



Charter Township of Orion
Planning & Zoning Department
2525 Joslyn Rd., Lake Orion MI 48360
P: 248-391-0304 ext. 5001; F: 248-391-1454

Received
3/24/2020

Case # AB-20-10

Meeting Date: 4/27/2020

Charter Township of Orion Zoning Board of Appeals Application for Appeal - Commercial

NOTICE TO APPLICANT:

The following application must be completed and filed with the Township at least thirty days prior to a scheduled ZBA meeting in order to initiate an appeal. There is a non-refundable fee of \$500.00 for a commercial application.

Regular meetings of the ZBA are held on the second and fourth Mondays of each month at 7:00 p.m. at the Orion Township Hall, 2525 Joslyn Road, Lake Orion, Michigan 48360. A minimum of three cases are required in order to hold a meeting with a maximum of five. The applicant or a representative with written permission from the property owner must be present at the meeting.

PROOF OF OWNERSHIP MUST BE INCLUDED WITH THIS APPLICATION. Acceptable forms of documentation include: Warranty Deed, Quit Claim Deed, Land Contract, or Option to Purchase with a Copy of the Warranty Deed.

APPLICANT

Name: Texas Roadhouse Holdings, LLC
Address: 6040 Dutchmans Lane City/State/Zip: Louisville, KY 40205
Phone: 502-855-5556 Cell: _____ Fax: _____
Email: Caitlin.kincaid@texasroadhouse.com

PROPERTY OWNER(S)

Name (s): Grand Management & Development
Address: 31333 Southfield Rd, Suite 160 City/State/Zip: Beverly Hills, MI 48025
Phone: 248-594-5939 Cell: 248-217-1234 Fax: 248-419-4529
Email: jkishmish@grandmd.com

CONTACT PERSON FOR THIS REQUEST

Name: Paula Hubert, AIA Phone: 224.324.4870 Email: phubert@greenbergfarrow.com

SUBJECT PROPERTY

Address: TBD Sidwell Number(s): 09-32-400-069, 09-32-400-070, 09-32-400-071, 09-32-400-076, 09-32-400-077

Total Acreage: 13.25 acres Length of Ownership by Current Property Owner: _____ Years, _____ Months

Does the owner have control over any properties adjoining this site? No

Ordinance Allowance/
Requirement Sign Ordinance #153 Deviation requested _____
List additional ordinance requirements and deviations on a separate page

Case #: _____ A variance to allow two (2) additional wall signs to install a total of three (3) wall signs.

COMMERCIAL VARIANCE

1. Describe the nature of the request. Request a variance from Sign Ordinance #153 to allow two (2) additional wall signs for a total of three (3) wall signs. The additional signs would be an 8.8 SF wayfinding sign to direct customers to the Take-Out entrance and an 18.1 SF Main Entrance sign, to direct customers to the dining room entrance.
2. Describe how the request results from special or unique circumstances particular to the property, which are not applicable to other properties in the surrounding area. This is the only sit-down restaurant along Brown Road offering menus and dining options different from the surrounding fast-food restaurants. The Take-Out choice is appealing to customers wishing to enjoy a nice sit-down meal at home without the fast-food experience.
3. If the appeal is granted, please explain how the variance will/will not be materially detrimental to the public health, safety and welfare, or to other properties or improvements in the Township: The additional signs are very small and would not impair an adequate supply of light or air to adjacent property; it would not unreasonably increase the congestion in public streets; it would not increase danger of fire or endanger public health or safety; it would not unreasonably diminish or impair established property values within the surrounding area; or in any other respect, impair the comfort, morals, or welfare of the inhabitants of the Township.
4. Explain how the request is/is not consistent with other properties in the immediate area, please site examples if possible: There are no other sit-down restaurants along Brown Road that have a separate Take-Out entrance. Most are fast-food restaurants with self-standing, lighted menu boards located at the drive-through lanes. The signs on the Texas Roadhouse main entrance elevation must guide customers into the waiting area and organize the waiting area while customer's tables are being prepared, in addition to guiding carry out customers to the appropriate entrance.
5. Describe how the alleged practical difficulty has not been self-created. This is a proto-typical design in the restaurant industry and not unique to Texas Roadhouse. A separate take-out entrance has been proven to increase efficiency and customer satisfaction, which is why it is a common design feature to many restaurants. These wayfinding signs are key to any succesfull restaurant operation.
6. The topography of said land makes the setbacks impossible to meet because: N/A
7. Describe how strict compliance with the ordinance unreasonably prevents the owner from using the property for a permitted purpose, or to be unnecessarily burdensome. Creates operation difficulties with Take-Out customers mixing with diners waiting for their tables. This would lead to congestion and staff would have inadequate area to efficiently serve both customer groups. A sign directing customers to the Take-Out entrance in conjunction with a second main entrance sign would serve to separate the customers types, allowing for more efficient customer service and dining experience.

