

### PLAN CORRECTIONS REPORT (SUP-2022-0007) FOR CITY OF MANASSAS

APPLICATION DATE: 04/18/ COMMENT LETTER DATE: 1	2022	20110 DESCRIPTION: Place of Assembly 22 v.1			
	<b>IAME</b> 3ryan Torres Melgar	COMPANY PRIMERA IGLESIA ADVENTI	ADDRESS S W 9319 west St manassas, VA 20110		
Owner		Primera Iglesia Adventista Ebe			
SUP Plan Review					
Review Item	Status	Status Reviewer			
Economic Development Not Required		ired			
Engineering - Director	Not Requ	ired			
Engineering - Transportatio	n Correction	703	Nyika Roberson-Ramos 703-257-8397 nroberson-ramos@manassasva.gov		
1. Correction: DCSM Article 9					
v. 1 corrective action		: Transportation Details vide sight distance profile onto W parking area. = PLEASE REFER T PROFILE	/est Street from property and O A1.4 FOR ENTRANCE SIGHT DISTAN		
v. 1 corrective action	Please pro	Comments: Transportation Details Please provide proposed driveway pavement detail and related City DCSM typical section(s) for asphalt cut. = PLEASE REFER TO S1.6 FOR DRIVEWAY DETAI THERE'S AN EXISTING DRIVEWAY APRON			
v. 1 corrective action		Comments: Transportation Details Please provide disabled parking space location(s) and distance to building ADA access ramp. = REFER TO A1.4 DETAIL #3 FOR THE PROPOSED DISABLED PARKING SPACE AND THE DISTANCE TO THE BUILDING!			
v. 1 corrective action		Comments: Transportation Details Please provide width and condition of existing sidewalk in front of property. REFER TO A1.4 AND PLAT PLAN FOR THE SIDEWALK WIDTH = 3 FT- SIDEWALK CONDITION IS IN GOOD STATE			
v. 1 corrective action	Comments	Comments: Transportation Details Please provide fire plan showing emergency vehicle access to property. REFER TO A1.3 DETAIL #3 FOR FIRE VEHICLE ACCESS!-			
Engineering - Transportation	n (TIA) Not Requ	ired			
Fire Marshal	Approved Recomme				

Planning & Zoning	Corrections Needed	Christian Samples 703-257-8225 csamples@ci.manassas.va.us	
1. Correction: Planning Comment/Corr	rection		
v. 1 corrective action	Comments: ARB Approval Required A certificate of appropriateness for the proposed ramp is required to be obtained from the Architectural review board. Pursuant to section 130-405,the certificate must be approved prior to the scheduling of hearings for the special use permit. No special use permit hearings will be scheduled until the certificate is approved. A CERTIFICATE OF APPROPRIATENESS WILL BE OBTAINED!		
v. 1 corrective action	Comments: Setbacks The proposed ramp does not comply with the setback requirements of Sec. 130-262 (d). A variance from the Board of Zoning Appeals is required to place the ramp within the setbacks. This variance must be obtained in order to schedule the special use permit hearings. These hearings will not be scheduled until the variance is obtained. A VARIANCE WILL BE OBTAINED THROUGH A HEARING!		
2. Correction: Z.O. 130-204.a, 130-204	4 Table 1,		
v. 1 corrective action	Comments: Minimum off-street parking spaces The proposed plan does not provide the minimum number of required parking spaces. The occupancy for the assembly area is 70 according to the site plan, with 38 of those seats being fixed. The parking requirement is 1 space per 6 seats. 10 spaces have been proposed through a cross parking agreement, providing spaces for up to 60 people. While this meets the requirements for the fixed seating and even for some non-seated patrons, the remaining occupancy of 10 is not adequately parked. An additional 3 spaces is needed. REFER TO A1.3 FOR UPDATED DETAILS - PROPOSED OCCUPANCY WILL BE 44		
Police Department	Not Required		
Prince William County	Not Required		
Utilities - Water & Sewer	Corrections Needed	Sung Chung 703-257-8339 schung@manassasva.gov	
1. Correction: Water/Sewer Comment	/Correction		
v. 1 corrective action	Comments: General Would the proposed use require the fire sprinkler system and the modification of water and sewer service?		

Fire alarm and suppression requirements come out of the building code, the fire code only enforces what is approved by the building dept. If the building guys signed off you should be good to go. ( COMMENT FROM FIRE MARSHALL)

### PRIMERA IGLESIA EBENEZER

### 9319 WEST St, MANASSAS, VA 20110

#### GENERAL NOTES AND SPECIFICATIONS:

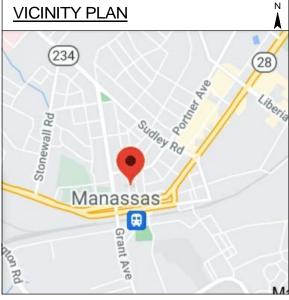
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE OWNER/BUILDER SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST VERIFY IN FIELD (VIF) OF ANY VARIATIONS FROM THESE DRAWINGS.
- 2. THE OWNER/BUILDER IS RESPONSIBLE FOR THE DESIGN AND PROPER FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS. THE OWNER/BUILDER SHALL VERIFY IN FIELD (VIF) AND COORDINATE WITH CONTRACTORS WITH ANY PLAN CHANGES REQUIRED FOR DESIGN AND FUNCTION OF PLUMBING, HVAC AND ELECTRICAL SYSTEMS.
- 3. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE BUILDER/ OWNER, CONTRACTOR OR SUBCONTRACTOR, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. ANY DEFECT DISCOVERED IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THIS OFFICE BY WRITTEN NOTICE BEFORE PROCEED VERIFY IN FIELD (VIF)DING WITH WORK. REASONABLE TIME NOT ALLOWED THIS OFFICE TO CORRECT THE DEFECT SHALL PLACE THE BURDEN OF COST AND LIABILITY FROM SUCH DEFECT UPON THE CONTRACTOR.
- 4. DESIGN CRITERIA: 2018 IBC (SEE GOVERNING BUILDING CODES)
  - ROOF: 30 PSF SNOW LOAD
    - 8 PSF TOP CHORD DL.
    - 7 PSF BOTTOM CHORD DL.
    - 5 PSF NET WIND UPLIFT.
  - FLOOR: 40 PSF LL.
    - 10 PSF TOP CHORD DL.U
    - 5 PSF BOTTOM CHORD DL.

SOIL:1,500 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION. TABLE 403.1(1) MINIMUM WIDTH AND THICKNESS FOR CONCRETE FOOTINGS FOR LIGHT-FRAME CONSTRUCTION FROST DEPTH: 2'-6"

WIND: 115 ULT (115 MPH 3 SEC GUST), EXPOSURE B.

- 5. THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.
- 6. INSTALL POLYISOCYANURATE FOAM TYPE INSULATION AT FLOOR AND PLATE LINES, OPENINGS IN PLATES, CORNER STUD CAVITIES AND AROUND DOOR AND WINDOW ROUGH OPENING CAVITIES.
- 7. INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.
- 8. INSULATE WASTE LINES FOR SOUND CONTROL.
- EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS, PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.
   ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
- ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.
   PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

#### **BUILDING DATA:** SHEET INDEX: COVER SHEET PROJECT ADDRESS: 9319 WEST St, MANASSAS, VA 20110 CS USE OCCUPANCY: A-3 D1.0 DEMO/EXIST. FLC NUMBER OF STORIES: 1 WITH CRAWL SPACE D1.1 EXISTING ELEVAT NON COMBUSTIBLE EXTERIOR WALLS (BRICK WALLS) D1.2 DEMO/EXIST. BUI TYPF. SPRINKLER: PROPOSED FLOO NO A1.0 FIRE ALARM SYSTEM: SMOKE DETECTOR (HARD WIRED, A1.1 DEMO/EXIST. & PF INTERCONNECTED, BATTERY BACK-UP) PROPOSED BUILD A1.2 FRAMING SYSTEM: EXTERIOR AND INTERIOR LOAD BEARING WOOD STUD WALLS. WOOD FLOOR LIFE SAFETY PLAN A1 3 JOIST FLOOR FRAMING AND WOOD ROOF RAFTERS. ALL EXTERIOR AND INTERIOR ADA PARKING PLA WALLS A1.4 FLOOR/ROOF CONST .: 0 HOURS. S1.0 NOTES HABITABLE ROOMS OTHER THAN KITCHENS. STORAGE ROOMS AND LAUNDRY CEILING HEIGHT. S1 1 FOUNDATION PLA ROOMS MUST HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES. KITCHEN, HALLWAYS, BATHROOMS, TOILET ROOMS AND HABITABLE BASEMENTS PROPOSED MEZZ S1.2 FOR USE AS A RECREATION ROOM ONLY MUST HAVE A HEIGHT OF NOT LESS THAN 7 FEET. THE MAXIMUM PROJECTION BELOW THE REQUIRED CEILING HEIGHT FOR S1.3 DETAILS BEAMS AND GIRDERS SPACES NOT LESS THAN 4 FEET ON CENTER SHALL BE 6 S1.4 DETAILS INCHES, FURRED CEILINGS OF NOT LESS THAN 7 FEET ARE PERMITTED AS LONG AS THE REQUIRED CEILING HEIGHT IS PROVIDED IN TWO THIRDS OF THE AREA. SECTION, PLAN VIE S1.5 INSULATION REQ'MNT: ATTIC SPACE: R-49 DRIVEWAY S1.6 EXTERIOR WALLS: R-19+R-5 MECHANICAL GENI M1.0 FLOORS: R-19 BATT INSULATION M1.1 MECHANICAL EQUI M1.2 MECHANICAL SCH M1.3 PROPOSED MECHA M1.4 PROPOSED 3D ME E1.0 PANEL SCHEDULE E1.1 ELECTRICAL RISEF E1.2 PROPOSED LIGHTI E1.3 PROPOSED POWE



# BUILDING FRONT



P 1.0

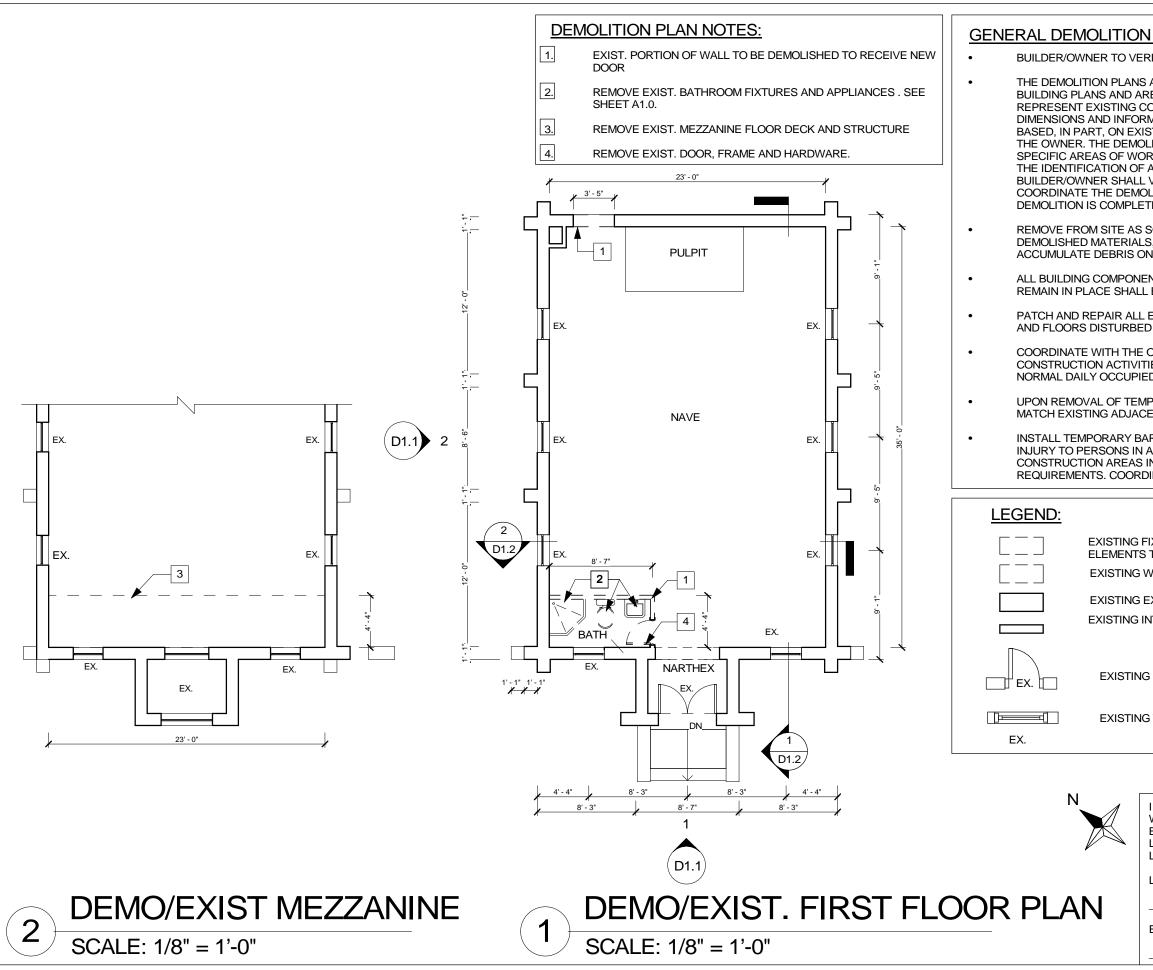
#### **GOVERNING BUILDING CODES:**

2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 VIRGINIA CONSTRUCTION CODE (IBC) 2018 VIRGINIA ENERGY CONSERVATION CODE 2018 VIRGINIA MECHANICAL CODE (IMC) 2018 VIRGINIA PLUMBING CODE (IPC) 2017 NATIONAL ELECTRICAL CODE 2018 VIRGINIA EXISTING BUILDING CODE (IBC) 2018 VIRGINIA MAINTENANCE CODE (IBC)

