. We are going to have the best possible self-serve coffee we can, and our own beans. It will be a Keurig; it will be self-serve, but we will try to have treats and coffee and still preserve the café experience. The cat room will be separated by walls and a vestibule. It will hold ten to fifteen cats, it will vary up and down with adoptions and rescues coming in. The idea is if you want to hang out and be around a lot of cats and have a coffee, you can do that. The cats are also available for adoption. The overarching mission is to find these animals homes and it is a unique way for people to interact with them. He thought that it was better than going to a normal rescue or shelter because you get to see them in a relaxed environment. Some people just want to be around cats and have a coffee.

Mr. Tank emphasized that there would not be other cats and dogs allowed in the building. We would have the resident cats on site. They would live there until they are adopted out, then we bring another rescue in. He pointed out that they had identified a location as a target. The relevant point is we are using 64 square feet per cat as a rule of thumb to not have too many; both for the comfort of guests and the cats. When we have a cat area, that is the rule we are going to use to limit ourselves. On top of that, we are going to have three or four people and we need to do record-keeping and health checks. We are going to be limited by staffing and what we can do to care for the cats. That is why the ten to fifteen number is our target for living on-site. There will be three areas: the cat public area, the cat back area, and the café area. The cats will be provided by a nearby rescue. It is Pawsitive Cause up in Holly. They will be providing the animals. They will be providing all veterinary care. They are a rescue and a low-cost veterinary clinic. When the cats come to us, they will be neutered, spayed, vaccinated, microchipped, and eligible for adoption right away. Cats will rarely be coming or going from the building, only when they move in or move out, and occasional medical care that they will need. When that happens, we will take them in our private vehicles. In the meantime, they will be able to roam inside the cat area at all times. If there are any exterior facing windows, we are going to put black-out shades or something so people do not congregate when we are closed and knock on the glass.

Mr. Tank said they are still hoping to get the food license and keep that dialogue open with Oakland County Health. He was not counting on it anytime soon. We are doing our proposed build-out in a way that would maybe leave that door open in the future to have a license to be a true coffee shop like you would expect from a Starbucks. As it is, we will do self-serve coffee, some pre-packaged nice little cupcakes, cookies something to make it worth the while and

visitors pay a set fee between ten and twenty to spend time in the cat room and then have the free food and beverage. He shared a personal story regarding his father when he lived in a senior center. Mr. Tank knew that they love to have animals around and have pets. He was looking forward to having them come in and just enjoy and spend time with animals that normally can't at home. This is a very personal mission for himself and his partner. We want to do something that most importantly finds homes for the animals but also it is a positive place. People are always happy in a cat café. There are generally not a lot of unhappy people there. It is an important project for us.

Mr. Tank explained each of the seven questions and conditions that were to be discussed in a handout that he provided. He re-emphasized that yes, the cats would be spayed, neutered, and vaccinated by the time they come into the café. We are going to be partnered with a low-cost clinic. Any medical care they need will be taken care of through them. The MDARD regulations state they must be spayed or neutered to be adopted out. It is an absolute must for our mission. He pointed out in his PowerPoint presentation the proposed floor plan for the unit that they have a tentative agreement on. The darker orange area would be the public cat space. The dark yellow is the public area, that is where the public will interact with the cats. The lighter yellow is the back area which is not for the public; it is for employees only. Litter boxes, food, and storage will be back there. The cats can come and go through little doggie doors but the public cannot only us, the employees. In that room is where the litter boxes will be. We have about 200 feet that will be a back room, the public cannot go back there. We will have litter boxes, we guessed five. We have since been in contact with MDARD. We are going to have more, probably close to ten or fifteen one per cat is what we are going to shoot for. We will have to get creative with space use but that is what we will do. The boxes are going to be cleaned hourly when we are open. When we are closed, someone will still come in once a day. We have enough boxes that once a day should be okay to get the cat stuff out of there. We will be using a pine-based litter. It does pretty well with odor prevention. We are going to have an electrician install exhaust fans above where the boxes are to help get the airflow out. We will have a hemp filter with the HVAC; both for the animal's health and for the public's perception. We do not want anything to smell other than clean. We will have a sealed container for the refuse and then we will take it out to the dumpster whenever that is full. There is a dumpster right behind our back door.

Mr. Tank pointed out the hygiene requirements are pretty strict in the State. MDARD is going to be very specific on what we need to do and we need to honor that to maintain our license and be in good standing. For the build-out we are having quoted, we have to take all of this into account. The floors, the ceiling, the walls everything has to be sanitized, nothing that is porous. The build-out will take all of that into account. We will be cleaning daily, both for the comfort of the visitors and the health of the cats.

Mr. Tank touched on the maximum number of cats on the premise briefly. We will be happy to honor any restriction that the Planning Commission sees fit. The calculation that we had done ourselves is 64 square feet per cat. With this layout that we have, we have 944 feet between the back room and the public and the cats will go freely back and forth, fourteen give or take. If we have a good week and two or three cats get adopted, it goes down. If there are going to be some rescues that are two or three siblings that need to stay together, it might go up a little bit. That is what we are going to shoot for.

Mr. Tank addressed the question of whether the animals would be removed at night. He stated that no they would not be removed at night. That was not the plan. Cats do not go well with transportation. They will live on-site until they are adopted out. If they need medical care, they will be moved out, but they will live there. He said that regarding health department approval, as far as he knew, he had a lot of back and forth with OCHD on the food license. He does not

think they have official jurisdiction. He knows that MDARD likes to know that they are included and they are aware. The applicant is coordinating that documentation, but as far as he knew, they know what they are doing. The Health Department told the applicant that it has to be self-serve, nothing refrigerated and that is the input we have gotten from them.

Mr. Tank talked about the last question the Township Planner had about if the cats be sold or adopted free of charge. He said there would be an adoption fee but that is entirely a way to subsidize the rescue. We will charge between 100 to 200 dollars but that will go directly to Pawsitive Cause or Care. It will not even touch our books. The money will go straight there. The general idea is that admission fees are what will subsidize our cost of housing and care for the cats and the lease, the utilities, insurance, and everything else. All the adoption fees go straight to the rescue to subsidize them being able to provide the animals to us and provide medical care.

Mr. Tank provided a location update. We have a pending lease agreement. It is the Orion Marketplace Center across from the new Meijer just south of Clarkson on Lapeer. It is currently zoned Restricted Business and the landlord is excited about having a unique possible draw to the space. Contract terms are aligned, we are holding off until we have a better idea of how the city will handle it.

Mr. Tank gave an update on the shelter status. Nicole from MDARD came out. She was out last week and gave the pre-review and pre-approval. She said that as long as we do the things she suggested, we are going to be okay to go ahead and gave us our status as an animal shelter so we can house the cats here.

Mr. Tank thanked Orion Township. He stated that to get to this point, he had interfaced with a few municipalities and Orion Township has been by far the most informative and cooperative. He introduced his business partner, Danielle Reyes. She works with Pawsitive Cause and has a lot of experience with animal care and she will be my partner. Either one of us can answer any questions you might have.

Acting Chairman Gross thanked the applicant and turned it over to the Township Planner for his comments.

Township Planner Enos read through his review date stamped June 16, 2023.

Secretary St. Henry assumed that the public space would be supervised at all times.

Mr. Tank replied that it will never have less than two people on site. One person in the cat area, and one person on the outside to handle people coming in the refreshment area.

Secretary St. Henry presumed that there would be age restrictions in the public area. You cannot have a bunch of young kids in there.

Mr. Tank mentioned that they tentatively talked about having no one under 16 without a parent and no one under a certain age, maybe 4 or 5. We do not want little kids in there pulling tails. Without being too restrictive, we do want to keep small children out.

Secretary St. Henry wondered where the cats would go at night. Are they caged or are they running around?

Mr. Tank responded think of it like a big living room with a bunch of beds that they would live in. We will have one, two, or three kennels in the back, which will be mostly for new cats that are

not quite socialized yet, and not comfortable. They will live there until they are comfortable, then they will be out. Once they have assimilated the population, they will have free roam of that area. If it does not work, some of them may have to go back to the rescue. There are some that we are going to try and get their most adoptable. We have already coordinated with them that owner-surrenders are the best candidates for this. They were just in a home, and we can find them another home very quickly maybe.

Liaison Urbanowski stated that the applicant answered all the questions she had, and the question Secretary St. Henry had was the additional question she had. She did point out that she Googled it. Liaison Urbanowski said that she has two young adult daughters at her house, and when she mentioned Cat café, they both lost their little minds. She went to look it up because she was interested in what it was all about. There was one that was in Ann Arbor and one person complained on Google about a 4-year-old in there doing things. Her question was what are we doing to prevent people from being rough with the cats?

Mr. Tank empathized with what Liaison Urbanowski was saying. He said that he was sure that they will have an upset parent who then leaves a review like they kicked me and my 3-year-old out because they were a little angel. We will handle it the best we can.

Liaison Urbanowski explained that she was the Chamber of Commerce Director here in Orion for four years and she also owned a small business here. She thought this was a really neat situation. Liaison Urbanowski wondered what Oakland County will have to do. This is becoming more prevalent. In Japan, she knew that they have a lot of this stuff and it has moved over here; that is for them to decide. She has been to the Oakland County Fair and she has been in the animal feeding area, feeding them carrots while she was eating a funnel cake. She did not understand what the problem was with having coffee.

Mr. Tank stated that there are two cat cafés in Michigan that have a food service license. One is in Lansing and one is in Grand Rapids. Ingham County and Kent County have said if you have permanent walls and a vestibule, if the animals never come and go from the public entrance, they have a separate entrance and discreet HVAC, so the air cannot be the same. If you meet those requirements, they will grant you a food license. We were counting on that. We budgeted separate HVAC and everything. He called Oakland County; they got back to us a week later and they said I'm sorry, we did everything we could. He got the feeling that some people at one level were okay with it. Mr. Tank asked them how is this safe in Ingham County but unsafe in Oakland County? They replied Sir, that is how we interpreted it.

Liaison Urbanowski agreed that it is interesting and a very unique thing so she thought because we are talking about live animals and things like that she would be in favor of a Special Land Use. She did not think it was a general business thing. There are some contingency things that we should be keeping an eye on. She was glad the applicant added the spaying, neutering, vaccinated, and microchipping in there too.

Acting Chairman Gross wondered how an operation like this is financed.

Mr. Tank responded it is all his money. He explained that he had a consulting business and it was doing okay, his dad got sick at the beginning of 22. He shut it down to help his father out and he thought that it would be temporary, his father ended up passing away in June. He took some time and thought what am I going to do next? I am doing okay, my father left some stuff behind and I thought this is the best way to honor his legacy and do something positive. As of now, we are not a 501c3, I might seek it. It might make my life easier for insurance purposes. It is privately funded and we have a business plan. He was hoping that people show up and we

can break even and keep providing the service. He is committed to fund it for at least two years. If no one comes in, he will pay for the shelter for a couple of years.

Acting Chairman Gross asked if his admission fees would pay for the operating costs.

Mr. Tank explained that if they could hit 130 to 140 people a week, we would be okay. We will pay all the bills and we will pay the staff. Less than that, we go negative, and he will be fine with that. He had allocated enough capital for a couple of years. He hopes that it will take off and we can make some money. This is not a financial thing for him. He would be better off doing something else. He wants to make it sustainable, maybe hire some people. The funds are already there.

Acting Chairman Gross questioned how many days a week they would be open.

Mr. Tank replied that it will depend on the demand somewhat. We are planning on five days a week for five to six hours a day so between twenty to thirty hours a week depending on demand. The cats do not want people around too much. We need to be open so they can see the cats and adopt them. Probably five days a week, twenty-four, twenty-five hours. Saturday and Sunday for sure and we can probably pick two weekdays to be closed. We want to capitalize on the traffic on Lapeer too. When there are a lot of people around there, we want to get them to come in and check it out.

Commissioner Walker admitted that he had been doing this for a long time. He has seen a lot of people come in front of them and say things like we are not in this for the money. He never believed one of them one time until the applicant got here. He somehow thought that the applicant was not in it for the money, and he appreciated that. Commissioner Walker shared a personal story about his two cats that he got from Oakland County. He was most impressed with the applicant's presentation.

Mr. Tank disclosed that he is okay with money, and it is time to do something that matters.

Liaison Urbanowski confessed that she is a goat fan. She loves the idea of goat yoga; so, doing events like cat yoga and parties. She said that this is the most exciting thing that has happened in a week. This is amazing.

Mr. Tank added that they would do movie nights, yoga is a good idea. Anything that will get people in the door, within reason.

Mr. Tank acknowledged that there are some things that have to happen. From what he read online; he noticed that a public notice needs to be posted. His question is if some kind of special use is needed, what would the general time frame be once we can satisfy all of the requirements?

Township Planner Enos interjected that you would have to formally submit to the Community Development Department to the Planning & Zoning Director whom he thought the applicant had spoken with. They would process that, and they do it pretty quickly. There is a fifteen-day notice in regards to the local paper and notification of neighbors within 300 feet. Then it would go in front of the Planning Commission which meets twice a month. He suggested speaking with Planning & Zoning Director Girling to see if there is any flexibility on time frames. This is not typical. Certainly, her staff is going to want to be able to have the time to get the notifications out. Planner Enos admitted that he would not need that much time to do his analysis. He has done it so that would not hold up things. He mentioned talking to Director Girling to see what kind of flexibility she could allow as a Special Land Use.

Liaison Urbanowski stated that it would be four weeks before the next meeting.

Acting Chairman Gross indicated that he had an opportunity to go over the ordinance. What the applicant is asking for this evening is a clarification or a determination by the Planning Commission as to what zones this would be allowable in. The applicant had already picked out one that was RB.

Mr. Tank said that if something falls through, it would be nice to have GB, RB potentially BIZ.

Acting Chairman Gross looked at the ordinance as did Planner Enos and the RB, GB, and BIZ zones as well as some of the light industrial zones that allow for pet grooming, daycare, and kennels as a special use permit. He thought that it would be appropriate for them as a Commission to consider the determination as to the potential zones as opposed to zeroing in on one. In the event, the applicant comes up with another location. He agreed with Planner Enos that a Special Use is the most appropriate way to proceed with this so we can review it in terms of the conditions and obligations of the Commission and the owner.

Moved by Acting Chairman Gross, seconded by Liaison Urbanowski, that the Planning Commission determines that the use as described in the application for PC-23-23, Black Cat Beanery, is clearly similar in nature to the uses and is compatible with the listed or existing uses in the RB zoning district, the GB zoning district, the BIZ zoning district, and the LI and IP zoning districts which allow for pet grooming, daycare, and overnight boarding as special uses to be reviewed in more detail upon submission by use in one of those zoning districts.

Roll call vote was as follows: Gingell, yes; Cummins, yes; St. Henry, yes; Gross, yes; Urbanowski, yes; Walker, yes. **Motion carried 6-0 (Reynolds absent).**

B. Discussion on tree preservation.

Acting Chairman Gross turned it over to the Township Planner for a brief presentation for a possible direction.

Township Planner Enos said that Planning & Zoning Director Girling and he had been talking about this over the last month. As he has gotten to know everyone and gotten to know the ordinance and met with developers and reviewed several plans and then also reviewed the latest version of the Master Plan. It does speak to some need for environmental protection. What we did was we looked at the current ordinance, and he was aware that he was directed to look at the tree ordinance and other ordinance sections. We were able to jump into the tree protection ordinance and take a walk through that. One of Planner Enos's partners, Sally Elmiger was an ecological expert who helped him with this. She also owns a tree farm, so she spends a lot of time on weekends with her husband working at this tree farm. She looked at our current ordinance which is the first memo dated June 21, 2023. It had a variety of comments and thoughts. From there, we took a step toward what we can do to improve that. As you know, on the last several projects, especially the PUDs, we have seen some significant trees being removed in our Township. While they have added some pretty good landscaping, those are not going to be matured for a long, long-time two-inch d.b.h. six-foot Evergreen. He thought that we are at a place in time where there are no real easy sites left in the Township for development. There are a lot of environmentally sensitive areas in the Township. Planner Enos said that what we are proposing is taking a look at and not reinventing the wheel totally, but we wrote Ann Arbor Township's Tree Protection Ordinance. It has been vetted by several attorneys and supported at the court level. It is a community just north of Ann Arbor. You got to believe they have some real environmental concerns down that way. That ordinance works. What he was suggesting is to take that and move farther with that. Within this language, the Ann Arbor

language talks about an ecological characterization report. What he found was that all these things tie together, whether they are wetlands, steep slopes, endangered species, and then trees. They are all bound together. What this ecological characterization report does is it requires an applicant to provide that to the Township as part of a project. We are not going to get down to each residential home having to pull a tree permit, but this is for the projects that we are dealing with now. These are commercial projects, industrial projects, and PUDs that take a lot of the natural features away from the site and are permitted under our zoning ordinance, are permitted under our tree ordinance. There are also some questions regarding the tree protection fund. What Ann Arbor Township does and what we are proposing is to look at it as more of an environmental protection fund. If they cannot find places to plant trees in the Township, we find other ways to use some of that funding if they have to remove some of those trees and that can be stream bank preservation or wetland creation. There is a variety of different options available rather than just saying okay if I am cutting down this many trees down, I have to replace this many trees, and/or I have to pay towards a tree fund which there is still some question regarding the legality of that. Planner Enos wanted to get the Commission's thoughts on it and get their thoughts on the next steps. He was aware that the Master Plan has some maps showing wetlands and showing some environmentally sensitive sites that were done at the big picture level through Oakland County. He did not think it would be too big of an ask for a creation of a local Township ecological environmental study to show what we have left and where, the type, style, and ways to protect that. The Ann Arbor ordinance gets into a lot of different design techniques for larger-scale residential and commercial properties. It talks about things rather than building out, building up, and protecting the trees around it. Right now, in our ordinance, the building envelope, no matter where it is on the site allows for the removal of those trees. Our Master Plan clearly says that environmental protection and tree protection is one of our goals and this is doing one of those things.

Acting Chairman Gross asked how does the Canton Township litigation affect these tree preservation ordinances?

Township Planner Enos replied that he thought that the Canton Township was not upheld because their tree protection ordinance did not tie it to the Master Plan or a larger environmental plan for the community. They just said we are going to protect trees, it is in our ordinance, and it is important. The courts have said we have to connect this to a larger plan for the community, whether it is the Master Plan. Maybe we do an addendum to the Master Plan but also a larger plan for an environmental protection plan for the community. That is why the Ann Arbor Township has been upheld in court because it is tied in part to the Master Plan and a larger-scale environmental protection plan.

Acting Chairman Gross wanted to clarify that we are not subjecting ourselves to an unconstitutional audit by the courts. Township Planner Enos suggested we talk to our Township Attorney to get some feedback from him before we even move forward with it. Acting Chairman Gross liked the fact that we are not trying to reinvent the wheel. He also liked that we are looking at other ordinances that have been successful in various locations. Township Planner Enos said that he usually starts from scratch and writes all his ordinance amendments. He never borrows from another community.

Secretary St. Henry liked the idea of possibly broadening that. Instead of a tree fund, it is more of an environmental protection fund. He pointed out that they had a case last meeting where he could have seen that playing out a little smoother than with the discussion that we had. There are no obvious places for trees. There are things in this Township that we can do to help preserve what we have already.

Commissioner Walker commented that he refers to himself as the “tree man”. When he read this report by Township Planner Enos and his staff, it made his heart sing. Commissioner Walker thought that this was overdue. This is the first step toward cleaning up what we have had trouble with for decades trying to figure out what to do. He thought that this was a huge step in the right direction.

Liaison Urbanowski wondered what an ecological characterization report entailed, required. What is the scope of that? How long will it take? Township Planner Enos explained that there are two parts to this. He thought that if the Commission was comfortable with it, he would talk to Planning & Zoning Director Girling to take the steps towards the Master Plan addendum and then maybe a larger-scale environmental protection plan. The ecological characterization report is something that the applicant has to provide us. The applicant has to hire a professional environmental person who has to look at the site and give us a report regarding endangered species, invasive species, wetlands, woodlands, slopes those kinds of things. That is provided for every project to us. They do show this on our site plans, but it gets down into much more detail. These trees are invasive here, we are okay with those being removed but this area is not. Liaison Urbanowski stated that we had people come in on certain projects and talk about wildlife. She said that she wanted to get a better understanding of what exactly is being affected. Township Planner Enos clarified that yes, how it is been affected and how one thing affects another. What he could do as we move through this process is give you an example of one that was provided for development. You can see exactly what they were provided as part of their site plan. They are going to provide the PUD Agreement and the engineering and the landscaping but I will give you a copy of that if you are comfortable with us moving forward with this so you can see that hey this is what we are going to expect when you come to Orion.

Secretary St. Henry noted that when we do site walks, he could think of a couple, where you do not realize until you see and walk it, the impact on monument trees. We all cannot do every site walk. This would probably fall under those lines.

Township Planner Enos pointed out that the developer provides it, but a licensed ecological expert provides this as part of their submittal process. He does some work downriver and one of the communities is Woodhaven, Michigan. One of the Planning Commissioners said we are called Woodhaven, but we are really not anymore. That community understood that they are at a point right now where if this was twenty years ago, they may have been able to protect more trees. He thought that this is where we were too.

Township Planner Enos mentioned that he would speak with Planning & Zoning Director Girling. We will show you what the work program is and decide whether we are going to start with the environmental ecological plan or at least start to take this Ann Arbor Township model and massage it a little bit more for Orion if you are comfortable with that. Acting Chairman Gross suggested looking at the Canton Township decision looked at a little further. Planner Enos agreed to do that. Acting Chairman Gross reiterated that he did not want to have the Township subjected to any litigation if it has already been tested. Planner Enos suggested that he did not want to go through the exercise of amending our ordinance and find it is not constitutional.

Commissioner Cummins said that this is a very important step that we are taking right now. He thought that it would pay off big time in the future. Michigan is having some problems with invasive species. If they are not controlled, they could become a major problem for us in this Township too.

Township Planner Enos stated that he might bring Sally out here. She is brilliant and can talk about what we are doing.

8. UNFINISHED BUSINESS

None.

9. PUBLIC COMMENTS

None.

10. COMMUNICATIONS

None.

11. PLANNERS REPORTS

None.

12. COMMITTEE REPORTS

None.

13. FUTURE PUBLIC HEARINGS

None.

14. CHAIRMAN'S COMMENTS

Acting Chairman Gross was glad that everyone had a safe Fourth of July.

15. COMMISSIONERS' COMMENTS

Liaison Urbanowski mentioned that summer taxes are now due from July 1st through September 14th without penalty. You can pay multiple ways, look at the back of your tax bill. If you have any questions, call the Treasurer's office. We are happy to answer them.

16. ADJOURNMENT

Moved by Commissioner Cummins, seconded by Commissioner Walker, to adjourn the meeting at 7:50 p.m. **Motion carried.**

Respectfully submitted,

Courtney Keisman
PC/ZBA Clerk
Charter Township of Orion

Planning Commission Approval Date



Charter Township of Orion

2323 Joslyn Rd., Lake Orion MI 48360
www.oriontownship.org

Planning & Zoning Department

Phone: (248) 391-0304, ext. 5000

TO: The Charter Township of Orion Planning Commission
FROM: Tammy Girling, Zoning/Planning Director
DATE: July 5, 2023
RE: PC-21-90, Ridgewood Final PUD Destruction of Documents Date Stamped
Received 02-22-2023

As per the provided Control Form, the hard copy for PC-21-90, Ridgewood Final PUD date stamped received 02-22-2023, was compared to the electronic copy of the same and are comprised of the same pages and all pages are legible zoomed to 200%. A hard copy is available at the office for viewing prior to the meeting.

SUGGESTED MOTION: Move to authorize Liaison Urbanowski to sign the Construction Document Reproduction Affidavit for PC-21-90, Ridgewood Final PUD for plans date stamped received 02/22/2023.

File Scanning Control Form For 24x36 Plan Sets

Project Name: Ridgewood Final PUD

Project Number: PC-21-90

Date Stamped Received: 02/22/2023

Summary of Document:	Pre-Scan		Post-Scan	
	# pages in file (paper)	Initials	# pages scanned (electronic)	Initials
UNAPPROVED SITE PLAN	18	CK	18	CK
Reason for Destruction:				
REVISED PLANS RECEIVED				

I have scanned the file listed above and, as per my initials indicate, verified the number of physical pages match the number of pages scanned into Laserfiche as well as verified that all pages scanned are clear and legible at a 200% enlargement.

Scanner's signature: Courtney Keisman

Scanner's printed name: Courtney Keisman

Date: 7/5/2023

I have verified that the file above has satisfactorily been scanned into Laserfiche following the Township's policy on document scanning.

Director's signature: Tammy Cery

Director's printed name: Tammy Cery

Date: 7/12/23

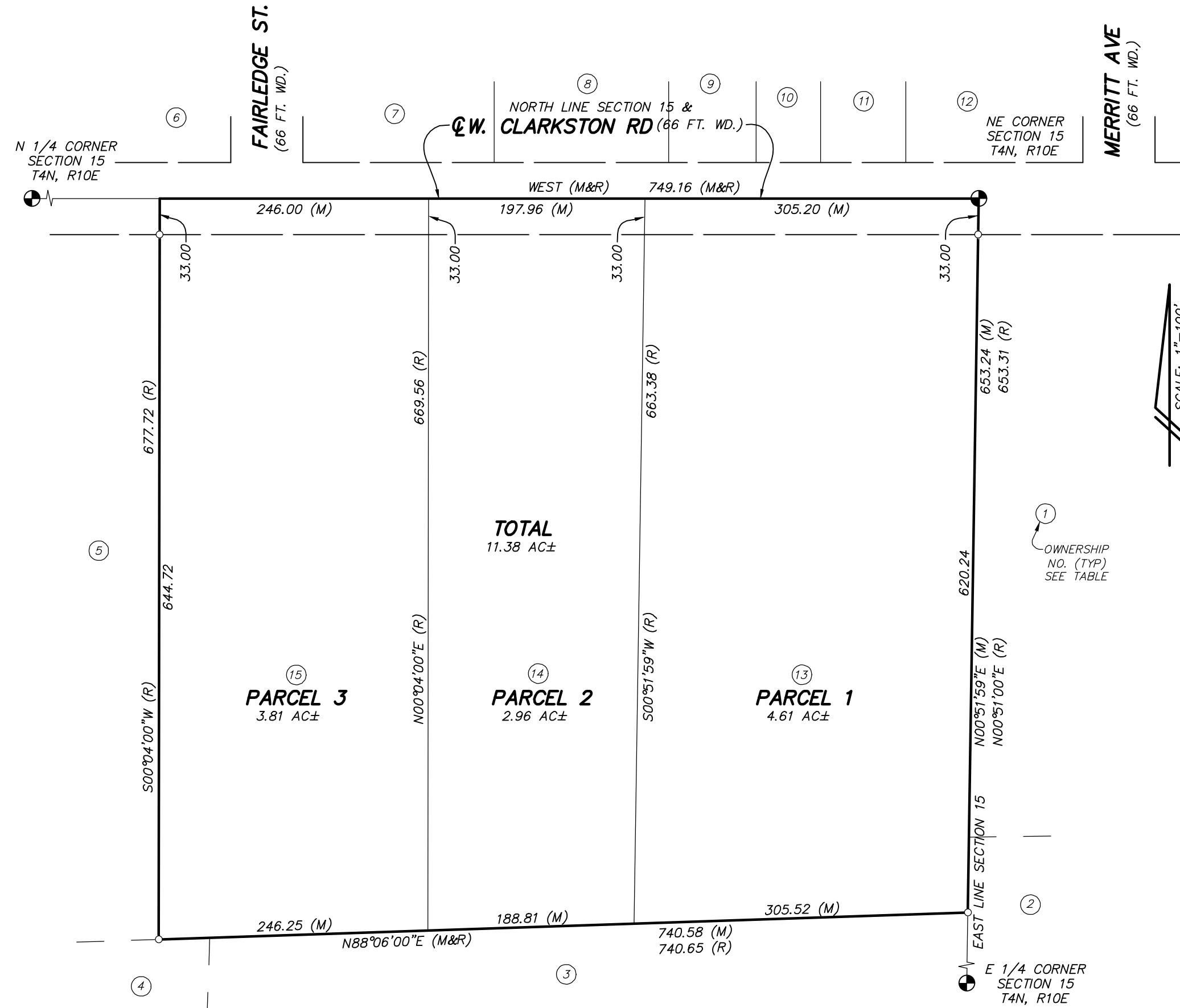
CONSTRUCTION NOTES:

- IT IS ESSENTIAL THAT THE CONTRACTOR FAMILIARIZE HIMSELF WITH THE SITE PRIOR TO SUBMITTING PROPOSAL.
- THE AREA WITHIN THE CONSTRUCTION LIMITS SHALL BE STRIPPED OF ORGANIC SOILS PRIOR TO COMMENCING GENERAL EXCAVATION. THIS MATERIAL SHALL BE STOCKPILED ON THE PROPERTY OR AS DIRECTED BY THE ENGINEER OR THE OWNER.
- ALL DISTURBED AREAS, DITCH BOTTOMS AND SLOPES UNLESS NOTED OTHERWISE, SHALL BE SEEDED AND MULCHED PER M.D.O.T. SPECIFICATION 6.53 INCLUDING PLACEMENT OF 4 INCH TOPSOIL BED. DITCH BOTTOMS SHALL BE SEEDED WITH A MULCH BLANKET WHERE DITCH GRADE EXCEEDS 3.00%.
- THE CONTRACTOR MUST CONTACT MISS DIG PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES PER THIS APPROVED PLAN.
- CONTRACTOR MUST OBTAIN AN EROSION CONTROL PERMIT PRIOR TO BEGINNING EARTH MOVING. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- ANY CONDITIONS EXISTING ON THE SITE THAT ARE NOT CONSISTENT WITH THE PLANS OR SOIL EROSION SEDIMENTATION PERMIT WILL RESULT IN A STOP WORK ORDER AND REVOCATION OF THE SOIL EROSION SEDIMENTATION CONTROL PERMIT.
- CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT OF ANY AND ALL SOIL EROSION MEASURES DAMAGED AS A RESULT OF THEIR WORK. REPLACEMENT SHALL BE INCIDENTAL TO THE COST OF WORK PROVIDED.