Case #: _____

8. Have there been any previous appeals involving this property? If so, when? No

9. Is this request the result of a Notice of Ordinance Violation? ☐ Yes ☒ No

I/We, the undersigned, do hereby request action by the ZBA on the variance or specified matter above, in accordance with Sections 30.06, 30.07, 30.08, 30.10, and 30.11 of the Zoning Ordinance. In support of this request the above facts are provided. I hereby certify that the information provided is accurate and the application that has been provided is complete. As the property owner (or having been granted permission to represent the owner as to this application), I hereby grant the Zoning Board of Appeals members permission to visit the property, without prior notification, as is deemed necessary.

Signature of Applicant:

(must be original ink signature)

Caitlin Kincaid

Date: 3/23/26

Print Name: Caitlin Kincaid

Property Owner:

If applicable:

I the property owner, hereby give permission to Paula Hubert to represent me at the meeting.

Signature of Property Owner:

(must be original ink signature)

Date: _____

Print Name: Jason Kishmish

OFFICE USE ONLY

Zoning Classification of property: _____ Adjacent Zoning: N. S. E. W.

Total Square Footage of Principal Structure: _____ Total Square Footage of Accessory Structure(s): _____

Description of variance(s): _____

Date Filed: _____ Fee Paid: _____ Receipt Number: _____

Case #: _____

8. Have there been any previous appeals involving this property? If so, when? _____ No
9. Is this request the result of a Notice of Ordinance Violation? ☐ Yes ☒ No

I/We, the undersigned, do hereby request action by the ZBA on the variance or specified matter above, in accordance with Sections 30.06, 30.07, 30.08, 30.10, and 30.11 of the Zoning Ordinance. In support of this request the above facts are provided. I hereby certify that the information provided is accurate and the application that has been provided is complete. As the property owner (or having been granted permission to represent the owner as to this application), I hereby grant the Zoning Board of Appeals members permission to visit the property, without prior notification, as is deemed necessary.

Signature of Applicant:

(must be original ink signature)

Print Name: Caitlin Kincaid

Date: _____

Property Owner:

If applicable:

I the property owner, hereby give permission to Paula Hubert to represent me at the meeting.

Signature of Property Owner:

(must be original ink signature)

Print Name: Jason Kishmish

Date: 3-23-20

OFFICE USE ONLY

Zoning Classification of property: _____ Adjacent Zoning: N. S. E. W.

Total Square Footage of Principal Structure: _____ Total Square Footage of Accessory Structure(s): _____

Description of variance(s): _____

Date Filed: _____ Fee Paid: _____ Receipt Number: _____

Non-Residential Zoned Areas Wall Signs

These requirements shall govern sign use, area, type, and numbers, in addition to requirements elsewhere in this Ordinance.

EMC signs are not permitted in wall signs.

W A L L S I G N S	Zoning District	RB	GB	OP	LI	IP	IC	BIZ Use Groups A (Non- Residential), B, C, & D	SP-1/ SP-2	REC-1/ REC-2
	Number of signs	1 wall sign per establishment								
	Sign Area	10% of the façade area on which the sign is to be placed, or 200 sq. ft. per establishment whichever is less.								40 sq. ft.
	Footnotes	4, 8	4, 8	4, 8	4	4	4	4, 8	4	4