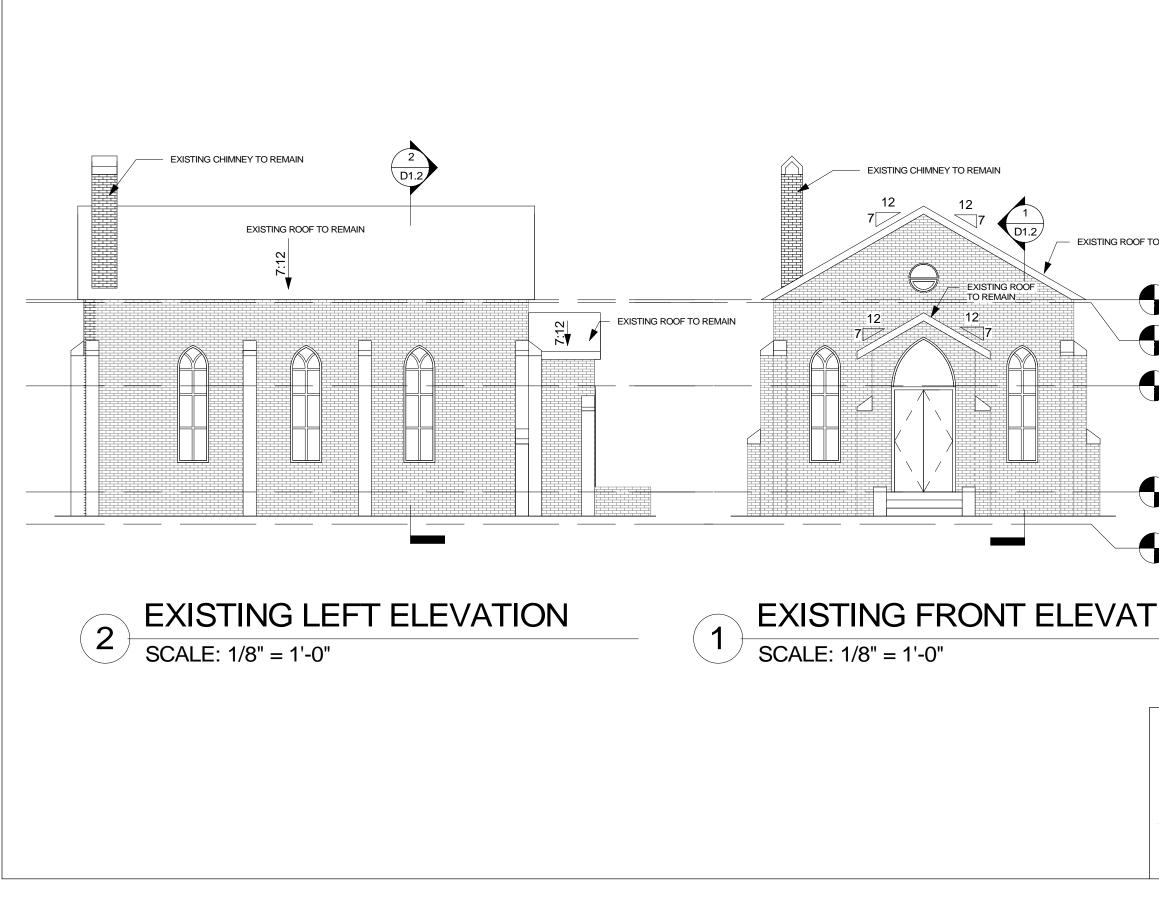
#### SCOPE OF WORK:

INTERIOR & EXTERIOR ALTERATION TO EXISTING BUILDING. INTERIOR RENOVATION TO PROPOSE A CHURCH LAYOUT ACCORDING TO DRAWINGS. AN ADDITION OF A CONCRETE DRIVEWAY WITH AN EXISTING APRON & AN ADDITION OF A NEW ADA ACCESS RAMP IN THE REAR OF THE PROPERTY FOR ADA ACCESSIBILITY!

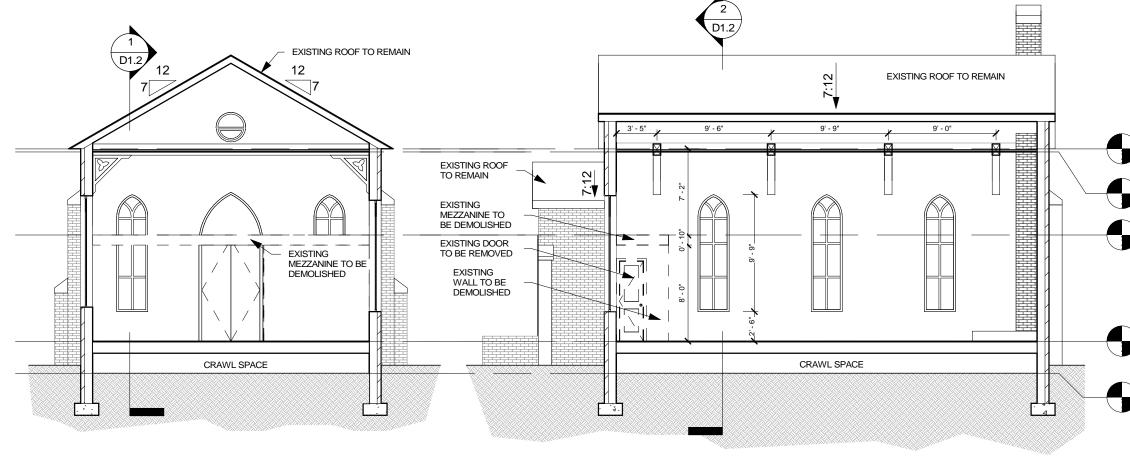
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EXISTING ELEVA	TIONS	GN ON IN DRIVE 20852 94897 956 Imail.cc
DEMO/EXIST. BU	ILDING SECTIONS	BUILD & DESIGN CONSTRUCTION IN 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.co
PROPOSED FLOC	OR PLANS	& DESI RUCTI BBARD LLE MD 240-86 31-821-C gninc@(
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SOON AS PRACTICABLE .S, DEBRIS, AND RUBBISH. DO NOT ON THE FLOOR OR AT THE SITE.	BUILD & DESIGN CONSTRUCTION IN 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.co
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EXPIRATION DATE: 11/30/23	SHEET: D1.0



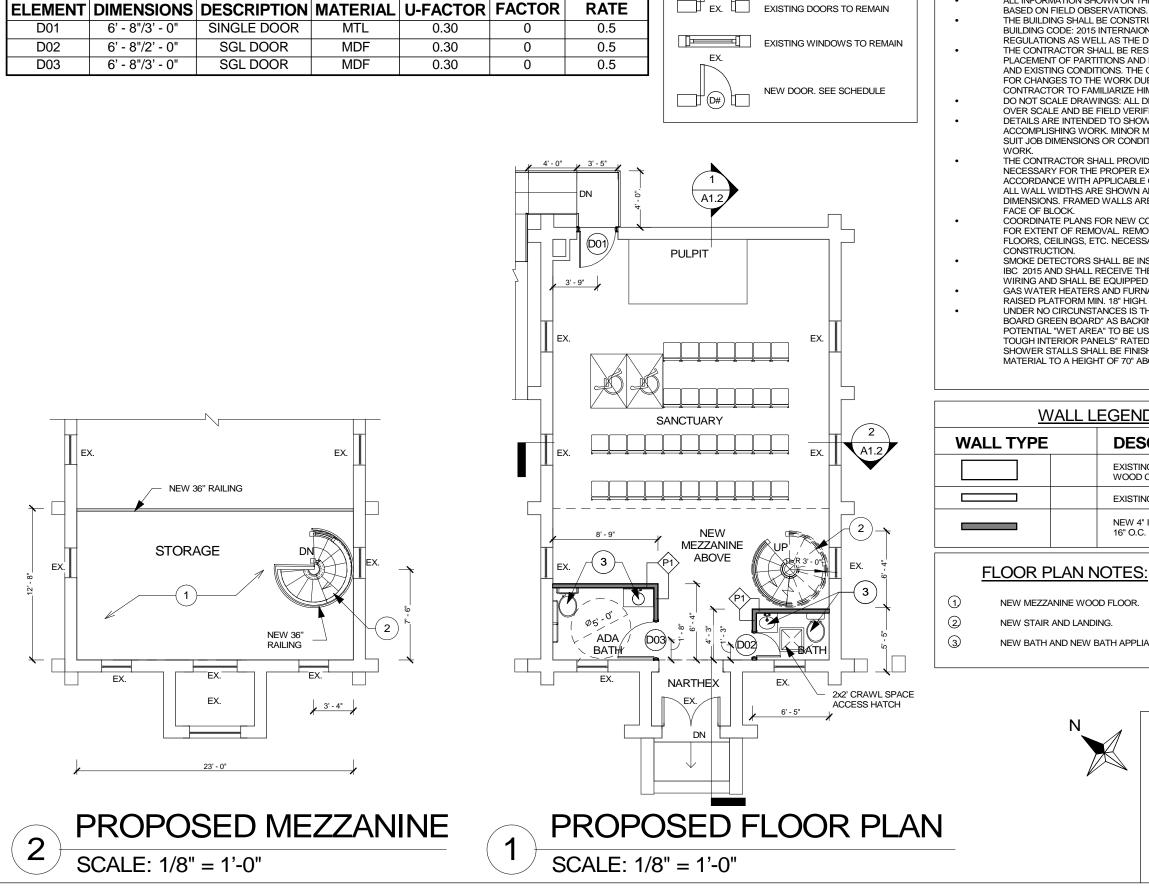
'O REMAIN	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
ROOF 16' - 0" CEILING 15' - 9" MEZZANINE	GARY M. ADAMS Lic. No. 015047
8' - 10"	<b>RA IGLESIA</b> ZER EST St, SAS, VA 20110 RIMERA IGLESIA
0' - 0" CRAWL SPACE -2' - 8"	
ION	LEMARK DATE
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	SHEET: D1.1