PARCEL 1: O-09-15-226-008 (BY OTHERS)
Part of the Northeast 1/4 of Section 15, Town 4 North, Range 10 East, more fully described as: Beginning at the Northeast Section corner; thence West 749.16 feet; thence South 00 degrees 04 minutes 00 seconds West 677.72 feet; thence North 88 degrees 06 minutes 00 seconds East 740.65 feet; thence North 00 degrees 51 minutes 00 seconds East 653.31 feet to the point of beginning; EXCEPT the West 246.00 feet; also EXCEPT the East 305.18 feet.

PARCEL 2: O-09-15-226-007 (BY OTHERS)
Part of the Northeast 1/4 of Section 15, Town 4 North, Range 10 East, more fully described as: The East 305.16 feet of that part of the Northeast 1/4 described as beginning at the Northeast Section corner; thence West 749.16 feet; thence South 00 degrees 04 minutes 00 seconds West 677.72 feet; thence North 88 degrees 06 minutes 00 seconds East 740.65 feet; thence North 00 degrees 51 minutes 00 seconds East 653.31 feet to beginning.

PARCEL 3: O-09-15-226-006 (BY OTHERS)
Part of the Northeast 1/4 of Section 15, Town 4 North, Range 10 East, more fully described as: The West 246.00 feet of that part of the Northeast 1/4 described as beginning at the Northeast Section corner; thence West 749.16 feet; thence South 00 degrees 04 minutes 00 seconds West 677.72 feet; thence North 88 degrees 06 minutes 00 seconds East 740.65 feet; thence North 00 degrees 51 minutes 00 seconds East 643.31 feet to beginning.



OWNERSHIP TABLE

NO.	TAX ID NO.	STREET ADDRESS	CITY, STATE & ZIP CODE	ZONING	USE
1	O-09-14-101-032	581 W. CLARKSTON RD	LAKE ORION, MI 48362	R-1	RESIDENTIAL
2	O-09-14-101-031	1128 WALLOON WAY	LAKE ORION, MI 48362	R-1	RESIDENTIAL
3	O-09-15-226-051	1169 HEMINGWAY RD	LAKE ORION, MI 48360	R-1	RESIDENTIAL
4	O-09-15-226-050	1161 WALLOON WAY	LAKE ORION, MI 48360	R-1	RESIDENTIAL
5	O-09-15-226-005	705 W. CLARKSTON RD	LAKE ORION, MI 48362	R-1	RESIDENTIAL
6	O-09-10-426-093	708 W. CLARKSTON RD	LAKE ORION, MI 48362	R-2	RESIDENTIAL
7	O-09-10-476-027	987 FAIRLEDGE ST	LAKE ORION, MI 48362	R-2	RESIDENTIAL
8	O-09-10-476-033	622 W. CLARKSTON RD	LAKE ORION, MI 48362	R-2	RESIDENTIAL
9	O-09-10-476-034	608 W. CLARKSTON RD	LAKE ORION, MI 48362	R-2	RESIDENTIAL
10	O-09-10-476-022	N/A	LAKE ORION, MI 48362	R-2	VACANT
11	O-09-10-476-023	600 W. CLARKSTON RD	LAKE ORION, MI 48362	R-2	RESIDENTIAL
12	O-09-10-476-024	576 W. CLARKSTON RD	LAKE ORION, MI 48362	RB	ORION MARKET
13	O-09-15-226-008	N/A	LAKE ORION, MI 48362	R-2	VACANT
14	O-09-15-226-007	625 W. CLARKSTON RD	LAKE ORION, MI 48362	R-2	RESIDENTIAL
15	O-09-15-226-006	N/A	LAKE ORION, MI 48362	R-2	VACANT

R-1 = SINGLE-FAMILY RESIDENTIAL
R-2 = SINGLE-FAMILY RESIDENTIAL
RB = RESTRICTED BUSINESS

RECEIVED
FEB 22, 2023
Orion Township
Planning & Zoning

PROPERTY OWNER:

JMF PROPERTIES LLC
1700 W. BIG BEAVER RD
SUITE 120
TROY, MI 48084
PH 248-602-2220

APPLICANT:

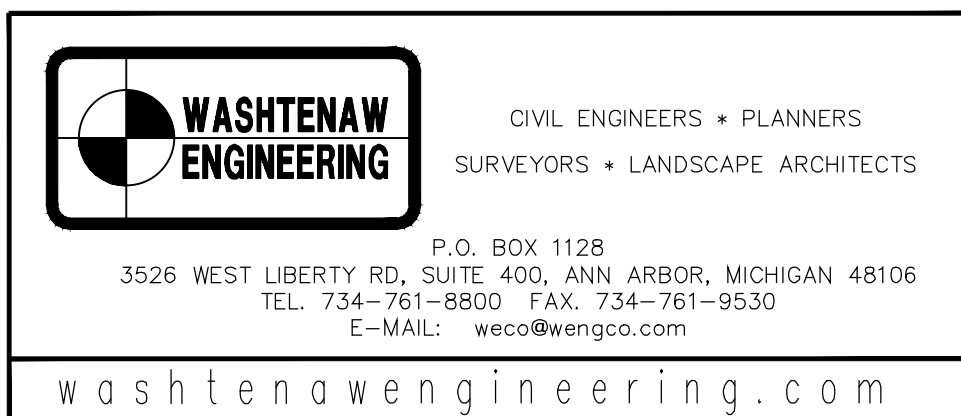
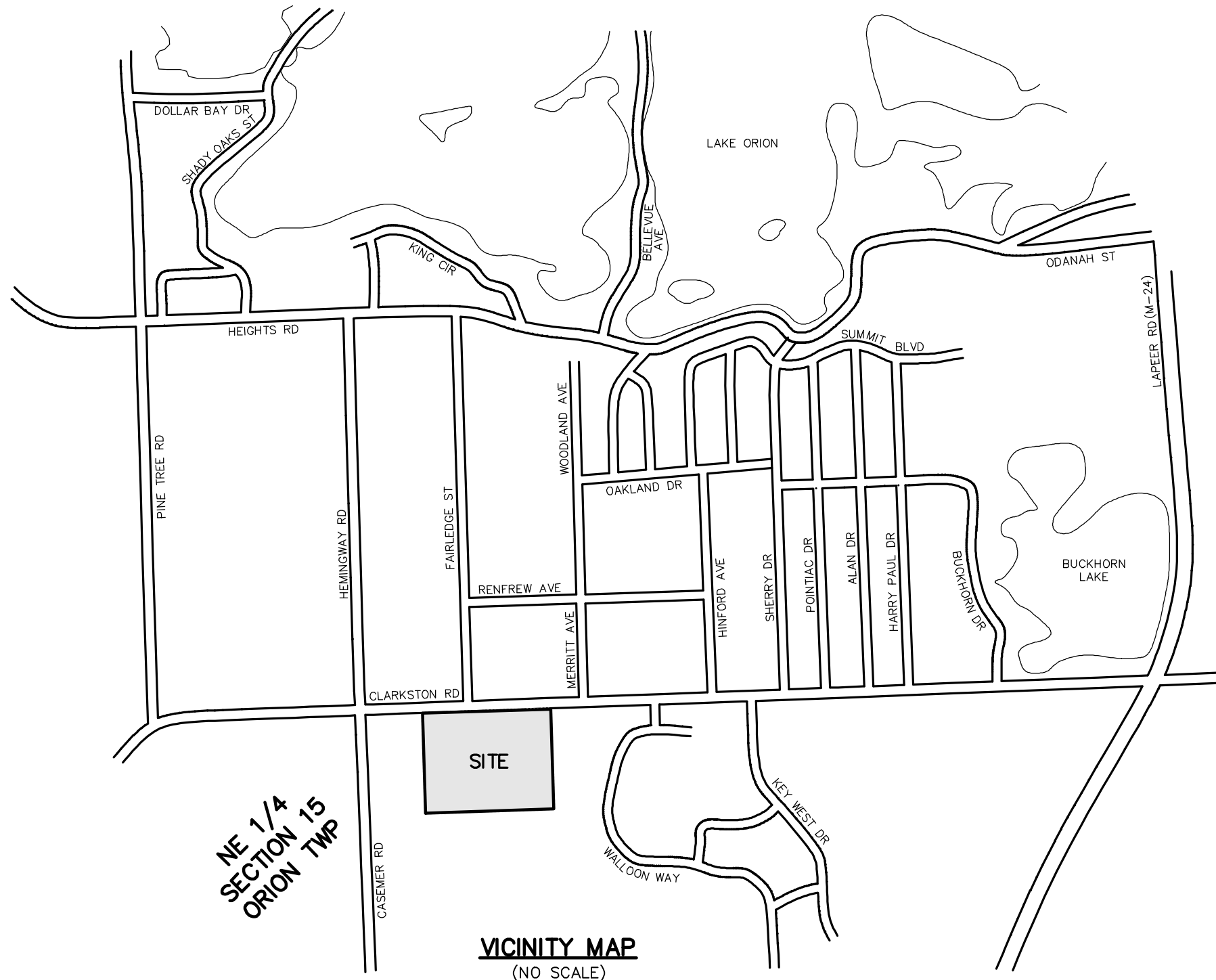
IN-SITE LLC
3454 RIDGELINE DR
ANN ARBOR, MI 48105
PH 847-476-9944

RIDGEWOOD FINAL SITE PLAN CLUSTERED RESIDENTIAL PLANNED UNIT DEVELOPMENT

TAX ID'S: O-09-15-226-006
O-09-15-226-007
O-09-15-226-008

A PART OF THE NORTHEAST 1/4 OF
SECTION 15, T4N, R10E,
ORION TOWNSHIP
OAKLAND COUNTY, MICHIGAN

FOR:
IN-SITE LLC
3454 RIDGELINE DR
ANN ARBOR, MI 48105
PH: (847) 476-9944



HOBBS + BLACK
ARCHITECTS

100 N. State St.
Ann Arbor, MI 48104
P.734.663.4189

www.hobbs-black.com

ALLEN DESIGN
LAND PLANNING / LANDSCAPE ARCHITECTURE

SITE DATA

CATEGORY	EXISTING	PROPOSED	COMPARABLE LAND USE*
ZONING	R-1	PUD	R-3
PARCEL SIZE	11.38 AC	11.38 AC/495,501 SF	8,400 SF
EXISTING R.O.W. AREA	0.57 AC	0.57 AC/24,718 SF	-
PROPOSED R.O.W. AREA	-	0.46 AC/20,213 SF	-
NET AREA	-	10.35 AC/450,570 SF	-
RESIDENTIAL AREA	-	3.35 AC/146,055 SF	-
OPEN SPACE AREA	-	7.00 AC/304,515 SF	-
LOT WIDTH	749.16 FT	749.16 FT	70 FT
LOT COVERAGE	0%	-	25% MAX
DWELLING UNITS (SOFT)	1	30 (1,802/UNIT)	-
DWELLING UNITS PER ACRE	-	2.64	-
GROUND FLOOR AREA	1350 SF	1,802/UNIT OR 54,060 SF	-
MIN. FLOOR AREA/UNIT	-	1,820 SF	1320 SF
TOTAL FLOOR AREA	1350 SF	54,060 SF	-
BUILDING HEIGHT	30 FT	28 FT	30 FT MAX
BUILDING HEIGHT (STORIES)	2	2	2
BUILDING SETBACKS			
FRONT	40 FT	40 FT	30 FT
REAR	35 FT	35 FT	35 FT
SIDE	10 FT	35 FT	10 FT
BUILDING SIDE TO SIDE	-	20 FT	-
PARKING UNIT	2	60	-
VISITOR SPACES 1 PER 6 SPACES	0	10	-
ACCESSIBLE SPACES PROVIDED	0	3	-

* COMPARABLE LAND USE BASED ON PROPOSED MASTER PLAN UP DATE TO AREA FOR FUTURE LAND USE

Existing Land Use

The existing site for the proposed development is situated on the south side of West Clarkston Road between the Hemingway Road and Merritt Avenue intersections. The parcel is currently occupied by a single-family residence, which is serviced by an existing gravel residential driveway that connects to West Clarkston Road across from Evan Court. As the existing site has only a single-family residence on it, the site does not negatively impact adjacent street traffic volumes during either the AM or PM peak hours or during any other period throughout the day. Surrounding land uses are predominantly single-family residences in all directions, with more commercial and retail uses approximately 0.85-miles to the east on Lapeer Road.

Proposed Land Use

The proposed land use will be series of 30 attached single-family residences, which are typically grouped as duplexes. However, the ITE Trip Generation Manual does not have published rates for duplex residential units; the manual has rates for single family detached as well as rates for multi-family housing, which typical has groupings of three to five units per pod. For this reason, ITE Land Use 210, Single-Family Detached Housing is utilized, with vehicle trips ends estimated by number of residents rather than number of dwelling units. The number of residents is recommended for estimating duplex development vehicle trip ends as duplex units tend to have smaller floor plan sizes as compared to a typical single-family home, thus having fewer residents per unit and fewer trips. For the purposes of this analysis, it is assumed that there will be approximately 2.61 persons per household in the proposed development based on United States Census 2020 population and household data for Orion Charter Township.

For a single-family development with 30 dwelling units and 2.61 persons per unit, the estimated trip generation utilizing Land Use 210, based on number of residents and adjusted for an increase by one standard deviation, is as follows:

Time Period	Vehicle Trip Ends / Direction
Weekday, AM Peak Hour of Adj. Street Traffic	Avg Rate = 0.29 23 (31% entering, 69% exiting)
Weekday, PM Peak Hour of Adj. Street Traffic	Avg Rate = 0.36 29 (66% entering, 34% exiting)

As shown in the above table, the proposed multifamily land use will not contribute significantly to the adjacent street traffic volumes in either the weekday AM or PM peak hours. Additionally, the low level of trip generation will not pose a negative impact to the Clarkston Road and Lapeer Road signalized intersection to the east or the Clarkston Road and Joslyn Road signalized intersection to the west.

During Final Site Plan work a left turn warrant analysis for both entries off of Clarkston Road will be submitted to Road Commission for Oakland County.

Proposed Water Main and Sanitary Sewer Basis of Design

The proposed project will have 30 residential units proposed to be placed on site. At full construction of the site each home will have an anticipated water and sewer use of 350 gallon per day per unit. With 30 residential units this will result in a use of 10,500 gallon of water and sewer use per day. If we convert this to Residential Equivalent Units(REU) at 1 REU per 100 gallons of water and sewer use per day this would result in the project needing 105 REU's.

Project Narrative

- The Proposed Project contemplates a Cluster Plan development of 30 Duplex units located in 15 building footprints with a proposed PUD zoning designation to preserve many of the existing natural features on the property.
- The property includes a wetlands area of approximately 2 acres and over 900 trees including approximately 69 that are landmark designated.
- The use of the Cluster Plan development approach and PUD zoning affords the opportunity to preserve the significant natural features on the property and enhance the environmental quality of the development and neighboring area.
- By locating the development envelope primarily on the west side of the property, the Concept Plan provides for the opportunity to preserve many of the site's natural features including the wetlands area and significant number of landmark trees.
- By utilizing Duplex type units, the Concept Plan provides for a more efficient building envelope solution.
- The Concept Plan proposes to incorporate "Density Credit" features outlined in the Township Ordinance including the following:
 - a. A high level of clustered development, where at least twenty percent (20%) of the PUD is common usable open space.
 - ✓ (The Concept Plan contemplates approximately 43.9% usable open space and over 67.5% open space when including the wetlands, wetlands buffer and detention open areas)
 - b. The proposed plan is designated to enhance surface water quality and ground water quality.
 - ✓ (The Concept Plan contemplates the use of roof water infiltration and rain gardens for each unit to enhance storm water management)
 - c. Provisions and design that preserve natural features.
 - ✓ (The Concept Plan contemplates the preservation of the wetlands area and existing trees including many which are landmark designated)
 - d. Donation or contribution of land or amenities that represent significant community benefit.
 - ✓ (The Concept Plan contemplates the creation of a land conservation easement to preserve the wetlands area in perpetuity)
 - ✓ (The Concept Plan contemplates the contribution of approximately 0.46 acre for additional Right of Way area to the benefit of the community)

- The Concept Plan proposes to include the following:
 - Total Net Property (not including ROW designation) = 10.35 acres (100 %)
 - Usable Open Space = 4.55 acres (43.9%)
 - Other Open Space = 2.44 acres (23.6%) (wetlands and detention area)
 - Total Open Space = 6.99 acres (67.5%)
 - Proposed units per acre (net property) = 2.64

- The proposed PUD project would result in benefits to the user residents and the community by the preservation of a significant portion of the existing natural features on the property including wetlands and woodlands areas. The proposed storm water management details would enhance the environmental quality of the local community area as well as the proposed project.

- The benefits gained by the use of a cluster development and PUD flexibility would unlikely be achieved in a normal subdivision configuration where traditional single family lot configurations would imply a more significant impact on the natural features of the property.

- The proposed cluster type development and relative density of 2.64 units per acre would not under normal circumstances be considered a negative and would not have a material negative impact on public services.

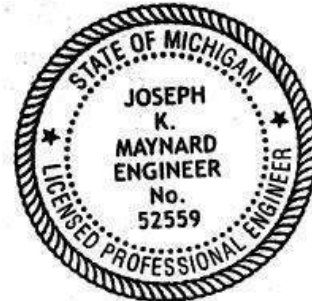
- The proposed PUD project would not place an unreasonable burden on the subject land or property owners. The PUD would allow for flexibility to preserve natural features to a greater degree and achieve nearly 67.5% open space on the property.

- The proposed PUD project would not have an unreasonable negative impact upon the surrounding properties in relation to the economic impact.

- There was an existing run down vacant residential structure on the property that has been removed.

- The proposed project would provide a positive economic impact to the community through construction job creation and property tax revenue and provide new residential home ownership opportunities in Orion Township to attract new residents and retain existing residents desiring to transition from rentals to home ownership.

SHEET TITLE	SHEET NO.
COVER SHEET	C-0.0
TOPOGRAPHIC + BOUNDARY SURVEY (BY OTHERS)	C-1.0
FINAL SITE PLAN	C-2.0
FINAL GRADING PLAN	C-3.0
FINAL UTILITY PLAN	C-4.0
SITE DETAILS	C-4.1
SANITARY LIFT STATION DETAILS	C-4.2
SANITARY LIFT STATION DETAILS	C-4.3
SIGHT DISTANCE W. CLARKSTON RD WEST ENTRANCE	C-5.0
SIGHT DISTANCE W. CLARKSTON RD EAST ENTRANCE	C-5.1
R-1 ZONING COMPARABLE SITE PLAN	C-6.0
R-3 ZONING COMPARABLE SITE PLAN	C-6.1
AERIAL IMAGERY	C-7.0
LANDSCAPE PLAN	L-1
WOODLAND PLAN	L-2
TREE LIST	L-3
LANDSCAPE DETAILS	L-4
ARCHITECT SHEET	A-1



PREPARED BY JOSEPH K. MAYNARD P.E., MICH No. 52559

REVISED FINAL PUD SUBMITTAL: 2-17-23
FINAL PUD SUBMITTAL: 11-18-22
REVISED: 5-06-22
REVISED: 12-14-21
ORIGINAL: 11-1-21

RIDGEWOOD

UTILITY NOTE:

ALL WATER MAIN, STORM SEWER, SANITARY SEWER AND PUBLIC LIGHTING UTILITIES AS SHOWN HEREON ARE TAKEN FROM THE BEST AVAILABLE RECORDS AS DISCLOSED BY THE VARIOUS UTILITY COMPANIES AND/OR MUNICIPALITIES. NO GUARANTEE CAN BE GIVEN BY US AS TO THE ACCURACY OR COMPLETENESS THEREOF.

Parcel Information:

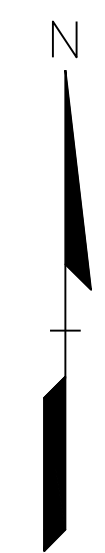
- Parcel 09-15-226-006
- Parcel 09-15-226-007
- Parcel 09-15-226-008

Structures and Features:

- #705 EXISTING HOUSE
- EXISTING GARAGE
- #625 EXISTING HOUSE
- EXISTING GARAGE
- #681 EXISTING HOUSE
- EXISTING GARAGE
- #1169 EXISTING HOUSE

Topographic Data:

- Contour lines: 1000, 1002, 1004, 1006, 1008, 1010, 1012, 1014, 1016, 1018, 1020, 1022, 1024, 1026, 1028, 1030, 1032, 1034, 1036, 1038, 1040, 1042, 1044, 1046, 1048, 1050, 1052, 1054, 1056, 1058, 1060, 1062, 1064, 1066, 1068, 1070, 1072, 1074, 1076, 1078, 1080, 1082, 1084, 1086, 1088, 1090, 1092, 1094, 1096, 1098, 1100, 1102, 1104, 1106, 1108, 1110, 1112, 1114, 1116, 1118, 1120, 1122, 1124, 1126, 1128, 1130, 1132, 1134, 1136, 1138, 1140, 1142, 1144, 1146, 1148, 1150, 1152, 1154, 1156, 1158, 1160, 1162, 1164, 1166, 1168, 1170, 1172, 1174, 1176, 1178, 1180, 1182, 1184, 1186, 1188, 1190, 1192, 1194, 1196, 1198, 1200, 1202, 1204, 1206, 1208, 1210, 1212, 1214, 1216, 1218, 1220, 1222, 1224, 1226, 1228, 1230, 1232, 1234, 1236, 1238, 1240, 1242, 1244, 1246, 1248, 1250, 1252, 1254, 1256, 1258, 1260, 1262, 1264, 1266, 1268, 1270, 1272, 1274, 1276, 1278, 1280, 1282, 1284, 1286, 1288, 1290, 1292, 1294, 1296, 1298, 1300, 1302, 1304, 1306, 1308, 1310, 1312, 1314, 1316, 1318, 1320, 1322, 1324, 1326, 1328, 1330, 1332, 1334, 1336, 1338, 1340, 1342, 1344, 1346, 1348, 1350, 1352, 1354, 1356, 1358, 1360, 1362, 1364, 1366, 1368, 1370, 1372, 1374, 1376, 1378, 1380, 1382, 1384, 1386, 1388, 1390, 1392, 1394, 1396, 1398, 1400, 1402, 1404, 1406, 1408, 1410, 1412, 1414, 1416, 1418, 1420, 1422, 1424, 1426, 1428, 1430, 1432, 1434, 1436, 1438, 1440, 1442, 1444, 1446, 1448, 1450, 1452, 1454, 1456, 1458, 1460, 1462, 1464, 1466, 1468, 1470, 1472, 1474, 1476, 1478, 1480, 1482, 1484, 1486, 1488, 1490, 1492, 1494, 1496, 1498, 1500, 1502, 1504, 1506, 1508, 1510, 1512, 1514, 1516, 1518, 1520, 1522, 1524, 1526, 1528, 1530, 1532, 1534, 1536, 1538, 1540, 1542, 1544, 1546, 1548, 1550, 1552, 1554, 1556, 1558, 1560, 1562, 1564, 1566, 1568, 1570, 1572, 1574, 1576, 1578, 1580, 1582, 1584, 1586, 1588, 1590, 1592, 1594, 1596, 1598, 1600, 1602, 1604, 1606, 1608, 1610, 1612, 1614, 1616, 1618, 1620, 1622, 1624, 1626, 1628, 1630, 1632, 1634, 1636, 1638, 1640, 1642, 1644, 1646, 1648, 1650, 1652, 1654, 1656, 1658, 1660, 1662, 1664, 1666, 1668, 1670, 1672, 1674, 1676, 1678, 1680, 1682, 1684, 1686, 1688, 1690, 1692, 1694, 1696, 1698, 1700, 1702, 1704, 1706, 1708, 1710, 1712, 1714, 1716, 1718, 1720, 1722, 1724, 1726, 1728, 1730, 1732, 1734, 1736, 1738, 1740, 1742, 1744, 1746, 1748, 1750, 1752, 1754, 1756, 1758, 1760, 1762, 1764, 1766, 1768, 1770, 1772, 1774, 1776, 1778, 1780, 1782, 1784, 1786, 1788, 1790, 1792, 1794, 1796, 1798, 1800, 1802, 1804, 1806, 1808, 1810, 1812, 1814, 1816, 1818, 1820, 1822, 1824, 1826, 1828, 1830, 1832, 1834, 1836, 1838, 1840, 1842, 1844, 1846, 1848, 1850, 1852, 1854, 1856, 1858, 1860, 1862, 1864, 1866, 1868, 1870, 1872, 1874, 1876, 1878, 1880, 1882, 1884, 1886, 1888, 1890, 1892, 1894, 1896, 1898, 1900, 1902, 1904, 1906, 1908, 1910, 1912, 1914, 1916, 1918, 1920, 1922, 1924, 1926, 1928, 1930, 1932, 1934, 1936, 1938, 1940, 1942, 1944, 1946, 1948, 1950, 1952, 1954, 1956, 1958, 1960, 1962, 1964, 1966, 1968, 1970, 1972, 1974, 1976, 1978, 1980, 1982, 1984, 1986, 1988, 1990, 1992, 1994, 1996, 1998, 2000, 2002, 2004, 2006, 2008, 2010, 2012, 2014, 2016, 2018, 2020, 2022, 2024, 2026, 2028, 2030, 2032, 2034, 2036, 2038, 2040, 2042, 2044, 2046, 2048, 2050, 2052, 2054, 2056, 2058, 2060, 2062, 2064, 2066, 2068, 2070, 2072, 2074, 2076, 2078, 2080, 2082, 2084, 2086, 2088, 2090, 2092, 2094, 2096, 2098, 2100, 2102, 2104, 2106, 2108, 2110, 2112, 2114, 2116, 2118, 2120, 2122, 2124, 2126, 2128, 2130, 2132, 2134, 2136, 2138, 2140, 2142, 2144, 2146, 2148, 2150, 2152, 2154, 2156, 2158, 2160, 2162, 2164, 2166, 2168, 2170, 2172, 2174, 2176, 2178, 2180, 2182, 2184, 2186, 2188, 2190, 2192, 2194, 2196, 2198, 2200, 2202, 2204, 2206, 2208, 2210, 2212, 2214, 2216, 2218, 2220, 2222, 2224, 2226, 2228, 2230, 2232, 2234, 2236, 2238, 2240, 2242, 2244, 2246,



A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The inner circle contains the name "TIM S. STOREY", the title "ENGINEER", and the license number "No. 43617". The seal is stamped in blue ink on a white background, with handwritten initials "T.S." and "Storey" in purple ink over it.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SAFETY OF ALL PERSONS AND PROPERTY UNDER ALL CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO HOLD AND INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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www.storeyengineering.com

DRAWING NUMBER:

C-1.0

NOTE:
A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED
AT TIME OF SURVEY. THEREFORE EASEMENTS AND/OR
ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY
NOT BE SHOWN.

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LEGEND





	=	Ligand
	=	Unit
	=	Group
	=	Hydrogen

Diagram illustrating various signs and their dimensions:

- Sign 1:** R-59A-12 (Wheelchair symbol, PARKING ONLY)
- Sign 2:** R-59C-12 (WHERE REQUIRED) (VAN ACCESSIBLE)
- Sign 3:** SPECIAL 12"x6" (Unauthorized Parking \$250 Minimum Fine G.R.C. 4611.99)
- Sign 4:** R8-3a 12" x 12" (No Right Turn symbol)
- Sign 5:** R8-3a(7) 8" x 12" (FIRE LANE)


BENCHMARKS: (NAVD-88 DATUM,
FROM RTK OBSERVATION)

BM1:
ARROW ON FIRE HYDRANT SOUTH SIDE OF W. CLARKSTON ROAD
IN FRONT OF 625 W. CLARKSTON ROAD.
ELEVATION: 1017.3

BM2
SET PK NAIL IN WEST FACE OF TREE NUMBER 325.
ELEVATION: 1008.96

BM3
SET PK NAIL IN NORTH FACE OF UTILITY POLE AT THE END OF
BYPASSWAY TO 625 W. CLARKSTON ROAD.
ELEVATION: 1009.45

BM4
SET PK NAIL IN SOUTH FACE OF UTILITY POLE ON THE NORTH
SIDE OF W. CLARKSTON ROAD, 70 FEET EAST OF 705 W. CLARKSTON
ROAD.
ELEVATION: 1010.75


POLE	SPOT ELEV.	TC = TOP OF CURB	--- -- = GRAVEL	r = EXISTING STORM
Y POLE	OP = POST	TW = TOP OF WALL	- - - - = FENCE	s = EXISTING SANITARY
ANCHOR	⊗ = GATE VALVE	○ = MANHOLE	- # - # - = CONCRETE	w = EXISTING WATER
UNT	⊕ = SIGN	□ = CATCHBASIN	 = ASPHALT	g = EXISTING GAS
		□ = END SECTION		e = EXISTING ELECTRIC
				+ = EXISTING TELEPHONE

---992--- = EXISTING 2 FOOT CONTOUR
 ---1000--- = EXISTING 10 FOOT CONTOUR
 ————— = WETLAND LIMIT
 A12 = WETLAND FLAG NUMBER (FLAGGED BY
 KING & MACGREGOR ENVIRONMENTAL)

792 ♦ = EXISTING TREE ID TAG
(TAGGED BY OTHERS)

REVISIONS – 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN

SCALE



0 20 40 80

SCALE: 1"=40'


PREPARED BY Joseph K. Maynard
JOSEPH K. MAYNARD P.E., MICH No. 52559



Now what's below.
Call before you dig.

