



Project #23-016
Iglesia de Dios Peniel Church
673 Riverwalk Parkway

REPORT SUMMARY...

Project Name: Iglesia de Dios Peniel Church
Proponent / Owner: Francisco Montufar / Iglesia de Dios Peniel, Inc
Project Address: 673 Riverwalk Parkway (620 South 180 West)
Request: Design Review Permit
Current Zoning: Traditional Neighborhood Residential (NR-6)
Type of Action: Quasi-Judicial
Hearing Date: March 9, 2023
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for project #23-016, Iglesia de Dios Peniel Church, in the Traditional Neighborhood Residential (NR-6) zone located at 673 Riverwalk Parkway, TIN #02-062-0013.

Current Land use adjoining the subject property

<i>North:</i>	NR-6: Residential Uses	<i>East:</i>	NR-6: Residential Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	NR-6: Residential Uses

Project Proposal

The existing 1.47-acre site is currently vacant and is surrounded by residential properties and an existing church to the east. This proposal is for a new one (1) story 5,151 SF metal building and an 80-stall parking lot. A future 600 SF accessory building is shown on the site plan but is not included in this design approval process.

Land Use

Along with detached single family home structures, the Land Development Code (LDC) Table 17.08.040 permits religious institutions in the NR-6 zone.

Setbacks

The LDC setback requirements in the NR-6 zone are as follows (as measured from property lines):

Front: 25'
Side: 8'
Rear: 10'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (east): >50'
Side (north): 10'
Rear (west): 10'

Setbacks comply with the LDC requirements as proposed.

Lot Coverage

The LDC 17.07.060 establishes a maximum lot coverage of 60% (building(s) footprint) in the NR-6 zone. The total project site is approximately 1.47 acres in size and with a 5,151 SF building, the lot coverage is approximately 8% and complies with the LDC.

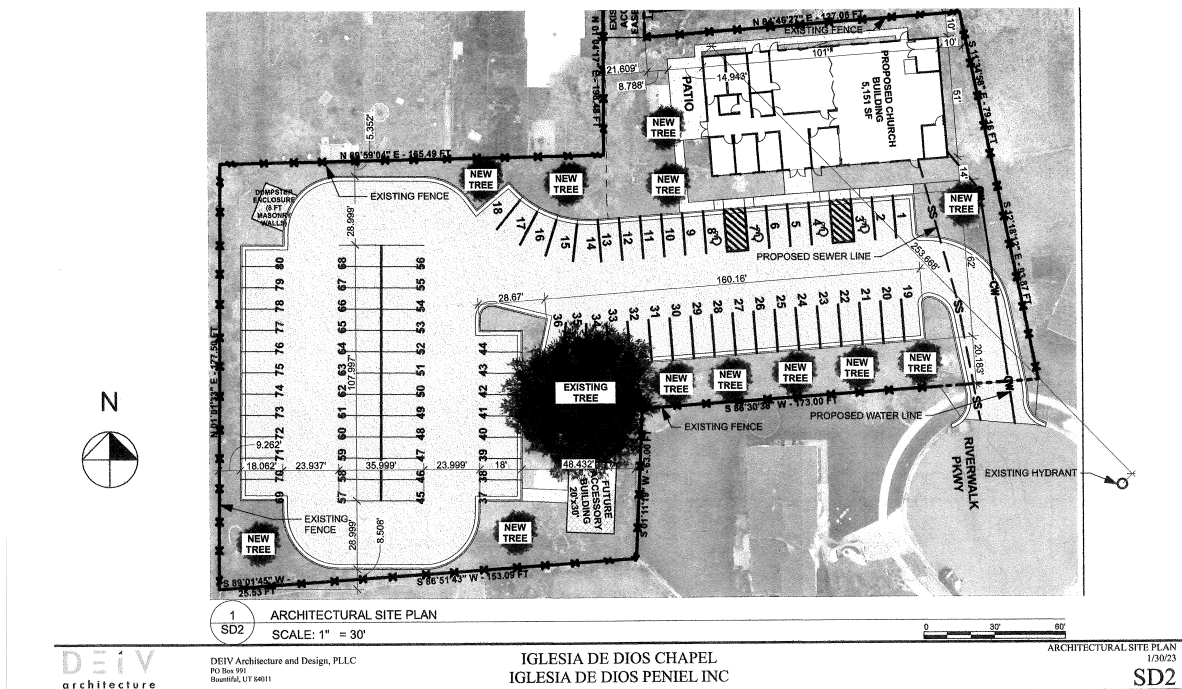


Figure 1: Proposed site plan

Building Design

The LDC 17.12 addresses general non-residential building design but does not have any specific design standards for religious institutions or other types of institutional buildings allowed in the residential zones. General design considerations such as overhead weather protection for entrances (covered stoops), mix of materials, 35' maximum building height, and fenestration are recommended to ensure neighborhood compatibility.