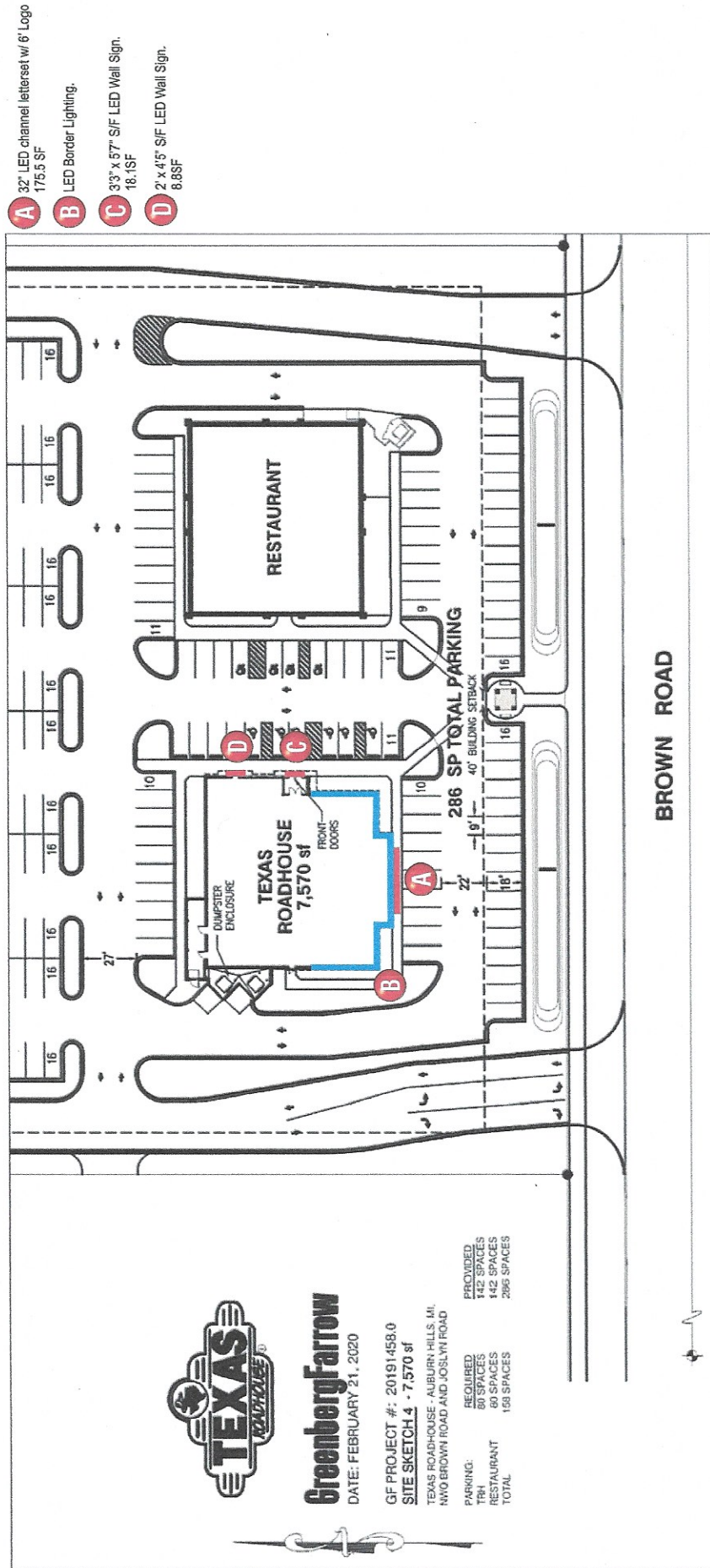
*** Note Wall signs are not permitted in RFY**

⁴ Wall Signs or Canopy Signs shall include all of the following and shall be further subject to the following regulations:

- a. The entire canopy shall be considered a wall sign when a translucent fabric canopy with signage is internally illuminated.
- b. A projecting sign shall be considered a wall sign. The measurement of such signs shall include both sides.
- c. Signage attached to a permanent architectural feature (as reflected on an approved site plan), including masonry or stone walls at the entrance of residential developments, commercial developments, or industrial parks, shall be measured as a wall sign and shall exclude the surface area of the background wall. See definition of "Sign Area" in Section 3. *Also reference Article 27.05 (6)(1)*

⁸ Buildings and shopping centers shall be permitted a wall sign on the front and rear façade when the architecture is mirrored on both facades and parking is only available at the rear of the building. The wall sign on the rear façade shall be 10% smaller than that which is allowed on the front façade. When abutting a residential zoned or used parcel, rear façade signs shall be turned off at 11:00 pm or close of business whichever is earlier.

- A - 175.5 sq. ft. wall sign = Ok
- B - Ok per Ord. 78, Article 27.11(E)(2)(c)(d)
- C - Additional wall sign (18.15 sq. ft.) = needs variance
- D - Additional wall sign (8.8 sq. ft.) = needs variance



SIGN PLACEMENTS



SIGN COMPANY
www.FederalHealth.com
160 W. Camel Drive, Suite 236 Camel, IN 46032
(317) 581-7790 Fax (317) 581-7783

Manufacturing Facilities:
Oconomowoc - West - Jacksonville - Columbus
Office locations:
Oconomowoc - Las Vegas - Austin - Indianapolis
Chicago - Houston - Phoenix - San Antonio
Cape Girardeau - Griffin - Milwaukee
Waukegan - Louisville - Indianapolis - Columbus
Chicago - Westerville - Knoxville - Tulsa
Atlanta - Tampa - Daytona Beach - Fort Worth

Revisions:

- R1: 11/25/19 SM- Revised Elevations.
- R2: 3/10/20 SM- Revised Elevations and Site plan.
- R3: 3/14/20 SM- Revised Front Channel Lettering.