A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "JOSEPH K. MAYNARD", the title "ENGINEER", and the license number "No. 52559".

CIVIL ENGINEERS
PLANNERS * SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
SUITE 400
ANN ARBOR, MI 48103
TEL. 734-761-8800



**WASHTENAW
ENGINEERING**

IN-SITE LLC
3454 RIDGELINE DR
NN ARBOR, MI 48105
TEL. 847-476-9944

CLIENT

FINAL

SHEETS

RIDGEWOOD

PROJECT

10





4

15

--	--

[illegible]

LEGEND

 = *Li*
 = *U*
 = *GU*
 = *HY*

EXISTING CONDITIONS: THIS SITE CONTAINS 11.38 ACRES, WHICH INCLUDES THE W. CLARKSON RD. RIGHT-OF-WAY, IS LOCATED ALONG THE SOUTH SIDE OF THE CLARKSON RD. RIGHT-OF-WAY, AND IS BOUNDED BY THE LAFAYETTE LANE (M-52) TO THE WEST. THE EXISTING SITE HAS A RUN DOWN RESIDENTIAL BUILDING THAT IS CURRENTLY UNOCCUPIED. THE AREA IS CONSIDERED WOODED. THERE IS A WETLAND LOCATED TO THE EAST SIDE OF THIS SITE. THIS WETLAND DISCHARGES TO THE EAST SIDE OF THE CLARKSON RD. RIGHT-OF-WAY, WHICH EVENTUALLY DISCHARGES TO THE CLINTON RIVER. THE NEIGHBORING PROPERTY TO THE WEST DISCHARGES TO THE HENNINGSON DITCH. THE AREA TO THE NORTH OF W. CLARKSON RD. DISCHARGES TO THE CLINTON RIVER. THE EXISTING SITE TAKES SOME DISCHARGE FROM THE SOUTH SIDE OF W. CLARKSON RD. NO EXISTING ISSUES WITH FLOODING DOWNSTREAM. IN 2014, THERE WAS REMOVED WATER 2 TO 4 FEET DURING RAIN. THERE IS A NEED TO TOPPING ITS BANKS, BUT NO ADDITIONAL NEEDED CREEK.

STORM WATER MANAGEMENT:
AN INFILTRATION BASIN SYSTEM IS PROPOSED. SEDIMENT
TREATMENT WILL BE VIA A SEDIMENT REMOVAL PRETREATMENT
UNIT LOCATED IN THE WEST DRIVE. THE PROPOSED STORM
SEWER SYSTEM WILL COLLECT THE ROAD AND SIDEWALK WATER
AND DIRECT IT TO THE SEDIMENT REMOVAL PRETREATMENT UNIT
BEFORE BEING DETAINED. THE INFILTRATION BASIN WILL HAVE
AN EMERGENCY OVERTFLOW TO THE WETLAND/CREEK AT THE
SOUTH EAST CORNER OF THE SITE AND FOLLOW THE EXISTING
DRAINAGE PATTERN.

EXISTING FLOWS:
 IMPERVIOUS AREA = 0.26 ACRES (C=0.95)
 PERVIOUS (HSG A) = 10.09 ACRES (C=0.15)
 TOTAL AREA = 10.35 ACRES (NET)
 COMPOSITE RUNOFF COEFFICIENT C = 0.17
 Tc=15 MINUTES
 INTENSITY FOR A 10 YEAR STORM
 $I = 30.20p^{0.22} / (Tc + 9.17)^{0.81}$
 $I = 3.80$
 FLOW RATE
 $Q = C \times I \times A$
 $Q = 6.69 \text{ CFS}$

[illegible]

IMPERVIOUS AREA (NET) = 3.73 ACRES (C=0.95)
 PERVIOUS AREA (NET) = 3.52 ACRES (C=0.15)
 TOTAL TRIBUTARY AREA = 7.25 ACRES
 COMPOSITE C = 0.56
 $V_f = 545 \times C \times A = 2,213$ CFT
 $V_{ED} = 6897 \times C \times A = 28,002$ CFT
 $V_{100R} = 18955 \times C \times A = 76,957$ CFT
 RETENTION OF 2 100 YEAR STORM EVENTS = 153,914 CFT

BUILDINGS = 87,048 SQ FT
DRIVEWAYS = 17,662 SQ FT
SIDEWALKS = 16,373 SQ FT
ROADWAYS = 41,444 SQ FT

TOTAL IMPERVIOUS AREA = 162,527 SQ
= 3.73 ACRES

OAKLAND COUNTY SOIL SURVEY CLASSIFICATION



- SOILS ARE BASED ON USDA SOIL SURVEY
OF OAKLAND COUNTY.

(NAVD-88 DATUM;
FROM RTK OBSERVATION)

BM2
SET PK NAIL IN WEST FACE OF TREE NUMBER 325.
ELEVATION: 1008.96

BM4
SET PK NAIL IN SOUTH FACE OF UTILITY POLE ON THE NORTH SIDE
OF W. CLARKSTON ROAD, 70 FEET EAST OF 705 W. CLARKSTON ROAD
ELEVATION: 1015.11

☆	= LIGHT POLE	SPOT ELEV.
⦿	= UTILITY POLE	POST
▽	= GUY ANCHOR	GATE VALVE
⦿	= HYDRANT	SIGN

TC = TOP OF CURB	-::-::- = GRAVEL
TW = TOP OF WALL	-"-"- = FENCE
○ = MANHOLE	 = CONCRETE
□ = CATCHBASIN	 = ASPHALT
⌋ = END SECTION	

_____ r _____ = EXISTING STORM
 _____ s _____ = EXISTING SANITARY
 _____ w _____ = EXISTING WATER
 _____ g _____ = EXISTING GAS
 _____ e _____ = EXISTING ELECTRIC
 _____ t _____ = EXISTING TELEPHONE


- - - - -992- - - = EXISTING 2 FOOT CONTOUR
 - - - - -1000- - - = EXISTING 10 FOOT CONTOUR
 - - - - - = WETLAND LIMIT
 A12 = WETLAND FLAG NUMBER (FL
 KING & MACGREGOR ENVIRO.

792 ♦ = EXISTING TREE ID TAG
(TAGGED BY OTHERS)

BY
AL)

REVISIONS - 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN


SCALE 80



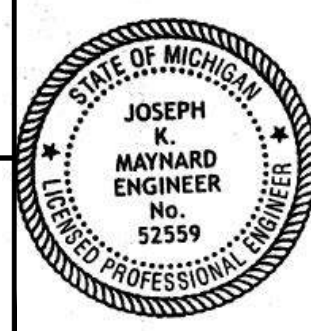
0 20 40

SCALE: 1"=40'

PREPARED BY Joseph K. Maynard
JOSEPH K. MAYNARD P.E., MICH No. 52559



Know what's below
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CLIENT

SHEET

PROJECT

15	4	10
----	---	----

FINAL **GRADING PLAN**

RIDGEWOOD

ORION TOWNSHIP
OAKLAND COUNTY * MICHIGAN
DATE 11-1-21 JOB NO. 3288

IN-SITE LLC
3454 RIDGELINE DR
ANN ARBOR, MI 48105
TEL: 847-476-9944

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ENGINEERING**

CIVIL ENGINEERS
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ANN ARBOR MI 48106

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FAX 313/963-1101
WWW.WASHTENAW-ENGINEERING.COM

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OAKLAND COUNTY SOIL SURVEY CLASSIFICATION

- 15B - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- 27 - HOUGHTON AND ADRIAN MUCKS
- 67B - METAEO LOAMY SAND 0 TO 6 PERCENT SLOPES
- 67C - METAEO LOAMY SAND, 6 TO 12 PERCENT SLOPES
- 67B - ORMAS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- 67C - ORMAS LOAMY SAND, 6 TO 12 PERCENT SLOPES
- - SOILS BOUNDARY

SOILS ARE BASED ON USDA SOIL SURVEY OF OAKLAND COUNTY.

BENCHMARKS:

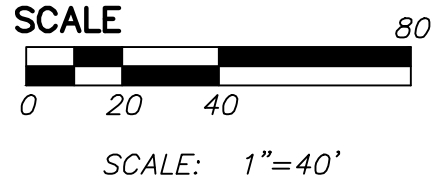
- (NAVD-88 DATUM, FROM RTK OBSERVATION)
- BM1: ARROW ON FIRE HYDRANT SOUTH SIDE OF W. CLARKSTON ROAD IN-FRONT OF 625 W. CLARKSTON ROAD. ELEVATION: 1017.3
- BM2: SET PK NAIL IN WEST FACE OF TREE NUMBER 325. ELEVATION: 1008.96
- BM3: SET PK NAIL IN NORTH FACE OF UTILITY POLE AT THE END OF DRIVEWAY TO 625 W. CLARKSTON ROAD. ELEVATION: 1009.45
- BM4: SET PK NAIL IN SOUTH FACE OF UTILITY POLE ON THE NORTH SIDE OF W. CLARKSTON ROAD, 70 FEET EAST OF 705 W. CLARKSTON ROAD. ELEVATION: 1015.11

LEGEND					
	= LIGHT POLE		= SPOT ELEV.		= TOP OF CURB
	= UTILITY POLE		= POST		= TOP OF WALL
	= GUY ANCHOR		= MANHOLE		= EXISTING STORM
	= HYDRANT		= GATE VALVE		= EXISTING SANITARY
			= SIGN		= EXISTING WATER
					= EXISTING GAS
					= EXISTING ELECTRIC
					= EXISTING TELEPHONE
					= GRAVEL
					= FENCE
					= CONCRETE
					= ASPHALT

	= EXISTING 2 FOOT CONTOUR
	= EXISTING 10 FOOT CONTOUR
	= WETLAND LIMIT
	= WETLAND FLAG NUMBER (FLAGGED BY KING & MACGREGOR ENVIRONMENTAL)

	= EXISTING TREE ID TAG (TAGGED BY OTHERS)
--	---

REVISIONS - 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN



PREPARED BY:

JOSEPH K. MAYNARD P.E., MICH No. 52559



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TEL: 847-476-9944

FINAL
UTILITY PLAN

RIDGEWOOD

SECTION	15	TOWN	4	NORTH	RANGE	10	EAST
PROJECT	ORION TOWNSHIP OAKLAND COUNTY • MICHIGAN						
DATE	11-1-21						
DWG NO.	882-UTIL						
FIELD BOOK	-						
FILE NO.	10724						

C-4.0

CLIENT

SHEET

PROJECT

SECTION

TOWN

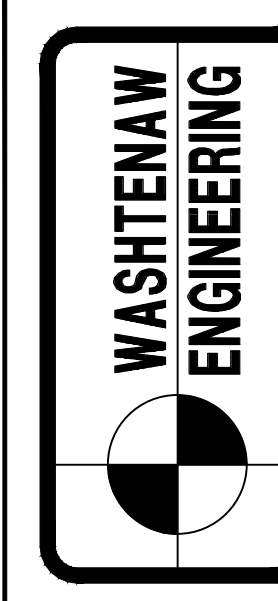
NORTH

RANGE

10

EAST

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3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL: 734-761-8800



IN-SITE LLC
3454 RIDGEWOOD DR
ANN ARBOR, MI 48105
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FINAL
UTILITY PLAN

RIDGEWOOD

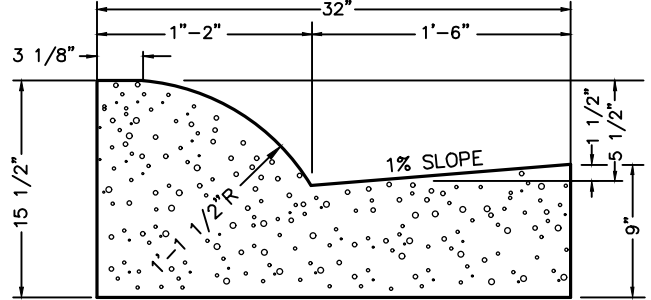
SECTION	15	TOWN	4	NORTH	RANGE	10	EAST
PROJECT	ORION TOWNSHIP OAKLAND COUNTY • MICHIGAN						
DATE	11-1-21						
DWG NO.	882-UTIL						
FIELD BOOK	-						
FILE NO.	10724						

C-4.0

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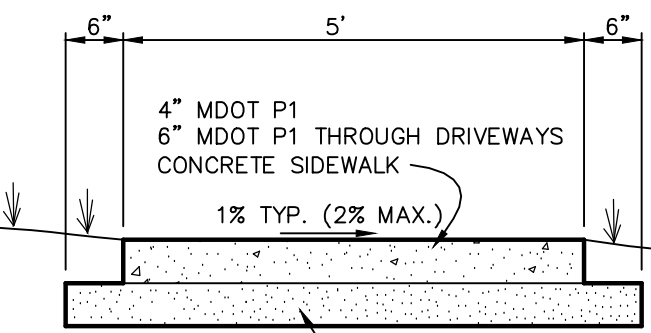
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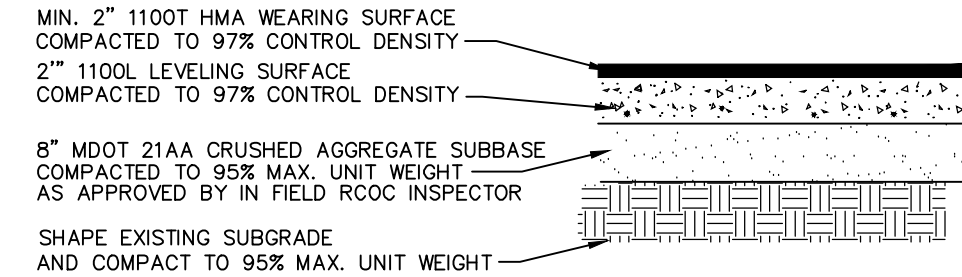
ON-SITE CURBING
MOUNTABLE (MDOT DETAIL B2)

NOT TO SCALE



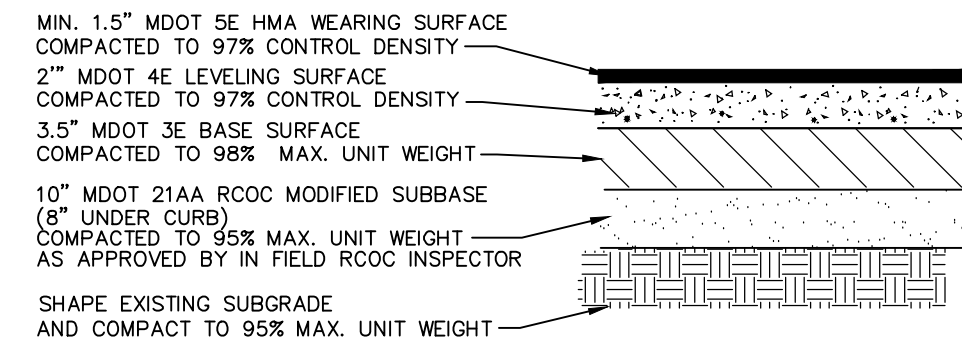
ON-SITE CONCRETE SIDEWALK
CROSS SECTION

NOT TO SCALE



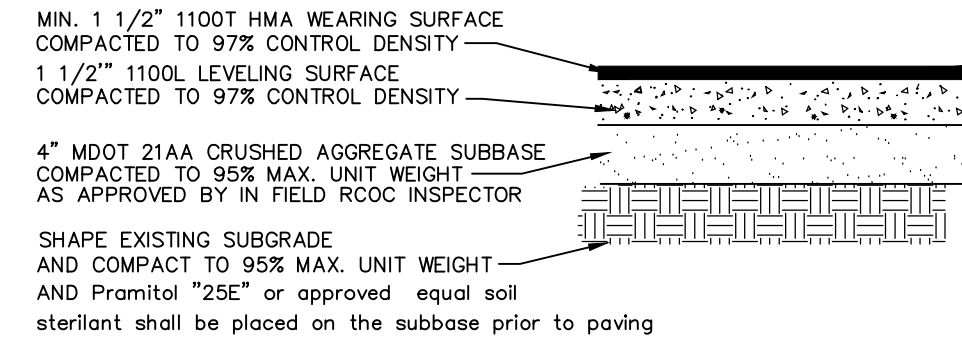
ON-SITE PAVEMENT SECTION

NOT TO SCALE



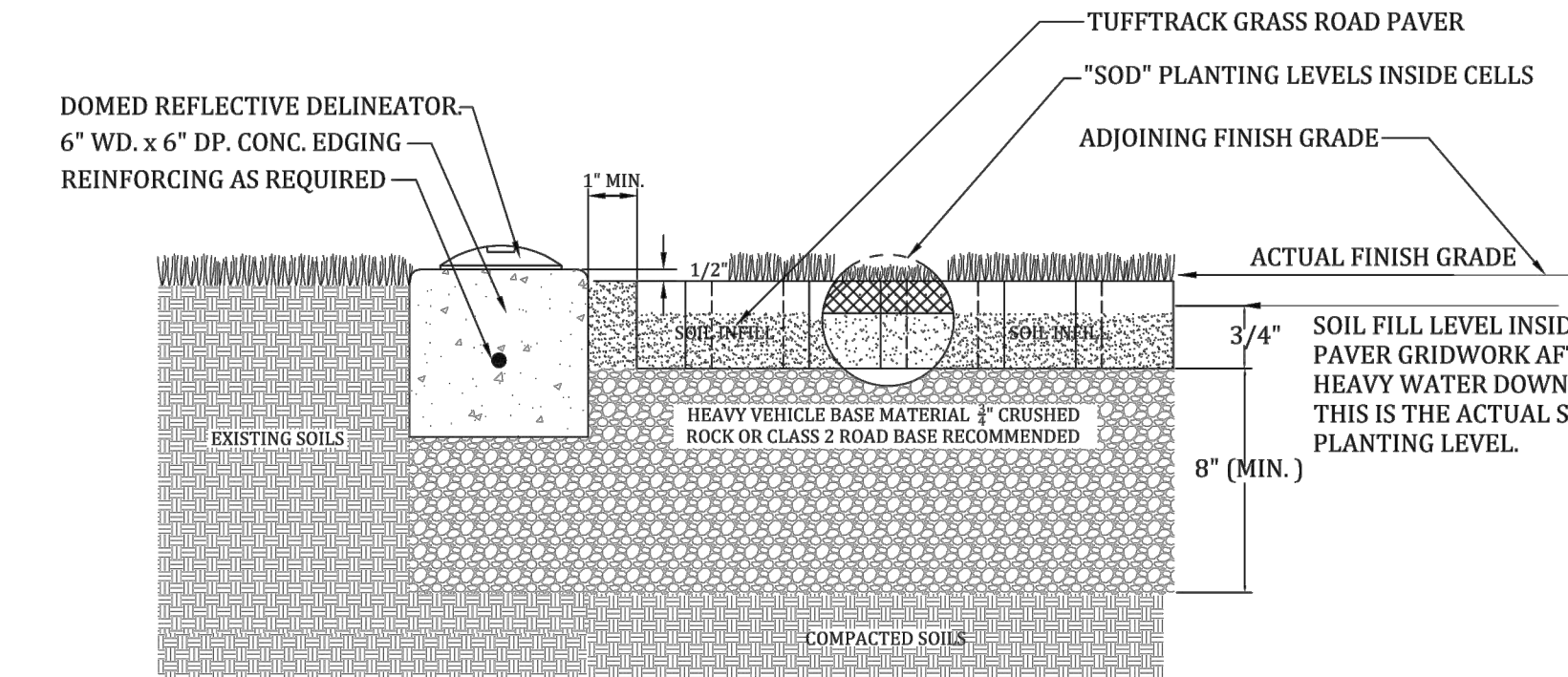
CLARKSTON R.O.W. ASPHALT PAVEMENT SECTION

NOT TO SCALE



SAFETY PATH PAVEMENT SECTION

NOT TO SCALE



NOTE:

EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.

TUFFTRACK GRASS PAVER FIRELANE CONCRETE EDGING W/ REFLECTOR

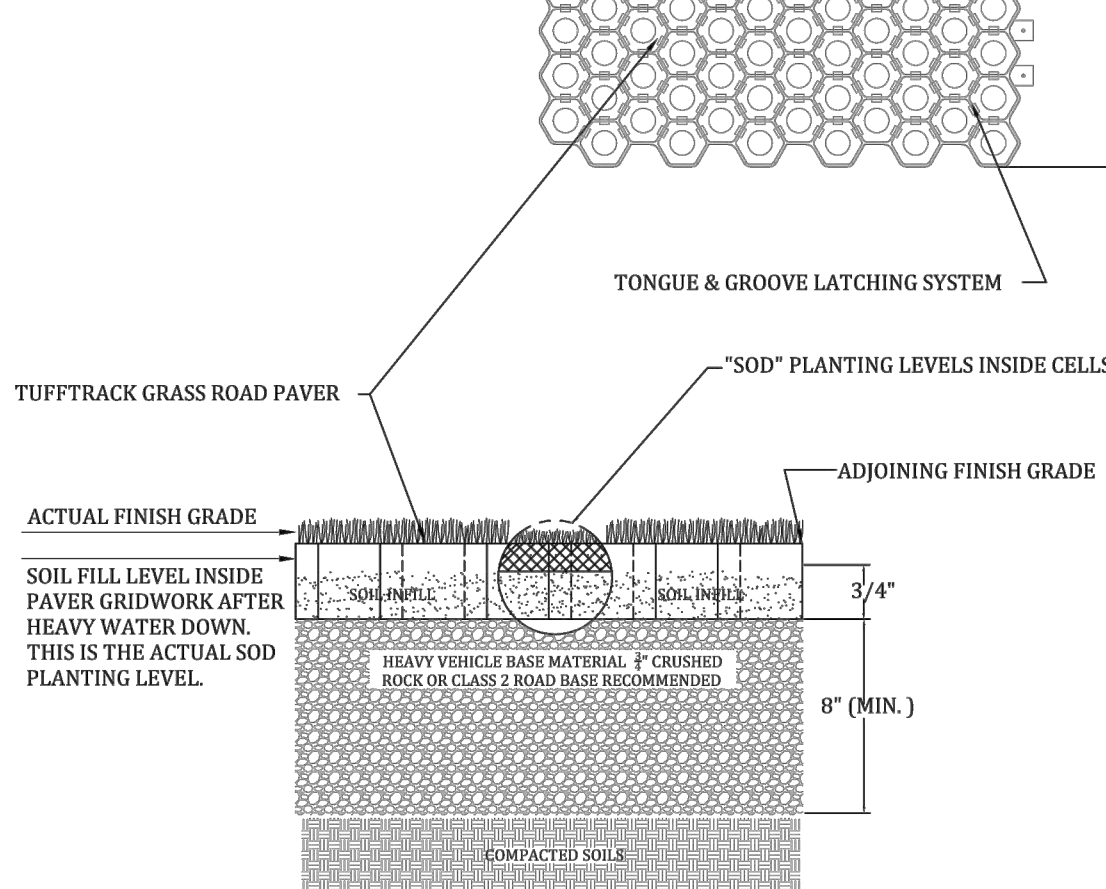
HEAVY VEHICLE OR FIRE ACCESS ROAD



TECHNICAL SERVICES
888-427-4716
technical@ndsusa.com

TUFFTRACK PRODUCT DESCRIPTION

PANEL SIZE - 24" x 24" x 1 1/2"
CELLS PER PANEL - (120) 2-1/2" HEXAGONAL CELLS
NESTED HONEYCOMB CELL LAYOUT
COMPRESSIVE STRENGTH - 98,770 PSF
685 PSI
EXCEEDS H20
LOADING



NOTE:

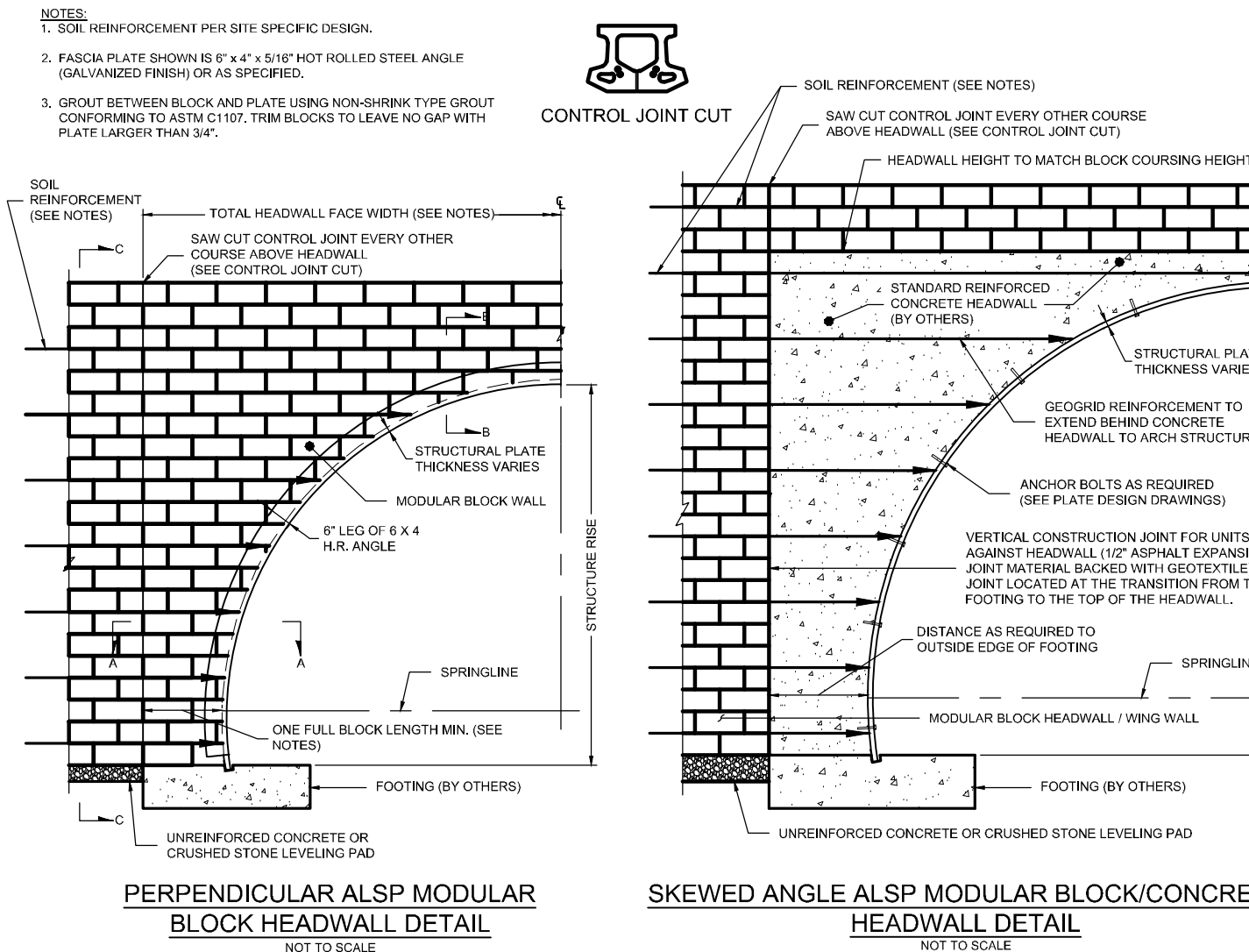
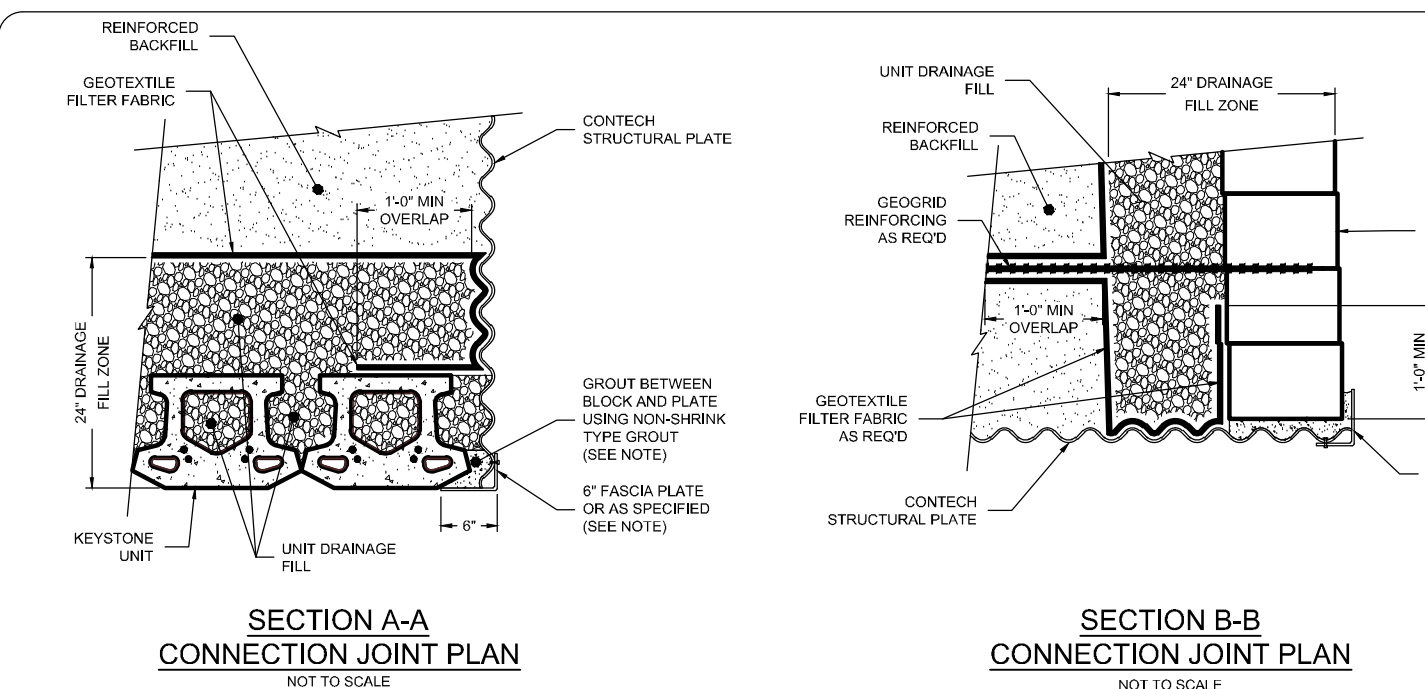
EXISTING SOILS SHOULD BE EVALUATED TO ENSURE PROPER STRUCTURAL AND PERMEABILITY PROPERTIES.