	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
ROOF 16' - 0" CEILING 15' - 9" MEZZANINE 8' - 10"	GARY M. ADAMS LIC. NO. 015047
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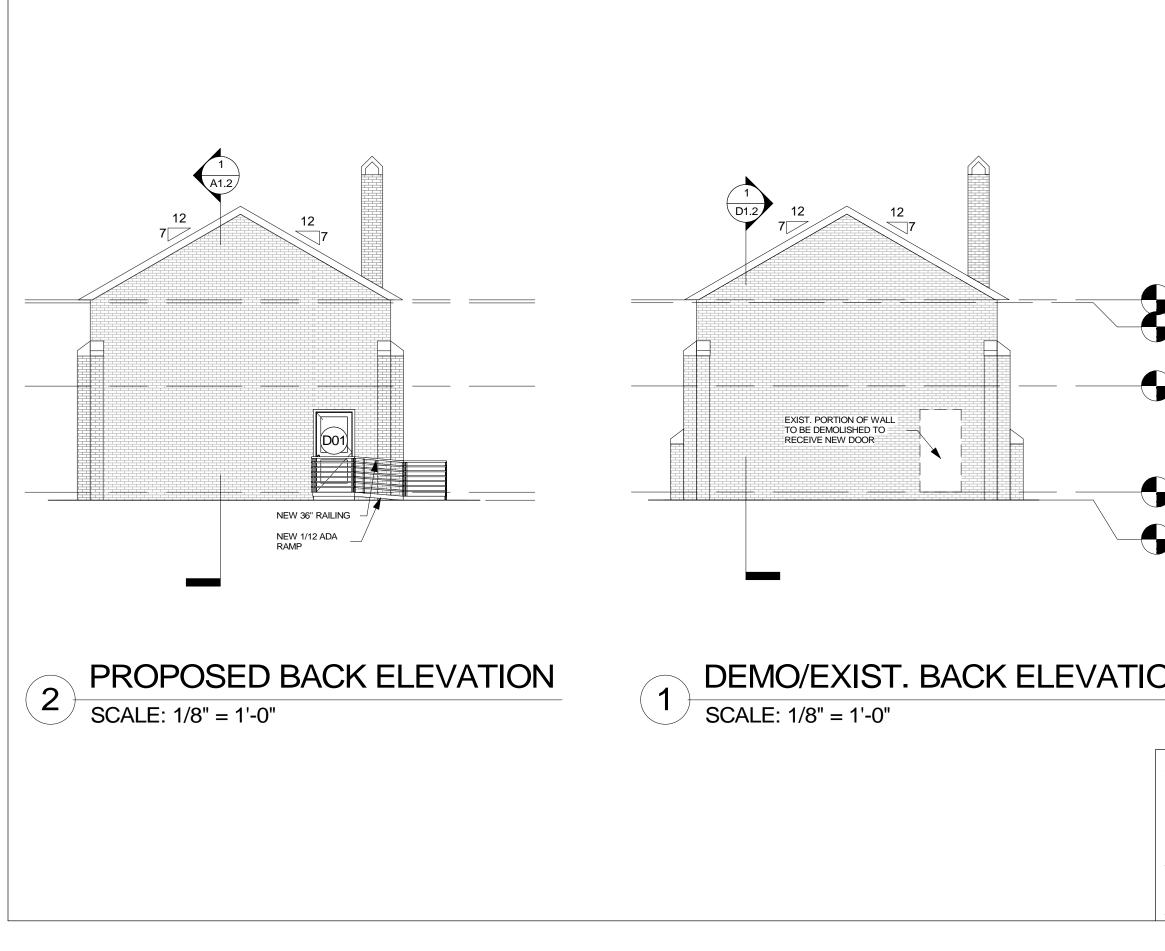
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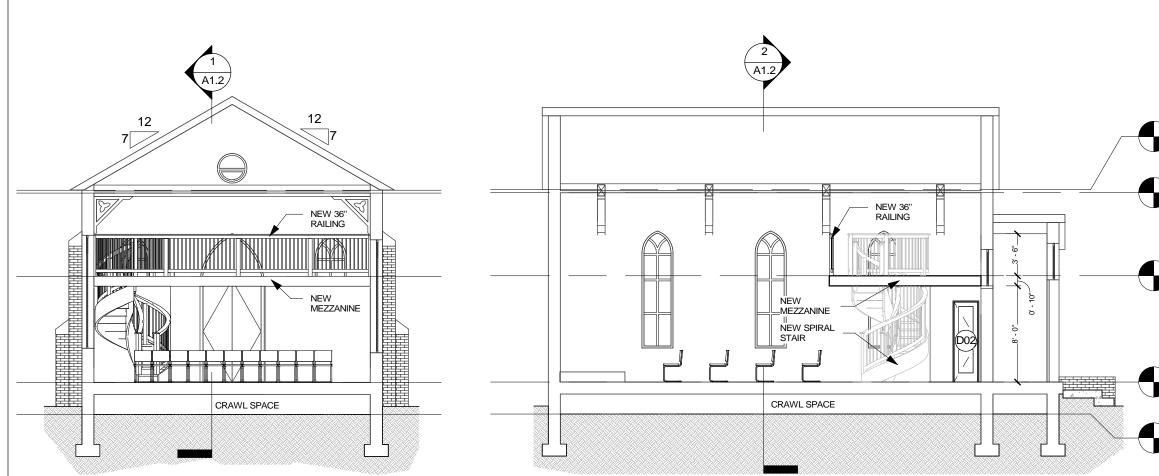
**DOOR SCHEDULE** 

LEGEND:

GENERAL ARC	HITECTU	RAL NOTES	
ALL INFORMATION     BASED ON FIE     THE BUILDING     BUILDING COE     REGULATIONS     THE CONTRAC     PLACEMENT C	FION SHOWN ON T LD OBSERVATION SHALL BE CONST DE: 2015 INTERNAU S AS WELL AS THE CTOR SHALL BE RE DF PARTITIONS AN	TY DIMENSIONS OF AS-BUILT CONDITIONS. THE CONSTRUCTION DOCUMENTS ARE S. RUCTED IN FULL COMPLIANCE WITH DNAL BUILDING CODE, ORDINANCES AND DRAWINGS AND SPECIFICATIONS. SPONSIBLE FOR THE ACCURATE D FIXTURES AND VERIFY ALL DIMENSIONS E OWNER SHALL NOT BE RESPONSIBLE	
CONTRACTOR DO NOT SCAL OVER SCALE / DETAILS ARE ACCOMPLISHI SUIT JOB DIMI WORK. THE CONTRAC NECESSARY F ACCORDANCE ALL WALL WIL DIMENSIONS. FACE OF BLOO COORDINATE FOR EXTENT (	PLANS FOR NEW OF REMOVAL. REM INGS, ETC. NECES	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com	
SMOKE DETECTION     IBC 2015 AND     WIRING AND S     GAS WATER H     RAISED PLATF     UNDER NO CII     BOARD GREEI     POTENTIAL "W     TOUGH INTER     SHOWER STA	CTORS SHALL BE I SHALL RECEIVE T SHALL BE EQUIPPE IEATERS AND FUR ORM MIN. 18" HIG RCUNSTANCES IS N BOARD" AS BAC (ET AREA" TO BE U IOR PANELS" RATI LLS SHALL BE FINI	NSTALLED AT LOCATIONS REQUIRED BY HEIR PRIMARY POWER FROM BUILDING ED WITH A BATTERY BACK UP. INACES SHALL BE LOCATED ON A RIGID H. THE USE OF WATER RESISTANT GYP, KING FOR TILE OR WALL PANELS IN ANY JSED. USE ONLY "FIBEROCK BRAND AQUA- ED FOR MOISTURE & MOLD RESISTANCE. SHED WITH A HARD, NON ABSORBENT ABOVE THE DRAIN INLET.	GARY M. ADAMS Lic. No. 015047
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_	N	I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.: 015047 	ISSUED: 24/1/2023 11:10:24 SCALE: AS NOTED DRAWN BY: J.P. CHECKED BY: ED PROJECT NO. 21-499-ED PROPOSED FLOOR PLANS SHEET: A1.0



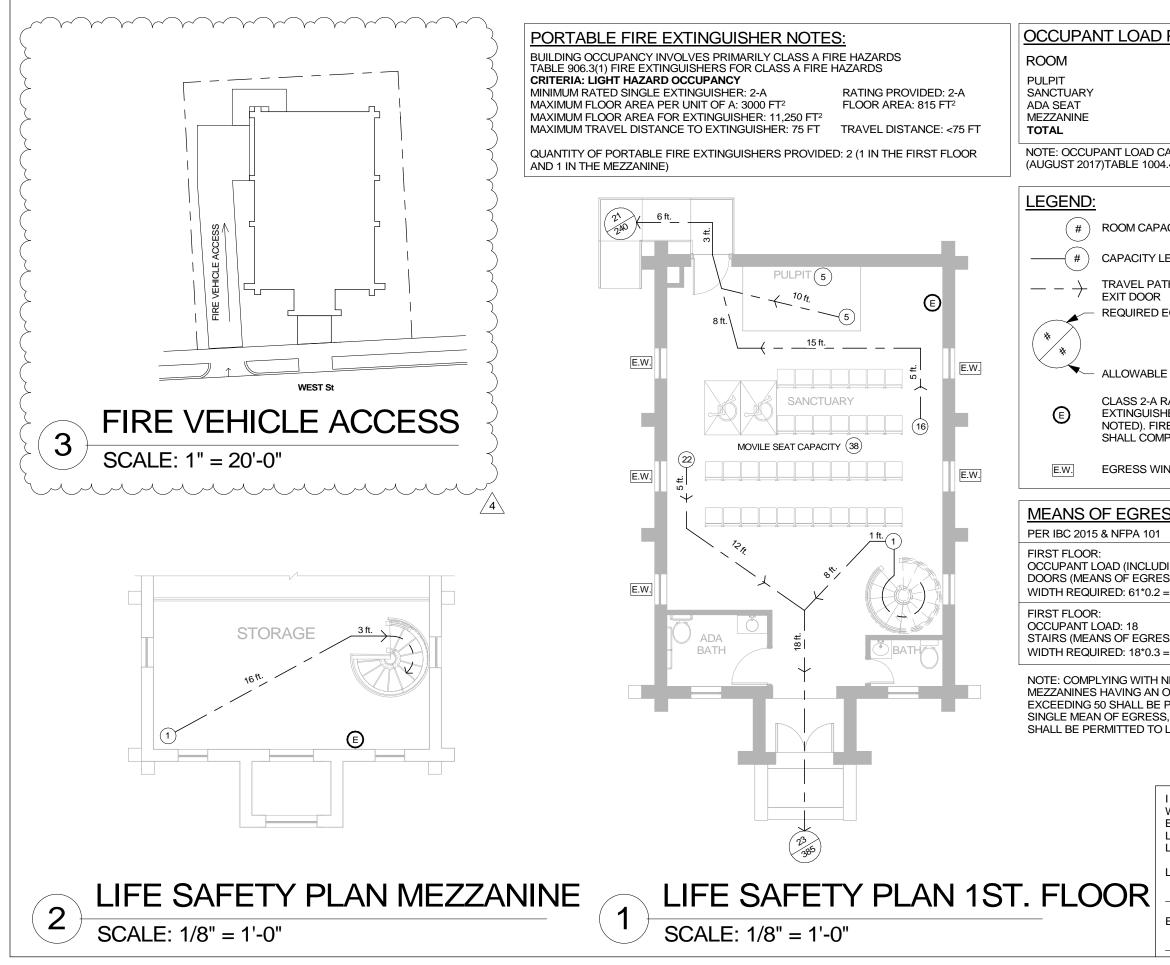
ROOF	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
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0 - 10	
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EXPIRATION DATE: 11/30/23	BACK ELEVATIONS
	SHEET: A1.1



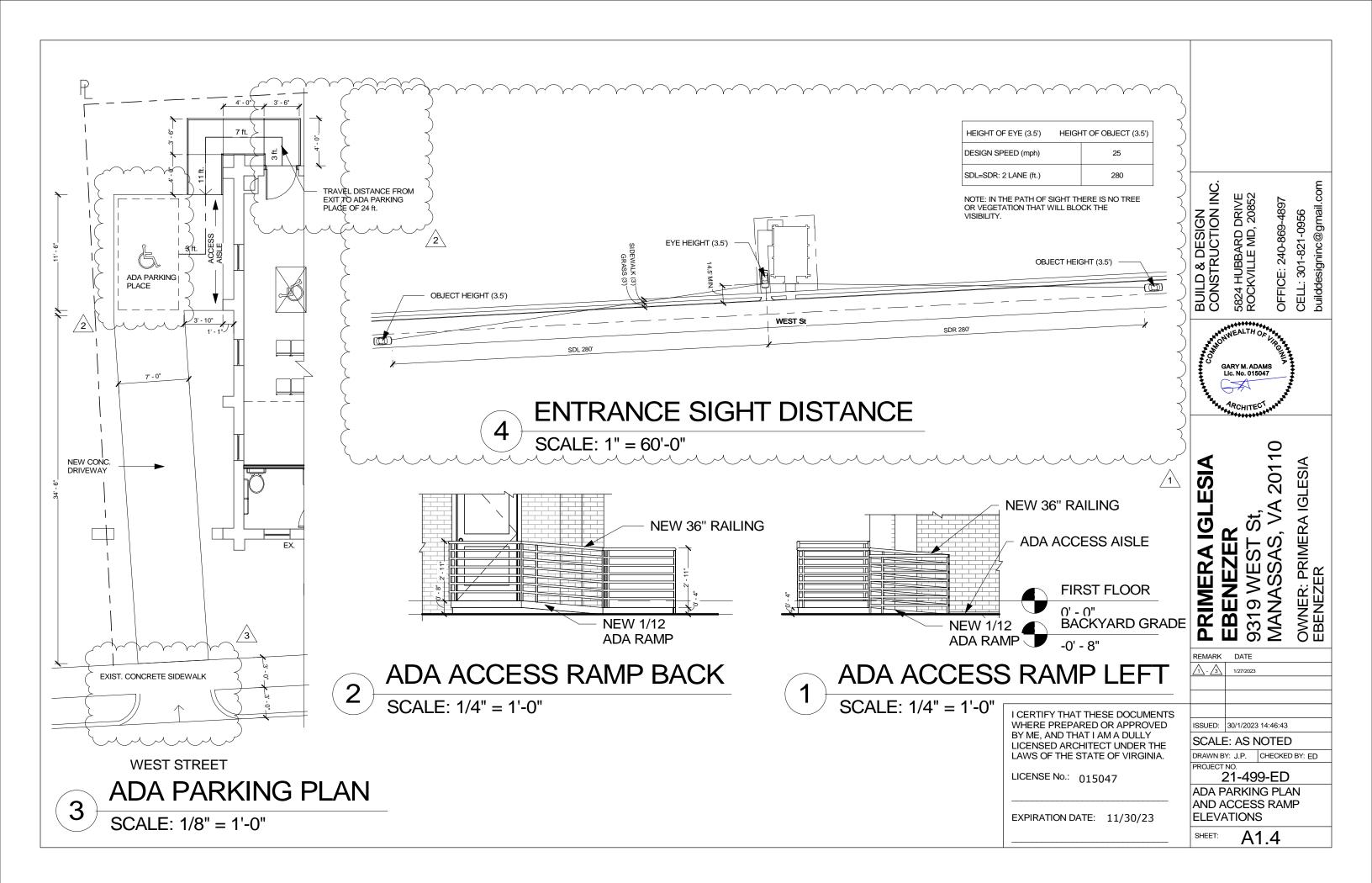




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ROOF 16' - 0" CEILING 15' - 9"	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
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EXPIRATION DATE: 11/30/23	SHEET: A1.2