Client Approval/Date:

Landlord Approval/Date:

Project / Location:



AUBURN HILLS, MI

Account Rep: Randy Cearlock

Project Manager: S. Maeser

Drawn By: S. Maeser

Underwriters Laboratories Inc. (UL)

UL LISTED FOR USE IN THE UNITED STATES AND CANADA

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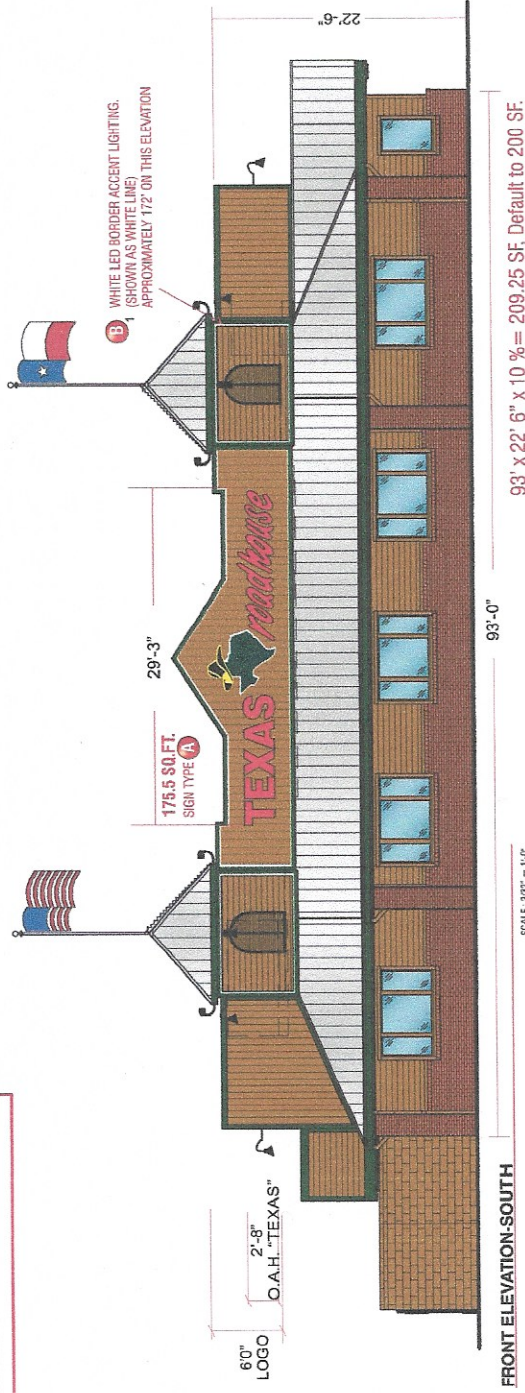
Job Number: 23-56978-10

Date: JULY 2, 2019

Sheet Number: 1 of 7

Design Number: 23-56978-10R3

Flags are exempt that bear an official nation or state.



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Job Number: **23-56978-10**
Date: **JULY 2, 2019**
Sheet Number: **2** OF **7**
Design Number: **23-56978-10R3**

Project / Location:
TEXAS roadhouse
AUBURN HILLS, MI

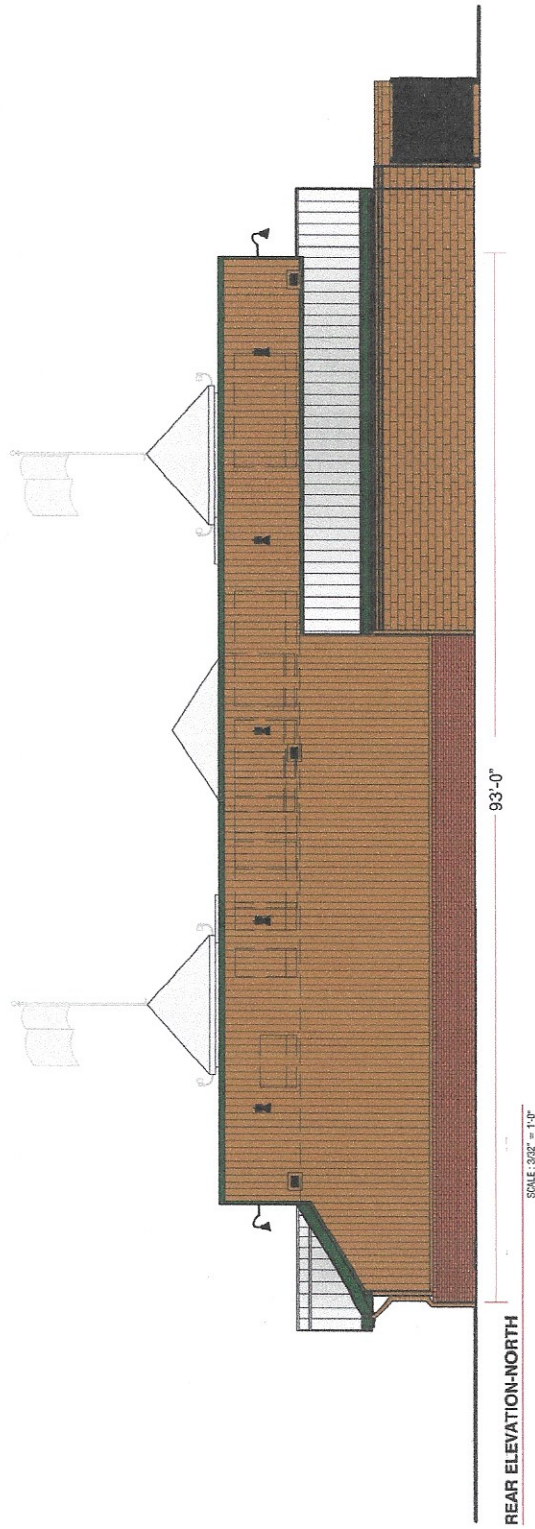
Account Rep: **Randy Cearlock**
Project Manager: **S. Maeser**
Drawn By: **S. Maeser**
Underwriters Inc. (INC) LABORATORIES INC. (INC) SHALL BEAT ALL F.E.E. PROPOSALS