TYPICAL TUFFTRACK PAVER FIRELANE DETAIL

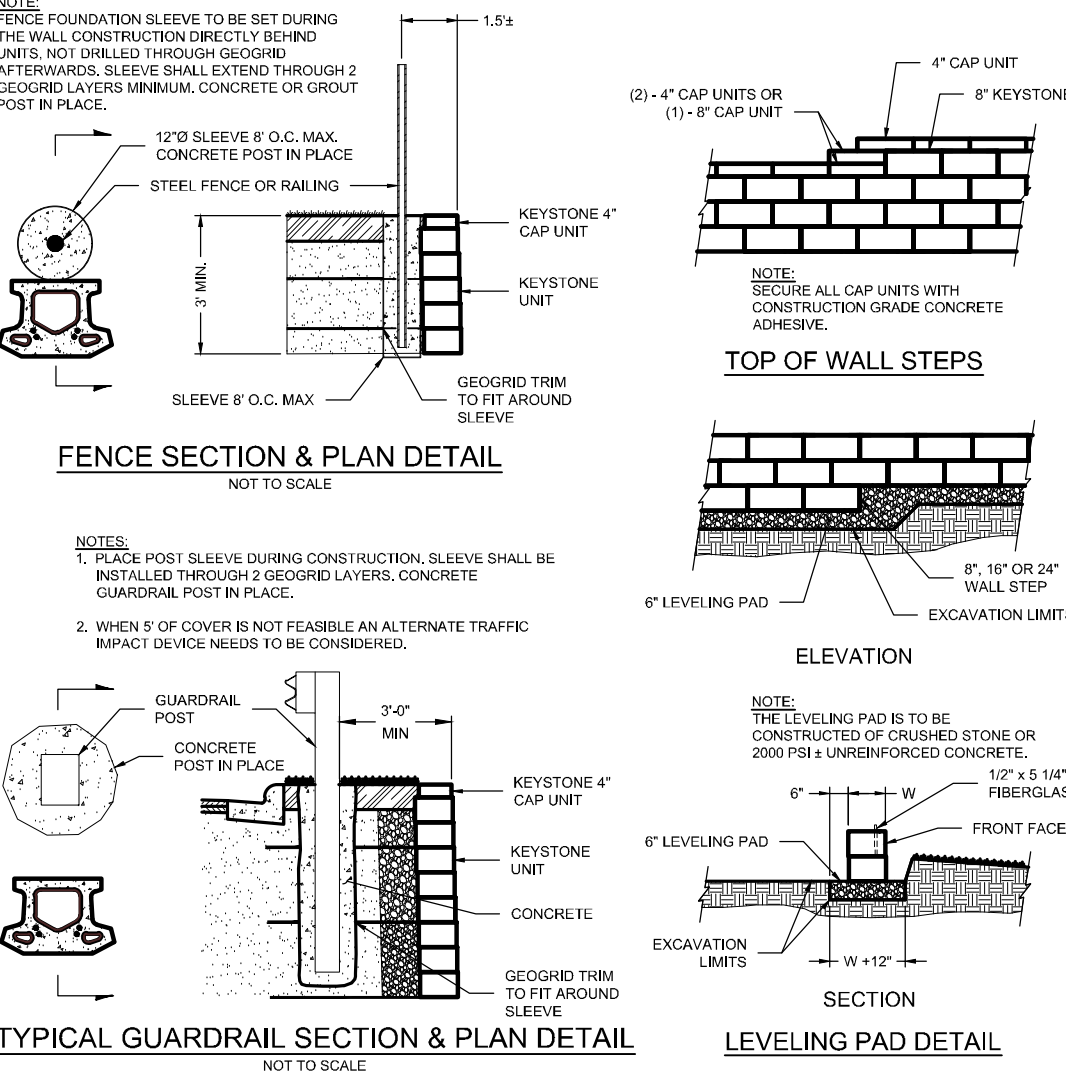
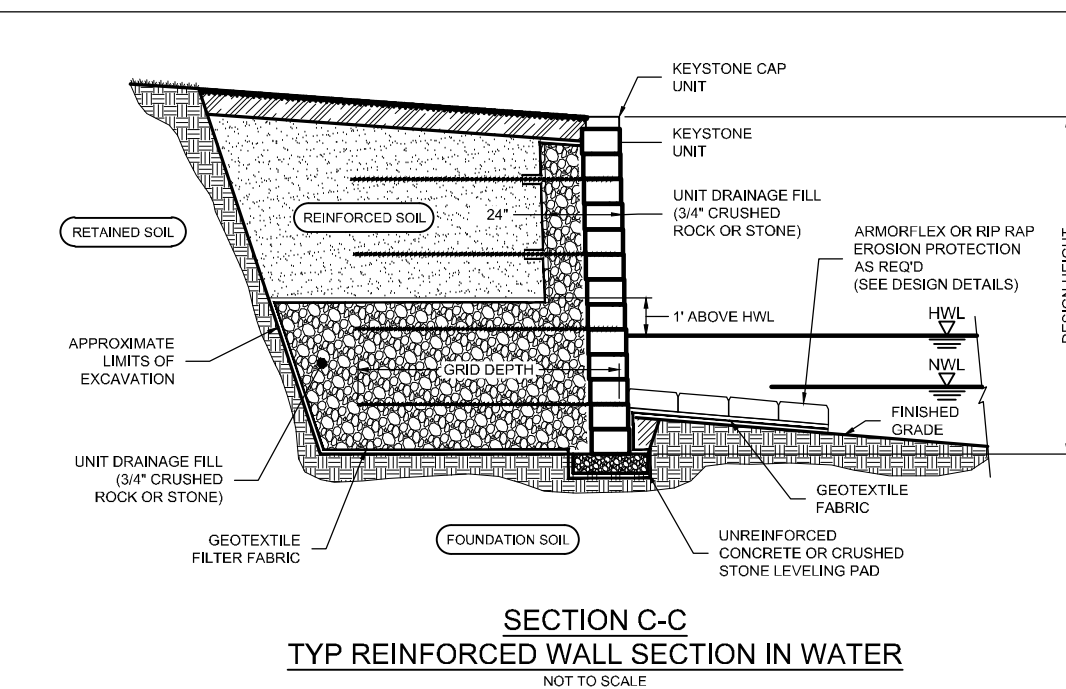
HEAVY VEHICLE OR FIRE ACCESS ROAD



TECHNICAL SERVICES
888-427-4716
technical@ndsusa.com



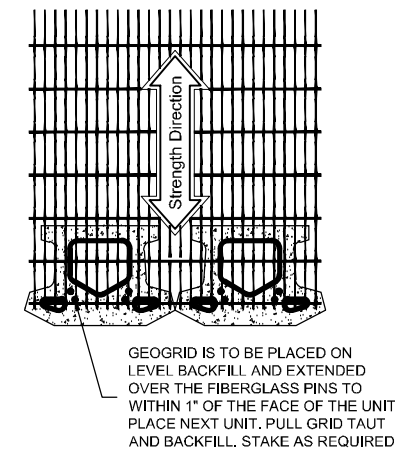
No.	Date	Revision	By



Designed By:	Title:	Aluminum Structural Plate Details	Date:
Checked By:	Project:	Keystone Retaining Wall Systems Typical Headwall Details	Project No:
Scale:	No Scale		Drawing No:

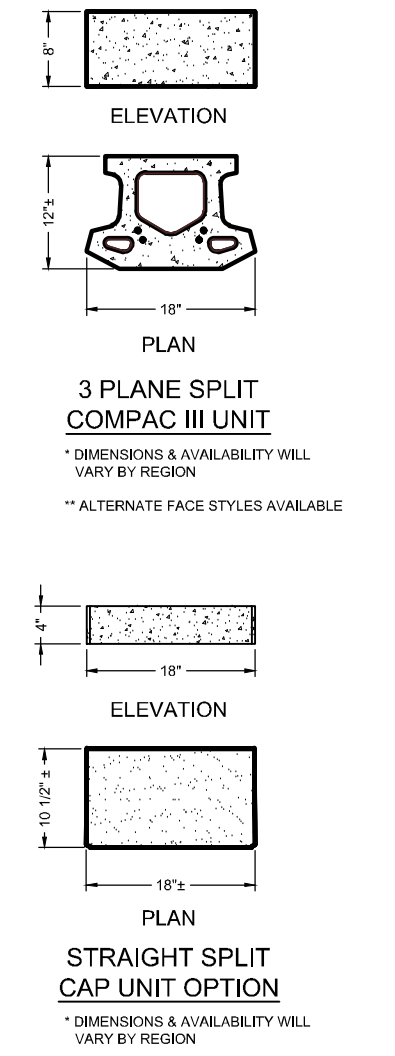


4444 W 78th Street
Minneapolis, MN 55435
952-687-0100

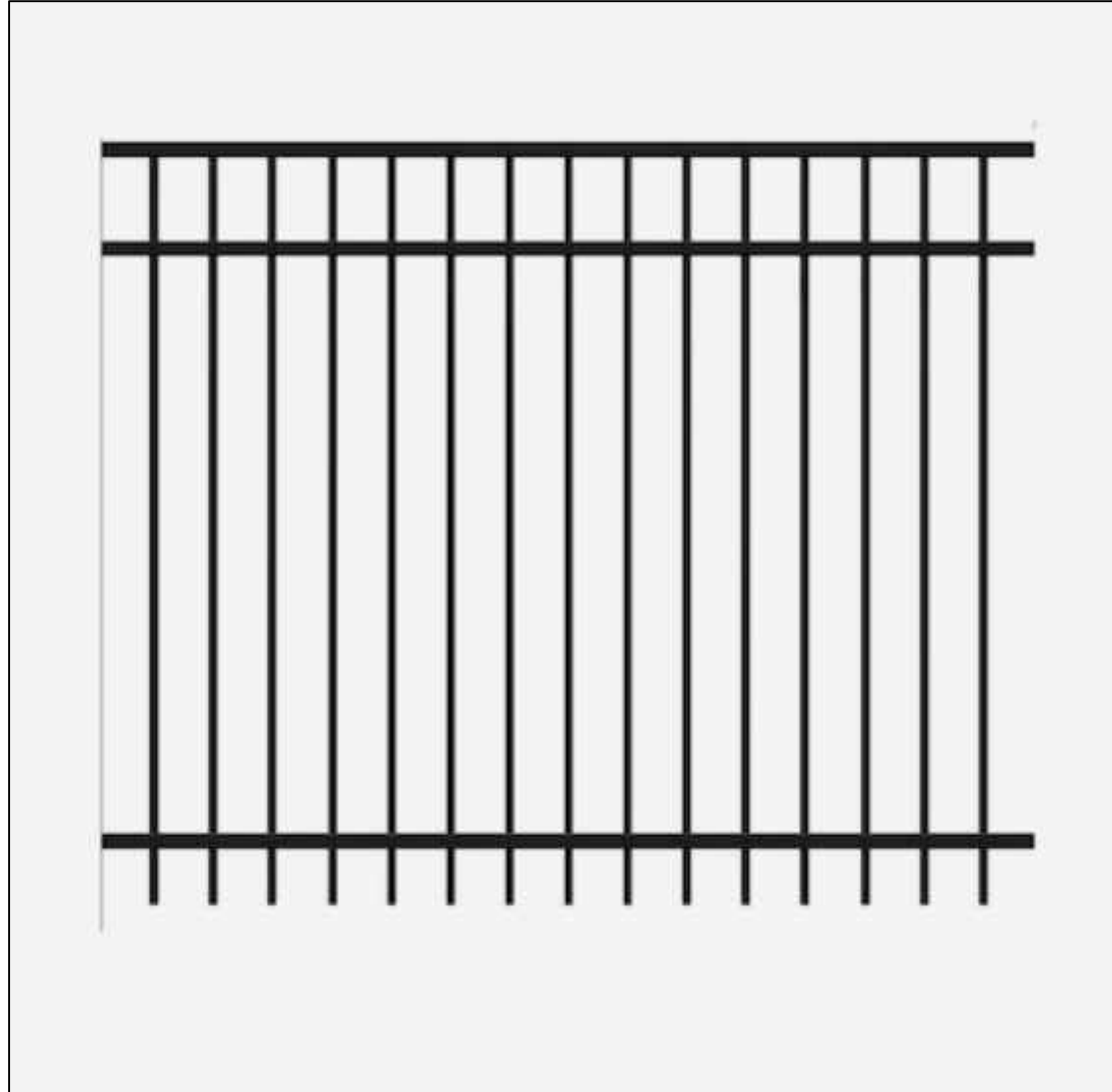


GRID & PIN CONNECTION

NOT TO SCALE



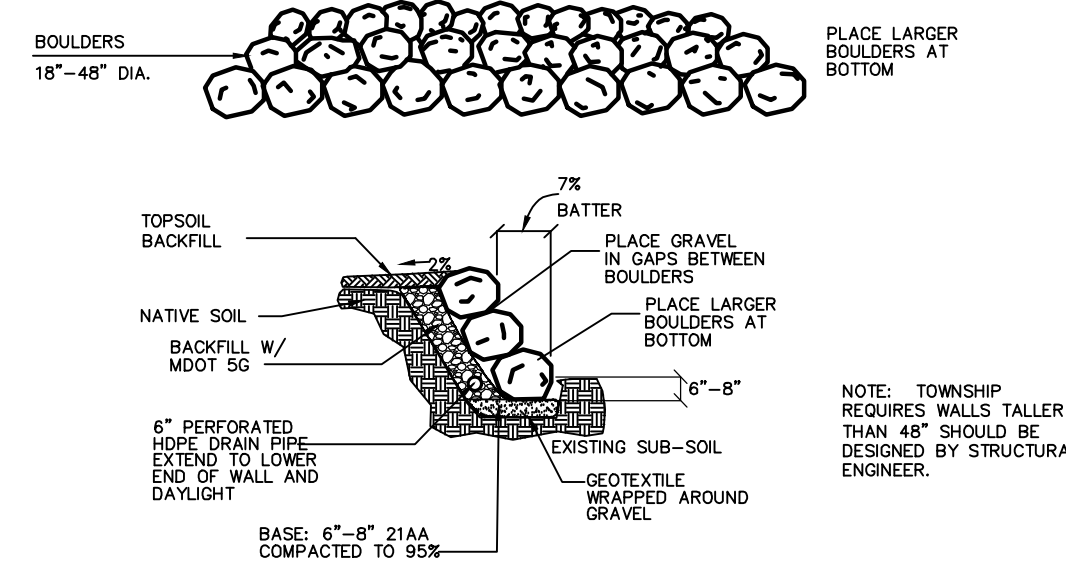
Designed By:	Title:	Aluminum Structural Plate Details	Date:
Checked By:	Project:	Keystone Retaining Wall Systems Typical Headwall Details	Project No:
Scale:	No Scale		Drawing No:



FENCE ALUMINUM PANEL

NOT TO SCALE

- NOTES:
- FENCE TO BE MINIMUM OF 42" HEIGHT.
 - SAFETY FENCE TO MEET FEDERAL ADA REQUIREMENTS.
 - FINAL COLOR AND APPEARANCE OF BARRIER FENCE TO BE DETERMINED BY OWNER.
 - BARRIER/SAFETY FENCE ONLY INSTALLED IF DROP TO GRADE LEVEL BELOW WALL IS GREATER THAN 30".



BOULDER WALL DETAIL

NOT TO SCALE

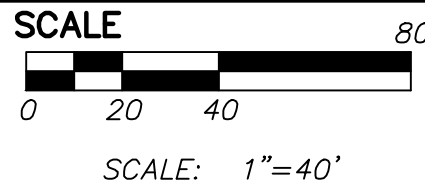


Know what's below.
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BOUNDARY & TOPOGRAPHICAL INFORMATION BY:
STOREY ENGINEERING GROUP, LLC DATED 12-5-18
AND PROVIDED BY CLIENT. WETLAND LIMIT
FLAGGED BY KING & MACGREGOR ENVIRONMENTAL
DATED 11-2-17.

PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



LEGEND	SYMBOL	DESCRIPTION
☆	LIGHT POLE	
⊕	UTILITY POLE	
⊙	GUY ANCHOR	
⊗	HYDRAINT	
•	SPOT ELEV.	
○	POST	
⊕	GATE VALVE	
—	SIGN	
TC	TOP OF CURB	
TW	TOP OF WALL	
○	MANHOLE	
○	EXISTING GAS	
□	CATCHBASIN	
—	END SECTION	
—	GRAVEL	
—	FENCE	
—	CONCRETE	
—	ASPHALT	
—	EXISTING STORM	
—	EXISTING SANITARY	
—	EXISTING WATER	
—	EXISTING GAS	
—	EXISTING ELECTRIC	
—	EXISTING TELEPHONE	
---	EXISTING 2 FOOT CONTOUR	
---	EXISTING 10 FOOT CONTOUR	
---	WETLAND LIMIT	
A12	WETLAND FLAG NUMBER (FLAGGED BY KING & MACGREGOR ENVIRONMENTAL)	
792+	EXISTING TREE ID TAG (TAGGED BY OTHERS)	

CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL: 734-761-8800

**WASHTENAW
ENGINEERING**

CLIENT

IN-SITE LLC
3454 RIDGEWAY DR
ANN ARBOR, MI 48105
TEL: 847-476-9944

SHEET

SITE DETAILS

PROJECT

RIDGEWOOD

SECTION 15 TOWN 4 NORTH RANGE 10 EAST





ORION TOWNSHIP
OAKLAND COUNTY • MICHIGAN

DATE 11-1-21 JOB NO. 32982
DWG NO. 882-details FIELD BOOK: — FILE NO. 10724

C-4.1

THE OTHER PARTY SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, TELEPHONIC DATA AND ANY OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY ANY OTHER PERSON. MECON ENGINEERING COMPANY (MECO) IS NOT ADDED TO BE IN DEFAULT UNDER THIS AGREEMENT. THEREFORE SO LONG AS WESTHAWK ENGINEERING COMPANY (WECO) IS NOT ADDED TO BE IN DEFAULT UNDER THIS AGREEMENT, WITHOUT WECO'S PROFESSIONAL INVOLVEMENT WILL BE AT THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO. HOWEVER SHALL INDIVIDUALITY AND HOLD HARMLESS WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEYS' FEES ARISING OUT OF

HT POLE ^{x901.23} = SPOT ELEV.
 LITY POLE ○P = POST
 Y ANCHOR ⊗ = GATE VALVE
 DRANT — = SIGN


 = GRAVEL
 = FENCE
 = CONCRETE
 = ASPHALT

-992- = EXISTING 2 FOOT CONTOUR 792 = EXISTING TREE ID TAG
 -1000- = EXISTING 10 FOOT CONTOUR (TAGGED BY OTHERS)
 - - - = WETLAND LIMIT
 A12 = WETLAND FLAG NUMBER (FLAGGED BY
 KING & MACGREGOR ENVIRONMENTAL)

SUPPLIER/INSTALLER:
JETT PUMP & Valve, L.L.C.
 4770 Pontiac Lk Rd
 Waterford, MI 48328 Phone: 248-673-2530

DESIGNER: JMB	SHEET NAME: Ridge Rd Ind Park
CHECK BY:	
APPROVED BY:	SHEET NO.
SCALE: NONE	Sanitary
SHEET OF	
Dwg No: JETT P&V STPS 1	

6 **REVISIONS** - 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN

PREPARED BY 
JOSEPH K. MAYNARD P.E., MICH No. 52559

SECTION 15

TOWN 4

NORTH

RANGE 10

EAST

ORION TOWNSHIP

OAKLAND COUNTY * MICHIGAN

DATE 11-1-21

JOB NO. 882


DWG NO. 882-san lift

FIELD BOOK -

FILE NO. 10724

C-4.2

IN-SITE LLC
3454 RIDGELINE DR
ANN ARBOR, MI 48105
TEL. 847-476-9944



**WASHTENAW
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LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
SUITE 400
ANN ARBOR, MI 48103
TEL. 734-761-8800


KEEN PUMP

Fluid:			
Name:	Water		
SG:	1	Vapor Pressure:	0.256 psi a
Density:	62.4 lb/ft³	Atm Pressure:	14.7 psi a
Viscosity:	1.1 cP		
Temperature:	60 °F	Margin Ratio:	1

Pump Limits:			
Temperature:	---	Sphere Size:	3 in
W/kg Pressure:	---		
Motor:			
Standard:	NEMA	Size:	10 hp
Enclosure:	TEFC	Speed:	1800 rpm
Frame:	215T		
Sizing Criteria:	Max Power on Design Curve		

Pump Selection Warnings:
None

Performance Evaluation:						
Flow	Speed	Head	Efficiency	Power	NPSHr	
US gpm	rpm	ft	%	hp	ft	
144	1750	44.4	45.3	3.56	---	
120	1750	45.5	40.4	3.41	---	
96	1750	46.3	35.5	3.25	---	
72	1750	47.1	30.7	3.1	---	
48	1750	47.9	25.8	2.95	---	

Selected from catalog: Keen.60, Vers 1.3.0

The site plan shows the layout of the lift station and pump chamber. Key features include:

- CONC WALK**: A concrete walkway measuring 7.0'.
- CONCRETE MAINTENANCE PAD**: A rectangular area measuring 27.0' by 12.0'.
- 3.5'x7.5' FIBERGLASS ENCLOSURE**: Located adjacent to the maintenance pad.
- 5'-12" GENERATOR**: Situated within the maintenance pad area.
- 5' DIA. PUMP CHAMBER**: A circular chamber located to the left of the generator.
- 16'x16' LIFT STATION ENCLOSURE**: The main structure, measuring 16.0' by 10.9'.
- Sanitary Sewer Force Main Out**: A line extending from the pump chamber.
- 8" Sanitary Sewer Gravity Line In**: A line entering the pump chamber.
- Dimensions**: Various setbacks and clearances are noted, including 11.9', 10.1', 12.5', 16.0', and 10.9'.
- B/CURB**: The boundary of the curb is indicated on the right side.

SANITARY LIFT STATION
(SCALE: 1"=10')

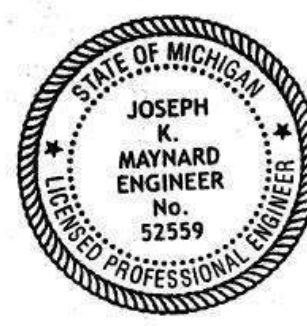
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NOTE:

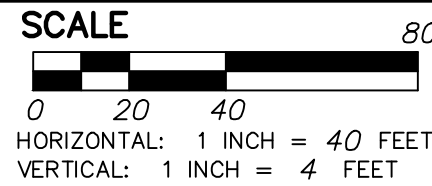
1. WITH IN R.O.W. HAND DIGGING IS REQUIRED AROUND ALL UTILITIES.
2. EXCAVATIONS WITH IN A 1:1 INFLUENCE OF ROADWAY AND SIDEWALK WILL REQUIRE MDOT CLASS II SAND BACKFILL COMPACTED TO 95% MAX. DENSITY.
3. REMOVE OR RELOCATE ALL FIXED OBJECTS PRIOR TO EXCAVATION. NO FIXED OBJECT SHALL BE WITH IN 5 FEET FROM BACK OF CURB.
4. DRIVEWAY TO HAVE SUFFICIENT CORNER SITE DISTANCE.
5. ALL PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
6. PAVEMENT SECTION IN ROW SHALL BE 2 INCHES THICK OVER 3 INCHES OF 3/4" OVER 3 INCHES OF 3/4" OR 9 INCHES OF MDOT 35-P CONCRETE WITH EPOXY COATED REBAR LANE AND SHOULDER. A STABLE BASE AS DETERMINED BY RCDG IN THE FIELD.
7. ALL DRIVE APPROACHES SHALL BE MDOT TYPE M OPENING.
8. ALL DRAINAGE DITCHES SHALL BE GRADED AND DITCHED TO PROVIDE POSITIVE FLOW.



Know what's below.
Call before you dig.




REVISIONS – 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN



PREPARED BY Joseph K. Maynard
JOSEPH K. MAYNARD P.E., MICH No. 52559

RIDGEWOOD



**WASHTENAW
ENGINEERING**

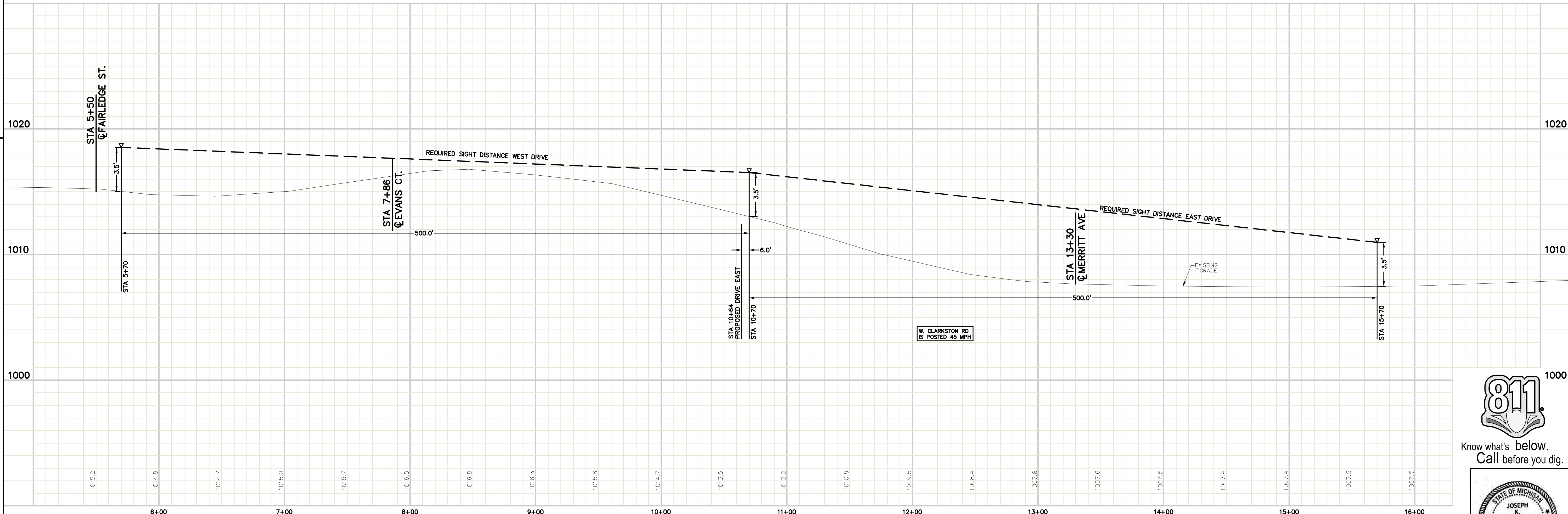
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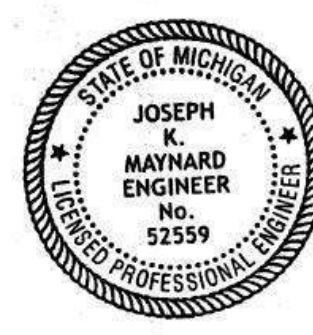
LEGEND

☼ = LIGHT POLE
⚡ = UTILITY POLE
⚓ = GUY ANCHOR
⦿ = HYDRANT

- NOTE:
1. WITH IN R.O.W. HAND DIGGING IS REQUIRED AROUND ALL UTILITIES
2. EXCAVATIONS WITH IN A 1:1 INFLUENCE OF ROADWAY AND SIDEWALK WILL REQUIRE MDOT CLASS 3 SAND BACKFILL COMPACTED TO 95% MAX. UNIT DENSITY.
3. REMOVE OR RELOCATE ALL FIXED OBJECTS PRIOR TO EXCAVATION. NO FIXED OBJECT SHALL BE WITH IN 10 FEET FROM BACK OF CURBLINE.
4. DRIVEWAY TO HAVE SUFFICIENT CORNER SITE DISTANCE
5. ALL PEDESTRIAN FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA GUIDELINES.
6. PAVEMENT SECTION IN ROW SHALL BE 2 INCHES OF 1 1/2" OR OVER 3 INCHES OF 4E, OR 3 INCHES OF 3E OR 9 INCHES OF MDOT 35-P CONCRETE WITH EPOXY COATED REBAR LANE AND CURBLINE OVER 12 INCHES OF STABLE BASE AS DETERMINED BY RCOG IN THE FIELD.
7. ALL DRIVE APPROACHES SHALL BE MDOT TYPE M OPENING.
8. THE ROADSIDE DITCHES SHALL BE GRADED AND DITCHED TO PROVIDE POSITIVE FLOW.