POR FIXED SEAT	
NO OF OCCUPANTS	
5 36	
2	
44	
CALCULATIONS PER IBC 2018 4.4	<u>y</u> mon <u>e</u>
	N IN
ACITY PER IBC 2018 SECTION 1004	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
LEAVING ROOM	& C TRL JBB/ JBB/ ILLE ILLE 01-8 01-8
TH & DISTANCE TO NEAREST	ILD NS NS NS ILD Ades
EGRESS KITH PER EXIT	puile C EI 282 CO E
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E OCCUPANT LOAD PER EXIT	ON CARY M. ADAMS
RATED PORTABLE FIRE HER (UNLESS OTHERWISE RE EXTINGUISHER INSTALLATION IPLY WITH NFPA 10	Lic. No. 015047
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INDOW IN CASE OF EMERGENCY	0
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DING MEZZANINE): 61 SS CAPACITY FACTOR 0.2")	IGLESIA IR I St, S, VA 201 <sup>°</sup> ERA IGLESIA
= 12.2" WIDTH PROVIDED: 48"	
SS CAPACITY FACTOR 0.3") = 5.4" WIDTH PROVIDED: 36"	MER INEZ IASS/ IASS/ EZER
NFPA 101 SECTION 13.2.4.5 OCCUPANCY LOAD NOT PERMITTED TO BE SERVED BY A S, AND SUCH MEAN OF EGRESS	PRI 9319 MAN OWNE EBEN
LEAD TO THE FLOOR BELOW	REMARK         DATE           4         1/27/2023
I CERTIFY THAT THESE DOCUMENTS	
WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY	ISSUED: 27/1/2023 15:13:19
LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF VIRGINIA.	SCALE: AS NOTED           DRAWN BY: J.P.         CHECKED BY: ED
LICENSE No.: 015047	PROJECT NO. 21-499-ED
01307/	LIFE SAFETY PLANS
EXPIRATION DATE: 11/30/23	
	SHEET: A1.3



## CARPENTRY:

- ALL LUMBER NOT SPECIFICALLY NOTED TO BE D.F. #2 OR ٠ BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESSURE TREATED UNLESS AN APPROVED BARRIER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY (OR ENGINEER APPROVED EQUAL) AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. HANGERS NOT SHOWN SHALL BE SIMPSON HU OF SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE SIMPSON Z-MAX HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS ALL FRAMING NAILS SHALL BE COMMON NAILS. OR HOT DIPPED GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE R602.3(1).
- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 56, "STRUCTURAL GLUED LAMINATED TIMBER" AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AITC 117. EACH MEMBER SHALL BEAR AN AITC OR APA-EWS IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END SEALER SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN EITHER SHOP OR FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON EG. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

#### COMBINATION:

٠

DEPTH	SYMBOL	SPECIES	USE
ALL	24F - V4	DF/DF	(SIMPLE SPAN)
ALL	24F - V8	DF/DF	(CONT. OR

CANTILEVER) PREMANUFACTURED WOOD JOISTS: PREMANUFACTURED WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON

WOOD JOISTS SHALL BE OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS, MANUFACTURED BY THE TRUSS JOIST COMPANY, OR AN ENGINEER APPROVED EQUAL. PROVIDE BRIDGING IN CONFORMANCE WITH THE MANUFACTURERS RECOMMENDATIONS. JOISTS AND BRIDGING SHALL BE CAPABLE OF RESISTING THE WIND UPLIFT NOTED ON THE DRAWINGS.

## CARPENTRY:

- LUMBER SPECIES:
  - A. POSTS, BEAMS, HEADERS, JOISTS, AND RA DF-#2
  - B. EXPOSED ARCH BEAMS TO BE DF-#1 OR BI
  - C. SILLS, PLATES BLOCKING, AND BRIDGING
  - D. ALL STUDS TO BE DF#2 OR BETTER.
  - E. ALL WOOD IN CONTACT WITH CONCRETE S PRESSURE TREATED.

### NOTES:

- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OF THE BUILDER/ OWNER, CONTRACTOR OR SUBCO FAILURE OF ANY OF THEM TO CARRY OUT WORK ACCORDANCE WITH THE CONSTRUCTION DOCUM STRUCTURE DETAIL NOT CERTIFIED BY A STRUC PROFESSIONAL
- GLU LAM HANGERS NOT SHOWN SHALL BE SIMPS (IF APLICABLE).
- IN CASE THERE IS ANY EXISTING JOIST ON TOP T SERVE AS A SUPPORT FOR THE SCREEN PORCH BE RELOCATED TO EACH SIDE OF THE POST, MAIL SEPARATION OF THE EXISTING JOISTS.

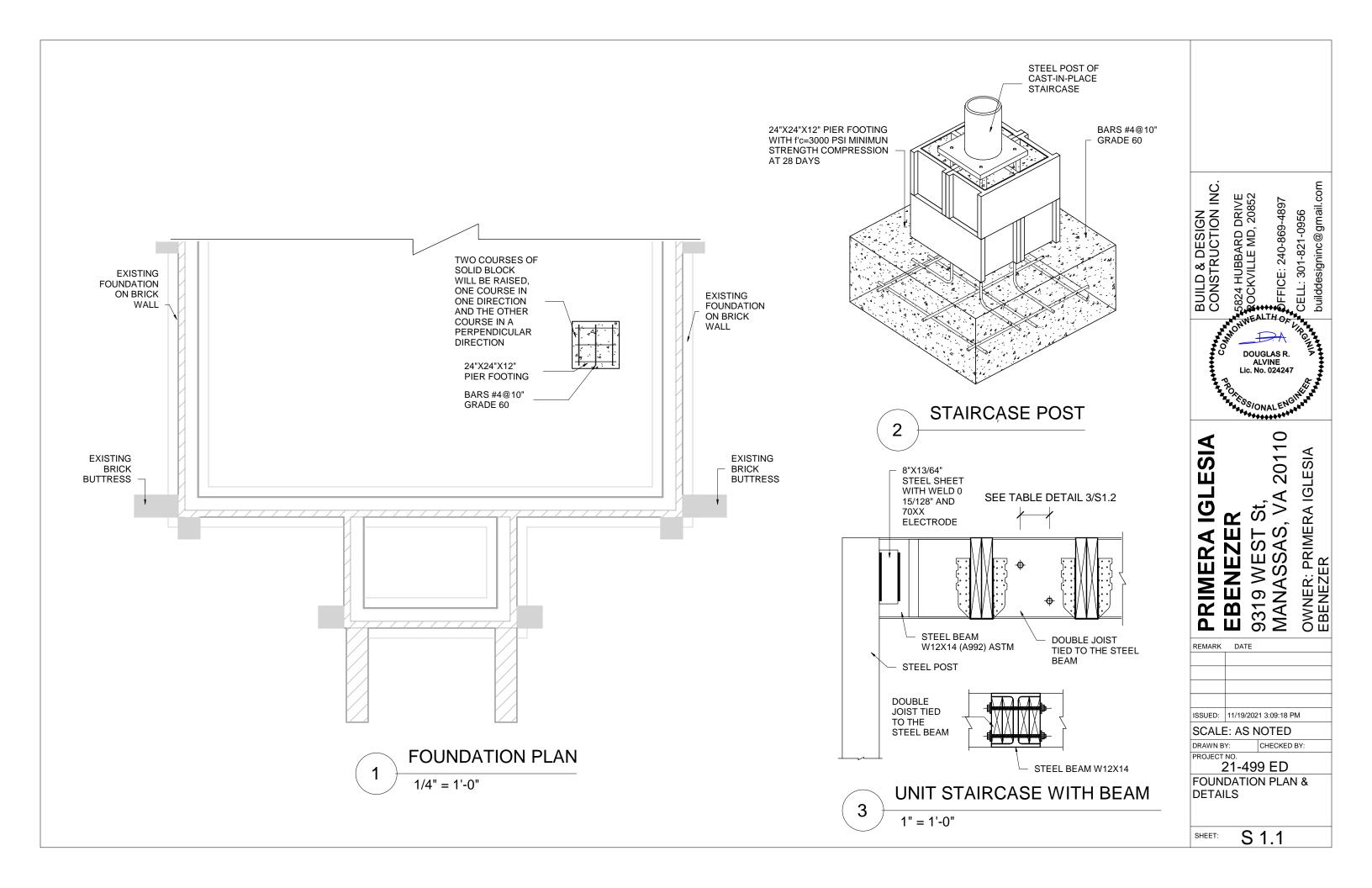
### **ROOF FRAMING NOTES:**

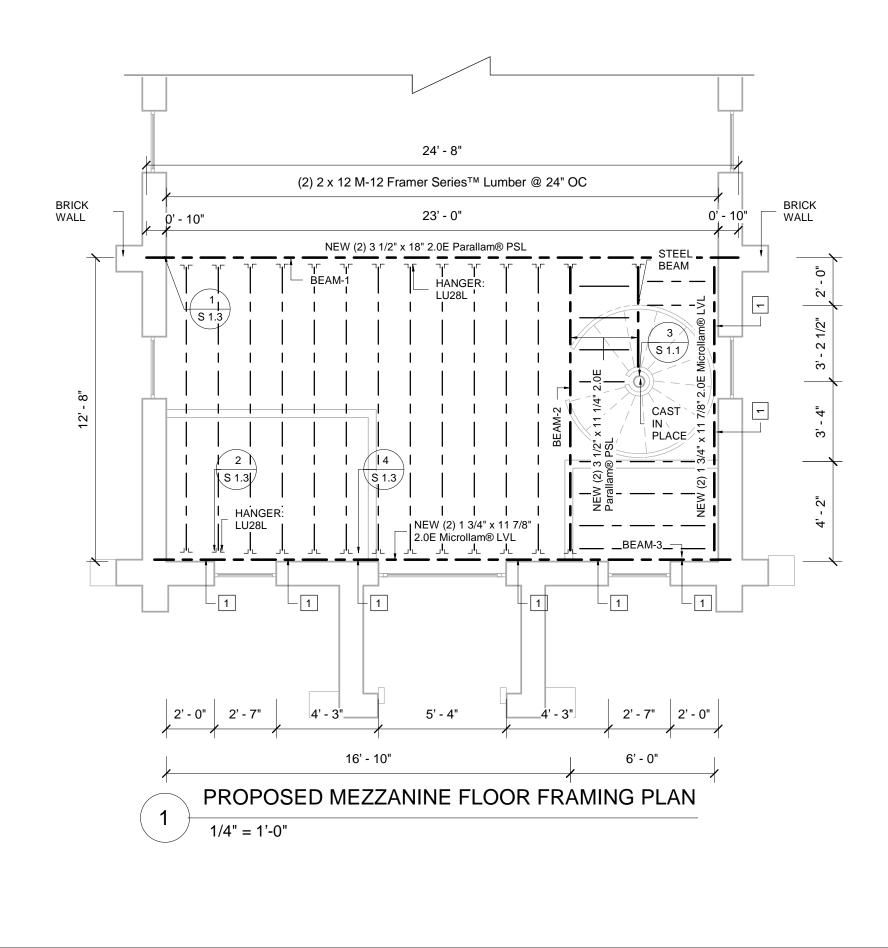
- ROOF: 100 PSF LIVE LOAD. \*12 PSF DEAD LOAD.
- SUB-FLOOR SHEATHING SHALL BE H 5/8". SHEATI REQUIRED FOR ANY LONGITUDINAL(DRAG) FORC
- DEFLECTION MEETS L/480 LIVE AND L/360 TOTAL
- FASTEN RATED SHEATHING TO ONE FACE OF TH

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AFTERSTODE					
ETTER TO BE DF-#2.		U.			Ę
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SHALL BE		BUILD & DESIGN CONSTRUCTION INC.	5824 HUBBARD DRIVE ROCKVILLE MD, 20852	CFFICE: 240-869-4897	CELL: 301-821-0956 builddesigninc@gmail.com
		SUC SUC	3BAR LE N	240-8	1-821 Ininc(
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HING IS CES.		REMARK	DATE		
LOAD.					
IIS FRAME.					
			11/19/2021 E: AS NO		
FY THAT THESE DOCUMENTS V RED OR APPROVED BY ME, AND ULLY LICENSED ENGINEER UND	D THAT I	DRAWN B	Y: C	HECKEL	
OF THE STATE OF VIRGINIA.			21-499	ED	
E No.: 024247			0		
TION DATE: 6-30-23		SHEET:	S	1 0	