Revisions:
R1: 11/25/19 SM- Revised Elevations.
R2: 3/10/20 SM- Revised Elevations and Site Plan.
R3: 3/14/20 SM- Revised Front Channel Letterset.
Colors depicted in this Rendering May Not Match Actual Finished Materials. Refer to Product Samples for exact Color Match.
Client Approval/Date: _____
Landlord Approval/Date: _____

Manufacturing Facilities:
Overseas - Essex - Jacksonville - Columbus
Office Locations:
Overseas - Las Vegas - Laughlin - Reno Falls
Essex - Jacksonville - Houston - San Antonio
Wilmington - Louisville - Indianapolis - Columbus
Cincinnati - Westerville - Knoxville - Tulsa
Atlanta - Tampa - Daytona Beach - Winter Park

FEDERAL HEALTH SIGN COMPANY
www.FederalHealth.com
160 W. Carmel Drive, Suite 236 Carmel, IN 46032
(317) 581-7770 Fax (317) 581-7783

Building Quality Signage Since 1901



WHITE LED BORDER ACCENT LIGHTING.
(SHOWN AS WHITE LINE)
3 APPROXIMATELY 66" ON THIS ELEVATION



160 W. Carmel Drive, Suite 236 Carmel, IN 46032
(317) 581-7790 Fax (317) 581-7783

Manufacturing Facilities:
Dover - Bliss - Jacksonville - Columbus
Office Locations:
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Birmingham - Dallas - Fort Worth - Houston
Corpus Christi - Dallas - Milwaukee
Wichita - Louisville - Indianapolis - Columbus
Cincinnati - Westerville - Knoxville - Tulsa
Atlanta - Tampa - Daytona Beach - Winter Park

Revisions:

R1: 11/25/19 SM- Revised Elevations.
R2: 3/10/20 SM- Revised Elevations and Sign plan
R3: 3/14/20 SM- Revised Front Channel Lettering.
Colors Different in this rendering. May Not Match Actual Finished Materials. Refer to Product Samples for Exact Color Match.

Client Approval/Date: _____
Landlord Approval/Date: _____

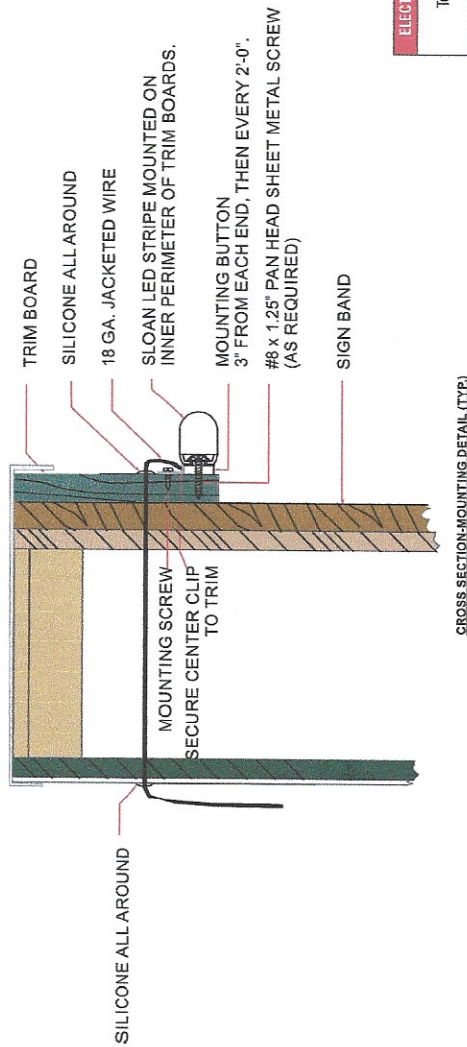
Account Rep: Randy Cearlock
Project Manager: S. Maeser
Drawn By: S. Maeser
Unswriter: S. Maeser
Laboratory: S. Maeser