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PREPARED BY JOSEPH K. MAYNARD P.E., MICH No. 52559

CLIENT

IN-SITE LLC
3454 RIDGELINE DR
NN ARBOR, MI 48105
TEL. 847-476-9944

W. CLARKSTON RD
SIGHT DISTANCE
EAST ENTRANCE

SHEET

PROJECT

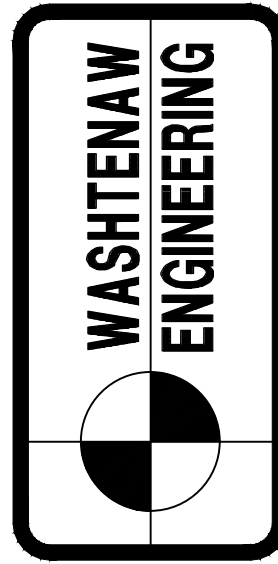
SECTION	15	TOWN	4	NORTH	RANGE	10	EAST
---------	----	------	---	-------	-------	----	------

OAKLAND COUNTY * MICHIGAN

DATE 7/1/27	ISS NO. 52602
	DWG NO. 882-SIGHT DIST

UWG NO. 882-SIGH/ DIS/

C-5.1



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SUITE 400
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4: Ridgewood\32882\06\082-compare.rvt Aug 21/2023 5:10:19 PM, 11

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OAKLAND COUNTY SOIL SURVEY CLASSIFICATION

- 15B - SPINKS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- 27 - HOUGHTON AND ADRIAN MUCKS
- 67B - META LOAMY SAND 0 TO 6 PERCENT SLOPES
- 67C - META LOAMY SAND, 6 TO 12 PERCENT SLOPES
- 67B - ORMAS LOAMY SAND, 0 TO 6 PERCENT SLOPES
- 67C - ORMAS LOAMY SAND, 6 TO 12 PERCENT SLOPES
- SOILS BOUNDARY

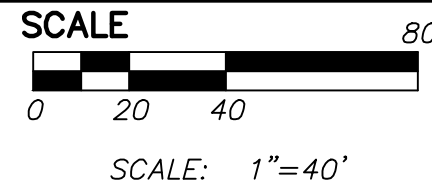
SOILS ARE BASED ON USDA SOIL SURVEY OF OAKLAND COUNTY.

BENCHMARKS:

- (NAVD-88 DATUM, FROM RTK OBSERVATION)
- BM1: ARROW ON FIRE HYDRANT SOUTH SIDE OF W. CLARKSTON ROAD IN-FRONT OF 625 W. CLARKSTON ROAD. ELEVATION: 1017.3
- BM2: SET PK NAIL IN WEST FACE OF TREE NUMBER 325. ELEVATION: 1008.96
- BM3: SET PK NAIL IN NORTH FACE OF UTILITY POLE AT THE END OF DRIVEWAY TO 625 W. CLARKSTON ROAD. ELEVATION: 1009.45
- BM4: SET PK NAIL IN SOUTH FACE OF UTILITY POLE ON THE NORTH SIDE OF W. CLARKSTON ROAD, 70 FEET EAST OF 705 W. CLARKSTON ROAD. ELEVATION: 1015.11

LEGEND					
	SPOT ELEV.	TC	TOP OF CURB	---	EXISTING 2 FOOT CONTOUR
	POST	TW	TOP OF WALL	---	EXISTING 10 FOOT CONTOUR
	GATE VALVE	o	MANHOLE	---	WETLAND LIMIT
	SIGN	□	CATCHBASIN	---	WETLAND FLAG NUMBER (FLAGGED BY KING & MACGREGOR ENVIRONMENTAL)
		---	FENCE	---	
		---	CONCRETE	---	
		---	ASPHALT	---	
		---	EXISTING STORM	---	
		---	EXISTING SANITARY	---	
		---	EXISTING WATER	---	
		---	EXISTING GAS	---	
		---	EXISTING ELECTRIC	---	
		---	EXISTING TELEPHONE	---	

REVISIONS - 2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN



BOUNDARY & TOPOGRAPHICAL INFORMATION BY:
STOREY ENGINEERING GROUP, LLC DATED 12-5-18
AND PROVIDED BY CLIENT. WETLAND LIMIT
FLAGGED BY KING & MACGREGOR ENVIRONMENTAL
DATED 11-2-17.

PREPARED BY JOSEPH K. MAYNARD P.E., MICH No. 52559



Know what's below.
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SITE DATA

CATEGORY	PROPOSED
ZONING	R-1
PARCEL SIZE	11.38 AC / 495,500.96 SF
EXISTING R.O.W. AREA	0.57 AC / 24,718.04 SF
PROPOSED R.O.W. AREA	2.22 AC / 96,602.92 SF
RESIDENTIAL AREA	6.89 AC / 300,159.00 SF
OPEN SPACE AREA	1.70 AC / 74,021.00 SF
MINIMUM LOT AREA	14,000 SF
LOT WIDTH	100 FT
LOT COVERAGE	25%
DWELLING UNITS	15
DWELLING UNITS PER ACRE	1.3
MINIMUM FLOOR AREA/UNIT	1,320 SF
BUILDING HEIGHT	30 FT
BUILDING HEIGHT (STORIES)	2
BUILDING SETBACKS	
FRONT	40 FT
SIDE	10 FT
REAR	35 FT

SECTION 15 TOWN 4 NORTH RANGE 10 EAST

ORION TOWNSHIP
OAKLAND COUNTY • MICHIGAN

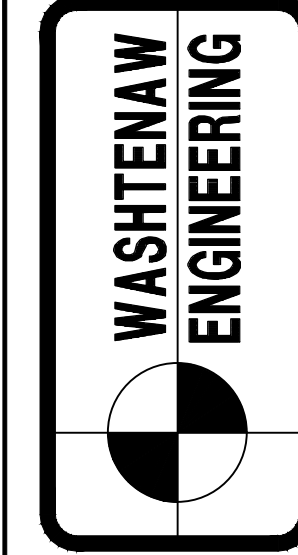
DATE 11-1-21 JOB NO. 32882
DWG NO. 882-COMPARE R1
FIELD BOOK: —
FILE NO. 10724

C-6.0

RIDGEWOOD

R-1 ZONING
COMPARABLE SITE PLAN

IN-SITE LLC
3454 RIDGELINE DR
ANN ARBOR, MI 48105
TEL: 847-476-9944



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BENCHMARKS:

(NAVD-88 DATUM,
FROM RTK OBSERVATION)

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ARROW ON FIRE HYDRANT SOUTH SIDE OF W. CLARKSTON ROAD
IN-FRONT OF 625 W. CLARKSTON ROAD.
ELEVATION: 1017.3

BM2
SET PK NAIL IN WEST FACE OF TREE NUMBER 325.
ELEVATION: 1008.96

BM3
SET PK NAIL IN NORTH FACE OF UTILITY POLE AT THE END OF
DRIVEWAY TO 625 W. CLARKSTON ROAD.
ELEVATION: 1009.45

BM4
SET PK NAIL IN SOUTH FACE OF UTILITY POLE ON THE NORTH SIDE
OF W. CLARKSTON ROAD, 70 FEET EAST OF 705 W. CLARKSTON ROAD
ELEVATION: 1015.11

LEGEND

- ☆ = LIGHT POLE
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REVISIONS

2021-12-14 REVISED PRELIM P.U.D.
2022-5-6 UPDATED SITE PLAN, 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN

SCALE

0 20 40 80
SCALE: 1"=40'

PREPARED BY
JOSEPH K. MAYNARD P.E., MICH No. 52559



Know what's below.
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SITE DATA

CATEGORY	PROPOSED
ZONING	R-3
PARCEL SIZE	11.38 AC / 495,500.96 SF
EXISTING R.O.W. AREA	0.57 AC / 24,718.04 SF
PROPOSED R.O.W. AREA	2.31 AC / 100,516.72 SF
RESIDENTIAL AREA	5.72 AC / 249,170.0 SF
OPEN SPACE AREA	2.78 AC / 121,096.8 SF
MINIMUM LOT AREA	8,400 SF
LOT WIDTH	70 FT
LOT COVERAGE	25%
DWELLING UNITS	22
DWELLING UNITS PER ACRE	0.5
MINIMUM FLOOR AREA/UNIT	960 SF
BUILDING HEIGHT	30 FT
BUILDING HEIGHT (STORIES)	2
BUILDING SETBACKS	
FRONT	30 FT
SIDE	10 FT
REAR	35 FT

PROJECT

SECTION 15

TOWN 4

RANGE 10

EAST

ORION TOWNSHIP

OAKLAND COUNTY • MICHIGAN

DATE 11-1-21

JOB NO. 32982

DWG NO. 882-COMPARA A

FIELD BOOK

FILE NO. 10724

C-6.1

CLIENT

IN-SITE LLC

3454 RIDGEVIEW DR

ANN ARBOR, MI 48105

TEL. 847-476-9944

PROJECT

R-3 ZONING

COMPARABLE SITE PLAN

SHEET

WASHTENAW

ENGINEERING

CIVIL ENGINEERS

PLANNERS • SURVEYORS

LANDSCAPE ARCHITECTS

3526 W. LIBERTY RD

ANN ARBOR, MI 48103

TEL. 734-761-8800

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PLANNERS • SURVEYORS

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3526 W. LIBERTY RD

ANN ARBOR, MI 48103

TEL. 734-761-8800

H:\Ridgewood\32882\09\08\0000.dwg, 2/17/2023 5:10:28 PM, 1:1

THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA, AND OTHER INSTRUMENTS OF SERVICE ON OTHER PROJECTS. FOR ADDITIONS TO THIS PROJECT, OR FOR COMPLETION OF THE PROJECT BY OTHERS SO LONG AS WASHTENAW ENGINEERING COMPANY (WECO) IS NOT ADVISED TO BE IN DEFAULT UNDER THIS AGREEMENT. THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEYS' FEES, ARISING OUT OF UNAUTHORIZED REUSE OF DRAWINGS, SPECIFICATIONS, ELECTRONIC DATA OR OTHER INSTRUMENTS OF SERVICE.

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LEGEND
☆ = LIGHT POLE
○ = UTILITY POLE
● = GUY ANCHOR
⊙ = HYDRANT
SPOT ELEV.
POST
GATE VALVE
SIGN

TC = TOP OF CURB
TW = TOP OF WALL
○ = MANHOLE
□ = CATCHBASIN
⊂ = END SECTION

--- = GRAVEL
--- = FENCE
--- = CONCRETE
--- = ASPHALT

--- = EXISTING STORM
--- = EXISTING SANITARY
--- = EXISTING WATER
--- = EXISTING GAS
--- = EXISTING ELECTRIC
--- = EXISTING TELEPHONE

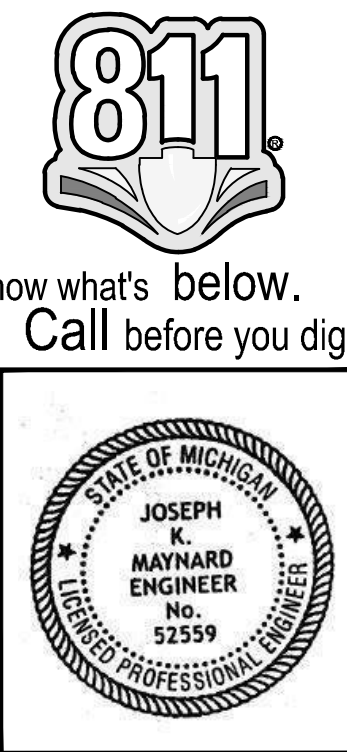
---992--- = EXISTING 2 FOOT CONTOUR
---1000--- = EXISTING 10 FOOT CONTOUR
--- = WETLAND LIMIT
A12 = WETLAND FLAG NUMBER (FLAGGED BY KING & MACGREGOR ENVIRONMENTAL)

792 = EXISTING TREE ID TAG (TAGGED BY OTHERS)

REVISIONS - 2021-12-14 REVISED PRELIM P.U.D.
2022-5-8 UPDATED SITE PLAN 11-18-2022 FINAL PUD SITE PLAN
2023-2-17 REVISED PUD SITE PLAN

SCALE
0 20 40 80
SCALE: 1"=40'

PREPARED BY *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



Know what's below.
Call before you dig.



SECTION 15 TOWN 4 NORTH RANGE 10 EAST
ORION TOWNSHIP
OAKLAND COUNTY • MICHIGAN
DATE 11-1-21 JOB NO. 32882
DWG NO. 882-AERIAL
FIELD BOOK: --
FILE NO. 10724
C-7.0

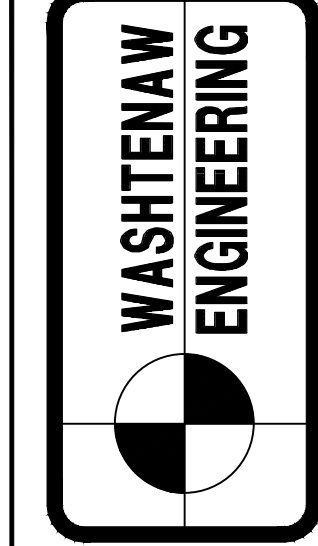
RIDGEWOOD

SHEET

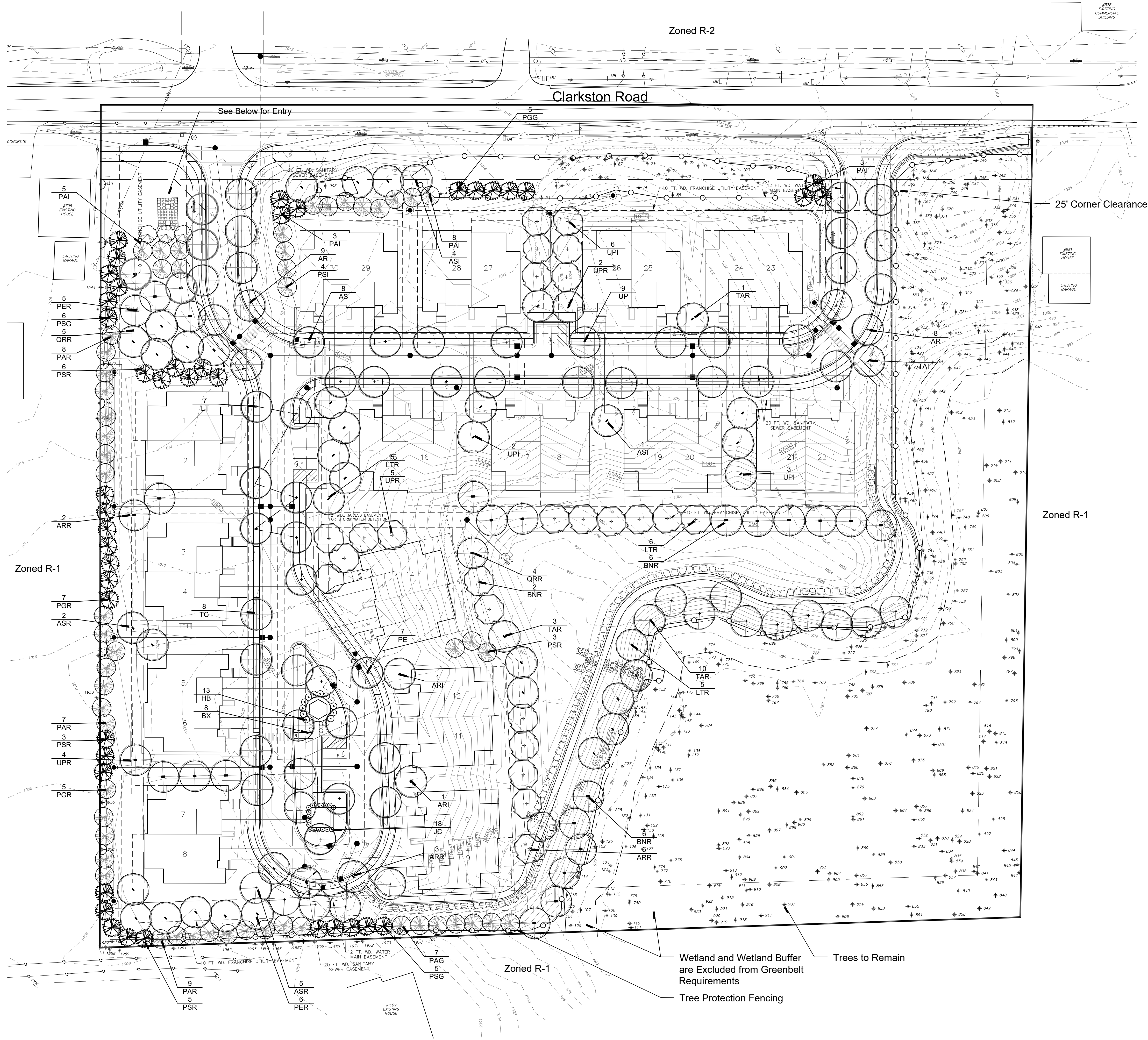
AERIAL IMAGERY

CLIENT

IN-SITE LLC
3454 RIDGEWAY DR
ANN ARBOR, MI 48105
TEL: 800-476-9944



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL: 734-761-8800



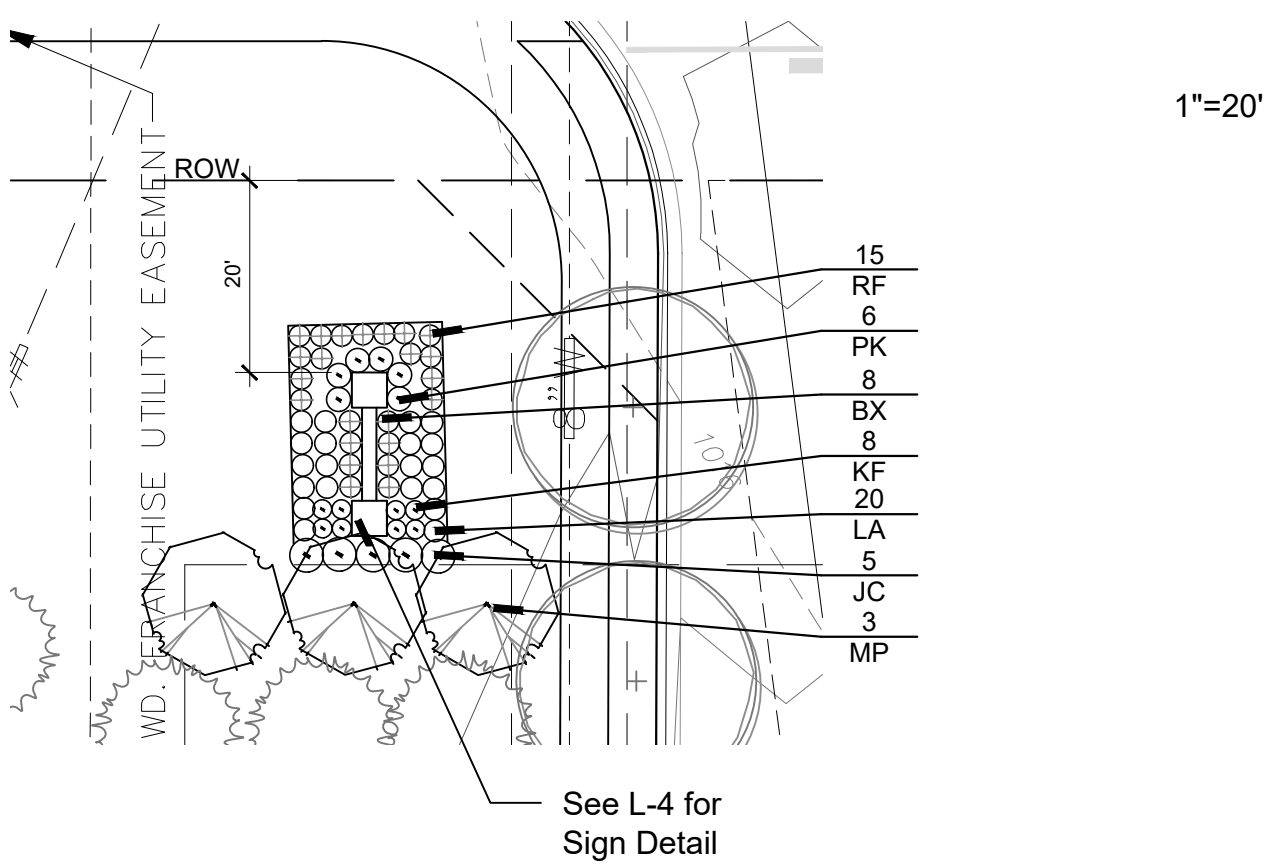
Landscape Summary

General Landscaping	
Net Site Area	450,580 s.f.
Less Wetland and Buffer	98,707 s.f.
Less Impervious Area	180,709 s.f.
Net Site Area	171,161 s.f.
Trees Required	57 Trees (171,161 / 3,000)
Trees Provided	104 Trees (104 Existing Trees Located Outside of Wetland, Greenbelt and ROW Areas)
Greenbelt - West and South	
Greenbelt Length	987 l.f. (Net Wetland and Buffer)
Trees Required	32.9 Trees (987 / 30')
Trees Provided	33 Trees (15 Existing)
Greenbelt - Clarkston Road	
Greenbelt Length	749 l.f.
Trees Required	24.9 Trees (749 / 30')
Trees Provided	25 Trees (20 Existing)
Street Trees	
Street Frontage	2,770 l.f.
Street Trees Required	55.4 Trees (2,770 / 50)
Street Trees Provided	56 Trees
Woodland Replacement	
Total Replacement Required	122 Trees, 2.0" Deciduous or 6' Evergreen
Trees Provided	146 Trees, 3.0" Deciduous or 8' Evergreen
Trees Paid into Tree Fund	42 Trees, 2.0" Deciduous or 6' Evergreen
	146 Trees, 3.0" Deciduous or 8' Evergreen
	80 Trees (122 - 42)

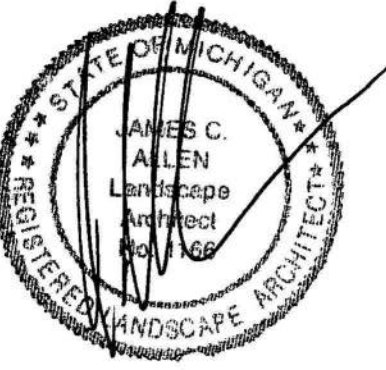
Plant List

sym.	qty.	botanical name	common name	caliper	spacing	root	height
Greenbelt Trees							
PAG	7	Picea abies	Norway Spruce		as shown	B&B	6-7
PSG	5	Picea glauca var. densata	Black Hills Spruce		as shown	B&B	6-7
PSG	11	Pinus strobus	White Pine		as shown	B&B	6-7
23		Greenbelt Trees Provided					
Street Trees							
AR	17	Acer rubrum 'Redpoint'	Redpoint Maple	2.5"	as shown	B&B	
AS	8	Acer saccharum 'Legacy'	Sugar Maple	2.5"	as shown	B&B	
LT	7	Liriodendron tulipifera	Tulip Tree	2.5"	as shown	B&B	
PE	7	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	2.5"	as shown	B&B	
TC	8	Tilia americana 'Redmond'	Redmond Linden	2.5"	as shown	B&B	
UP	9	Ulmus x 'Triumph'	Triumph Elm	2.5"	as shown	B&B	
56		Trees Provided					
Landmark Tree Woodland Replacement							
ARR	11	Acer rubrum 'Redpoint'	Redpoint Maple	3.0"	as shown	B&B	
ASR	7	Acer saccharum 'Green Mountain'	Sugar Maple	3.0"	as shown	B&B	
BNR	14	Betula nigra	Multi-stem River Birch	3.0"	as shown	B&B	10'
LTR	16	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B	
PAR	24	Picea abies	Norway Spruce	3.0"	as shown	B&B	8'
PER	11	Platanus x acerifolia 'Exclamation'	Exclamation London Planetree	3.0"	as shown	B&B	
PGR	12	Picea glauca var. densata	Black Hills Spruce	3.0"	as shown	B&B	8'
PSR	17	Pinus strobus	White Pine	3.0"	as shown	B&B	8'
QRR	9	Quercus rubra	Red Oak	3.0"	as shown	B&B	8'
TAR	14	Tilia americana 'Redmond'	Redmond Linden	3.0"	as shown	B&B	
UPR	11	Ulmus x 'Triumph'	Triumph Elm	3.0"	as shown	B&B	
146		Trees Provided					
Regulated Tree Woodland Replacement							
ARI	2	Acer rubrum 'Redpoint'	Redpoint Maple	2.0"	as shown	B&B	
ASI	5	Acer saccharum 'Green Mountain'	Sugar Maple	2.0"	as shown	B&B	
PAI	19	Picea abies	Norway Spruce	2.0"	as shown	B&B	6'
PSI	4	Pinus strobus	White Pine	2.0"	as shown	B&B	6'
TAI	1	Tilia americana 'Redmond'	Redmond Linden	2.0"	as shown	B&B	
UPI	11	Ulmus americana 'Princeton'	Princeton Elm	2.0"	as shown	B&B	
42		Trees Provided					
General Plantings							
BX	16	Buxus m. 'Green Mountain'	Green Mountain Boxwood		as shown	cont	18"
HB	13	Hydrangea p. 'Limelight'	Limelight Hydrangea		as shown	cont	30"
JC	23	Juniperus ch. 'Keteleeri'	Keteleeri Juniper		as shown	B&B	6' Hedge to 5'
KF	8	Callamagrostis x. a. 'Karl Forester'	Karl Forester Grass		as shown	cont	#3
LA	20	Lavandula X phenomenal	Lavender		as shown	cont	#2
MP	3	Malus 'Profusion'	Profusion Crab Apple	2.0"	as shown	B&B	
PK	6	Pennisetum O. 'Karley Rose'	Karley Rose Fountain Grass		as shown	cont	#3
RF	15	Rudbeckia fulgida speciosa 'Goldsturm'	Black Eyed Susan		as shown	cont	#2

Entry Plan



Seal:



Title:

Landscape Plan

Project:

Ridgewood
Orion Township, Michigan

Prepared for:

IN-Site, LLC
3454 Ridgeline Drive
Ann Arbor, Michigan 48105

Revision:

Review
Submission
Revised
Revised
Submission

Issued:

November 1, 2021
December 13, 2021
May 6, 2022
November 18, 2022
February 22, 2023

Job Number:

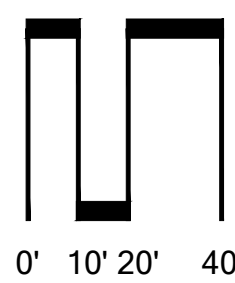
21-073

Drawn By:

jca

Checked By:

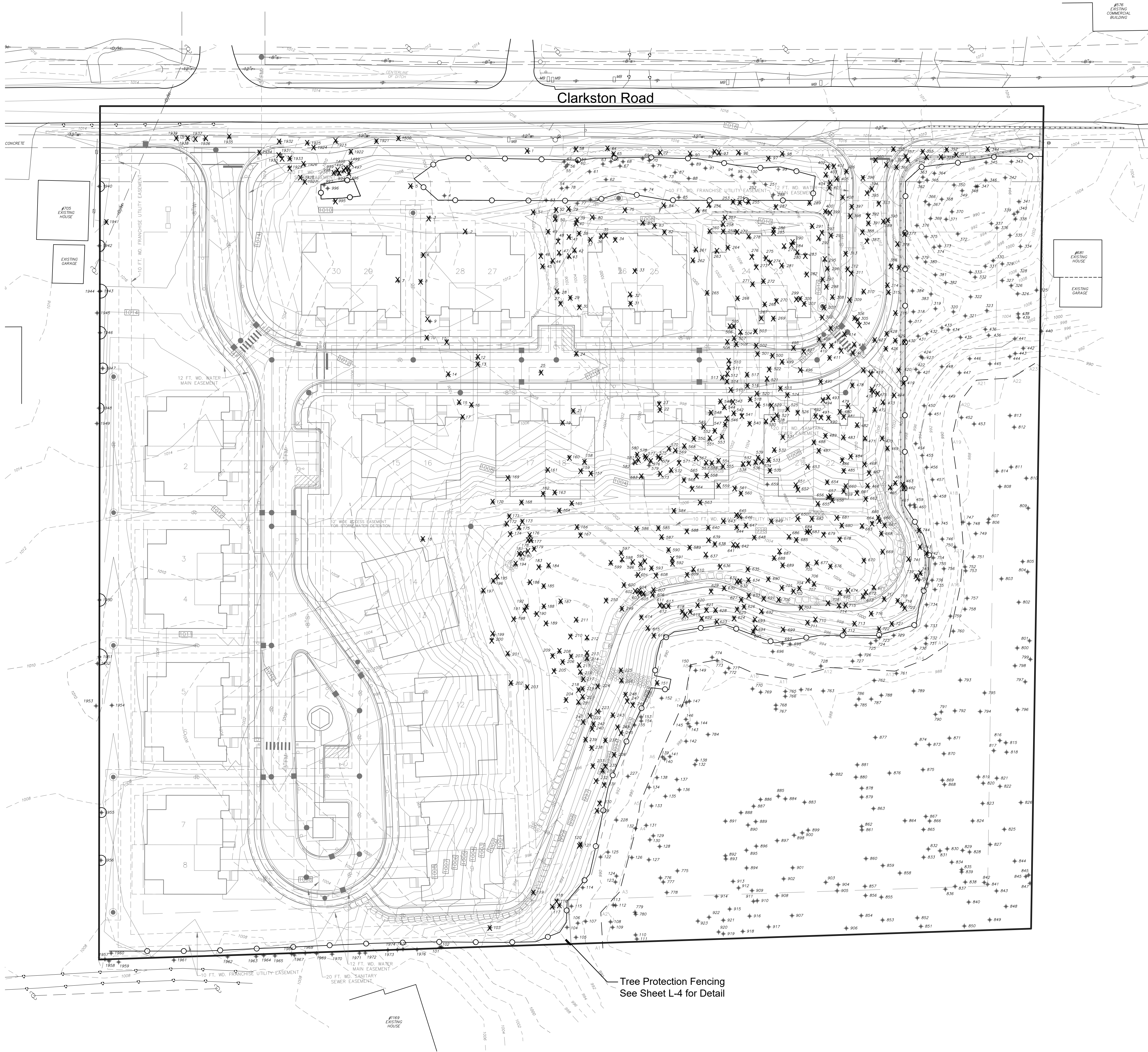
jca



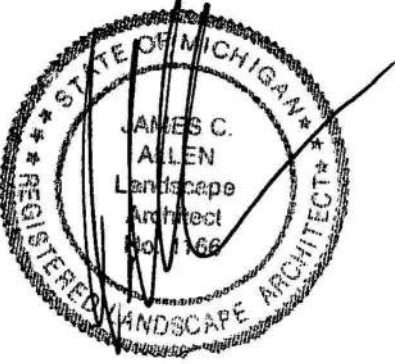
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L-1



