

**Project #24-012
Salad Spot
623 North Main Street**

REPORT SUMMARY...

Project Name: Salad Spot
Proponent/Owner: Dan Rigby / Bill Bagley, Peterson Group Commercial LLC
Project Address: 623 North Main Street
Request: Design Review Permit
Current Zoning: Commercial (COM)
Date of Hearing: March 14, 2024
Type of Action: Quasi-Judicial
Submitted By: Tanya Rice, Planner

RECOMMENDATION

Staff recommends that the Planning Commission (PC) conditionally **approve** a Design Review Permit for Project #24-012 Salad Spot for a new 800 SF commercial building located at approximately 623 North Main Street: TIN #05-048-0029.

Land use adjoining the subject property:

<i>North:</i>	COM: Commercial Uses		<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses		<i>West:</i>	MR-12: Residential Uses

Project Proposal

This is a proposal for a new 800 square foot (SF) commercial restaurant building with a drive-thru lane and walk up window. Site improvements include closure of an entrance from Main Street (per UDOT), sidewalk, parking lot, and landscaping. The 0.18-acre project site is located on the southeast portion of a 2.16 acre parcel located on Main Street between 600 and 700 North. Currently the project site is an asphalt parking lot while the parcel contains an existing restaurant to the north and auto service/repair businesses to the west.



Figure 1 shows the proposed east façade.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits fast-food restaurants in the COM zoning district. The COM zoning designation is the City’s primary economic zone and permits a wide range of commercial uses.

Setbacks

The LDC requirements for setbacks in the COM zone are as follows (as measured from property lines and/or site boundary):

- Front: 10'
- Side: 8'
- Side Canopy (South): 5'
- Rear: 10'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

- Front (East): >10'
- Side (North): >8'
- Side (South): 4'
- Rear (West): >10'

The proposed site plan shows the drive-thru canopy projecting to the southern property line, but the elevations and confirmation from the applicant indicate the drive-thru canopy is 4' from the property line (Figure 3). As conditioned, with a 5' minimum between the property line and the drive-thru canopy, the project meets minimum setback requirements of the LDC.



Figure 2 shows the site plan.



Figure 3 Elevation showing drive-thru canopy 4' from the property line.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is 0.18-acres (7,841 SF) in size with a proposed 800 SF building that equals approximately 10% of the lot and complies with maximum coverages in the LDC.

Building Design

The LDC 17.12.00 states that buildings should have a mix of materials. Brick, stone, block, (masonry) stucco, fiber cement board, wood, metal and architectural concrete are all listed as acceptable materials. Façade design should contain “four-sided” architecture with similar elements and designs for all sides of the building for continuity. Building mass and articulation should convey a pedestrian scale with minimal blank wall portions. For street facing façades 30% transparency (windows) is required as per LDC 17.10.080.

The proposed building consists of a mixture of wood siding, EIFS and metal paneling. Varied roof heights, metal canopies over both pickup windows and contrast of material and paint color add visual interest and design variation. More than 30% transparency spans the front (Main Street) façade with aluminum framed glazing. As proposed, the building design, transparency and mix of materials complies with the requirements in the LDC.

Building Frontage

The LDC 17.10.080 requires that at least 50% of the overall width of the property contains building mass. This requirement enhances pedestrian safety and creates urban settings that frame streets with architecture while reducing the visual prominence of parking lots. Considering the 65' property width and a building footprint width of approximately 20', the building frontage would equal 31%. To increase building frontage, the applicant has proposed a 10' drive-thru and 3' canopy over the pick-up windows extending the building width an additional 13'. Considering the canopies in the building massing, the frontage would equal 50.7%, meeting the building frontage requirement. the minimum 50% requirement of the LDC. The PC may consider and exercise their discretion to allow the canopies in the building frontage. As conditioned, the project meets the requirements on the LDC.

Pedestrian Circulation

The LDC 17.10.040 requires direct and comfortable access to businesses for pedestrians. Pedestrian circulation should be safe and convenient that results in sidewalks connecting streets to building entrances. The site plan places a sidewalk connection joining the building and walk-up window to the street. As proposed, the project meets the requirements in the LDC.