The dominant building material is metal siding with stone veneer wainscoting around the base perimeter. The front of the building is oriented to the parking lot and is approximately 28' high at the peak of the gable, well within the 35' maximum requirement in the NR-6 zone. The proposed building shows consideration of transparency (fenestration) on three sides. There are seven (7) entrances to the building: three (3) on the south (front), three (3) on the north (rear), and a double door on the west. Per general design standards and pedestrian protection, each entrance shall have overhead entrance protection above each doorway. As conditioned, overhead entrance protection above each doorway, the building design meets LDC standards for NR-6 zone.

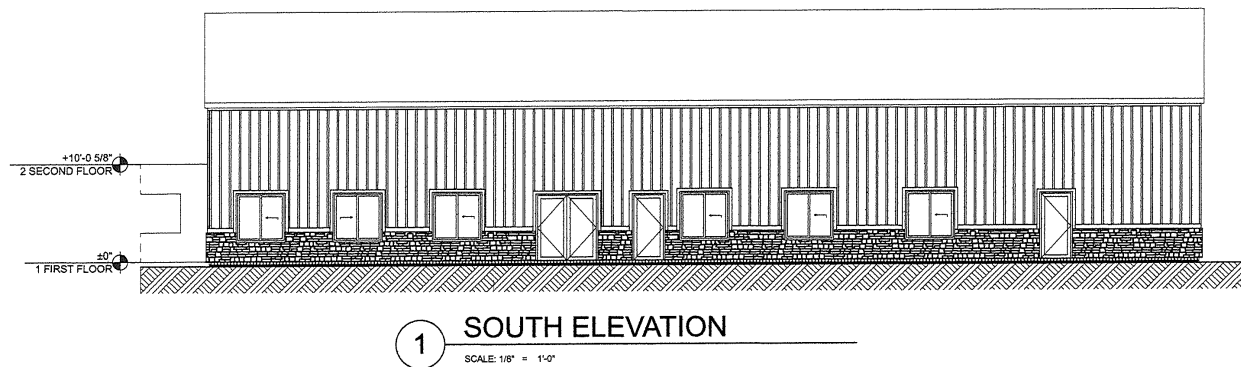


Figure 2: Front façade facing south

Access and Parking

One access point is proposed for this project and shown on the proposed site plan from Riverwalk Parkway. Based on the results of an upcoming traffic impact study for Riverwalk Parkway, a second point of access may be required by the City through the ingress/egress

easement onto 600 South. As conditioned by the city engineer (#16 and #21), access(s) to the development shall meet city standards.

For religious institutions, the LDC §17.31 requires 1 parking stall per 4 occupants. The applicant states their current congregation size is 70 people and on a typical Sunday, the church parks about 25 cars. Maximum building capacity is determined through the International Building Code (IBC) based on the use of the space. Pew style seating and moveable table seating in 3,000 SF of the sanctuary and multipurpose room results in an approximate total capacity of 206 occupants.

Based on 206 occupants and LDC parking requirements, a total of 52 stalls are required and 80 stalls are proposed. The LDC §17.31 allows for the parking standard to be exceeded by no more than 25%. The proposed 80 parking stalls exceed the requirement by 53%. With the 25% increase, the maximum number of parking stalls authorized by the LDC for this size and type of use is 65 stalls. In this specific case, because the proposed church is surrounded on three sides by existing residential dwellings, additional open space and landscaping is important to buffer the parking lot from the neighbors. As conditioned, the parking count shall be reduced to a minimum of 52 stalls up to a maximum of 65 parking stalls.

The LDC also requires one (1) bicycle stall for every 30 vehicular stalls. As conditioned, bike parking shall be provided on site.