Seal:



Title:

Woodland Plan

Project:

Ridgewood
Orion Township, Michigan

Prepared for:

IN-Site, LLC
3454 Ridgeline Drive
Ann Arbor, Michigan 48105

Revision:

Review
Submission
Revised
Revised
Submission

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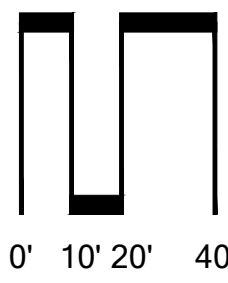
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Drawn By:

jca

Checked By:

jca

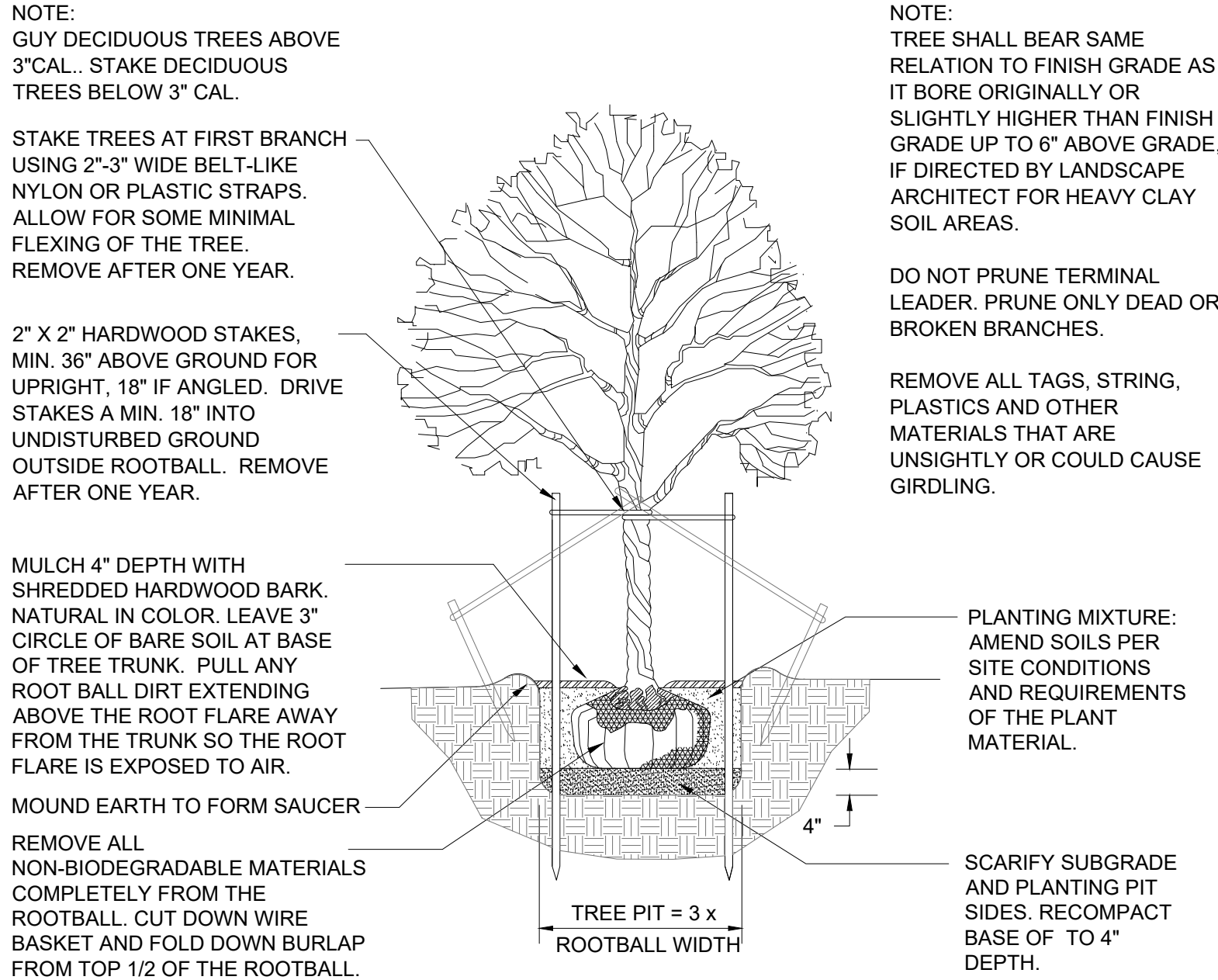


Sheet No.

L-2

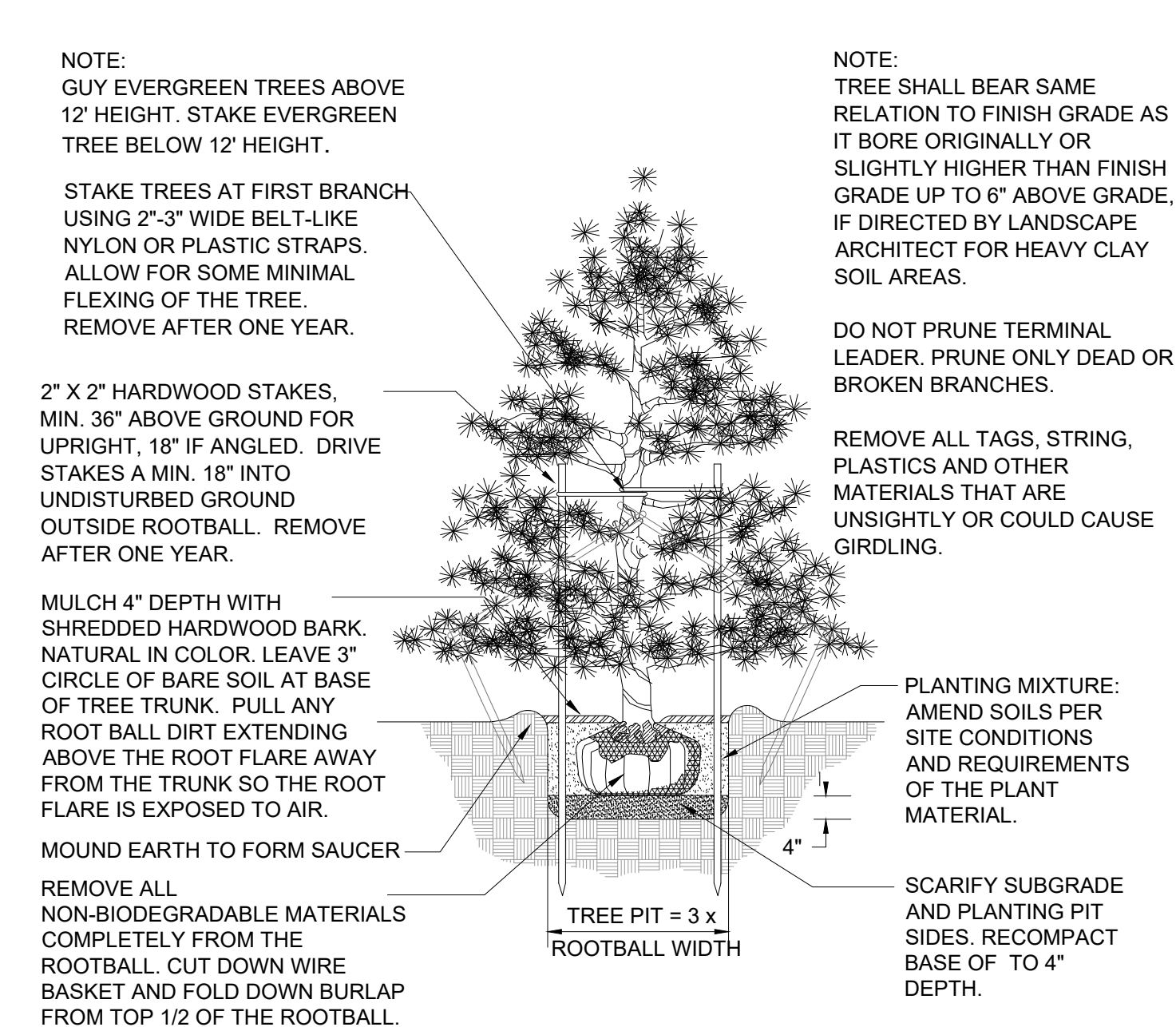
Tree List

Tree Tag	D.B.H. in Inches	Species Name (Common - Scientific)	Health Condition	Inventory Name	Save or Remove	Regulated Replacement	Landmark DBH Removed
1	14	Bowden - Acor negro	Poor	ROW	Remove	0	
2	12	Black Oak - Quercus velutina	Fair	Landmark	Remove	1	
3	22	Black Oak - Quercus velutina	Fair	Landmark	Remove	33	
4	33	Black Oak - Quercus velutina	Fair	Landmark	Remove	33	
5	33	Black Oak - Quercus velutina	Fair	Landmark	Remove	33	
6	17	Sisler Elm - Ulmus pumila	Poor	Landmark	Building	0	22
7	17	Sisler Elm - Ulmus pumila	Poor	Landmark	Building	0	22
8	26	Black Oak - Quercus velutina	Good	Landmark	Remove	26	
9	26	Black Oak - Quercus velutina	Good	Landmark	Remove	26	
10	26	Black Oak - Quercus velutina	Good	Landmark	Remove	26	
11	18	Black Oak - Quercus velutina	Very Poor	EX	Utility	0	
12	25	Black Oak - Quercus velutina	Poor	Landmark	Remove	25	
13	25	Black Oak - Quercus velutina	Good	Landmark	Remove	25	
14	25	Black Oak - Quercus velutina	Good	Landmark	Remove	25	
15	29	Black Oak - Quercus velutina	Fair	Landmark	Remove	29	
16	29	Black Oak - Quercus velutina	Fair	Landmark	Remove	29	
17	24	Black Oak - Quercus velutina	Poor	Landmark	Remove	24	
18	24	Black Oak - Quercus velutina	Poor	Landmark	Remove	24	
19	23	Black Oak - Quercus velutina	Poor	Landmark	Remove	23	
20	23	Black Oak - Quercus velutina	Poor	Landmark	Remove	23	
21	4.8	Bowden - Acor negro	Fair	Building	0		
22	12	Cottonwood - Populus deltoides	Good	Landmark	Remove	12	
23	25	White Oak - Quercus alba	Fair	Landmark	Remove	25	
24	25	White Oak - Quercus alba	Fair	Landmark	Remove	25	
25	9	White Mulberry - Morus alba	Poor	Remove	1		
26	11	Bowden - Acor negro	Poor	Remove	1		
27	11	Bowden - Acor negro	Poor	Remove	1		
28	11	Bowden - Acor negro	Poor	Remove	1		
29	11	Bowden - Acor negro	Poor	Remove	1		
30	11	Bowden - Acor negro	Poor	Remove	1		
31	12	Bowden - Acor negro	Very Poor	Building	0		
32	12	Bowden - Acor negro	Very Poor	Building	0		
33	39	Red Maple - Acor rubrum	Fair	Landmark	Remove	0	
34	39	Bowden - Acor negro	Very Poor	EX	Building	0	
35	9	Bowden - Acor negro	Very Poor	EX	Building	0	
36	9	Bowden - Acor negro	Very Poor	EX	Building	0	
37	9	Bowden - Acor negro	Very Poor	EX	Building	0	
38	9	Bowden - Acor negro	Very Poor	EX	Building	0	
39	9	Black Cherry - Prunus serotina	Poor	Remove	1		
40	9	Black Cherry - Prunus serotina	Poor	Remove	1		
41	5	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
42	5	Bowden - Acor negro	Very Poor	EX	Remove	0	
43	22	Black Oak - Quercus velutina	Fair	Landmark	Remove	22	
44	28	Black Oak - Quercus velutina	Good	Landmark	Remove	28	
45	6	Bowden - Acor negro	Very Poor	EX	Remove	0	
46	9	American Elm - Ulmus americana	Fair	Remove	0		
47	9	Bowden - Acor negro	Very Poor	EX	Remove	0	
48	23	Black Oak - Quercus velutina	Very Poor	EX	Utility	0	
49	23	Black Oak - Quercus velutina	Poor	Remove	0		
50	24	Black Oak - Quercus velutina	Fair	Utility	0		
51	24	Black Oak - Quercus velutina	Fair	Utility	0		
52	20	Black Oak - Quercus velutina	Fair	Utility	0		
53	21	Black Oak - Quercus velutina	Fair	Utility	0		
54	47	Bowden - Acor negro	Very Poor	EX	Remove	0	
55	6	Bowden - Acor negro	Good	Remove	1		
56	22	Black Oak - Quercus velutina	Good	Remove	1		
57	12	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
58	21	Black Oak - Quercus velutina	Good	Remove	1		
59	21	Black Oak - Quercus velutina	Good	Remove	1		
60	16	White Oak - Quercus alba	Fair	Remove	0		
61	6	American Elm - Ulmus americana	Fair	Remove	0		
62	14	White Oak - Quercus alba	Good	Remove	0		
63	4.3	Bowden - Acor negro	Poor	Remove	1		
64	4.9	Bowden - Acor negro	Poor	Remove	1		
65	5	Bowden - Acor negro	Poor	Remove	1		
66	20	Black Oak - Quercus velutina	Fair	Remove	0		
67	13	Black Cherry - Prunus serotina	Fair	Remove	0		
68	12	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
69	11	American Elm - Ulmus americana	Good	Remove	0		
70	14	White Oak - Quercus alba	Very Poor	EX	Remove	0	
71	7	Black Oak - Quercus velutina	Poor	Remove	0		
72	14	Black Oak - Quercus velutina	Good	Remove	0		
73	4.3	Black Oak - Quercus velutina	Poor	Remove	0		
74	6	Red Maple - Acor rubrum	Good	Remove	0		
75	17	Black Oak - Quercus velutina	Good	Remove	0		
76	17	Black Oak - Quercus velutina	Good	Remove	0		
77	4.8	Black Oak - Quercus velutina	Poor	Remove	0		
78	4.8	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
79	17	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
80	5	Black Cherry - Prunus serotina	Poor	Remove	1		
81	21	Black Oak - Quercus velutina	Poor	Remove	0		
82	5	Black Oak - Quercus velutina	Good	Remove	0		
83	18	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
84	26	Black Oak - Quercus velutina	Good	Landmark	Utility	0	
85	26	Black Oak - Quercus velutina	Good	Landmark	Utility	0	
86	22	Black Oak - Quercus velutina	Fair	Landmark	Remove	22	
87	14	White Oak - Quercus alba	Fair	Landmark	Remove	14	
88	17-16	American Elm - Ulmus americana	Fair	Remove	0		
89	17	Black Oak - Quercus velutina	Fair	Remove	0		
90	17	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
91	6	Sugar Maple - Acor saccharum	Good	Remove	1		
92	6	Black Oak - Quercus velutina	Poor	Remove	0		
93	11	Black Oak - Quercus velutina	Poor	Remove	0		
94	16	Black Oak - Quercus velutina	Fair	Remove	0		
95	20.18	Black Oak - Quercus velutina	Poor	Remove	0		
96	21.20	Black Oak - Quercus velutina	Poor	Remove	0		
97	13	Black Oak - Quercus velutina	Good	Remove	0		
98	10	Black Oak - Quercus velutina	Good	Remove	0		
99	13	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
100	11	Red Maple - Acor rubrum	Good	Remove	1		
101	6	Red Maple - Acor rubrum	Good	Remove	1		
102	6	Red Maple - Acor rubrum	Good	Remove	1		
103	40/12.18	Red Maple - Acor rubrum	Fair	Landmark	Remove	0	
104	6	American Elm - Ulmus americana	Good	Remove	0		
105	6	American Elm - Ulmus americana	Good	Remove	0		
106	6	Bowden - Acor negro	Poor	Remove	1		
107	4.9	Bowden - Acor negro	Poor	Remove	1		
108	4.6	Bowden - Acor negro	Poor	Remove	1		
109	4.6	Bowden - Acor negro	Poor	Remove	1		
110	7.5	Red Maple - Acor rubrum	Fair	Remove	0		
111	45.4/1.41	Red Maple - Acor rubrum	Fair	Remove	0		
112	10	Red Maple - Acor rubrum	Fair	Remove	0		
113	8	American Elm - Ulmus americana	Fair	Remove	0		
114	32	Red Maple - Acor rubrum	Fair	Remove	0		
115	38	Red Maple - Acor rubrum	Fair	Remove	0		
116	25	Red Maple - Acor rubrum	Fair	Remove	0		
117	14	Red Maple - Acor rubrum	Fair	Remove	0		
118	22.7	Red Maple - Acor rubrum	Fair	Remove	0		
119	4.4	Black Cherry - Prunus serotina	Poor	Remove	1		
120	15	Bowden - Acor negro	Very Poor	EX	Remove	0	
121	4.4	American Elm - Ulmus americana	Good	Remove	0		
122	6	American Elm - Ulmus americana	Fair	Remove	0		
123	6	American Elm - Ulmus americana	Fair	Remove	0		
124	7	American Elm - Ulmus americana	Fair	Remove	0		
125	6	American Elm - Ulmus americana	Fair	Remove	0		
126	8	American Elm - Ulmus americana	Fair	Remove	0		
127	25	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
128	27	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
129	14	Red Maple - Acor rubrum	Poor	Remove	0		
130	14	Red Maple - Acor rubrum	Poor	Remove	0		
131	17	Red Maple - Acor rubrum	Fair	Remove	0		
132	14	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
133	13	Red Maple - Acor rubrum	Fair	Remove	0		
134	8	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
135	24	Red Maple - Acor rubrum	Poor	Remove	0		
136	16	Red Maple - Acor rubrum	Fair	Remove	0		
137	16	Red Maple - Acor rubrum	Fair	Remove	0		
138	9	Red Maple - Acor rubrum	Poor	Remove	0		
139	6	Red Maple - Acor rubrum	Poor	Remove	0		
140	6	Red Maple - Acor rubrum	Poor	Remove	0		
141	8	Red Maple - Acor rubrum	Fair	Remove	0		
142	22	Red Maple - Acor rubrum	Good	Remove	0		
143	6	Red Maple - Acor rubrum	Poor	Remove	0		
144	5	Red Maple - Acor rubrum	Very Poor	EX	Remove	0	
145	24	Red Maple - Acor rubrum	Good	Landmark	Remove	24	
146	6	Red Maple - Acor rubrum	Fair	Remove	0		
147	6	American Elm - Ulmus americana	Fair	Remove	0		
148	6	American Elm - Ulmus americana	Fair	Remove	0		
149	15.5	Red Maple - Acor rubrum	Fair	Remove	0		
150	19	American Elm - Ulmus americana	Poor	Remove	0		
151	18	Bowden - Acor negro	Very Poor	EX	Remove	0	
152	9	Black Cherry - Prunus serotina	Fair	Remove	0		
153	11	White Oak - Quercus alba	Very Poor	EX	Remove	0	
154	6	Black Oak - Quercus velutina	Fair	Remove	0		
155	30	Black Oak - Quercus velutina	Fair	Remove	0		
156	21	Red Maple - Acor rubrum	Fair	Remove	0		
157	6	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
158	5	White Mulberry - Morus alba	Fair	Remove	0		
159	6	Black Cherry - Prunus serotina	Poor	Remove	0		
160	26	Black Oak - Quercus velutina	Fair	Remove	0		
161	15.16	Bowden - Acor negro	Fair	Remove	0		
162	12	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
163	4.4	Bowden - Acor negro	Fair	Remove	0		
164	7	Black Oak - Quercus velutina	Poor	Remove	0		
165	8	Bowden - Acor negro	Fair	Remove	0		
166	7.6	Bowden - Acor negro	Fair	Remove	0		
167	10	Bowden - Acor negro	Fair	Remove	0		
168	6	Bowden - Acor negro	Very Poor	EX	Remove	0	
169	7.7	White Mulberry - Morus alba	Fair	Remove	0		
170	6	Black Cherry - Prunus serotina	Fair	Remove	0		
171	4.8	Bowden - Acor negro	Very Poor	EX	Remove	0	
172	7	Bowden - Acor negro	Poor	Remove	0		
173	6.7	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
174	58	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
175	6	Black Cherry - Prunus serotina	Poor	Remove	0		
176	6	Black Cherry - Prunus serotina	Poor	Remove	0		
177	6	Black Cherry - Prunus serotina	Poor	Remove	0		
178	6.7	Bowden - Acor negro	Fair	Remove	0		
179	8	Bowden - Acor negro	Fair	Remove	0		
180	8	Black Cherry - Prunus serotina	Poor	Remove	0		
181	8	Bowden - Acor negro	Poor	Remove	0		
182	12	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
183	6	Bowden - Acor negro	Fair	Remove	0		
184	7	Black Oak - Quercus velutina	Poor	Remove	0		
185	6	Bowden - Acor negro	Fair	Remove	0		
186	7.6	Bowden - Acor negro	Fair	Remove	0		
187	10	Bowden - Acor negro	Fair	Remove	0		
188	6	Bowden - Acor negro	Very Poor	EX	Remove	0	
189	7.7	White Mulberry - Morus alba	Fair	Remove	0		
190	7	Black Cherry - Prunus serotina	Fair	Remove	0		
191	6	Bowden - Acor negro	Very Poor	EX	Remove	0	
192	7.4	Bowden - Acor negro	Very Poor	EX	Remove	0	
193	6	Bowden - Acor negro	Fair	Remove	0		
194	4.6	Bowden - Acor negro	Poor	Remove	0		
195	10	Bowden - Acor negro	Poor	Remove	0		
196	4.8	Bowden - Acor negro	Poor	Remove	0		
197	7	Bowden - Acor negro	Poor	Remove	0		
198	6	Bowden - Acor negro	Poor	Remove	0		
199	6	Bowden - Acor negro	Poor	Remove	0		
200	4.6	Bowden - Acor negro	Fair	Remove	0		
201	7.5	Bowden - Acor negro	Good	Remove	1		
202	6	Bowden - Acor negro	Good	Remove	1		
203	6	Bowden - Acor negro	Good	Remove	1		
204	24	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
205	6	Black Cherry - Prunus serotina	Poor	Remove	0		
206	13	Black Oak - Quercus velutina	Very Poor	EX	Remove	0	
207	6	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
208	33	Black Oak - Quercus velutina	Fair	Landmark	Remove	33	
209	2	Black Cherry - Prunus serotina	Very Poor	EX	Remove	0	
210	35	Sweet White Oak - Quercus bicolor	Good	Landmark	Remove	35	
211	9	Bowden - Acor negro	Good	Remove			