Parking Stall & Drive-Thru Lane Requirements

The LDC 17.31.040 requires one parking stall per every 150 SF for a fast-food restaurant and at least 8 car stacking positions in the drive-thru lane. At a proposed building total of 800 SF, the LDC would require six (6) parking stalls. Seven (7) parking stalls are proposed in the parking lot. A double drive-thru lane is shown with enough length to accommodate eight cars. The LDC requires bike racks for new restaurants. As proposed with minimum parking stalls, minimum stacking and a bike rack, the project meets the requirements in the LDC.

Open Space & Landscaping

The LDC 17.10.080 requires 10% landscaping and an additional 10% useable outdoor space of the project site. The LDC generally describes useable outdoor space is typically decks, patios and other similar pedestrian amenities. The 0.18-acre (7,841 SF) site would require 784 SF of both landscaping and usable outdoor space for a total of 1,568 SF. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. As proposed with conceptual open space and outdoor dining areas,

the project meets the open space requirements. As conditioned with a detailed landscaping plan meeting LDC minimums, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Fire	• Engineering
• Light and Power	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 3/2/24, posted on the City’s website and the Utah Public Meeting website on 3/4/24 and mailed out to adjacent property owners within 300’ on 2/26/24.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The 10’ drive-thru canopy and 3’+ walk-up window canopy can be considered building as meeting the minimum 50% frontage requirements.
3. A minimum of 6 parking stalls, 8 stacking positions within the drive-thru isle and a bike rack shall all be provided.
4. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Landscaping and Useable Outdoor areas shall total a minimum of 1,568 SF.
 - c) A minimum of 4 trees and 9 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
5. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
6. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
7. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
8. Standard streetscape improvements will be required along Main Street with driveway access determined by UDOT and joint access agreements located to the north of this site.

9. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
10. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
11. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Engineering—contact 716-9160

GENERAL

1. Additional water shares or in-lieu fee for indoor and outdoor increased water demands shall be provided to the City in accordance with City Code 17.29.210 and Utah Administrative Rule R309-510-7.
2. All adjacent and internal rights of way and easements shall be shown on the plans. Improvements shall not infringe upon the rights of an existing easement / right of way / property owned by others without their written permission.
3. Existing and/or new documentation of any necessary easements or agreements for items such as access, parking, utilities, stormwater inside or outside of the project boundary shall be provided with construction plans.
4. Provide a Development Agreement and Financial Surety of at least 110% of the cost to construct all infrastructure & storm water improvements necessary for this development. Financial assurances shall not expire for a minimum of 2 years from date of City acceptance.
5. A “Preconstruction meeting” shall be held with the City’s Engineering Division prior to starting construction activities and a “Work in the Right of Way” permit shall be obtained for all work in the City’s right-of-way and PUE prior to scheduling the Preconstruction meeting.

UTILITIES

6. All utilities outside of the public right-of-way way shall be private lines and shall be owned, maintained, repaired/replaced by the Property Owner(s). All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.
7. A private Water Utility agreement shall be provided for all private water and sewer lines (including fire lines) not located within a Public Right of Way. The agreement shall be recorded with the County Recorder.
8. Each individual building shall have separate water service and sewer service connection to the City’s water and sewer systems.
9. Fire hydrants locations shall meet the Fire Code requirements as determined by the City’s Fire Marshall.
10. All existing water and sewer service lines extending to the site that are not proposed to be used with the new development shall be capped at the City main line.

STORMWATER / IRRIGATION

11. Storm water detention/retention shall be designed and constructed according to Logan City standards. This includes the retention of stormwater from any adjacent street that currently discharges to the property. Retention of the 90% storm event is required and shall be provided using Low Impact design methods.
12. Provide a stormwater maintenance agreement for City Review, approval and recordation at County Recorder’s Office.
13. Improvements are less than 1 acre, so compliance with the State Storm Water Permit is not required. A sediment and erosion control plan will be required for all construction activities.
14. This development is located in an area of moderate water table elevation (25 to 48 inches).

STREETS

15. Site access shall comply with all UDOT requirements associated with to access on Main Street as identified in the comments and redlines associated with the UDOT Pre-Application Permit.

b. Light and Power —contact 716-9722

1. A 1-Line Diagram
2. A Logan City Load Data Sheet Found on Logan Light & Power Website and email to angie.pacheco@loganutah.org
3. A Digital Site Plan in AutoCAD (DWG) Format
4. PUE's Public Utility 10' Easement on all property lines that face a roadway and 5' Easement on all other property lines.