Project / Location:

TEXAS
AUBURN HILLS, MI

Job Number: 23-56978-10
Date: JULY 2, 2019
Sheet Number: 3 of 7
Design Number: 23-56978-10R3

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LED ACCENT LIGHTING **B** **LED STRIPE DETAIL**

SCOPE OF WORK:

SCALE: NTS

SCOPE OF WORK:
Manufacture and install LED accent lighting on three elevation having remote transformers located in accessible area behind wall. (Transformers shall be mounted in Transformer Box if mounted outside of shelter.

ELECTRICAL REQUIREMENTS	ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS
	Total: 6.0 Amps (1) 120V 20A Circuit Required.



**FEDERAL
BUREAU OF
INVESTIGATION**

SIGN COMPANY
www.FederalHeath.com

160 W. Camel Drive, Suite 236 Carmel, IN 46032
[317] 581-7790 Fax [317] 581-7783

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Corpus Christi • Grallon • Milwaukee
Waukegan • Louisville • Indianapolis • Columbus
Cincinnati • Westville • Knoxville • Tunica
Atlanta • Tampa • Daytona Beach • Winter Park

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Revisions:

R1: 11/25/19 SM-Revised Elevations,
R2: 3/10/20 SM-Revised Elevations and Site plan,
R3: 3/14/20 SM-Revised Front Channel Letterset.

Client Approval/Date: _____

Landlord Approval/Date: _____

Project / Location:



AUBURN HILLS, MI

Account Rep: Randy Cearlock

Project Manager:
S. Maeser

S. Maesser

Underwriters
Laboratories Inc.

ELECTRICAL TO USE U.L.-48
LISTED COMPONENTS AND
SHALL MEET ALL N.E.C. STANDARDS

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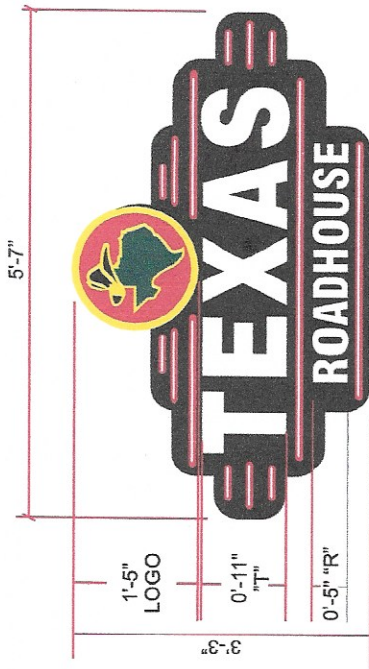
Job Number: 23-56978-10

Date: **JULY 2, 2019**

7
16
C. J. ...

Sheet Number: **3** of **1**

Design Number: **23-56978-10R3**



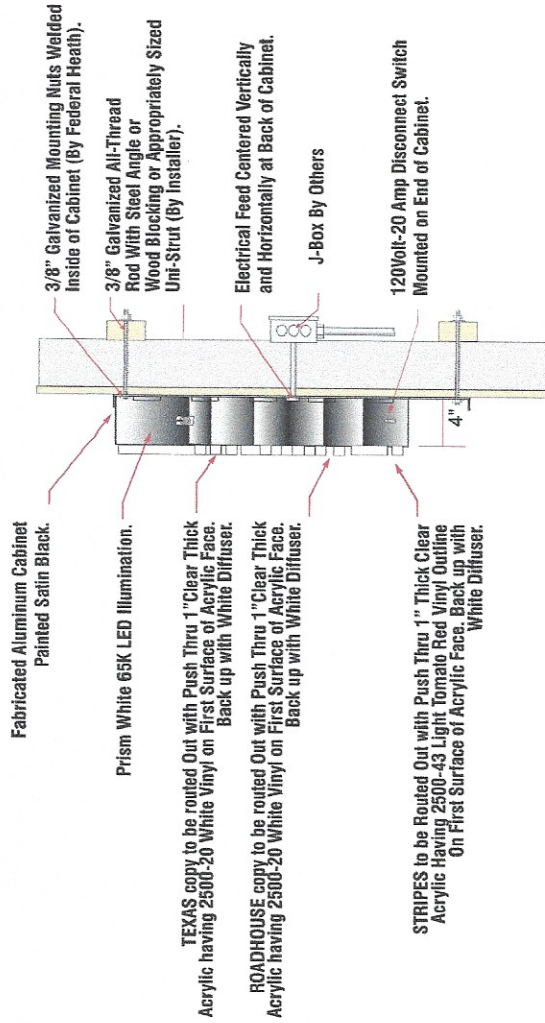
Single Face Illuminated Wall Sign One (1) Req'd

SCOPE OF WORK:
Manufacture and install S/F Internally illuminated wall sign.
18.1 SQ.FT.