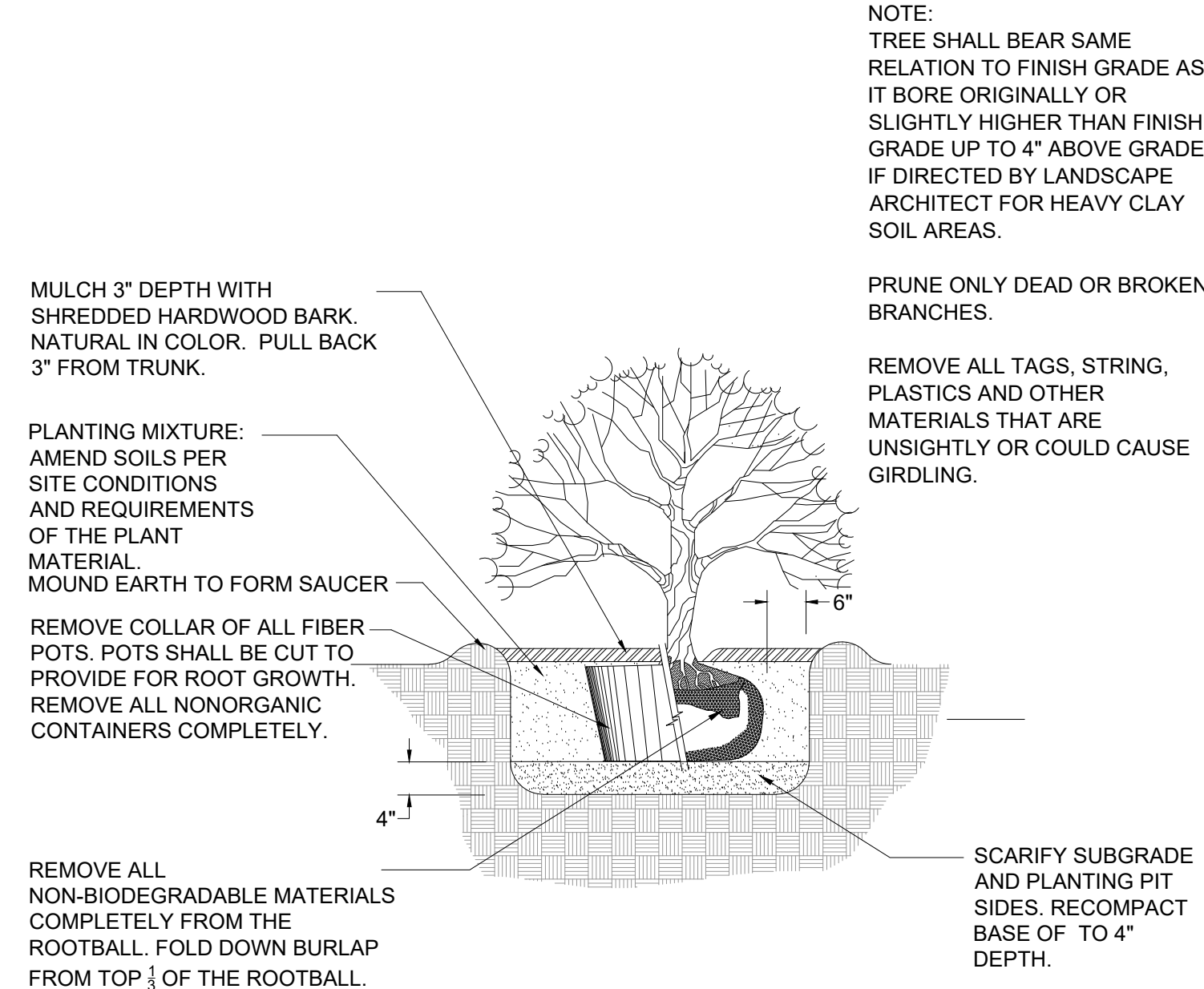
DECIDUOUS TREE PLANTING DETAIL

Not to scale



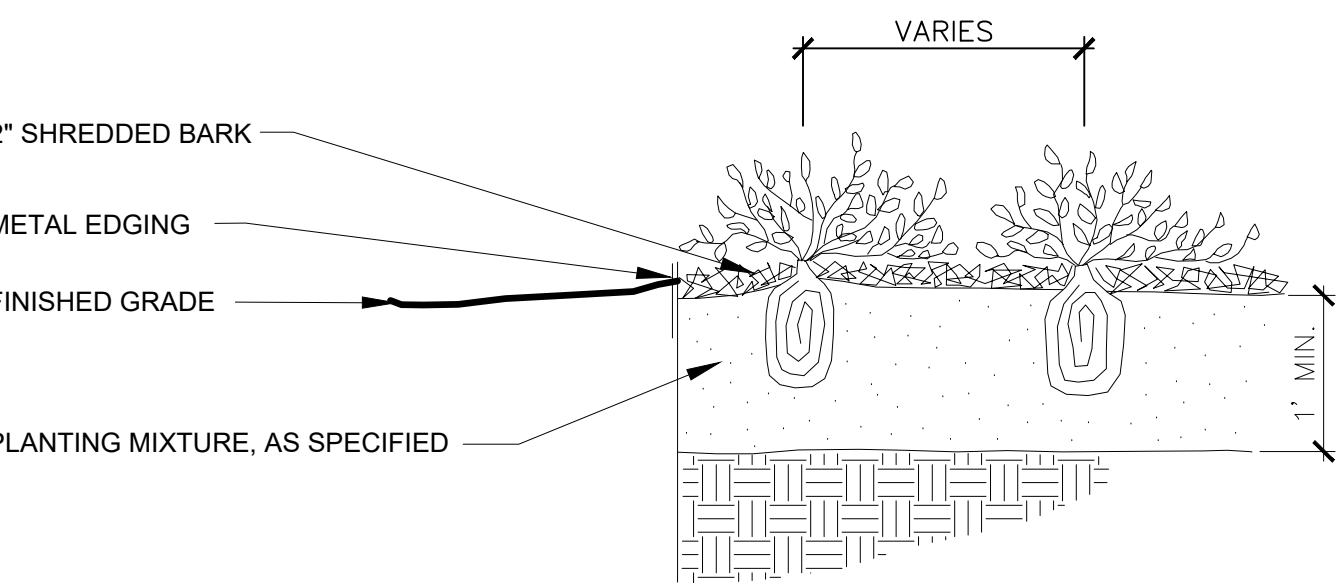
EVERGREEN TREE PLANTING DETAIL

Not to scale



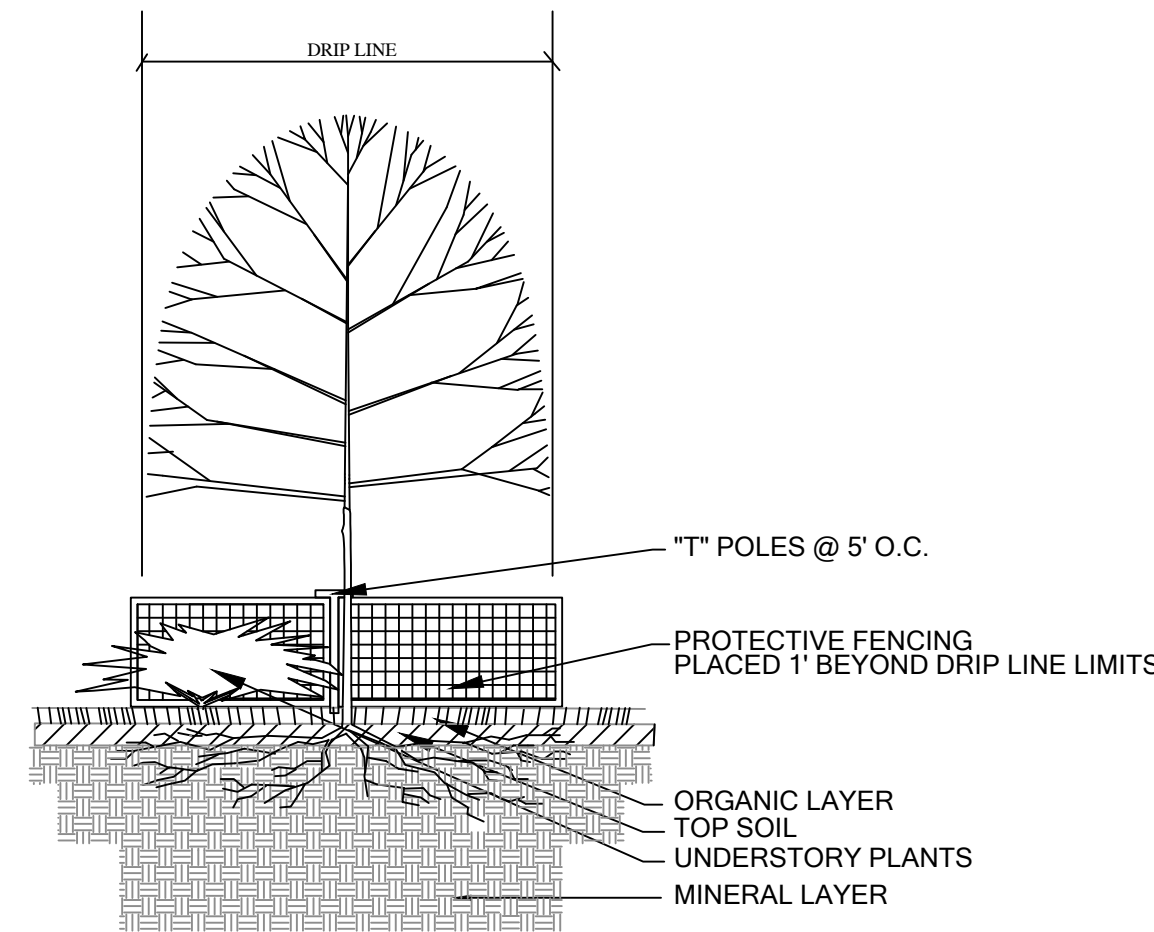
SHRUB PLANTING DETAIL

NOT TO SCALE



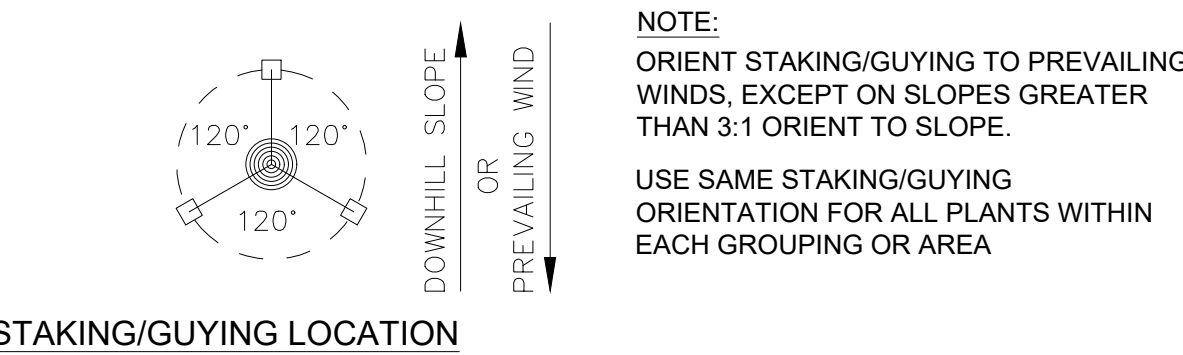
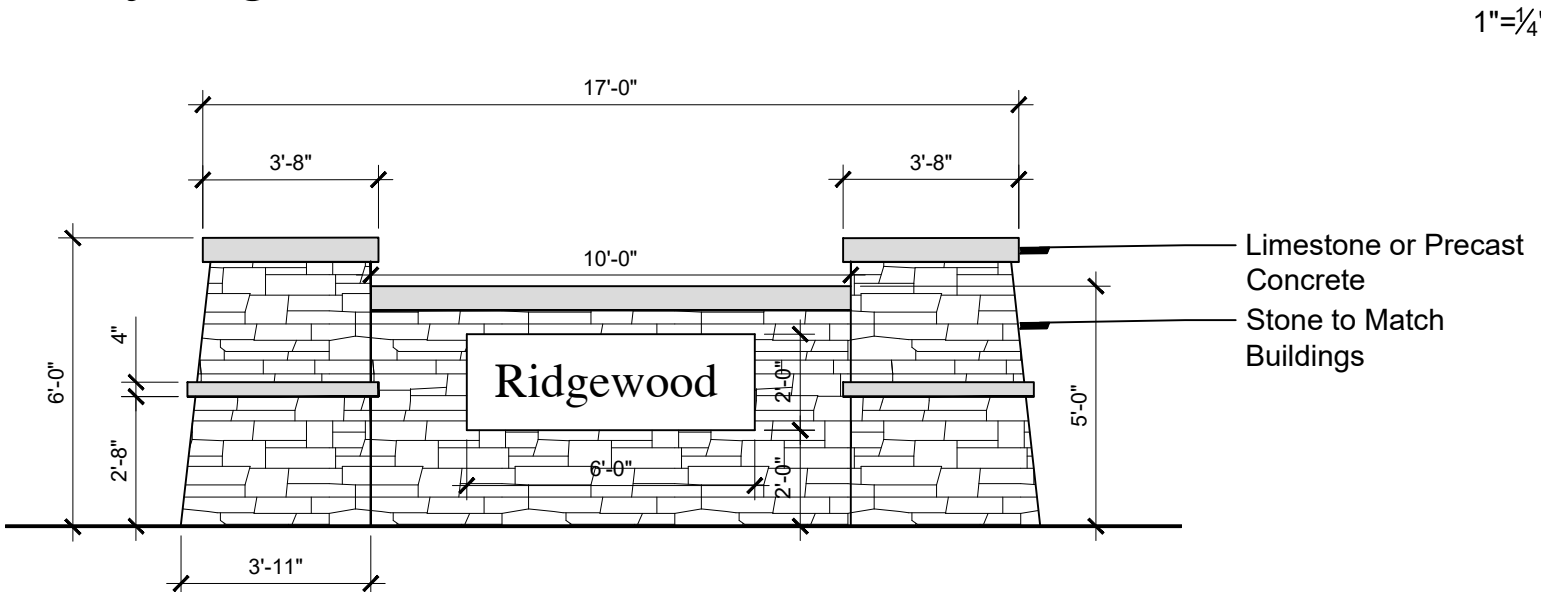
PERENNIAL PLANTING DETAIL

Not to scale

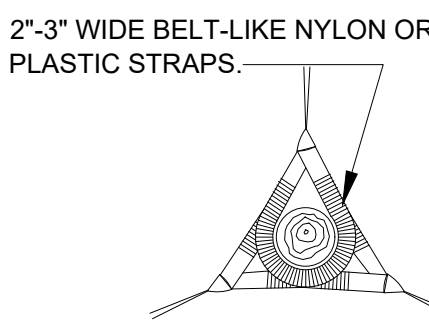


1. Either Plastic or Wood Orange Snow Fencing Shall be Installed at or Beyond the Dripline, Unless More Substantial Fencing is Required.
2. Stakes Shall be Metal "T" Poles Spaced no Further than 5' on Center.
3. Fencing Shall not be Installed Closer to the Tree than the Dripline of Those Trees to be Saved. Special Circumstances Shall be Reviewed by the Township.
4. Fencing Shall be Erected Prior to Construction. The Township Shall be Notified Once the Fencing is Installed for Inspection.
5. Under no Circumstances Shall the Protective Fencing be Removed Without Proper Approval from the Township.
6. No Person Shall Conduct any Activity Within Areas Proposed to Remain. This Shall Include, but not Limited to:
 - a. No Solvents or Chemicals Within Protected Areas.
 - b. No Building Materials or Construction Equipment Within Protected Areas.
 - c. No Grade Changes, Including Fill, Within Protected Areas.
 - d. No Removal of Vegetation from the Ground Up Without Permission from the Proper Reviewing Authority, Including the Woodlands Review Board.
 - e. Any Required Swale Needs to be Directed Around the Protected Areas. Instances Where Swales are Approved Through a Protected Area, the Swales Need to be HAND DUG. Machinery of Any Kind is Prohibited.
7. Regulated Woodland or Regulated Trees Adjacent to the Property are Also Required to be Protected Whether or not they are Shown on the Plan.

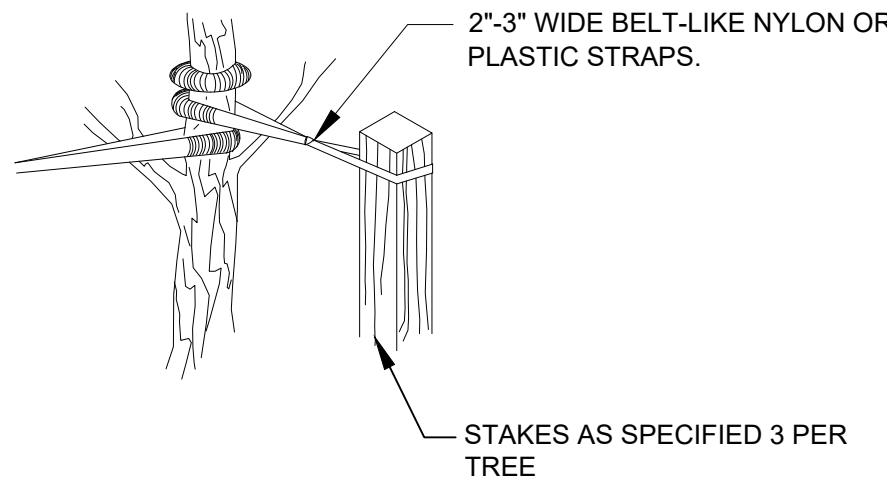
Entry Sign



STAKING/GUYING LOCATION



GUYING DETAIL

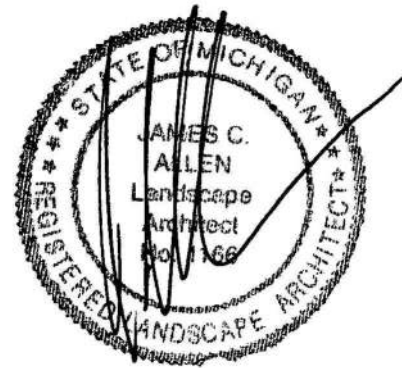


STAKING DETAIL

TREE STAKING DETAIL

Not to scale

Seal:



Title:

Landscape Details

Project:

Ridgewood
Orion Township, Michigan

Prepared for:

IN-Site, LLC
3454 Ridgeline Drive
Ann Arbor, Michigan 48105

Revision:

Review
Submission
Revised
Revised
Submission

Issued:

November 1, 2021
December 13, 2021
May 6, 2022
November 18, 2022
February 22, 2023

Job Number:

21-073

Drawn By:

jca

Checked By:

jca

Sheet No.



L-4

H G F E D C B A

6

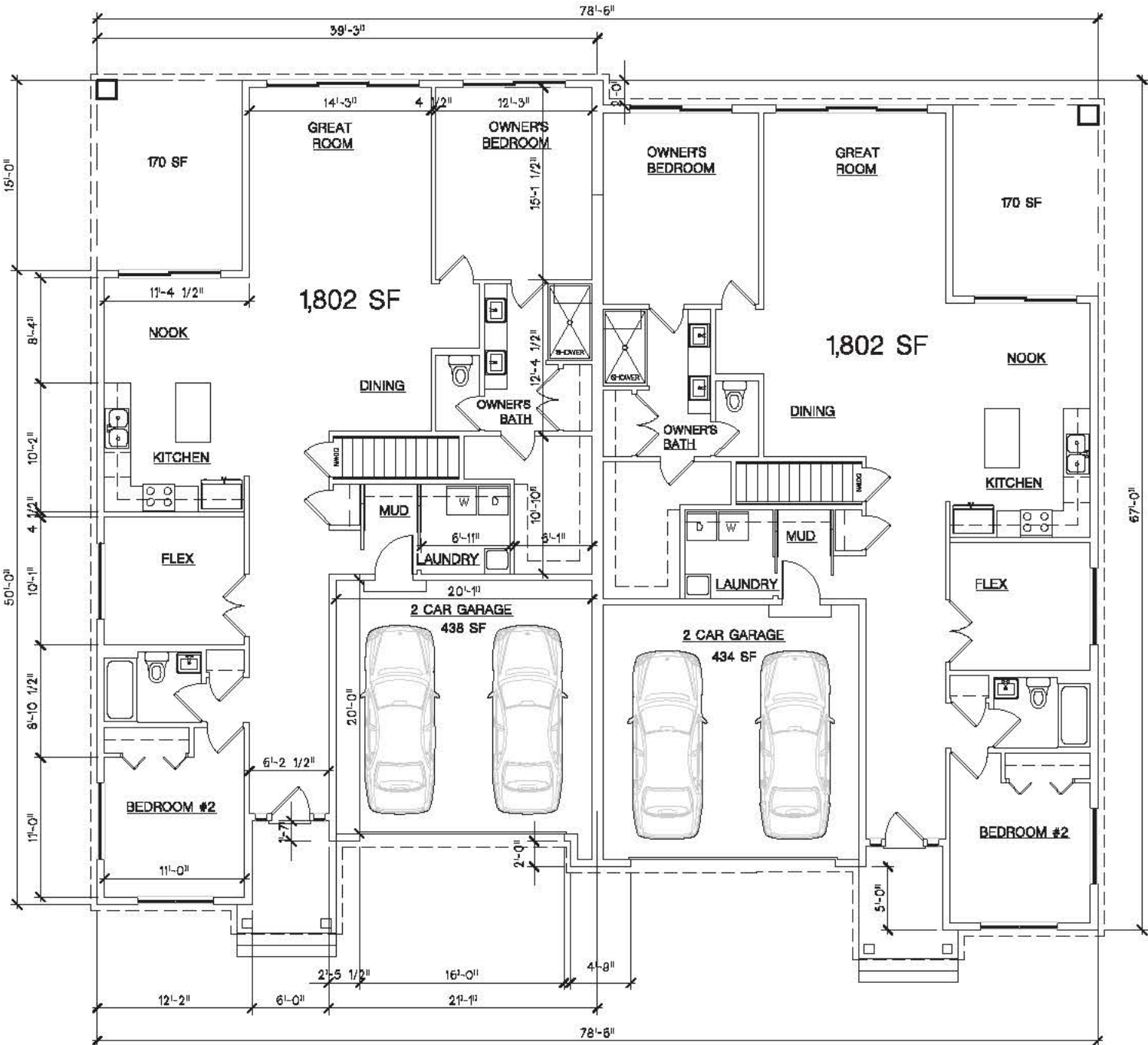
5

3

1

1

H G F E D C B A



BUILDING FLOOR PLAN
SCALE - 1/8" = 1'-0"
RLBWE

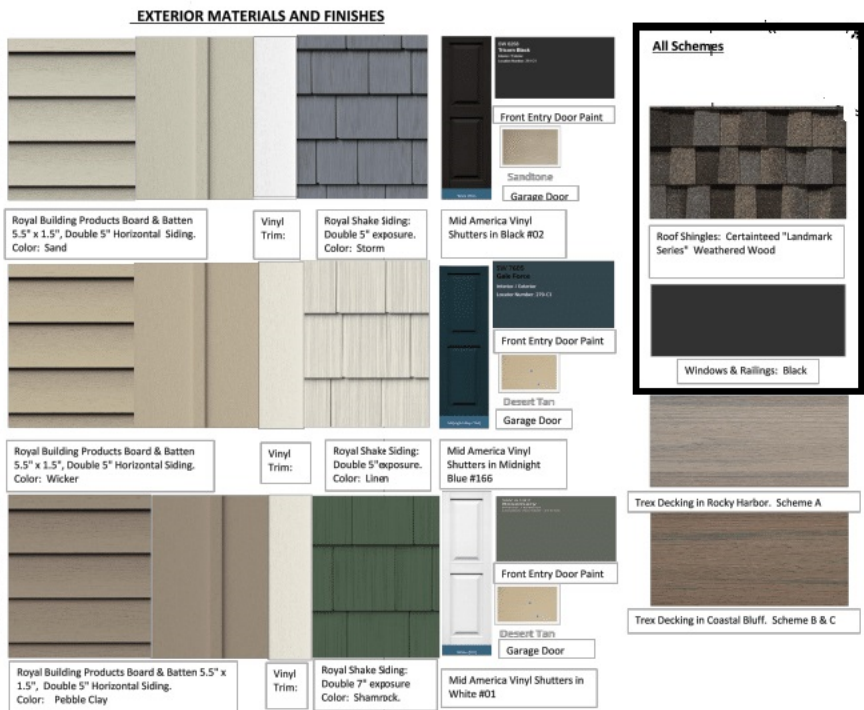


Ridgewood draft 2b
11/15/2022



Ridgewood draft 1b
11/10/2022

Stone masonry
foundation base
(typical all units)



Note: Photos are a digital representation of specified materials. All Materials to be similar/equal. Refer to Architect's renderings and construction drawings for material locations.

COLOR PALETTE OPTIONS



Sheet Size - 24x36
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Final PUD 11/18/2022
PRELIM PUD 05/08/2022
PRELIM PUD 11/01/2021
DATE ISSUED

DRAWN BY

TLP

CHECKED BY

HOBBS + BLACK
ARCHITECTS

100 N. State St.
Ann Arbor, MI 48104
P: 734.663.4188
www.hobbs-black.com

RIDGEWOOD
MULTI-FAMILY HOME
PLANNED UNIT DEVELOPMENT

Site Address
625 Charleston Road
Chen Township, Michigan
Developer:
3451 Ridgewood Drive
Ann Arbor, Michigan 48105
(847) 476-9944

PROJECT

CONSULTANT

**BUILDING
IMAGE AND
FLOOR PLAN**

SHEET TITLE

21-816

PROJECT NUMBER

A-1

SHEET NUMBER



Charter Township of Orion

2323 Joslyn Rd., Lake Orion MI 48360
www.oriontownship.org

Planning & Zoning Department

Phone: (248) 391-0304, ext. 5000

STAFF SUMMARY

TO: Planning Commission

FROM: Tammy Girling, Planning & Zoning Director

DATE: June 15, 2023

CASE: PC-23-21 Dutton East Retail Amended Landscape Plan

Dutton East Retail is part of a commercial development called Dutton Park. Dutton Park is comprised of two parcels. The eastern parcel (Dutton East Retail) has been developed, while the western parcel remains vacant.

Dutton Park Site Plan was approved on February 3, 2021 with plans dated August 27, 2021. The August 27, 2021 plans included a landscape plan.

ITC needed to install power lines along Dutton Rd., which necessitated an easement on Dutton Park's property. ITC went to the Board of Trustees for them to determine the poles were "essential services," which exempts ITC from zoning requirements. As a result, we received an application for an Administrative Review to approve to amend the Dutton East Retail Landscape plan within the area of the ITC easement to amend or eliminate plantings in the easement.

The amended landscape plans which address the ITC easement were Administratively approved 3/16/2023.

Now, Dutton Park applicant is requesting to further amend the landscape plan to address site challenges.



Charter Township of Orion

2323 Joslyn Rd., Lake Orion MI 48360
www.oriontownship.org

Planning & Zoning Department

Phone: (248) 391-0304, ext. 5000

TO: The Charter Township of Orion Planning Commission

FROM: Tammy Girling, Planning & Zoning Director

DATE: July 12, 2023

RE: PC-23-21 Dutton East Retail Revised landscape plan

As requested, I am providing suggested motions for the abovementioned project. Please feel free to modify the language. The verbiage below could substantially change based upon the Planning Commissions' findings of facts for the project. Any additional findings of facts should be added to the motion below.

Landscape Open Space Tree Count Waiver (Ord. No. 78, Section 27.05A, 3, a, ii)

Motion 1: In consideration of the overall design and impact of the revised landscape plan, I move that the Planning Commission **approve/deny** a landscape open space tree count waiver on all boundaries for PC-23-21, Dutton East Retail Revised landscape plan, located at 4898 Bald Mountain Rd., parcel number 09-35-477-003 for plans date stamped received June 28, 2023, based on the applicant **did/did not** demonstrate the landscaping is in keeping with the intent of section 27.05 of the ordinance: (motion maker insert findings of facts).

Landscape Interior Parking Lot Island Width Waiver (Ord. No. 78, Section 27.05A, 6, c)

Motion 2: I move that the Planning Commission **approve/deny** an interior parking lot island width waiver for PC-23-21, Dutton East Retail Revised landscape plan, located at 4898 Bald Mountain Rd., parcel number 09-35-477-003 for plans date stamped received June 28, 2023. This **approval/denial** is **granted/not granted** because the applicant **did/did not** demonstrate the following:

- a. The parking lot consists of only one (1) aisle (Insert any findings of facts),
- b. The area surrounding the parking lot is heavily landscaped (Insert findings of facts),
- c. Where existing off-street parking drives and/or structures are located on the parcel (Insert findings of facts),

Landscaping (Ord. No. 78, Section 27.05)

Motion 3: I move that the Planning Commission grants revised landscape plan **approval** for PC-23-21, Dutton East Retail Revised landscape plan, located at 4898 Bald Mountain Rd., parcel number 09-35-477-003 for plans date stamped received June 28, 2023 based on the following findings of facts (**motion maker to insert findings of facts**).

This **approval** is based on the following conditions:

- a. Revise plans to show flattened berm that meets ordinance,

- b. (Motion maker to provide resolution to address 38 trees needed per Ordinance 78, Section 27.12)
- c. (Motion maker to list any unresolved issues related to the Township Planner's review letter).
- d. (Motion maker to list any additional conditions).

Or

I move that the Planning Commission **denies** revised landscape plan approval for PC-23-21, Dutton East Retail Revised landscape plan, located at 4898 Bald Mountain Rd., parcel number 09-35-477-003 for plans date stamped received June 28, 2023. This **denial** is based on the following reasons (insert findings of facts).

Or

I move that the Planning Commission **postpones** revised landscape plan approval for PC-23-21 Dutton East Retail Revised landscape plan, located at 4898 Bald Mountain Rd., parcel number 09-35-477-003 for plans date stamped received June 28, 2023 for the following reasons (motion maker to indicate outstanding items to be addressed from the Planner's review letter).



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

RECEIVED
JULY 11, 2023
Orion Township
Planning & Zoning

TO: Tammy Girling, Planning & Zoning Director

FROM: John L. Enos, Township Planner
Sally M. Elmiger, Planner

DATE: July 11, 2023

RE: Dutton Rd. East – Revised Administrative Landscape Review

This project is comprised of two parcels: an east parcel and a west parcel. The applicant is requesting a change to the approved Landscape Plan for the east parcel only (subject site). The Zoning Map designates the subject site as zoned Industrial Park, and Lapeer Road Overlay. The subject site has been developed with a retail building and associated parking accessed off of Bald Mountain Rd. and Premier Dr. The subject site also has frontage along Dutton Rd., which is the southern boundary of this parcel.

In 2022, as part of the ITC Transmission Mountain Interconnection project, the Township Board approved installation of overhead transmission lines on the north side of Dutton Rd., which is the south portion of the subject site. The resolution passed by the Township Board stipulated that the transmission lines within the Easement are an “essential service” and are exempt from the regulations of the ordinance. The resolution also states that removal of trees or landscaping within the easement does not render the properties non-conforming under existing site plans.

We reviewed plans date stamped June 1, 2023, and provided the review to the Township. The Planning Commission discussed these plans, and approved the following motion at their June 21, 2023 meeting:

*Moved by Chairman Reynolds, seconded by Commissioner Cummins, that the Planning Commission **postpone** revised landscape plan approval for PC-23-21, Dutton East Retail Revised Landscape Review, located at 4898 Bald Mountain Rd. (parcel 09-35-477-003) for plans date stamped received 6/1/2023 for the following reasons: to provide time for the applicant to revise and resubmit a landscape plan that reduces the number of waivers and increases the number of tree plantings within the site or comes up with alternative solutions for the lack of plantings within the proposed development of the second.*

The applicant has provided a revised Landscape Plan (Sheet L4) (date stamped June 28, 2023). We have evaluated this plan against the ordinance requirements and the comments in our previous review. We have listed our previous comments in **bold** text below. We follow each with an evaluation of how the most recent Landscape Plan has addressed the comment, in italics.

Landscape Ordinance – Sec. 27.05

Landscape Design Standards:

1. A mixture of evergreen and deciduous trees shall be planted at the rate of one (1) tree for each three thousand (3,000) square feet, or portion thereof, of landscaped open-space area. The plans show 63,774 s.f. of landscaped open-space area, requiring 22 trees across the site (or $63,774/3,000 = 22$ trees). In looking at an aerial photo (March, 2023), retaining walls and overhead lines do not interfere with tree installation in the areas shaded in green below. These areas are also outside of the ITC Easement. It may be possible to install more trees in these areas than shown on the proposed plan.

Figure 1: Potential Tree Locations on Subject Site (as of March, 2023)



Source: NearMap.com

CWA Comment: In addition to the required greenbelt landscaping (discussed below), the revised plan offers four additional trees along the front of the site, including two large shade trees and two evergreen trees. While the revised plan doesn't meet the extent of the ordinance requirement, given the limitations on site, we would consider this the maximum number of trees that could reasonably fit. The Planning Commission could consider reducing the number of trees required by this section of the ordinance.

Parking Lot Landscaping Adjacent to Roads

1. **One (1) tree per 30 lineal feet, or fraction thereof, is required within a 20-foot wide greenbelt between an on-site parking lot and a street right-of-way. In addition, a hedge, wall, decorative metal fence, or berm with a vertical rise of at least 30-inches is required within a greenbelt. If a wall/fence is used, at least one shrub or vine is required per 10 lineal feet of wall/fence, located on the street side.**

- **Dutton Rd.:** As mentioned above, the subject site's frontage along Dutton Rd. is located within an ITC Easement, and landscape ordinance requirements don't apply within this easement per the Township Board's motion. Therefore, no landscape waiver is necessary along this frontage. *CWA Comment: The plans have been updated, and the number of shrubs along the Dutton Rd. retaining wall have been increased substantially. This change will provide an attractive hedge within the Dutton Rd. greenbelt, and will help to fill in the large expanse of turf grass. Ornamental grasses have also been added at the bottom of the retaining wall, which will help to soften the appearance of the wall to patrons using the parking lot.*
- **Premier Dr.:** 220 l.f. of greenbelt / 30 = 8 trees (Measurement scaled from west property boundary to where this greenbelt intersects with 20-foot wide Bald Mountain Rd. greenbelt), and hedge planting.