Note: All electrical trenches must be inspected prior to burying conduit. You will be asked to expose your trench if it is buried prior to inspection. Schedule an inspection with Logan Light and Power. (435-716-9722, angie.pacheco@loganutah.org).

c. Environmental —contact 716-9760

1. Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
2. Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
3. Place bollards in the back of the enclosure to protect walls.
4. Gates are not required, however if desired, they must be designed to stay open during the collection process.
5. Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

d. Fire – contact 716-9515

1. In accordance with the fire department comments, a fire hydrant will have to be installed within 400 ft. The best location for the hydrant will likely be closer to the 600 N Main Street intersection. Coordinate with the water division to obtain a fire flow analysis once your proposed fire hydrant and fire line locations are determined.

e. Water – contact 716-9627

1. The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. Properly sized drain required to serve the backflow assemblies dump port. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter. Refer to 2018 IPC Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.
2. All privately or commonly owned landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
3. Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
4. Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water and its consumption.

f. City Forester – contact 716-9749

1. Trees shall be planted at correct depth by International Society of Arboriculture standards. Meaning root flare shall be at final grade level.
2. Tree stakes shall be loose and only provided when absolutely necessary.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate landscaping and useable outdoor space in conformance with Title 17.
4. The proposed project provides adequate off-street parking.
5. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

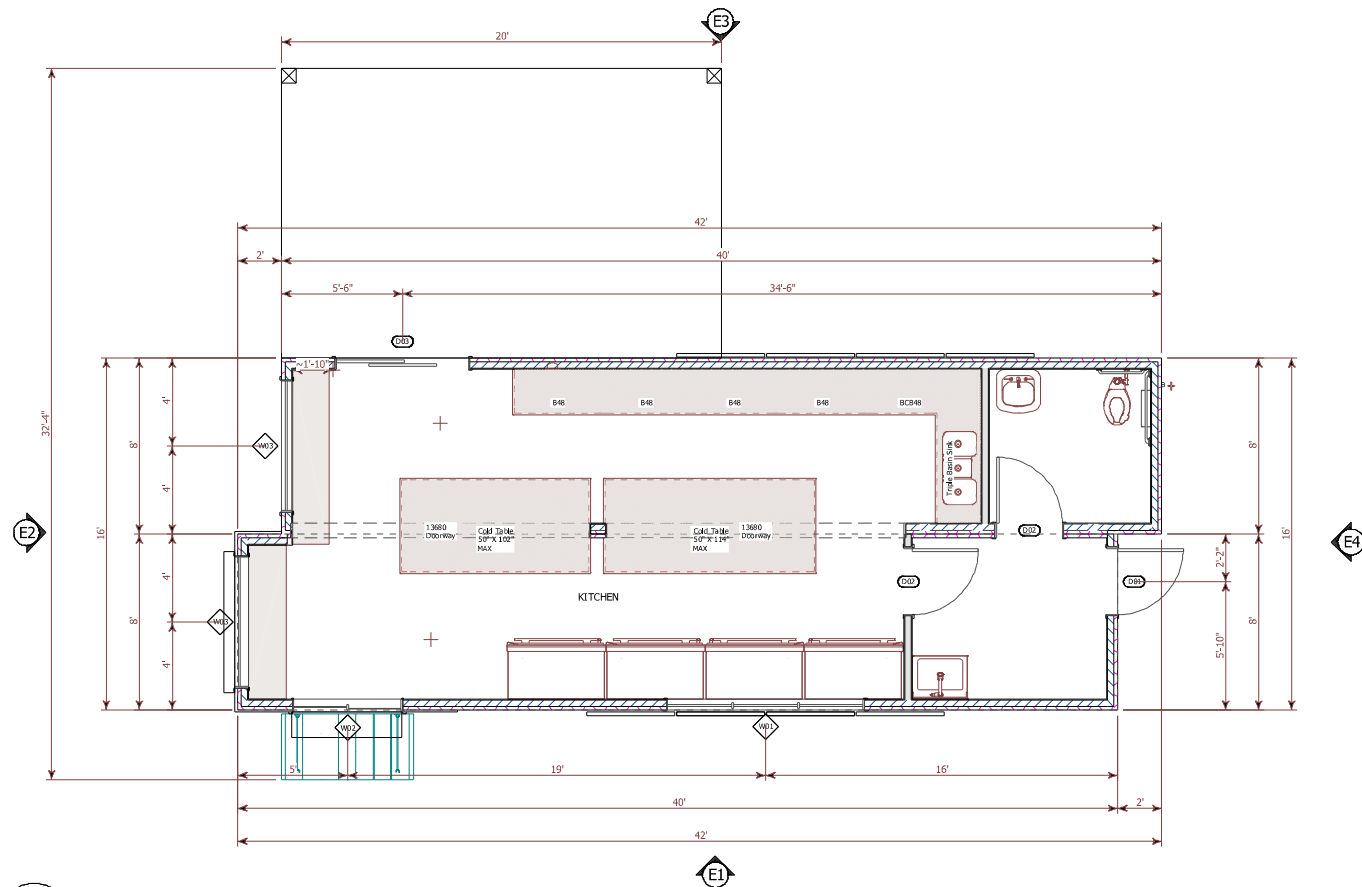
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review	
Date Received 2/5/24	Zone/Neighborhood COM/BRIDGER	Scheduled Meeting Date MARCH 14	Application Number PC 24-012		
Type of Application (Check all that apply):					
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Subdivision	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal		<input type="checkbox"/> Administrative Design Review	
<input type="checkbox"/> Other		<input type="checkbox"/> Zone Change		<input type="checkbox"/> Other	
PROJECT NAME SALAD SPOT					
PROJECT ADDRESS 623 N MAIN ST, Logan				COUNTY PLAT TAX ID # 05-048-0029	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Dan Rigby				PHONE # 435.232.2236	
MAILING ADDRESS 2994 Stonebridge Dr		CITY Nibley	STATE UT	ZIP 84321	
EMAIL ADDRESS dan.rigby1@gmail.com					
PROPERTY OWNER OF RECORD Bill Bagley <i>Peterson Group Commercial, LLC</i> <i>Dwight & Beverly Bagley</i>				PHONE # (435) 512-2038	
MAILING ADDRESS 1376 Borwood Dr. Logan, Utah		CITY Logan	STATE Utah	ZIP 84341	
EMAIL ADDRESS pbbagley@comcast.net					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) We are working with Bill Bagley to occupy a section of their lot and put in a simple Salad and Wrap drive through. The building would not have a walk in or sit down area. This would be just a drive through. Simple menu of Salads and Wraps to encourage healthy eating. The proposal we are submitting has the drawings of what we would do to enhance the area.				Total Lot Size (acres) .18 ACRES	
				Size of Proposed New Building (square feet) 800	
				Number of Proposed New Units/Lots	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.				Signature of Property Owner's Authorized Project Representative <i>Dan Rigby</i>	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner <i>Beverly Bagley</i>	