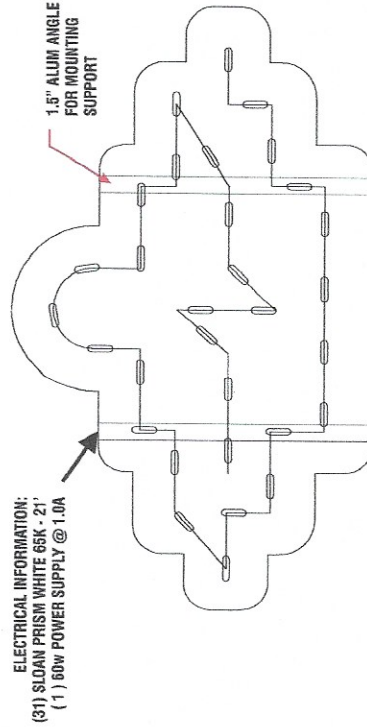
MATERIAL FINISH COLORS	
AKZO Satin Black Cabinet and Face Bkgd	#7328 White Acrylic Copy, Logo and Stripes Bkgd
2500-76 Holly Green Vinyl Logo: "State"	2500-15 Yellow Vinyl Logo: Circle, Hat and State Border.
2150-43 Light Tomato Red Vinyl Logo Circle and Stripe Bkgd.	2500-22 Black Vinyl elements Applied to Yellow Bkgd. Logo: "Hat"

CUSTOMER TO PROVIDE:
1. Final design/illustration showing the wall, background, and access as required to install.
2. Final design/illustration showing the wall, background, and access as required to install.
3. Final design/illustration showing the wall, background, and access as required to install.
4. Final design/illustration showing the wall, background, and access as required to install.
5. Final design/illustration showing the wall, background, and access as required to install.
6. Final design/illustration showing the wall, background, and access as required to install.
7. Final design/illustration showing the wall, background, and access as required to install.
8. Final design/illustration showing the wall, background, and access as required to install.
9. Final design/illustration showing the wall, background, and access as required to install.
10. Final design/illustration showing the wall, background, and access as required to install.

ELECTRICAL INFORMATION:
(35) SLOAN PRISM WHITE 65K - 24'
(1) 60W POWER SUPPLY @ 1.0A
TOTAL AMP LOAD = 1.0
(1) 120v / 20A CIRCUIT REQUIRED



Typical Cabinet End View



SIGN COMPANY
www.FederalHeath.com

140 W. Camel Drive, Suite 236 Camel, IN 46032
(317) 581-7790 Fax (317) 581-7783

Revisions

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R2: 3/10/20 SM- Revised Elevations and Sign plan.
R3: 3/14/20 SM- Revised Front Channel Lettering.

Client Approval/Date: _____

Landlord Approval/Date: _____

Manufacturing Facilities

Oceanside - Essex - Jacksonville - Columbus
Cincinnati - Dallas - Houston - Indianapolis
El Paso - Jacksonville - Houston - San Antonio
Coppell - Dallas - Houston - Milwaukee
Waukegan - Louisville - Indianapolis - Columbus
Aurora - Tampa - Daytona Beach - Winter Park

Building Quality Signage Since 1901

Project / Location

TEXAS
roadhouse
AUBURN HILLS, MI

Account Rep: **Randy Cearlock**

Project Manager: **S. Maeser**

Drawn By: **S. Maeser**

Underwriter: **Labovitz Inc.**

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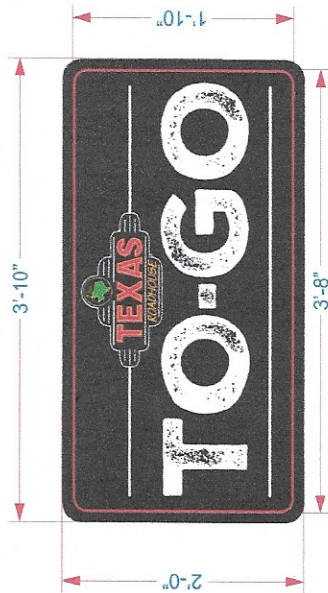
Job Number: **23-56978-10**