Open Space and Landscaping

With a maximum lot coverage of 60% in the NR-6 zone, it is assumed approximately 40% of the property would be usable open space and landscaping excluding parking areas. In the instance of a religious institution, an important function of usable open space and landscaping is to buffer the surrounding neighborhoods from the parking lot, the church building, and noise related to the use.

The LDC §17.32 requires 20 trees and 50 shrubs per one (1) acre of gross land for new development (30 trees and 74 shrubs). A minimum of 25% of landscaping is required to consist of evergreen trees and shrubs to provide visual interest year-round and for dense landscape screening. Plant material shall be placed around the perimeter of the building footprint in a three (3) foot minimum planting strip except for entrances, utilities and where setbacks are less than three (3) feet. The proposed site plan shows twelve (12) new trees around part of the perimeter of the property and a patio on the west end of the building. A landscape plan shall be submitted showing additional landscaping concentrated around the perimeter of the property to provide privacy and mitigate sound. As conditioned, the landscaping sufficiently meets the requirements of the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire
• Light and Power	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, one comment has been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/25/23, posted quarter page add in the Herald Journal on 2/23/23, posted on the City's website and the Utah Public Meeting website on 2/27/23, and mailed to property owners within 300 feet on 2/20/23.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes a new 5,151 SF church building.
3. Provide overhead entrance protection to all pedestrian entrances on the building.
4. A landscape plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a. A total of 30 Trees and 74 shrubs, perennials and grasses shall be provided.
 - b. Plant material shall be placed around the perimeter of the building footprint in a three (3) foot minimum planting strip with the exception of entrances and utilities.
 - c. Tree placement shall be concentrated around the perimeter of the property to provide buffering.
 - d. Minimum of 3 tree species are required.
 - e. A minimum of 25% of landscaping is required to consist of evergreen trees and shrubs to provide visual interest year round and for dense landscape screening.
5. A minimum of 52 parking stalls shall be provided. With a 25% parking increase, a maximum of 65 is permitted.
6. A bicycle rack shall be provided and shall meet the requirements of the LDC §17.31.040.
7. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
8. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
9. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
10. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
11. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - A. Fire—contact 716-9515**
 - 1) The north access will need to be 20 ft wide, all-weather surfaces.
 - 2) The available water supply for fire flow is insufficient. Utility improvements, change in building type, or fire sprinkler installation may resolve this situation.
 - B. Environmental—contact 716-9760**
 - 3) Minimum 60 ft. straight on clear access required. Approach must be level, no down or uphill slopes and no parking spaces or curb blocking access.
 - 4) Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - 5) Place bollards in the back of the enclosure to protect walls.
 - 6) Gates are not required, however if desired, they must be designed to stay open during the collection process.