Based on our calculations, this greenbelt is deficient by the use of ornamental trees (vs. shade trees), by the number of trees proposed, and by the lack of a hedge across the entire road frontage. *CWA Comment: The revised plan shows eight trees within this greenbelt. Three are large evergreens, four are understory-sized trees (ultimate height approx. 20-30 feet), and one is a large shade tree, meeting this requirement. The landscaping within this greenbelt has also been supplemented with more shrubs that extend the planting toward the intersection with Bald Mountain Rd. Ornamental grasses have also been added to the hedge planting. The corner has a decorative planting bed that includes the shade tree, and additional shrubs and ornamental grasses. This approach will successfully screen the parking lot from the road.*

- **Bald Mountain Rd.:** 165 l.f. of greenbelt / 30 = 6 trees (Measurement scaled from Premier Rd. right-of-way to ITC Easement on south end of site), and hedge planting. *CWA Comment: The revised plan meets ordinance requirements along this road frontage.*
2. **Sight Distance.** *CWA Comment: The revised plans have located the proposed plantings outside of the required sight-distance triangles at the road and driveway intersections.*
 3. **Berms in conjunction with a greenbelt must be constructed with slopes no steeper than one (1) foot vertical for each four (4) feet horizontal, with at least a two (2) foot flat area on the top. The proposed plan locates a berm along Bald Mountain Rd. The slopes on the proposed berm need to be flattened slightly to meet this requirement.** *CWA Comment: The applicant's response letter (dated June 28, 2023) states that they will modify the berm configuration to meet ordinance requirements.*

Interior Parking Lot Landscaping

1. Parking lots with more than 20 spaces shall contain a minimum of 20 square feet of interior landscaping per parking space, and one (1) tree per 200 s.f. of interior landscaping. Counting the spaces shown on the Landscape Plan, the subject site has 53 parking spaces; therefore, 1,060 square feet of interior landscaping is required. Also, six (6) trees are required. We have the following comments:
 - a. The notes under the heading “Landscape Requirements” states that there are 55 parking spaces provided. *CWA Comment: The note has been revised to accurately reflect the 53 spaces on site.*
 - b. The “Landscape Requirements” note states that the design provides 1,427 s.f. of interior landscaping, and 3 trees. The plans meet the requirements for interior landscaping area, but do not meet the requirements for interior trees. Also, the proposed tree species is a multi-stemmed tree, not a shade tree. Three more trees need to be added to the plans and the proposed trees modified to a “shade” species. *CWA Comment: The revised plan addresses these comments and meets the ordinance requirements.*
 - c. Regarding the three parking lot islands on the south end of the building, they are slightly narrower than the minimum 10-foot width, and should be widened. (Note: this includes the island on the southern end of the 9-space parking bay.) All landscape islands are smaller than the required 200 square feet, and need to be enlarged to meet this requirement. *CWA Comment: The applicant’s written narrative states that the landscape islands were constructed per the approved plan. They will be field-verified to confirm that they meet the ordinance standards; if not, they will request a waiver.*

Material Standards and Specifications

1. The proposed plant material meets the minimum size requirements, except for the Little Quick Fire Hydrangea. We would expect the proposed 3 Gallon to not meet the minimum 24” height at planting; this should be modified to a 5 Gallon. *CWA Comment: The plans have been revised and meet the minimum size standards.*

Tree and Woodland Protection – Sec. 27.12

The 2021 plans (Sheet L-1) show removal of 38 “protected” trees from the subject site (easterly parcel). None of the removed trees on this site are considered Landmark Trees. This ordinance section requires that one tree be planted for each tree removed. Thirty-eight (38) 2.0-caliper inch replacement trees are required, or the applicant could request that the Planning Commission waive a portion or all of the tree replacement requirements when site factors, tree conditions, or development requirements preclude reasonable actions to conform, and the applicant proposes a contribution to the Tree Fund, in an amount reasonably related to the cost of the tree replacement being waived. *CWA Comment: The applicant’s written narrative requests a waiver from the required planting, based on the new plan that maximizes the number of trees on site given the available space. We consider not planting the trees on this site reasonable, given the amount of landscaping provided to meet other ordinance requirements. However, this section allows that where planting the trees on site is not feasible, they may be planted at another location, as determined by the Planning Commission.*

Lapeer Road Overlay District – Article XXXV

The landscaping requirements in this overlay district reference the same landscape and tree preservation regulations listed above.

Summary of Comments

As requested by the Planning Commission, the revised Landscape Plan has substantially reduced the number of requested waivers from ordinance requirements, and increased the number of trees planted on site. The following are the few remaining items to be addressed:

1. **Landscaped open space** requires 22 trees; plans propose 4 trees in addition to trees proposed to meet other landscaping requirements. The Planning Commission could consider reducing the number of trees required by this section of the ordinance.
2. **Parking lot landscaping adjacent to roads.** The applicant states that they will modify the berm slopes to meet ordinance requirements.
3. **Interior parking lot landscaping.** The applicant states that the size of the interior parking lot landscape islands (already constructed) will be field-verified to confirm that they meet the ordinance standards; if not, they will request a waiver.
4. **Tree and woodland protection.** The Planning Commission could consider waiving the requirement for 38 replacement trees planted on site; However, this section gives the Planning Commission the ability to approve the required planting on another site. This issue needs to be addressed.



CARLISLE WORTMAN ASSOCIATES, INC.

John L. Enos, AICP
Vice President



CARLISLE/WORTMAN ASSOC., INC.

Sally M. Elmiger, AICP, LEED AP
Principal

Tiffany Sanders

From: Mark Landis <Mark.Landis@ohm-advisors.com>
Sent: Thursday, June 29, 2023 7:45 AM
To: Tiffany Sanders
Cc: Jonathan Mahut; jenos@cwaplan.com; Jeff Williams
Subject: RE: PC-23-21 Dutton East Retail Landscape Review - Second Submittal

Tiffany,

We have no concerns with the proposed revised landscaping plan. While there are plantings over proposed utilities and near retaining walls, they will be smaller shrubs and groundcover so no issue. There are some plantings in the area of the reserve septic field, however the likelihood of them needing to utilize this is remote so we find it acceptable.

Thanks

MARK LANDIS, PE | OHM Advisors® | est.1962
PROJECT MANAGER
D (248) 751-3107 C (248) 342-8098 O (248) 751-3100
mark.landis@ohm-advisors.com | OHM-Advisors.com

From: Tiffany Sanders <tsanders@oriontownship.org>
Sent: Wednesday, June 28, 2023 12:29 PM
To: Mark Landis <Mark.Landis@ohm-advisors.com>
Subject: FW: PC-23-21 Dutton East Retail Landscape Review - Second Submittal

This Message originated outside your organization.

Hi Mark,

For clarity – no fees at all were taken in for this review.



Tiffany Sanders
Specialist – Planning & Zoning
Planning & Zoning Department
2323 Joslyn Road, Lake Orion, MI 48360
O: 248.391.0304, ext. 5004
W: www.oriontownship.org

From: Tiffany Sanders
Sent: Wednesday, June 28, 2023 12:04 PM
To: John Enos <jenos@cwaplan.com>; Mark Landis <mark.landis@ohm-advisors.com>; Jeff Williams <jwilliams@oriontownship.org>
Cc: Tammy Girling <tgirling@oriontownship.org>
Subject: PC-23-21 Dutton East Retail Landscape Review - Second Submittal

Hello all,

Tiffany Sanders

From: Jeff Williams
Sent: Wednesday, June 28, 2023 11:14 PM
To: Tiffany Sanders; John Enos; Mark Landis
Cc: Tammy Girling; John Pender
Subject: RE: PC-23-21 Dutton East Retail Landscape Review - Second Submittal

The fire department has reviewed and has no concerns at this time. If you should need anything additional from me please let me know.



Jeffrey Williams, CFPS – Fire Marshal
Orion Township Fire Department - Fire Prevention
3365 Gregory Road Lake Orion, MI 48359
Office: 248.391.0304 ext. 2004 Cell: 248.978.5143
Fax: 248.309.6993

From: Tiffany Sanders <tsanders@oriontownship.org>
Sent: Wednesday, June 28, 2023 12:04 PM
To: John Enos <jenos@cwaplan.com>; Mark Landis <mark.landis@ohm-advisors.com>; Jeff Williams <jwilliams@oriontownship.org>
Cc: Tammy Girling <tgirling@oriontownship.org>
Subject: PC-23-21 Dutton East Retail Landscape Review - Second Submittal

Hello all,

Please find the attached second submittal for the Dutton East Landscape Review.

John – for your review. No fees were collected for this review as it is the second.

Mark and Jeff – would you both please take a quick look at the plan to see if you have any issues? If you do not see anything, would you please send an email stating so? Thanks for your help.

Jeff – we have a hard copy here in the office if you need it.

Regards,



Tiffany Sanders
Specialist – Planning & Zoning
Planning & Zoning Department
2323 Joslyn Road, Lake Orion, MI 48360
O: 248.391.0304, ext. 5004
W: www.oriontownship.org

CHARTER TOWNSHIP OF ORION PLANNING COMMISSION



2323 Joslyn Road
Lake Orion, MI 48360
(248) 391-0304

APPLICATION FOR LANDSCAPE REVIEW

Case Number PC- 23 - 21

PROOF OF OWNERSHIP MUST BE INCLUDED IN THE APPLICATION

(Acceptable documentation includes: Warranty Deed, Quick Claim Deed, Land Contract, and Option to Purchase with a Copy of the Warranty Deed. If the applicant is not the property owner, then written authorization from the property owner must be included.)

NOTICE TO APPLICANT

The following application must be completed **(incomplete applications / plans will be returned to the petitioner)** and filed with the Township. The plans must meet the landscaping requirements listed in the zoning district of the subject property and the criteria specified in Section 27.05 of Zoning Ordinance No.78. If it is determined that the modifications are not minor, then review and approval by the Planning Commission will be required. Please refer to Section 30.02E for a complete list of application requirements.

Date 05/30/2023 Project Name Dutton East Retail

Applicants Name Henry Yandt Construction, LLC (Contact: Shaun Houck)

Applicants Address 1615 S. Telegraph Rd

City Bloomfield Hills State MI Zip Code 48302

Phone# (248) 709-9104 Fax # _____ E-Mail shouck@henryyandt.com

Property Owner Name Premier Drive, LLC

Property Owner Address 1615 S. Telegraph Rd, Bloomfield Hills, MI 4802

Phone# (248) 709-9104 Fax # _____ E-Mail shouck@henryyandt.com

Name of Firm/Individual who Prepared the plan Nowak and Fraus Engineers _ George Ostrowski

Address 46777 Woodward Ave, Pontiac, MI 48342

Phone# (248) 332-7931 Fax # _____ E-Mail gostrowski@nfe-engr.com

***Please Indicate Above The Contact Person ***

Property Description:

Location or Address of the Property: 4898 Bald Mountain Rd

Side of Street West Nearest Cross Streets: Dutton

Sidwell Number(s) 09-35-477-003 Total Acreage 1.88

Subdivision Name (if applicable) _____

Frontage (in feet) 455.96 Depth (in feet) 300

*Please Attach to the Application a Complete Legal Description of the Subject Property

Zoning Classification:

Subject Property IP, Industrial Park

Adjacent Properties:

North IP Industrial South Vacant

East AJax West IP Industrial

Current Use of Property: One story 4,400 sf retail building

Modifications Proposed to the Landscape Plan:

See attached updated L998, Sheet L4, drawing dated 5/30/2023 revised per owner

******4 Sets Of The Landscape Plan Prepared In Accordance With The Orion Township Zoning Ordinance #78, And The Applicable Review Fees Found In Ordinance #41 Must Be Received With The Application ******

I hereby submit this application for Landscape Plan Approval, pursuant to the provisions of the Orion Township Zoning Ordinance, Ordinance #78, and any other applicable Township Ordinance requirements. In support of the application, I hereby certify that the information provided herein is accurate and the application that has been provided is complete. As the property owner (or having been granted permission to represent the owner as to this application) and on behalf of all owners of this property, I hereby grant the Planning Commission members and Township Building Department staff permission to perform a site walk on the property, without prior notification, as is deemed necessary.


Signature of Applicant

5/31/2023
Date



Charter Township of Orion

Planning & Zoning Department

2323 Joslyn Rd., Lake Orion MI 48360

P: (248) 391-0304 ext. 5002; Fax (248) 391-1454

Project Name Dutton East Retail

PC# _____ Parcel#(s) 09-35-477-003

Please select an option below:

☒ **Permission to Post on Web Site**

By signing below as applicant and on behalf of my consultants, we agree to allow the plans for the above named project, in which approval is being sought by the Planning Commission and/or Township Board, to be posted on the Township website.

Shaun Howle
Signature of Applicant

6/1/2023
Date

Shaun Howle
Printed Name of Applicant

☐ **Do not want plans posted on Web Site**

JUN 29 2023

Orion Township
Planning & Zoning

June 28, 2023

Charter Township of Orion
Planning & Zoning
2323 Joslyn Road
Lake Orion, MI 48360

RE: 4898 Bald Mountain Road – PC-23-21 – Landscaping Amendment
Henry Yandt Construction, LLC Response to Review Letter

Dear Tammy Girling,

Below is our response to the Carlisle Wortman Review Letter dated June 12, 2023.

Carlisle Wortman - Summary of Comments

The revised Landscape Plan does not meet the following ordinance requirements. The ordinance permits an applicant to request the Planning Commission waive or modify the requirements, based on certain standards:

1. Landscaped open space requires 22 trees; none proposed. The Planning Commission must determine that a waiver or adjustment is in keeping with the intent of the Zoning Ordinance, and Sec. 27.05. **HYC RESPONSE – HYC has submitted a revised Landscape Plan with a total of 24 Trees and 204 Shrubs to meet ordinance requirements. This is a total of 13 additional trees from the previous submission. Three (3) new trees north of the dumpster enclosure. Six (6) new trees along Premier Drive frontage. Four (4) new trees along Bald Mountain Road frontage.**
2. Parking lot landscaping adjacent to roads. The Planning Commission may waive or modify the requirements subject to one or more of the following conditions: limited parcel depth, existing vegetation, or other site factors which limit the practical application of landscaping standards:
 - a. Dutton Rd.: ITC approval of proposed landscaping within the Easement. **HYC RESPONSE – HYC has submitted a revised Landscape Plan that was previously approved by ITC for this area. Refer to PC-22-40 for reference. Please note limitations due to restrictions from the ITC easement and compliant plantings. Shrubs and retaining wall satisfies screening requirements – trees are not allowed in the ITC easement.**
 - b. Premier Dr.: Eight (8) trees required; three (3) ornamental and one (1) shade tree proposed. Hedge screening parking lot from road is not proposed across entire frontage. **HYC RESPONSE – HYC has submitted a revised Landscape Plan with a total of eight (8) trees and a hedge along Premier Drive to meet ordinance requirements. Please note an open, non-planted area due to the septic field located just east of the Premier Drive**

entrance.

- c. Bald Mountain Rd.:
 - i. Six (6) trees required; three (3) shade trees proposed. Hedges screening parking lot from road is not proposed across entire frontage. **HYC RESPONSE – HYC has submitted a revised Landscape Plan with a total of six (6) trees and a hedge along Bald Mountain Road to meet ordinance requirements.**
 - ii. Slopes on proposed berm need to be slightly flattened to meet ordinance requirements. **HYC RESPONSE – HYC will flatten berms slightly to meet ordinance requirements.**
3. Interior parking lot landscaping. The Planning Commission may waive or modify these requirements where the parking lot consists of only on (1) aisle and the area surrounding the parking lot is heavily landscaped, or where existing off-street parking drives and/or structures are located on the parcel.
 - a. Confirm that the proposed number of parking spaces (2 fewer than approved plans) meets ordinance requirements for use. **HYC RESPONSE – HYC has submitted a revised Landscape Plan showing fifty-three (53) parking spaces.**
 - b. Six (6) trees required for interior landscaping; three (3) multi-stemmed (vs. "shade" species) trees are proposed. **HYC RESPONSE – HYC has submitted a revised Landscape Plant with six (6) shade trees to meet ordinance requirements.**
 - c. Parking lot islands don't all meet the 10-foot minimum width requirement, or 200sf minimum area requirement. **HYC RESPONSE – HYC will field measure to confirm. Islands have been installed per plans. HYC will request a waiver if installation does not meet ordinance requirements.**
4. Plant material. Increase size of Little Quick-Fire Hydrangea from 3-gallon to 5-gallon to meet minimum size requirements. **HYC RESPONSE – HYC submitted a revised Site Plan noting the change to 5-GAL plant size to meet size requirement.**
5. Tree and woodland protection. The Planning Commission may waive a portion or all of the tree replacement requirements when site factors, tree conditions, or development requirements preclude reasonable actions to conform, and the applicant proposes a contribution to the Tree Fund, in an amount reasonably related to the cost of the tree replacement being waived.
 - a. Thirty-eight (38) replacement trees required; none provided. **HYC RESPONSE – HYC has submitted a revised Landscape Plan with twenty-four (24) new trees. A number of trees could not be planted due to the ITC easement, the west retaining wall and the septic field. HYC has substituted shrubs to cover the trees that could not be planted. In the case of a deficit, HYC would request a waiver based on maximizing the amount of trees on the space available.**

No other changes have been made to this document.

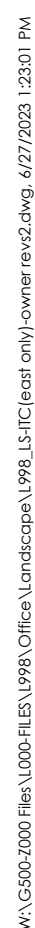
Sincerely,

Tom Beauchamp



President
Henry Yandt Construction
248-941-4650
tbeauchamp@henryyandt.com

1615 S. Telegraph Rd.
Bloomfield Hills, MI 48302



administratively to approve it or do we want to put it in front of the Planner again to see if that is good? Do we want to have it come back that we approve it? How are we making sure that this is being followed through?

Planner Enos proposed that it could be done administratively between the Planning and Zoning Director and himself as part of the motion. They provide that information location d.b.h. and they would bring it back to them and let them know what that was, but they can administratively handle that.

Planning and Zoning Director Girling asked if planted is meant literally planted? It is not correspondence, library, yes we are going to be accepting thirteen trees. Do they physically have to be planted? In which time they are planted, she will be notified and probably check with her ahead of time of the location, to make sure we are in agreement of the public space, then when they are planted, they get a hold of her, she goes out and counts thirteen trees, life is grand, we move on.

Chairman Reynolds made a clarification of the motion that it is intended that the administration would verify that the trees are physically planted within a 12-month period.

Planning and Zoning Director Girling said that as she pointed there is in the ordinance that we hold their money a year from when it is planted to make sure that it survives. Was she still going that year from when it was planted in this community space?

Chairman Reynolds and Liaison Urbanowski both replied yes.

Chairman Reynolds again clarified the performance guarantee as noted in the discussion for the motion.

Roll call vote was as follows: St. Henry, yes; Walker, yes; Urbanowski, yes; Cummins, yes; Gross, yes; Gingell, yes; Reynolds, yes. **Motion carried 7-0.**

B. PC-23-21, Dutton East Retail Landscape Review, located at 4898 Bald Mountain Rd. (parcel 09-35-477-003).

Chairman Reynolds asked the applicant to approach the podium, state their name and address for the record and give them a brief overview.

Tom Beauchamp representing the landowner and the tenant for the site located at 4898 Bald Mountain Rd. His address is 4865 Broomfield Way.

Mr. Beauchamp admitted that the site has been a challenging site. The site consisted of parcel one and parcel two. Parcel two is the large area behind Culver's which was a landfill, the Sandison landfill. Up on the hill is where Joyology currently resides. In order to build within the property line, they had to build a retaining wall of two hundred fifty thousand dollars to get it to that edge so they could get a building on the property, to get a parking lot to meet the Fire Marshal's requirement for twenty-six feet aisle ways and part of the property was actually across Premier Drive. It is just a very tight site. A month or two down the line, now all of a sudden, ITC comes through and they want to put their power poles. They have an easement and the applicant cannot have trees or anything below that. There are specific plants that are compliant that they could put there. There was an initial landscape package that was put together through the site plan process that was submitted that Nowak and Fraus had done. They came back

after a number of rounds with the ITC, changes that were required with them being in there and having a public utility improvement and then the owner moved in. Some of the things that they overlooked in the design was the impact of not only the new one but the existing power poles that DTE ran across along Bald Mountain and the Premier side. They added to the fact on the west elevation where they had to build this retaining wall, the retaining wall is twenty feet tall at the highest point. It was not twenty-one double A, it is six A but it is a stone that is twenty feet from the wall back into the parking lot. The little greenbelt that he has set up there, he cannot even plant anything in, plus roots would grow into the wall. There is a lot of hardship, and a lot of burden to try to find places to put trees. Additionally, they had to put in a septic field on the site because the location and elevations of the existing sanitary system trying to tie into something where they did not have property at that time. It would have been floating in the air to be able to get it to tie in. There have been a number of hardships to get to the point where they are at. They are going to throw thirty-eight trees around this property and try and make this stuff work. It has been very difficult. The building is going to be completely hit. There is understanding the ordinances and protecting the line of vision to the parking lots and different things. They did a revised site plan.

Planner Enos read through his review dated stamped received June 12, 2023.

Mr. Beauchamp understood what Planner Enos was saying. Mr. Beauchamp went on to point out specific areas on the proposed landscape plan. He stated that they want the trees to thrive; they want them to grow and if they are talking about adding one or two more trees in a corner, they could do that. They might be pine trees if the other two are deciduous. He stated there are three trees along Premier Drive. He pointed out he cannot plant in the area of the septic field. However, he mentioned an area of where he could put five trees but what they are trying to achieve, sometimes we get caught up in ordinances. He explained that he gets it because then everybody who does not come in here and it is a subjective deal of what do we do. He stated he does not know the answer and pointed to three big trees. He continues there is a power line but that comes more over the parking lot. It is not directly over. The three trees are directly under power lines. He stated they are not the ITC power lines that are along Dutton, but they are power lines from DTE. The trees have to be maintained and kept under the height that they are. He stated he did not know if it was 20 feet. In the interior, they have three trees now that may not be a typical shade tree. He reiterated that they spent a lot of money building a building too. The building is a beautiful building in the community. He expressed that you can cover it up with where people drive by, they see a forest. He continued to say he was not trying to be insensitive. This was not anything before, it was the top of the landfill. They have created something that he thought was beneficial to the community at a cost. It is not a cost issue to put trees here. If you guys come out of this and we got to put fifty trees on there, we will figure out how to do it. That is not what the intent is as we come in here. We want it to look presentable. The tenant wants it, and the landowner themselves wants it. He would be glad to work with the Planner's landscape consultant if they have some ideas that made sense that we can actually put on paper and do this. George Ostrowski with Nowak and Fraus is a talented guy too and he has beaten me over the head every time we came back to him with these challenges.

Commissioner Walker stated that one of his least favorite arguments by an applicant is it is a challenging site because unless someone forced the applicant to do it, the applicant and their team picked this site, and you knew what the site looked like before you picked this site. The applicant knew it was a landfill. Commissioner Walker explained that he had the advantage of being on the Zoning Board and his Waze could not find this place at first. He could not figure out where he was even going because maybe the streets are not in the latest addition of Waze. It is challenging but it is there. It was there when the applicant started. When they came in front of the Zoning Board, they wanted another sign. The applicant wanted a variance from the sign ordinance because it was so difficult to see the building; that was the pitch. The Board voted for

the applicant, but it was not a unanimous vote. It was a lot of discussion among the Board members about granting that variance. Some of us did not feel that it was warranted. When he heard again today, it is a challenging site, it is a challenging site. He did not pick the site, someone on the applicant's team did. He did not like the argument that much.

Commissioner Cummins commented that he looked over this pretty well. He drives past this almost every single day and regularly passes it on Dutton Road. He could tell them that it is not unreasonable. We have nothing that we can do with that ITC easement, of course. It is a legitimate waiver. He believed that probably the twenty-two open-space trees are going to be difficult for them to achieve. He believed that the rest of the trees could easily be achieved and probably add to the site. The applicant will still have great visibility of that building from Dutton and M-24. It is sitting on top of the mountain. Everyone will see Joyology's building from the two most heavily traveled roads, so visibility is not going to be blocked by these trees. The street trees along Bald Mountain and Premier could easily be handled. He thought that the applicant had an adequate plan that they did when they did a cross between the ITC plan that was developed back in March and their proposed plan that he had today if they had a cross reference those two together and keep some of those larger shade trees and mix in some of the smaller trees; he thought that the applicant could come up with a pretty good plan that you do not have to waive all the trees.

Liaison Urbanowski noted that even if they had landscaping around this building, there is no way anyone could miss it. It is right there. She asked if the applicant still had the lights on the side of the building too? The applicant replied they are gone. Liaison Urbanowski said she thought that they should go through every one of these waivers and talk about them and see what we think about them because there are a lot of waivers that they are asking and she wanted to be very specific on what we are expecting from them.

Chairman Reynolds agreed with Liaison Urbanowski. He voiced his thoughts. It seems like because there is a hardship it is like we are just jumping off the cliff and saying well let us just fight it. He thought that from the basis of approval, we rarely approve seven waivers on a project, especially of all one nature and belief. What he would like to have happen is the applicant come forth with a reduction of waivers with a proposed site plan versus just an open-ended here is seven, will you approve them? He thought there are areas where additional can be considered. Chairman Reynolds considered that there are some areas where there are potentially alternate methods; the applicant had heard discussion prior to their case of other opportunities if that might be considered. He understood the easements, he understood the parameters that cannot be controlled. He felt like there is a handful that are decisions being made here that are in defense of branding than in defense of landscaping. He did not want to necessarily say tit for tat. He would like to see a reduction in the waiver proposal.

Planner Enos interjected that he agreed with Chairman Reynolds. He thought that the applicant should come back before the Commission after reviewing our suggestions and also perhaps talking with our landscape architect. For example, the hedge rows running along Premier and/or extending along Bald Mountain. To extend those hedge rows may allow the applicant to speak with the Planning Commission and say hey we have extended these hedge rows three-to-five-foot hedge rows to block traffic and headlights. Can we have a waiver on tree removal? To walk through all these several waivers with the idea that hey we are going to give this or that changes the layout because he did not believe that the Commission will give you all of the waivers. It changes the layout of the plan. He would suggest as the Commission was talking about and the Chairman had mentioned to do what the applicant can based on our strong suggestions and they can certainly work with our landscape architect and have these discussions and bring this back with a lower number of waivers. At that point, the Commission may be able to have a conversation on what works or does not work.

Liaison Urbanowski expressed that the compatible planting list that was included with them from ITC. She looked at their website and there are a couple of different suggestions for things that can be planted along their easement on the ITC website. There are additional ideas on where the trees can be planted.

Planning and Zoning Director Girling mentioned that she and Planner Enos have talked about this. The landscape section of the ordinance gets repetitive. Where it might appear to be one, two, three, four, five, six waivers it is because there is a requirement here under this section and there is a requirement here under this section. It is still talking about the same area but because it is two different sections of the ordinance, it compounds itself. It makes it look worse than it is. Again, your decision on whether you look at these each before a motion is on the table and we are out of here. She did have to say in defense, it can look worse than it is just because of the multiple places we talk about landscape in the ordinance.

Chairman Reynolds understood and acknowledged that our ordinance can sometimes be a little messy. He guessed just plans aside, he felt like there is some opportunity here to make up and make an honest attempt at areas that have been pointed out today. Walking in, saying that this is the requirement and then it is all off the table. Chairman Reynolds thought there are some areas that we can still provide some additional. He would consider because of those hardships of the public spaces and utilities there could be some others maybe on the adjacent properties or another area. His intent here is he did not want to keep talking about sure they can just push them elsewhere because that is not his end goal with our ordinance. His opinion would be to have an opportunity to revise and resubmit based on some of the discussions.

Liaison Urbanowski wanted to make sure that they are all clear about what they would like each one of us; what we are expecting to see when it comes back. As many trees as possible, plantings where you can, understanding that some issues have happened and that is understandable. She believed that there is plenty of opportunity here to do some nice landscaping and put some trees in. She would like to see a valiant effort.

Chairman Reynolds mentioned what the applicant brought forth to the Planning Commission tonight and what he thought the applicant had. He thought that within reason, some of these areas of where they changed and what you are doing in lieu of, especially if there is some of the low plantings or something. There are opportunities to fill in some more on the site and then also he would be open to other contributions personally. He did not know there were other thoughts here because things like a power line are obviously a difficult parameter, but it could be an opportunity for another location to receive trees.

Secretary St. Henry concurred with Chairman Reynolds in seeing another plan, using as many trees as possible for landscaping. He also agreed that just like the last case they looked at, there are creative opportunities to plant trees and benefit this community. He thought the applicant has an opportunity here to move forward with a strong idea another option if there are any extra trees. We are making you work a little, it is the way it goes.

Moved by Chairman Reynolds, seconded by Commissioner Cummins, that the Planning Commission **postpone** revised landscape plan approval for PC-23-21, Dutton East Retail Revised Landscape Review, located at 4898 Bald Mountain Rd. (parcel 09-35-477-003) for plans date stamped received 6/1/2023 for the following reasons: to provide time for the applicant to revise and resubmit a landscape plan that reduces the number of waivers and increases the number of tree plantings within the site or comes up with alternative solutions for the lack of plantings within the proposed development of the second.

Chairman Reynolds asked if there were any further discussions of the motion from the Planning Commission. There were none.

Chairman Reynolds asked if there were any public discussion of the motion. There were none.

Roll call vote was as follows: Urbanowski, yes; Gross, yes; Gingell, yes; Walker, yes; Cummins, yes; St. Henry, yes; Reynolds, yes. **Motion carried 7-0.**

8. UNFINISHED BUSINESS

None.

9. PUBLIC COMMENTS

None.

10. COMMUNICATIONS

None.

11. PLANNERS REPORTS/EDUCATION

None.

12. COMMITTEE REPORTS

None.

13. FUTURE PUBLIC HEARINGS

None.

14. CHAIRMAN'S COMMENTS

Chairman Reynolds told everyone to enjoy the holiday coming up and the festivities in town and the fireworks and everything. He hoped that everyone enjoy themselves and to stay safe.

15. COMMISSIONERS' COMMENTS

Liaison Urbanowski reminded everyone that by the end of next week, tax statements will be in the mailbox. Taxes are due. Starting July 1st, we can take payments and we will be here on July 3rd and July 5th but not July 4th.

16. ADJOURNMENT

Moved by Chairman Reynolds, seconded by Vice-Chairman Gross, to adjourn the meeting at 7:52 p.m. **Motion carried.**

Respectfully submitted,

Courtney Keisman
PC/ZBA Clerk
Charter Township of Orion

July 5, 2023

Planning Commission Approval Date

Vegetation Management: Compatible Plantings

Wire Zone:



All Annuals and Fleshy Perennials

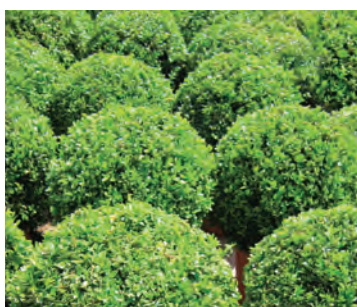
Near Border Zone:



Alberta Spruce



Birdsnest Spruce



Boxwood



Burning Bush



Coralberry



Cotoneaster



Forsythia



Globe Arborvitae



Holly



Hydrangea



Mugho Pine



Juniper



Privet



Redtwig Dogwood



Rose of Sharon



Rose



Spiraea



Viburnum



Weigela



Yew

Far Border Zone:



Dogwood



Dwarf Crabapple



Japanese Maple



Tree Lilac



Redbud