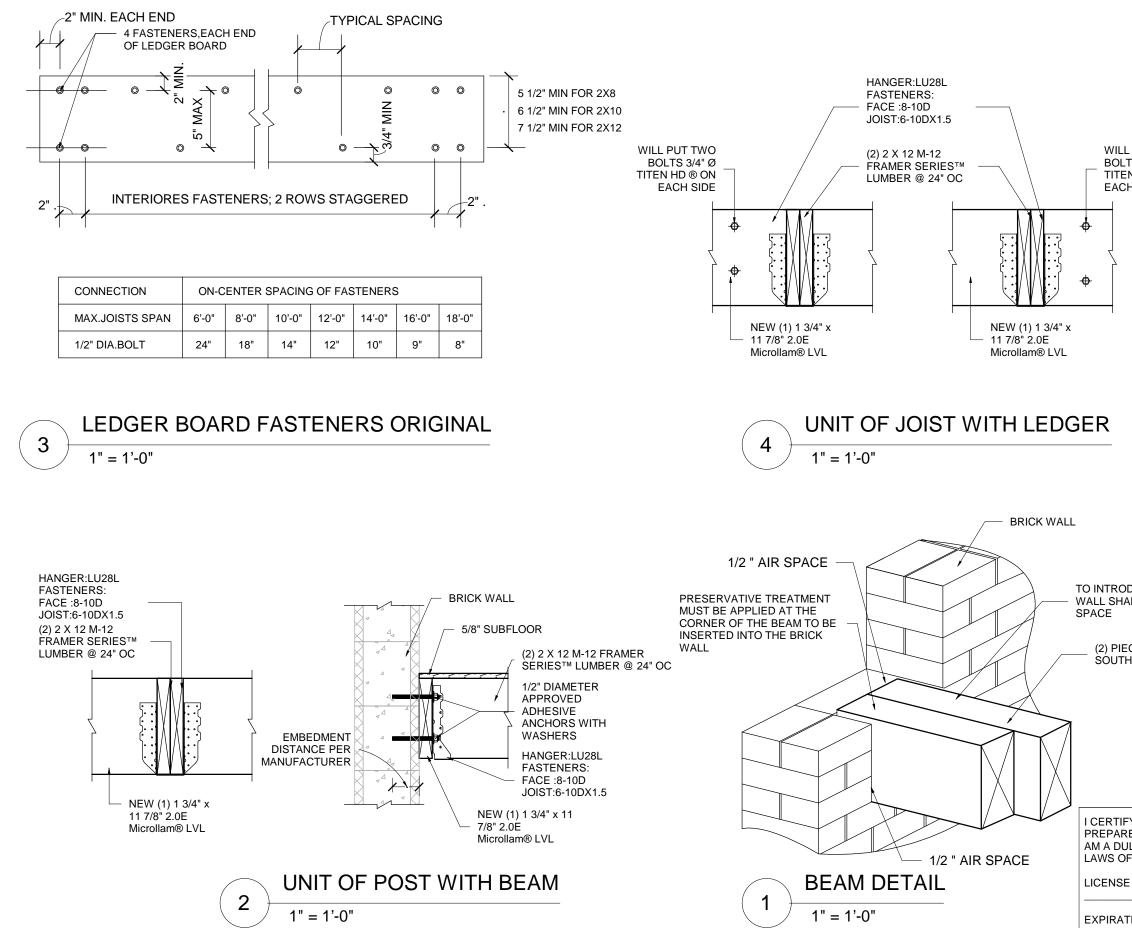
### NOTES:

THE MOST STRESSED ELEMENTS ARE IDENTIFIED IN THE PLANT IN CASE OF NO REFLECTING ANOTHER INDICATION , USE THE SAME TYPE OF ELEMNT FOR THE ENTIRESTRUCTURAL DESIGN.

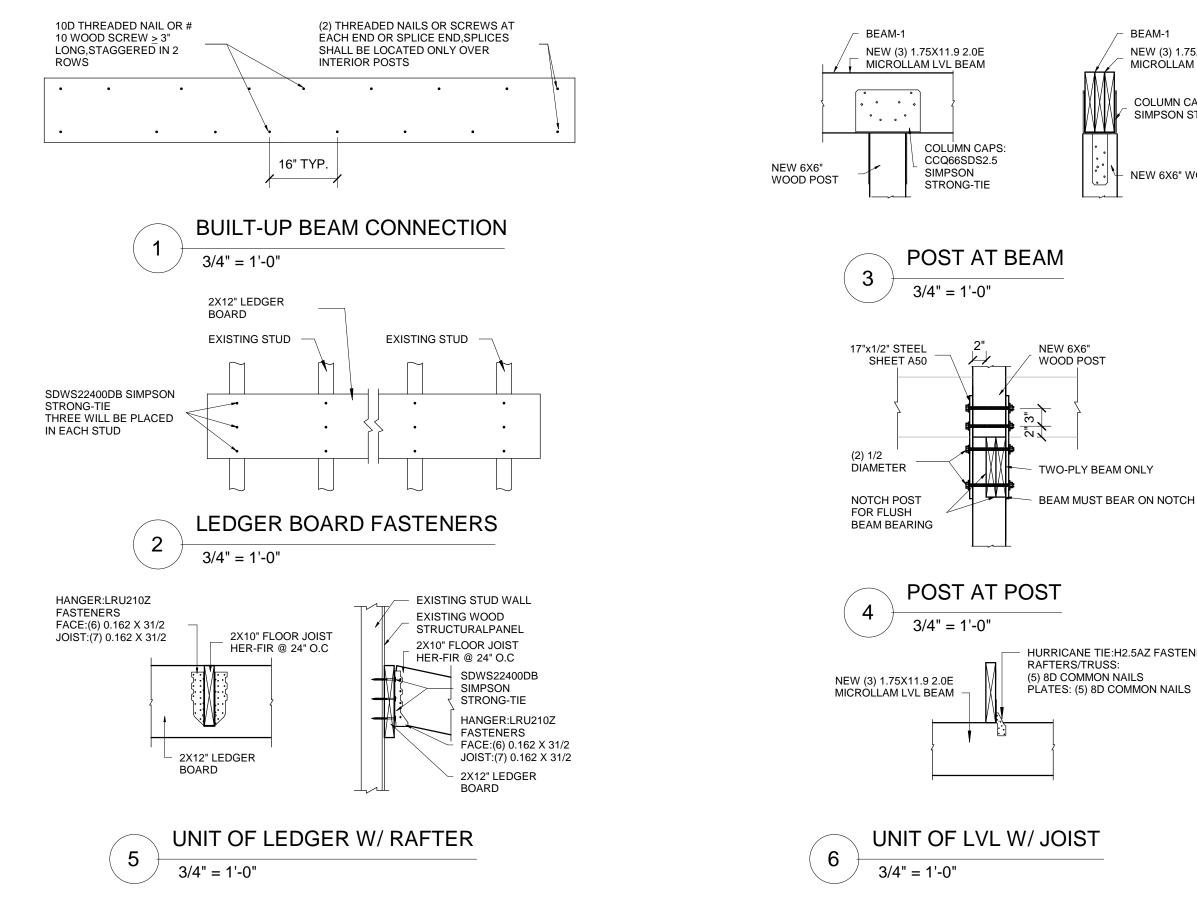
BEAM - # IDENTIFY THE BEAM IN CALCULATIONS

1

builddesigninc@gmail.com BUILD & DESIGN CONSTRUCTION INC. CELL: 301-821-0956 WILL PUT TWO BOLTS 3/4" Ø TITEN HD ® NNEALTHOR DOUGLAS R. ALVINE Lic. No. 024247 SS/ONALENG VA 20110 **PRIMERA IGLESIA** OWNER: PRIMERA IGLESIA EBENEZER Ś 9319 WEST S MANASSAS, \ EBENEZER REMARK DATE ISSUED: 11/19/2021 3:10:59 PM SCALE: AS NOTED I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I DRAWN BY: CHECKED BY: AM A DULLY LICENSED ENGINEER UNDER THE PROJECT NO. LAWS OF THE STATE OF VIRGINIA. 21-499 ED PROPOSED MEZZANINE LICENSE No.: 024247 FLOOR FRAMING PLAN EXPIRATION DATE: 6-30-23 S 1.2 SHEET:



LL PUT TWO NLTS 3/4" Ø EN HD ® ON CH SIDE	BUILD & DESIGN CONSTRUCTION INC. CONSTRUCTION INC. 5824 HUBBARD DRIVE 5824 HUBBARD DRIVE 5824 HUBBARD DRIVE 3826 3826 3826 3826 3826 3826 3826 3826
	DOUGLAS R. ALVINE Lic. No. 024247
	A IGLESIA ZER ST St, AS, VA 20110 timera iglesia
ODUCE 4" INTO BRICK HALL LEAVE 1/2" AIR IECE 4X10" LBB BEAM THERN PINE NO.1	PRIMERA EBENEZE 9319 WES MANASSA OWNER: PRIN EBENEZER
	REMARK DATE
TFY THAT THESE DOCUMENTS WHERE RED OR APPROVED BY ME, AND THAT I DULLY LICENSED ENGINEER UNDER THE OF THE STATE OF VIRGINIA. SE No.: 024247	SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499 ED DETAILS
ATION DATE: 6-30-23	SHEET: S 1.3