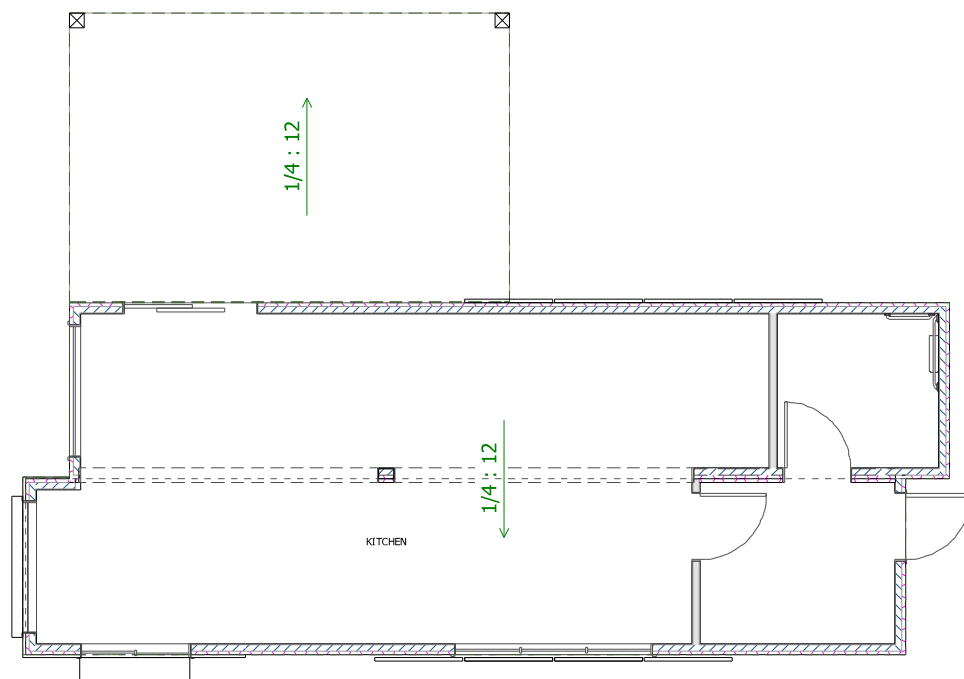
APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL.