- 7) Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

C. Engineering —contact 716-9160

- 8) Additional water shares or in-lieu fee for indoor and outdoor increased water demands shall be provided to the City in accordance with City Code 17.29.210 and Utah Administrative Rule R309-510-7.
- 9) All existing easement / right of way lines shall be shown on the plat and the type of easement / right of way and recording information shall be labeled on the plat. Improvements shall not infringe upon the rights of an existing easement / right of way. Where non-existent or insufficient, provide a 10' Public Utility Easement along all frontages and perimeter property lines, and provide a 5' Public Utility Easement along each side of all interior property lines.
- 10) This development is not being proposed as a subdivision; therefore, all required easement and right-of-way dedications shall be completed by separate instrument approved by the City Engineer prior to recording with Cache County. All dedication documents shall be accompanied with a metes and bounds legal description and a separate legal description exhibit that is tied to two City approved monuments.
- 11) Provide a Development Agreement and Financial Surety of at least 110% of the cost to construct all infrastructure & storm water improvements. Financial assurances shall not expire for a minimum of 2 years from date of City acceptance.
- 12) Provide a Geotechnical Report that includes but is not limited to: 1) California Bearing Ratio (CBR) of subgrade of pavement section, 2) Historical high ground water elevation, and 3) Percolation rate of soils at bottom of all storm water retention ponds.
- 13) A "Pre construction meeting" shall be held with the City's Engineering Division prior to starting construction activities and a "Work in the Right of Way" permit shall be obtained for all work in the City's right-of-way and PUE prior to scheduling the Pre Construction meeting.
- 14) This development is located in an area of high water table (24 to 48 inches) and classified as having moderate liquefaction potential; as such structures and stormwater management facilities shall be designed accordingly.
- 15) Agreements between property owners and easements where necessary shall be provided to the City prior to approval of a construction plan set that shows construction improvements outside of the property boundary lines.
- 16) All utilities outside of the public right-of-way way shall be private lines and shall be owned, maintained, repaired/replaced by Homeowners Association. All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.
- 17) Provide City with private Water Utility agreement for all private water and sewer lines (including fire lines) not located within a Public Right of Way. The agreement shall be recorded with the County Recorder.
- 18) Coordinate with the Fire Marshall to ensure sufficient fire hydrants are located in and around the site to meet fire code requirements.
- 19) Provide storm water detention/retention per Logan City Design standards. This includes the retention of stormwater from an adjacent existing street that discharges to the property. Retention of the 90% storm event is required and shall be provided through the use of Low Impact design methods.
- 20) Except for stormwater from City rights-of-way which shall be managed on the property, the development shall either incorporate into its stormwater design or pass through in a historical manner any stormwater that flows onto the property from adjacent properties.
- 21) Provide a stormwater maintenance agreement for City Review, approval and recordation at County Recorder's Office.
- 22) Area is greater than 1 acre so compliance with State Storm Water Permit is required. Development shall comply with Logan City design standards for storm water

detention/retention. Development shall also provide a sediment and erosion control plan for all construction activities.

- 23) Access to the development shall be in accordance with Logan Design Standards.
- 24) Sidewalk through the drive approach to this development shall be a minimum of 6" per City standards. Remove and replace sidewalk as needed to comply with this requirement. Remove all existing access approaches to the site and restore curb and gutter to be high back curb and park strip areas
- 25) Construct and/or repair curb, gutter and sidewalk in accordance with City standards and specifications.
- 26) All new commercial accesses through City right of way shall be a minimum of 8" thick concrete.
- 27) Where the existing half street or portion thereof is in poor condition in regards to cracking, or is damaged during construction; owner shall reconstruct the pavement cross section out to an area of good condition asphalt. At a minimum 3' of existing asphalt shall be removed and replaced.
- 28) Provide a traffic impact study for review and approval by the City and follow all recommendations identified unless it conflicts with City standards. Specific concern regarding the volume of traffic on the existing narrow cul de sac streets is of significant concern and a second access point is recommended by the City.

D. Water / (Cross Connection & Backflow Prevention) —contact 716-9627

- 29) The buildings water main needs to have a DC (ASSE1015) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter. Refer to 2018 IPC Utah State Amendment # 608.1.1,608.1.2,608.1.2.2 for installation criteria.
- 30) All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- 31) Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
- 32) Project shall comply with all current Utah State plumbing codes, amendments, and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water.

E. Water / WasteWater Collections —contact 716-9622

- 33) Available fire flows at the dead end waterline in Riverwalk Parkway are relatively low. Available fire suppression flows must meet requirements by City Fire Marshal, determined by the square footage, construction type, and available sprinklers. Adequate flows may require a private waterline connecting Riverwalk Parkway and 600 South, through the easement.

F. City Forester —contact 716-9749

- 34) Trees shall be planted at correct depth by International Society of Arboriculture standards. Meaning root flare shall be at final grade level.
- 35) Tree stakes shall be loose and only provided when absolutely necessary.
- 36) Only low growing variety of trees will be permitted under power lines.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. LDC 17.43.080 authorizes the Planning Commission to make design adjustments on

aesthetical issues and requirements if they are consistent with surrounding areas and do not compromise future approvals.