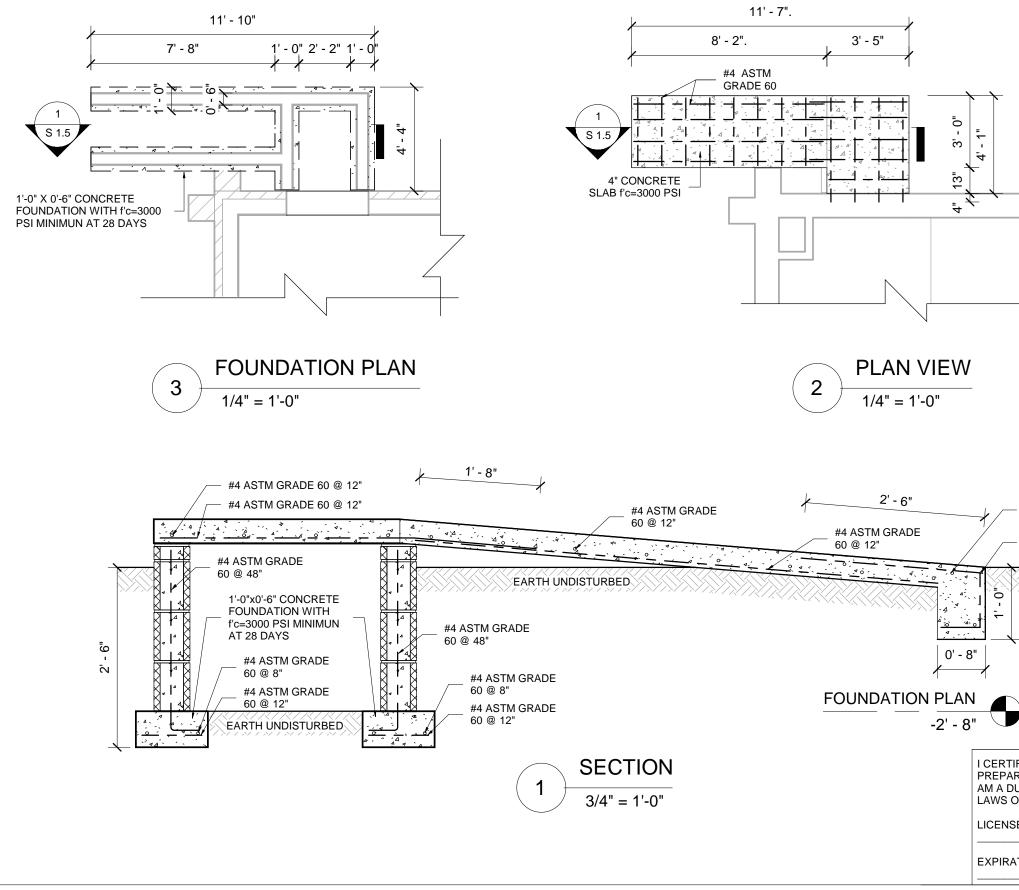




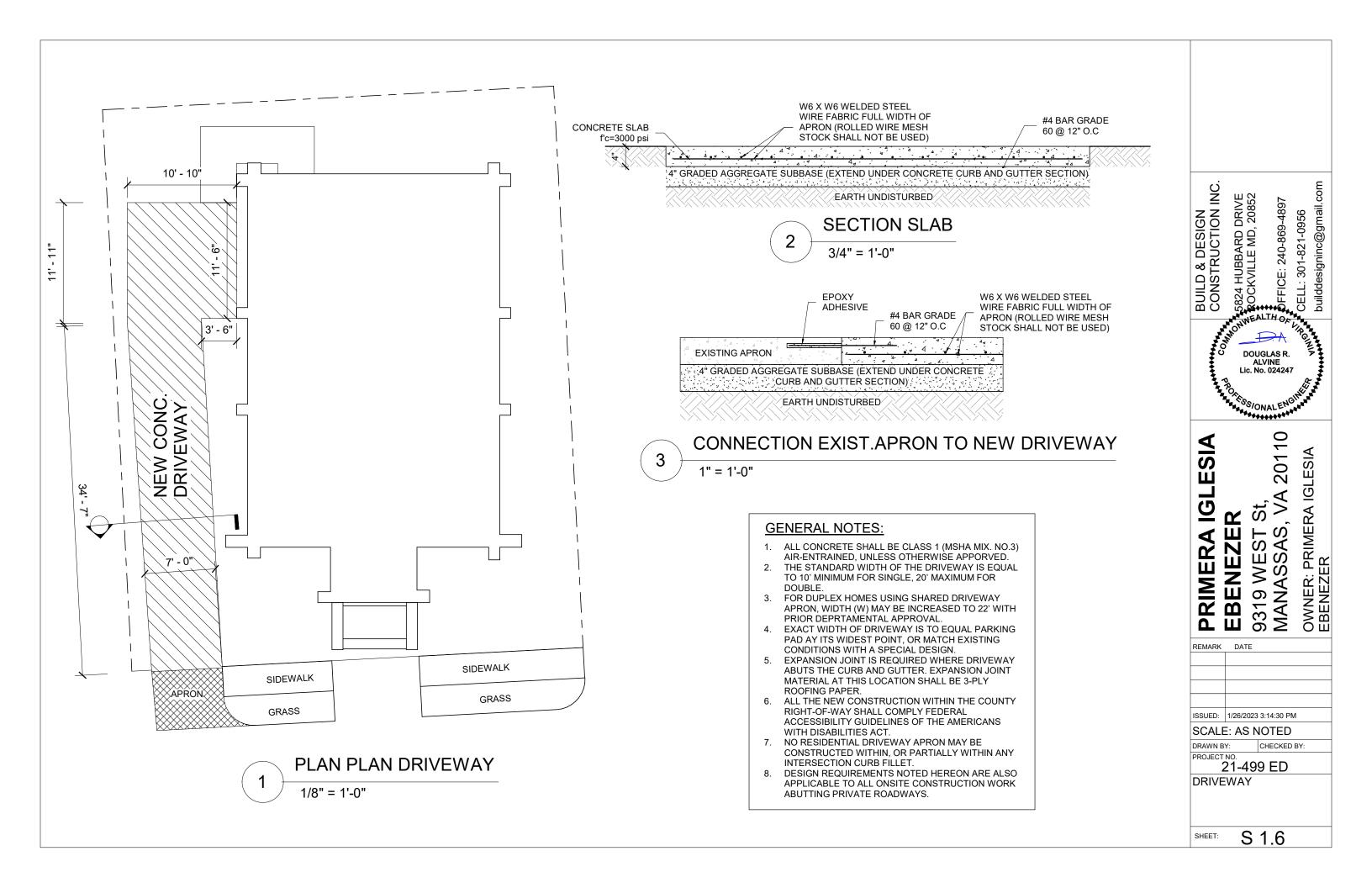
builddesigninc@gmail.com

BEAM-1

HURRICANE TIE:H2.5AZ FASTENERS



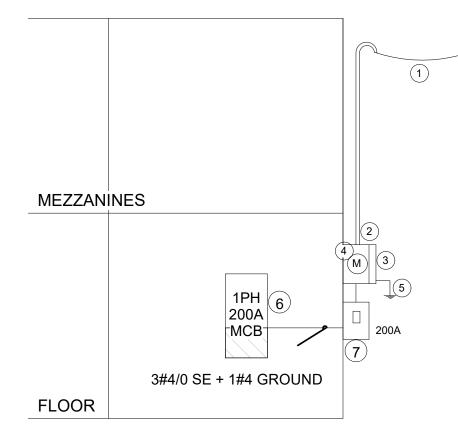
				1
	BUILD & DESIGN CONSTRUCTION INC.	AL		CELL: 301-821-0956 builddesigninc@gmail.com
		ROKE		INE
		SO/ON	VALEN"	
#4 ASTM GRADE 60 @ 18" #4 ASTM GRADE 60 @ 12"	PRIMERA	<b>EBENEZ</b> 9319 WES	MANASSAS, VA 20110	OWNER: PRIMERA IGLESIA EBENEZER
	REMARK	DATE		
	ISSUED:	30/6/2022 2 E: AS NO		)
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024247	SECT	ION,PLA	N VIE	
TION DATE: 6-30-23				



	Branch Pan	el:										
	Loca Supply Fi Mount	tion: NARTHEX 24			Volts: Phases: Wires:				A.I.C. Rating: 10 k Mains Type: Mains Rating: 200 A MCB Rating: 200 A			
Notes:			_									1
скт	Circuit Description	Wire Size	Trip	Poles		A		в	Poles	Trip	Wire Size	Circuit Descript
1	Lighting	1-#14, 1-#14, 1-#14	15 A	1	462 VA	100 VA			1	15 A	1-#14, 1-#14, 1-#14	Emergency Light.
3	Receptacle	1-#12, 1-#12, 1-#12	20 A	1			360 VA	900 VA	1	20 A	1-#12, 1-#12, 1-#12	Receptacle
5	Receptacle	1-#12, 1-#12, 1-#12	20 A	1	540 VA	4750 VA			2	50 A	2-#6, 1-#6, 1-#10	HVAC
7	HVAC	2-#6, 1-#6, 1-#10	50 A	2			4750 VA	4750 VA				
9					4750 VA	360 VA			1	20 A	1-#12, 1-#12, 1-#12	Receptacle
11	EXIST. WATER HEATER	2-#10, 1-#10, 1-#10	30 A	2			2500 VA	360 VA	1	20 A	1-#12, 1-#12, 1-#12	Receptacle
13					2500 VA							
15												
17												
19												
21												
23												
25												
27												
29					1		(0.00					
				tal Load:				20 VA				
			101	al Amps:	112	2 A	11	4 A				
	assification		Connect		De	mand Fa			ed Deman	d	Pai	nel Totals
HVAC			1900			100.00%			000 VA			
	- General		361			125.00%			51 VA		Total Conn. Loa	
Lighting ·	- Exterior		105	VA		125.00%	,	13	31 VA		Total Est. Demar	nd: 27174 VA
Other			100	VA		100.00%	)	10	00 VA		Total Con	<b>n.:</b> 113 A
Recepta	cle		2520	) VA		100.00%	,	25	20 VA		Total Est. Demar	nd: 113 A
Power			5000	) VA		100.00%	)	50	00 VA			
Total Loa	ad		0 \	/Δ		0.00%			) VA			

Otion         CKT           2         4           6         8           40         10		BUILD & DESIGN CONSTRUCTION INC.	5824 HUBBARD DRIVE ROCKVILLE MD, 20852	OFFICE: 240-869-4897	CELL: 301-821-0956 builddesigninc@gmail.com
10 12 14 16 18 20 22 22 24		COS	DOUG Lic. No.	INE	J RGINIA ASS
24 26 28 30		<b>PRIMERA IGLESIA</b>	<b>EBENEZ</b> 9319 WE	MANASSAS, VA 20110	OWNER: PRIMERA IGLESIA EBENEZER
I CERTIFY THAT TH	ESE DOCUMENTS	REMARK	DATE		
WHERE PREPARED BY ME, AND THAT I LICENSED ENGINED LAWS OF THE STAT	OOR APPROVED AM A DULLY ER UNDER THE	DRAWN B		DTED HECKED -ED	) BY:
EXPIRATION DATE: 6/30		SHEET:	E 1	0	

	ELECTRICAL RISER NOTES:
1.	EXIST., 200A INCOMING SERVICE 120/240v, 1Ø.
2.	EXIST., 3W, FROM POWER COMPANY
3.	EXIST., 200A 120/240, 1Ø, 3W CT CABINET.
4.	EXIST., METER CENTER.
5.	EXIST., GROUNDING.
6.	TENANT PANEL MCB120/240, 1Ø, 3W, SEE PANEL
SCHE	EDULE.
7.	EXIST., BUILDING DISCONNECTING MEANS



### ELECTRICAL RISER NOTES

NOT SCALE

## GENERAL NOTES:

1. COMBINE NO MORE THAN 6 CURRENT CARRYING CONDUCTORS IN RUN FROM PANEL.

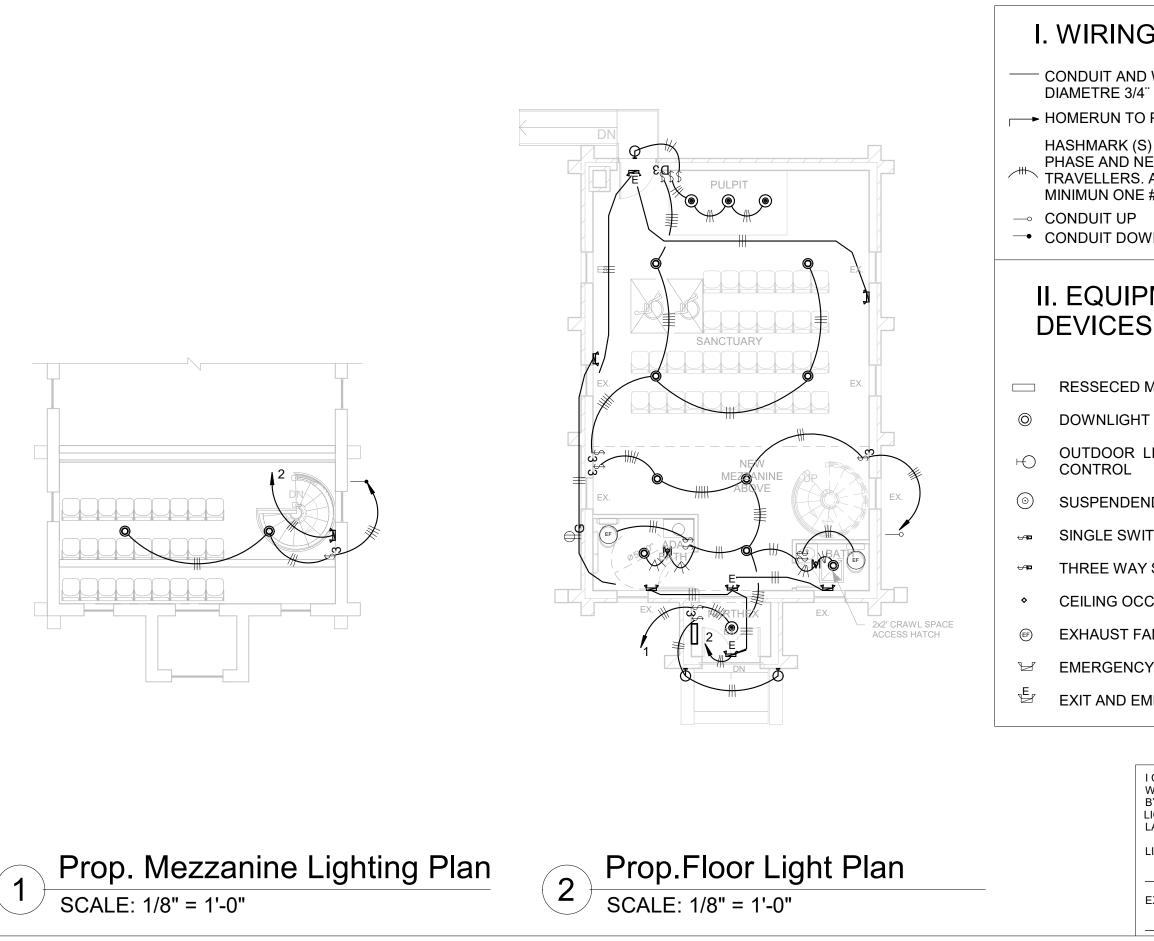
2. EACH SINGLE PHASE BRANCH SHALL BE PROVIDE WITH PHASE, DI AND GROUND CONDUCTOR.

3. ADJUST AS NECESSARY TO BALANCE PANEL BOARD CONNECTED 4. CONTRACTOR TO VERIFY EXTENT OF EXISTING CONSTRUCTION IN SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY AS-BUILT CONE THOSE SHOWN OR INFERRED FROM THE CONSTRUCTION DOCUMEN COMMENCEMENT OF WORK.

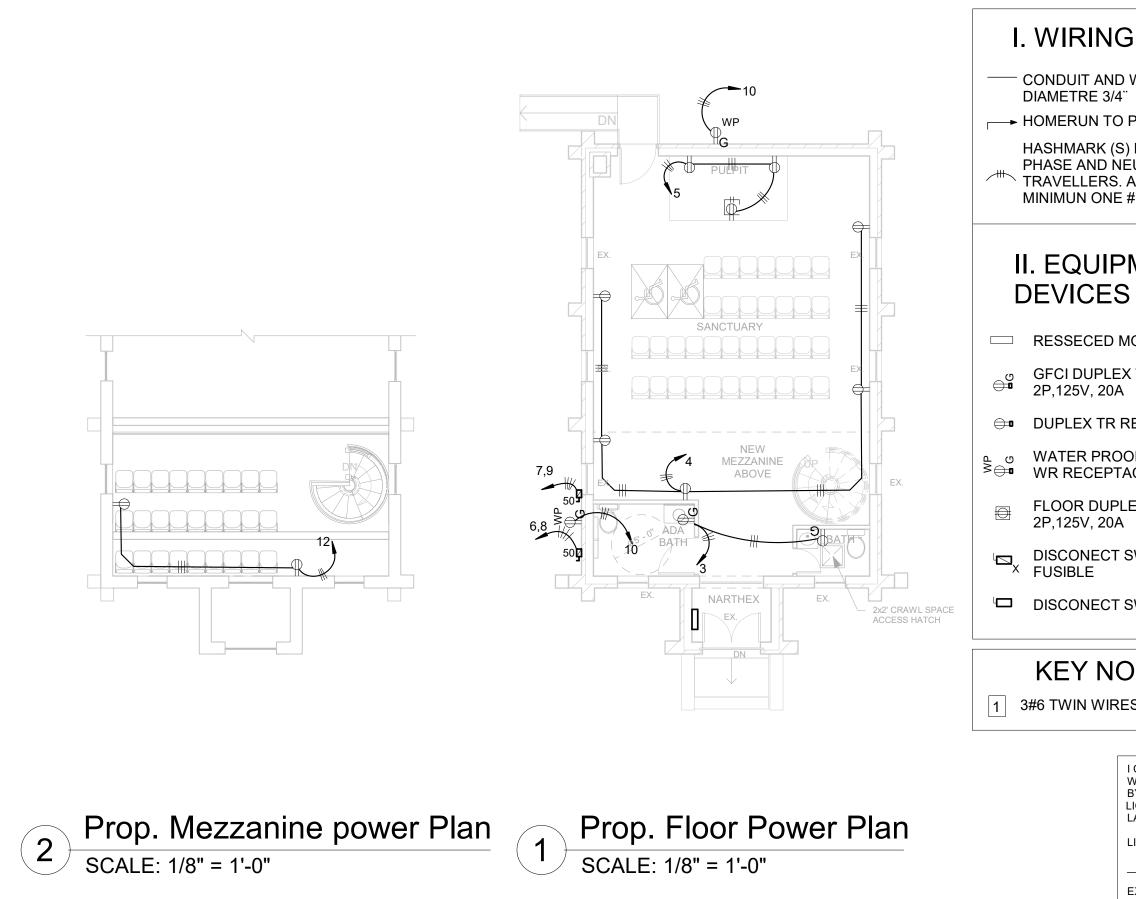
5. IC-RATED RECESSED LIGHTING FIXTURES SEALED AT HOUSING/IN LABELED TO INDICATED < 2.0CFM LEAKED AT 75 Pa