Date: **JULY 2, 2019**

Sheet Number: **6** of **7**

Design Number: **23-56978-10R3**

Received
April 13, 2020
By Orion Twp
Planning & Zoning



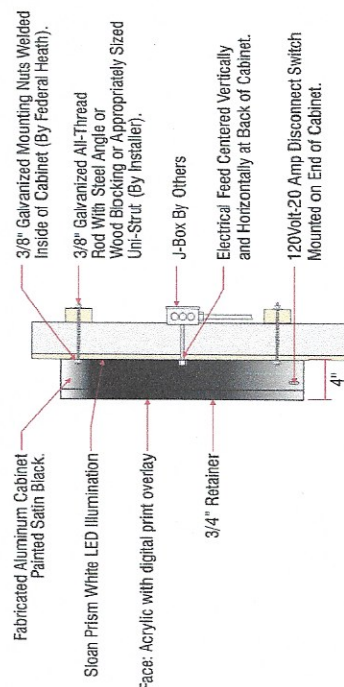
S/F Internally Illuminated Texas Take Out Wall Sign | 7.67 Sq.Ft.
Scale: 1" = 1'-0"

SCOPE OF WORK:
4" DEEP BLACK CABINET w/ 3/4" BLACK RETAINERS
FACE: ACRYLIC WITH DIGITAL PRINT OVERLAY
TO-GO, TRH LOGO, YELLOW ARROW, RED BORDER AND
WHITE LED ILLUMINATION.

MATERIAL FINISH COLORS

AKZO Satin Black	PMS White	PMS 185 Red
Cabinet end Froth Blgd	Copy	Logo Circle & Stripes Blgd.
PMS 555 Green	PMS 122 Yellow	PMS Black
Logo "State"	Logo Circle, Hat & State Border	Logo "Hat"

INSTALLATION OF THIS SIGN SHALL CONFORM TO ARTICLE 800 OF THE CITY OF TEXAS, AND THE CITY OF TEXAS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND REPAIR OF THE SIGN. THE CITY OF TEXAS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE AND REPAIR OF THE SIGN.



Typical Cabinet End View
Not to Scale

NEW & REMODEL CONSTRUCTION
ADEQUATE BEHIND THE WALL BACKING AND PROPERLY SECURED TO THE WALL. THE SIGN SHALL BE INSTALLED TO THE WALL WITH THE FOLLOWING REQUIREMENTS:
• TYPE, SIZE AND NUMBER OF FASTENERS TO BE DETERMINED BY THE INSTALLER.
• FASTENERS SHALL BE OF A TYPE AND SIZE TO BE SUITABLE FOR THE SIGN.
• FASTENERS SHALL BE OF A TYPE AND SIZE TO BE SUITABLE FOR THE SIGN.

INSTALLER REQUIREMENTS FOR SIGNS
IT IS THE RESPONSIBILITY OF THE INSTALLER TO ENSURE THAT THE SIGN IS INSTALLED TO THE WALL WITH THE FOLLOWING REQUIREMENTS:
• THE SIGN SHALL BE INSTALLED TO THE WALL WITH THE FOLLOWING REQUIREMENTS:
• THE SIGN SHALL BE INSTALLED TO THE WALL WITH THE FOLLOWING REQUIREMENTS:
• THE SIGN SHALL BE INSTALLED TO THE WALL WITH THE FOLLOWING REQUIREMENTS:

ELECTRICAL REQUIREMENTS
Total: **T.B.D.** Amps
of 120V, 20A Circuits Req'd: **T.B.D.**
ALL BRANCH CIRCUITS SHALL BE PROTECTED BY A CIRCUIT BREAKER OR FUSE. THE CIRCUIT SHALL BE GROUND AND NEUTRAL AND SHALL NOT BE SHARED WITH OTHER LOADS.

WARRANTY NOTICE
FEDERAL HEATH COMPANY warrants that the sign will be free from defects in material and workmanship for a period of one (1) year from the date of installation. This warranty is void if the sign is damaged by fire, flood, or other causes not within the control of Federal Heath Company. The warranty does not cover damage to the sign caused by misuse, neglect, or improper installation. The warranty is limited to the repair or replacement of the sign at the discretion of Federal Heath Company. The warranty is not transferable.

FEDERAL HEATH SIGN COMPANY
www.FederalHeath.com
160 W. Camel Drive, Suite 236 Carmel, IN 46032
(317) 581-7790 Fax (317) 581-7783

Account Rep: Randy Cearlock
Project Manager: S. Maeser
Drawn By: S. Maeser
Client Approval/Date: _____
Landlord Approval/Date: _____

Regions:
AKZO - Tucson - Jacksonville - Columbus
Chandler - Office Locations - Idaho Falls
Eugene - Jacksonville - Houston - San Francisco
Cypress Creek - Griffin - Milwaukee
Waukegan - Louisville - Indianapolis - Columbus
Albany - Tampa - Daytona Beach - Winter Park

Building Quality Signage Since 1901

Job Number: 23-59746-10
Disc: _____
Sheet Number: 6 of 7
Design Number: 23-59746-10R1

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