1 Floor Plan
Approximate Scale: 1/4" = 1'

WINDOW SCHEDULE				
NUMBER	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
W01	108"	24"	TRIPL E CASEMENT-L/L/RHR	
W02	60"	44"	LEFT SLIDING	
W03	72"	80"	FIXED GLASS	

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	DESCRIPTION	COMMENTS
D01	36"	80"	EXT. HINGED DOOR	
D02	36"	80"	INT. HINGED DOOR	
D03	72"	80"	EXT. SLIDER-GLASS PANEL	



2 Roof Plan
Approximate Scale: 1/4" = 1'

Wall Legend	
	CONTAINER WALLS Container wall 2x4 framing, per structural plans Insulation per detail 1/2" drywall
	INTERIOR 2X4 WALL 1/2" drywall 2x4 framing, per structural plans 1/2" drywall

Notes:

- Dimensions are to stud lines, unless otherwise noted.
- Written dimensions take precedence. Do not scale drawings.
- Smoke alarms shall be located in each bedroom and in the immediate vicinity of the bedroom(s). One shall be placed on each story, including basements and habitable attics. See 'General Notes' on A1 for more details.
- Carbon monoxide alarms shall be located in each bedroom or within 15 feet outside of each bedroom door at every floor level with a bedroom. See 'General Notes' on A1 for more details.
- Steps from structure to grade may vary due to field conditions. Contractor to verify all exterior stairs with site conditions before construction.



C T
H D

CREATIVE TOUCH HOME DESIGN
Klamath Falls, OR
250 Main Street
Phone: (541) 238-5180
www.CreativeTouchHomes.com
arind@chomedesign.com
akatsa@chomedesign.com

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Light Gauge Steel, Straw Bales, Bamboo, Log, Timber/Wood, Structural Insulated Panels/SIPs, Masonry, Steel, Concrete, Modular Homes/Factory Built Housing (FBH), Coffee Shop, ICF etc. Commercial or Residential.

Project:
Salad Spot
623 N Main
Logan UT 84321

Owner:
Brad Rigby

Stamp: 02-05-2024
PROFESSIONAL ENGINEER
5338007-2202
STATE OF UTAH
NABIL M. TAHAR
EXP 03-31-2024

Mark	Date	By

Drawn By: AT
DS. By: AT
Chk. By: NT
Date: 01/12/2024

Project #:
KF224-007

Title:
Floor/Roof Plan

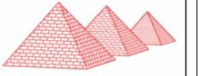
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 Klamath Falls, OR
 250 Main Street
 Phone: (541) 238-5180
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Project:
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 623 N Main
 Logan UT 84321

Owner:
Brad Rigby

Stamp: 02-05-2024

 EXP 03-31-2024

Mark	Revision	Date	By

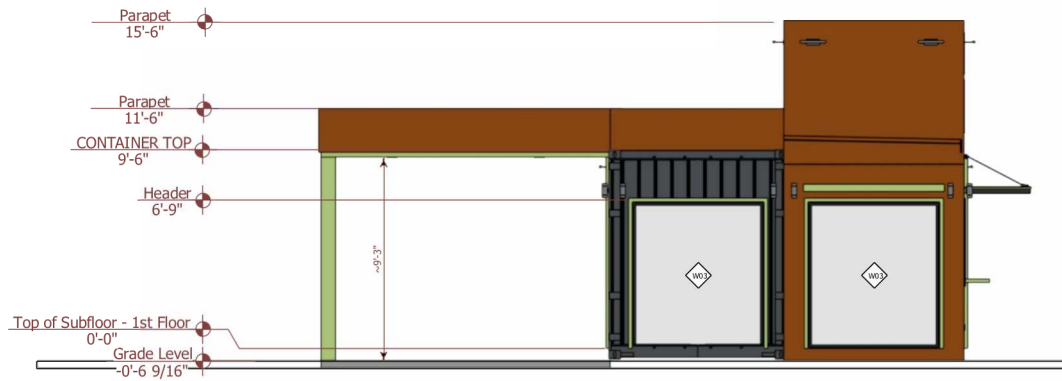
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 DS. By: AT
 Chk. By: NT
 Date: 01/12/2024