Lighting Fixture Schedule												
Type         Qty         Manufactured         Electrical Data         Lumens         Lamp         Color Temp         Mounting         Efficact												
DOWNLIGTS	11	Philips	120 V/1-11 VA	1100 lm	LED	4000 K	RECESSED	100 lm/W				
Emergency Wall Light	5	ORBIT	120 V/1-11 VA		LED		SURFACE WALL					
Exit and emergency light	3	ORBIT	120 V/1-15 VA		LED		SURFACE WALL					
OUTDOOR LIGHT. WITH PHOTOCELL CONTROL	3	EATON	120 V/1-10 VA	880 lm	LED	3000 K	SURFACE WALL	88 lm/W				
PENDANT LIGHT	4	EATON	120 V/1-35 VA	4305 lm	LED	4000 K	SUSPENDEN	123 lm/W				

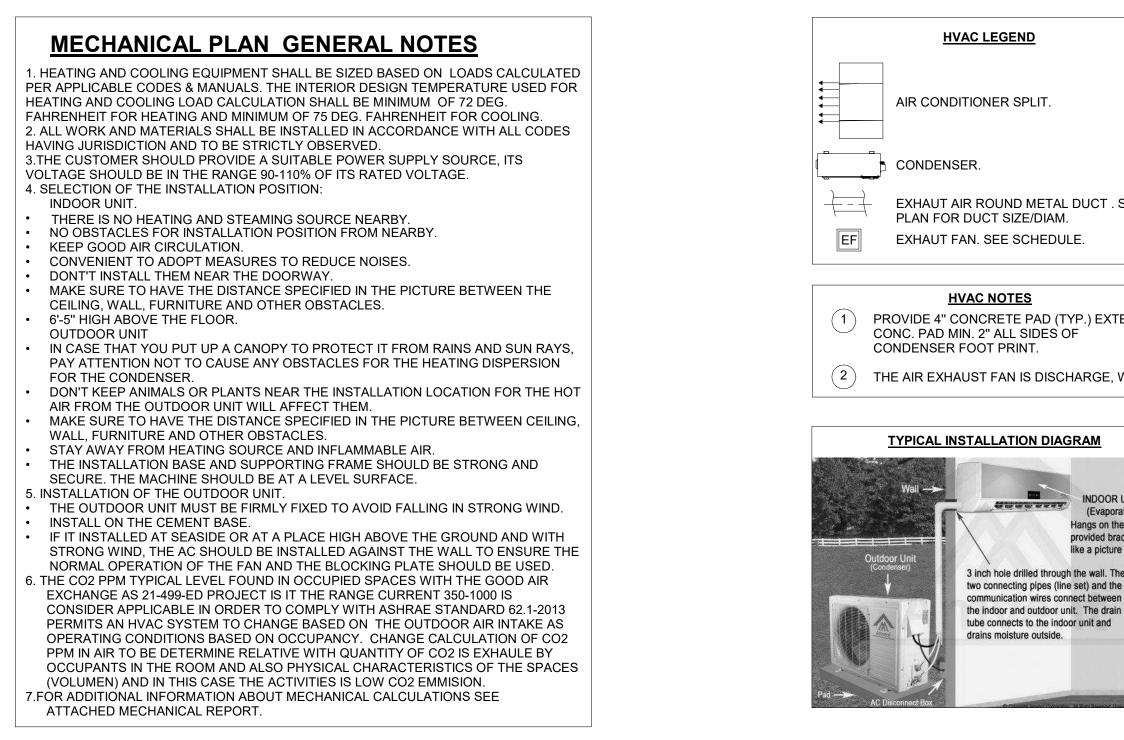
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	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
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	U DOUGLAS R. ک ALVINE Lic. No. 024247
	PROF.
	SS/ONALEN
	0
	PRIMERA IGLESIA EBENEZER 9319 WEST St, MANASSAS, VA 20110 OWNER: PRIMERA IGLESIA EBENEZER
	<b>PRIMERA IC</b> <b>EBENEZER</b> 9319 WEST 5 MANASSAS, OWNER: PRIMER EBENEZER
	<b>PRIMERA IC</b> <b>EBENEZER</b> 9319 WEST 5 MANASSAS, OWNER: PRIMER EBENEZER
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.: # 024247	<b>PRIMERA IC</b> <b>EBENEZER</b> 9319 WEST 5 MANASSAS, OWNER: PRIMER EBENEZER
WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.:	SUED: 11/16/2021 10:07:31 AM SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED ELECTRICAL RISER &

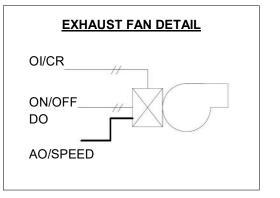


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PANEL BOARD	
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ITCH Y SWITCH CUPANCY SENSOR AN Y LIGHT. MERGENCY LIGHT. I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.:	SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED PROPOSED LIGHTING



G LEGEND	
WIRING CONDEALED,	
9 PANEL BOARD 6) DENOTES NO. OF EUTRAL OR NO. OF ALL CIRCUITS HAVE A #12 CU WIRE.	:SIGN 2.TION INC. RD DRIVE AD, 20852 869-4897 1-0956 @gmail.com
MENT AND	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE ROCKVILLE MD, 20852 OFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
MOUNTED PANEL BOARD	DOUGLAS R.
X TR RECEPTACLE,	ALVINE Lic. No. 024247
RECEPTACLE, 2P,125V, 20A	SSTONALENG
OF, GFCI DUPLEX TR AND ACLE, 2P,125V, 20A	<b>IA</b> 0110 SIA
LEX TR RECEPTACLE,	<b>GLESIA</b> R St, VA 20110 RA IGLESIA
SWITCH 60 WITH X NO. OF	
SWITCH 60 NON FUSIBLE	RIMERA BENEZE 319 WES ANASSA WNER: PRIM
DTES	PRI 931 MAN MAN DWN
ES + 1# 10 GROUND	REMARK DATE
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.:	ISSUED: 11/12/2021 2:48:42 PM SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED
# 024247 EXPIRATION DATE:	PROPOSED POWER PLAN
6/30/23	SHEET: E 1.3





SEE	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE & COCKVILLE MD, 20852 DFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
END WALL.	DOUGLAS R. ALVINE Lic. No. 024247
UNIT ator) e wall, on cket, much frame. e	PRIMERA IGLESIA EBENEZER 9319 WEST St, MANASSAS, VA 20110 OWNER: PRIMERA IGLESIA EBENEZER
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE	REMARK         DATE           Image: state s
LAWS OF THE STATE OF VIRGINIA. LICENSE No.: # 024247 EXPIRATION DATE:	DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED MECHANICAL GENERAL NOTES & SCHEDULES
6/30/23	SHEET: M 1.0

							MINI SPL	IT AIR CC	NDITIONER							
							11	NDOOR A		G UNIT						
LOCATION	TAG NAME	QTTY	CFM	REFRI	IGERAN <sup>-</sup>	NT AHRI			ENSIONS /"-D"-H")	WEIGHT (LB)		BASIS OF DESIGN				
MEZZANINE	SP-1 / SP-2	2	1175	R-410A		7631271		410A 76312		R-410A 76		32.8"-	30.8"-9.5"	101.2	39500 BTL	16 SEER CEILING MOUNT GREE MINI- MODEL:UMAT42HP230V1AD
		OUTDOOR CONDENSING UNIT														
LOCATION	TAG NAME	QTTY	HEATING/ COOLING	TONS	EER	SEER	ELECTRI	CAL	DIMEN (W"-D		WEIGHT (LB)	BASIS OF DESIGN				
LEFT OF BULDING	C-1 / C-2	2	44000/39500 BTU	3.5	9.55	16	208V/2 1 PHASE		37.8"-16	.3"- 53.1"	209.0	44000 BTU SINGLE ZONE HEAT PUN UMAT42HP230V1AO.				

	EXHAUST FAN SCHEDULE											
TAG NAME	CFM	MOUNTING	VOLTS	PHASE	DUCT SIZE	DRIVE	SP IN WC	DIMENSIONS (W"-D"-H")	WEIGHT (LB)	BASIS OF DESIGN		
EF	70	CEILING MOUNTED	115	1	6"	DIRECT	0.6	13 1/4"-13 1/4"-14 7/8"	12	GREENHECK SP-A70 WALL SWITCH		

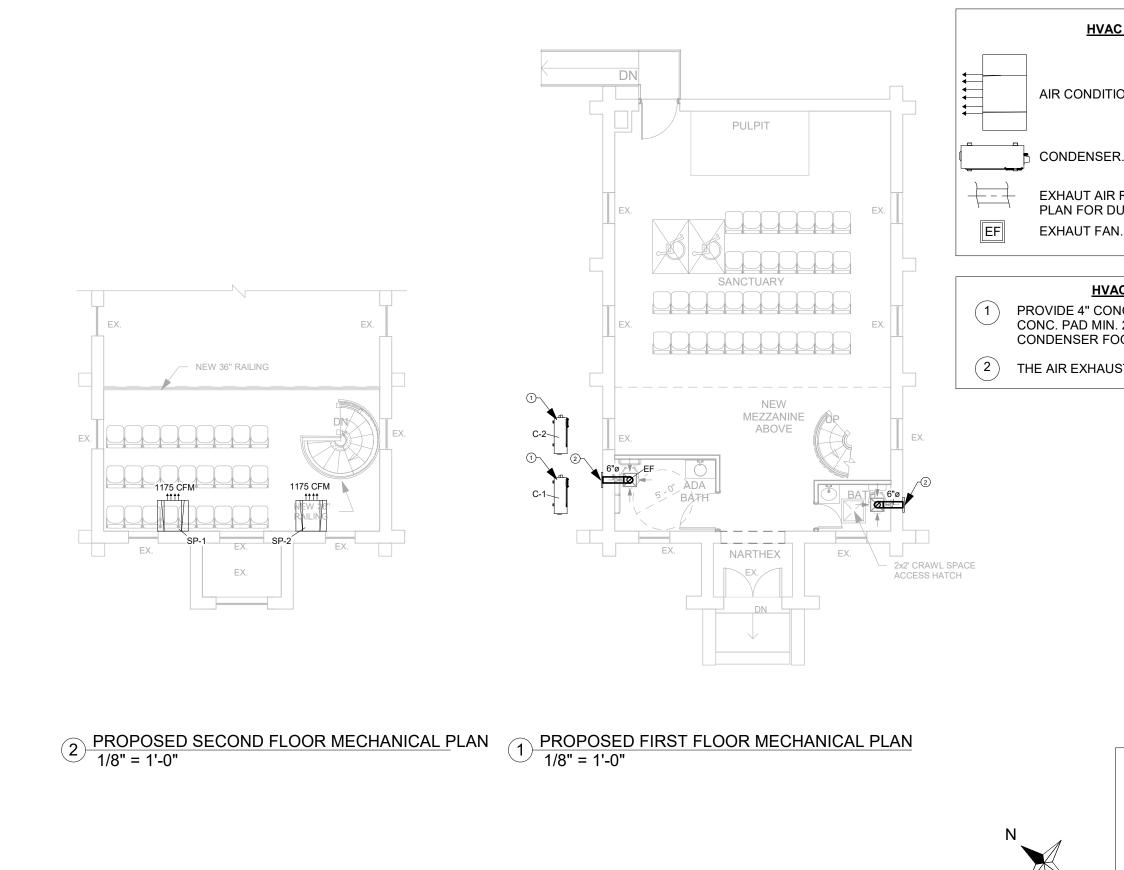
	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE 80CKVILLE MD, 20852 DFFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
NI-SPLIT,	BUILD & DESIGN CONSTRUCTION IN CONSTRUCTION IN 5824 HUBBARD DRIVE ************************************
IMP MODEL:	DOUGLAS R. ALVINE Lic. No. 024247
	-see - O/ONALE/C, Na"
	PRIMERA IGLESIA EBENEZER 9319 WEST St, MANASSAS, VA 20110 OWNER: PRIMERA IGLESIA EBENEZER
	REMARK DATE
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.:	ISSUED: 12/11/2021 13:36:30 SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED
# 024247 EXPIRATION DATE:	MECHANICAL EQUIPMENTS
6/30/23	SHEET: M 1.1
	111 1.1

	SYSTEM OUTDOOR AIR FLOW BY IMC 2015 MINI SPLIT 1 & 2											
ROOM	DESCRIPTION	AREA SF	AREA OUTDOOR AIR RATE PER IMC TABLE 403.3 (Ra)	AREA OUTDOOR (RaAz)	OCCUPANT DENSITY RATE PER IMC TABLE 403.3 (PEOPLE 1000 SF)		OCCUPANT OUTDOOR AIR RATE (Rp)	OCCUPANT OUTDOOR AIR (RpPz)	BREATHING ZONE OUTDOOR AIR (Vbz= RpPz + RaAz)	ZONE AIR DISTRIBUTION EFFECTIVENESS (Ez)	ZONE OUTDOOR AIR (Voz = Vbz/Ez)	s
1	ADA BATH	51	0	0	0	0	0	0	0	0.8	0	
2	NARTHEX	30	0.06	2	120	4	5	18	20	0.8	24	
3	NEW MEZZANINE ABOVE	199	0.06	12	120	24	5	119	131	0.8	164	
4	BATH	24	0	0	0	0	0	0	0	0.8	0	
5	SANCTUARY	476	0.06	29	120	57	5	286	314	0.8	393	
6	PULPIT	53	0.06	3	120	6	5	32	35	0.8	44	
7	NEW MEZZANINE	276	0.06	17	120	33	5	166	182	0.8	228	
Grand to	otal: 7	1108		62		124		620	682		853	
Ev SYSTEM POPULATION (Ps) OCCUPANT DIVERSITY D=Ps/ΣALL ZONES Pz		ONES Pz	UNCO	RRECTED O	A Vou = DΣALL ZON	IES RpPz +ΣALL Z0	ONES RaAz					
0.6 70			0.56				412					
	PERCENTAGE OF OUTDOOR AIR = 29.23%											

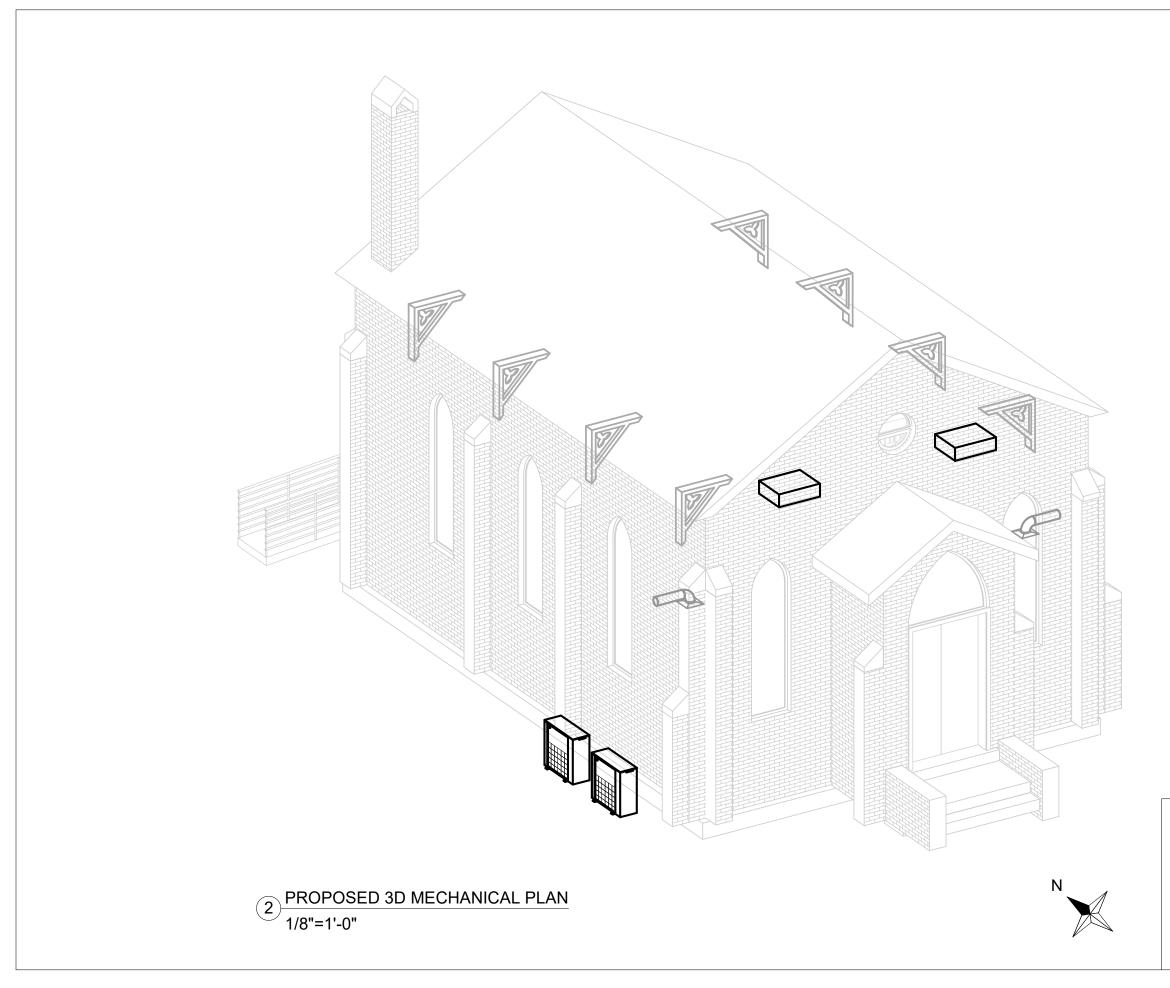
	SPACE OUTDOOR AIR SCHEDULE							
Number	LEVEL	NAME	AREA (Az)	VOLUME	OUTDOOR AIRFLOW (Vbz)	SPECIFIED SUPPLY AIRFLOW	EQUII	
1	PROPOSED FIRST FLOOR MECHANICAL PLAN	ADA BATH	51 SF	404.00 CF	13 CFM	64 CFM	76 CFN	
2	PROPOSED FIRST FLOOR MECHANICAL PLAN	NARTHEX	30 SF	261.69 CF	12 CFM	39 CFM	47 CFN	
3	PROPOSED FIRST FLOOR MECHANICAL PLAN	NEW MEZZANINE ABOVE	199 SF	1614.83 CF	81 CFM	310 CFM	373 CF	
4	PROPOSED FIRST FLOOR MECHANICAL PLAN	BATH	24 SF	188.87 CF	10 CFM	48 CFM	58 CFN	
5	PROPOSED FIRST FLOOR MECHANICAL PLAN	SANCTUARY	476 SF	7496.13 CF	209 CFM	873 CFM	1049 C	
6	PROPOSED FIRST FLOOR MECHANICAL PLAN	PULPIT	53 SF	750.13 CF	28 CFM	87 CFM	105 CF	
7	PROPOSED SECOND FLOOR MECHANICAL PLAN	NEW MEZZANINE	276 SF	1909.00 CF	152 CFM	535 CFM	642 CF	
Grand to	tal: 7				504 CFM	1956 CFM	2350 C	

AIR TERMINAL SCHEDULE						
LEVEL	NAME	SYSTEM TYPE	SIZE GRILLE	SIZE	FLOW	
PROPOSED FIRST FLOOR MECHANICAL PLAN	ADA BATH	Exhaust Air	13 1/4"-13 1/4"-14 7/8"	6"ø	70 CFM	
PROPOSED FIRST FLOOR MECHANICAL PLAN	BATH	Exhaust Air	13 1/4"-13 1/4"-14 7/8"	6"ø	70 CFM	

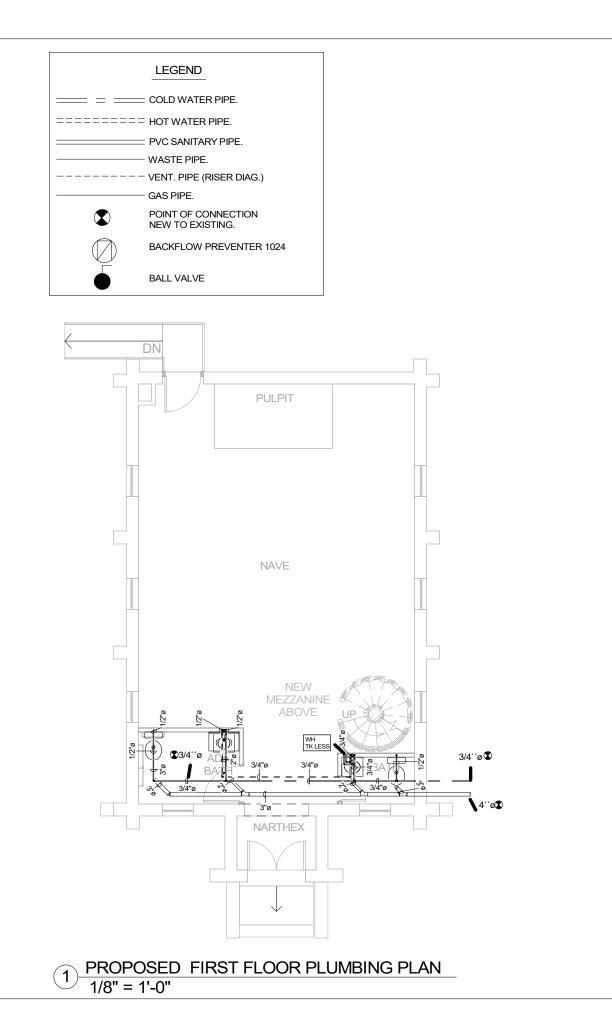
SUPPLY AIR DESIGN (Vpz) 76 47 373 58 1049 105 642	OUTDOOR AIR FRACTION (Zp = Voz/Vpz) 0.000 0.520 0.440 0.000 0.374 0.419 0.355		BUILD & DESIGN CONSTRUCTION INC.	5824 HUBBARD DRIVE SOCKVILLE MD, 20852	♣ DFFICE: 240-869-4897	CELL: 301-821-0956 builddesigninc@gmail.com
OUTDOO	EQUIRED R AIR 587		CONST			LIRGINIA
EQUIPMENT SUPPLY CFM CFM 3 CFM 3 CFM 3 CFM 3 CFM 49 CFM 49 CFM 5 CFM 2 CFM 55 CFM 55 CFM			R R	<b>EBENEZI</b> 9319 WES	MANASSAS, VA 20110	OWNER: PRIMERA IGLESIA EBENEZER
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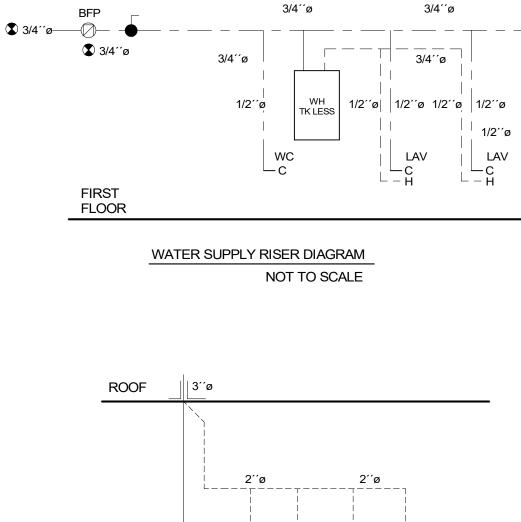


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ROUND METAL DUCT . SEE JCT SIZE/DIAM. . SEE SCHEDULE.	BUILD & DESIGN CONSTRUCTION INC. 5824 HUBBARD DRIVE FOCKVILLE MD, 20852 FFICE: 240-869-4897 CELL: 301-821-0956 builddesigninc@gmail.com
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T FAN IS DISCHARGE, WALL.	Lic. No. 024247
	<b>PRIMERA IGLESIA EBENEZER</b> 9319 WEST St, MANASSAS, VA 20110 OWNER: PRIMERA IGLESIA EBENEZER
	REMARK DATE
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.:	ISSUED: 12/11/2021 16:07:47 SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED PROPOSED
# 024247 EXPIRATION DATE:	MECHANICAL PLAN



BUILD & DESIGN CONSTRUCTION INC.	5824 HUBBARD DRIVE 6 &OCKVILLE MD, 20852	E € 5 D FFICE: 240-869-4897	CELL: 301-821-0956 builddesigninc@gmail.com
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	DOUGLAS R. P ALVINE Lic. No. 024247
	PRIMERA IGLESIA EBENEZER 9319 WEST St. MANASSAS, VA 20110 OWNER: PRIMERA IGLESIA EBENEZER
I CERTIFY THAT THESE DOCUMENTS WHERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULLY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF VIRGINIA. LICENSE No.: # 024247 EXPIRATION DATE:	ISSUED: 6/12/2021 16:59:08 SCALE: AS NOTED DRAWN BY: CHECKED BY: PROJECT NO. 21-499-ED PLUMBING PLANS & RISER DIAGRAMS
6/30/23	SHEET: P10