Project #:
 KF224-007

Title:
 Elevations

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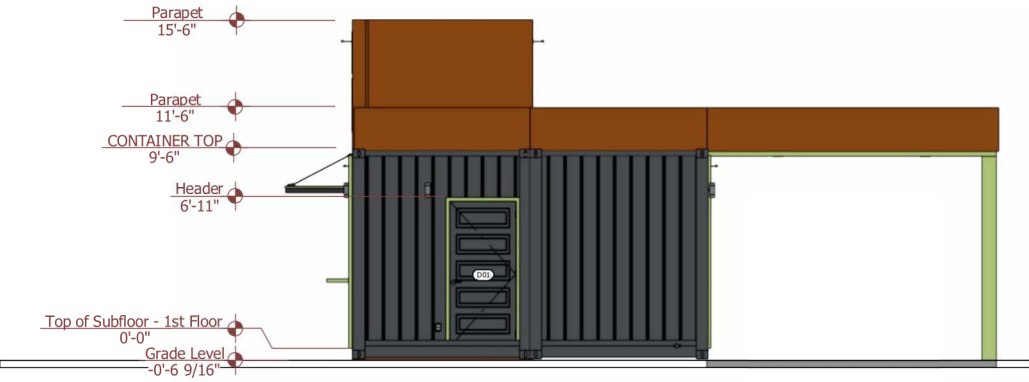
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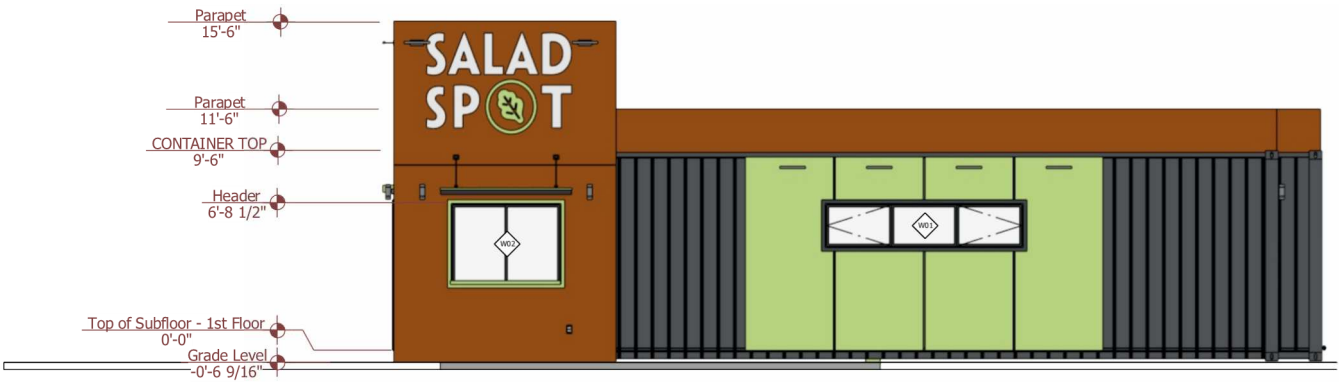
E1 Front Elevation
 Approximate Scale: 1/4" = 1'



E2 Left Elevation
 Approximate Scale: 1/4" = 1'



E3 Back Elevation
 Approximate Scale: 1/4" = 1'



E4 Right Elevation
 Approximate Scale: 1/4" = 1'

The contractor assumes full responsibility for the correct installation of all exterior finishes and weatherproofing.



SALAD SPOT - VICINITY & FIRE HYDRANT MAP



SALAD SPOT - OVERALL SITE PLAN



SCALE: 1" = 10'

SALAD SPOT - PROPOSED SITE PLAN







SALAD SPOT - 3D RENDERING NORTH



SALAD SPOT - 3D RENDERING - SOUTH