3. The proposed project provides required off-street parking.
4. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only					
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review	
Date Received 1/31/23	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number PC23-016	
Type of Application (Check all that apply): <input type="checkbox"/> Design Review <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other					
PROJECT NAME Iglesia de Dios Peniel church building					
PROJECT ADDRESS 673 Riverwalk Pkwy Logan, UT 84321				COUNTY PLAT TAX ID # 02-062-0013	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Francisco Montufar				PHONE # (435) 760-6031	
MAILING ADDRESS 1176 N. 500 E.		CITY Logan	STATE UT	ZIP 84341	
EMAIL ADDRESS monafarf1@aol.com					
PROPERTY OWNER OF RECORD - church Iglesia de Dios Peniel, Inc				PHONE # (435) 760-6031	
MAILING ADDRESS 1176 N. 500 E.		CITY Logan	STATE UT	ZIP 84341	
EMAIL ADDRESS monafarf1@aol.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) see attached sheet.				Total Lot Size (acres) 1.47	
				Size of Proposed New Building (square feet) 5,000	
				Number of Proposed New Units/Lots 1	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative Francisco Montufar		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner Francisco Montufar		

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

Iglesia de Dios Peniel (Peniel Church of God) building project

We are a congregation of about 70 members. On a regular Sunday service we have about 70-75 people who gather at our church at 10:30 am to 12:30. We also have a meeting during the week on Wednesday from 7 pm to 8:30 p.m. with about 15 people attending. Currently we are renting from another church of our same denomination at 340 N. 800 E. Hyrum. We are in the process of conducting a traffic impact study as suggested by the Logan city engineer. On a typical Sunday we have about 25 cars in the parking lot and about 10 cars on Wednesdays.

We have been established in the valley for 16 years and 6 years ago we acquired the land at 620 S. 180 W. Logan. As a nonprofit organization we have been working on raising funds and are now ready to start building. Our plan is to purchase a metal building kit of 5,000 sq ft. We will just have a main building for now. In the future we might add a smaller, 20 x 30 all purpose building.

Regarding the two entrances to the lot, we are planning on having the south entrance be the main entrance and the north side be a one way exit. We think that will help with the flow of traffic. The site plan shows parking slots in front of the north exit but some of those will be removed to allow for the cars to go through. We are also in the process of submitting a boundary adjustment application.

The main purpose of our building will be to provide a place of worship for our members and a place for bible classes for all ages. We are planning on keeping the same schedule we have now.

If you have any questions feel free to contact Pastor Francisco Montufar at

435-760-6031



Scale: 1" = 20'
Scale in Feet

- LEGEND**
- Primary Boundary Line
 - Secondary Boundary Line
 - Other Property Line
 - Fence Line
 - Section Corner
 - Found Survey Point
 - Set 5/8" by 24"
 - Rebar With Cap

Parcel A
AS-SURVEYED DESCRIPTION

A Part of the Southeast Quarter of Section 4, Township 11 North, Range 1 East of the Salt Lake Base and Meridian

Beginning on the South Right-of-Way Line of 600 South Street at a point located 185.05 Feet North 81°15'51" East (North 87°37' East by Record) along said South Right-of-Way Line from the Northeast Corner of Lot 1, Block 1, Plat "B" of the Logan Island Survey and RUNNING THENCE North 81°15'51" East (North 87°37' East by Record) 20.40 Feet along said South Right-of-Way Line; Thence South 01°04'17" West (South 01°05' West by Record) 138.00 Feet; Thence North 84°48'27" East 127.08 Feet (North 82°15'15" East 124.40 Feet by Record; Thence South 11°54'58" East (South 13°30' East by Record) 70.16 Feet to the Boundary Line of Catherine Cove Colonia Subdivision, Entry #888833; Thence along said Subdivision Boundary Line the Following Three (3) Courses: (1) South 12°18'12" East (South 12°18'14" East by Record) 32.87 Feet; (2) South 89°30'30" West (South 89°33'05" West by Record) 175.00 Feet; (3) South 01°11'19" West (South 01°12'44" West by Record) 85.00 Feet to the Boundary Line Agreement Entry #888832 and Entry #888932; Thence along said Boundary Line Agreements the Following Two (2) Courses: (1) South 89°51'45" West (South 84°52'50" West by Record) 155.00 Feet; (2) South 89°01'45" West (North 81°12'28" West by Record) 32.55 Feet to the intersection with the East Line of said Lot 1; Thence North 01°01'53" East (North by Record) 177.50 Feet; Thence North 82°59'04" East 183.40 Feet (North 82°30' East by Record); Thence North 01°04'17" East 138.40 Feet (North 01°05' East 187.77 Feet by Record) to the Point of Beginning, Containing 1.388 acres.

NARRATIVE

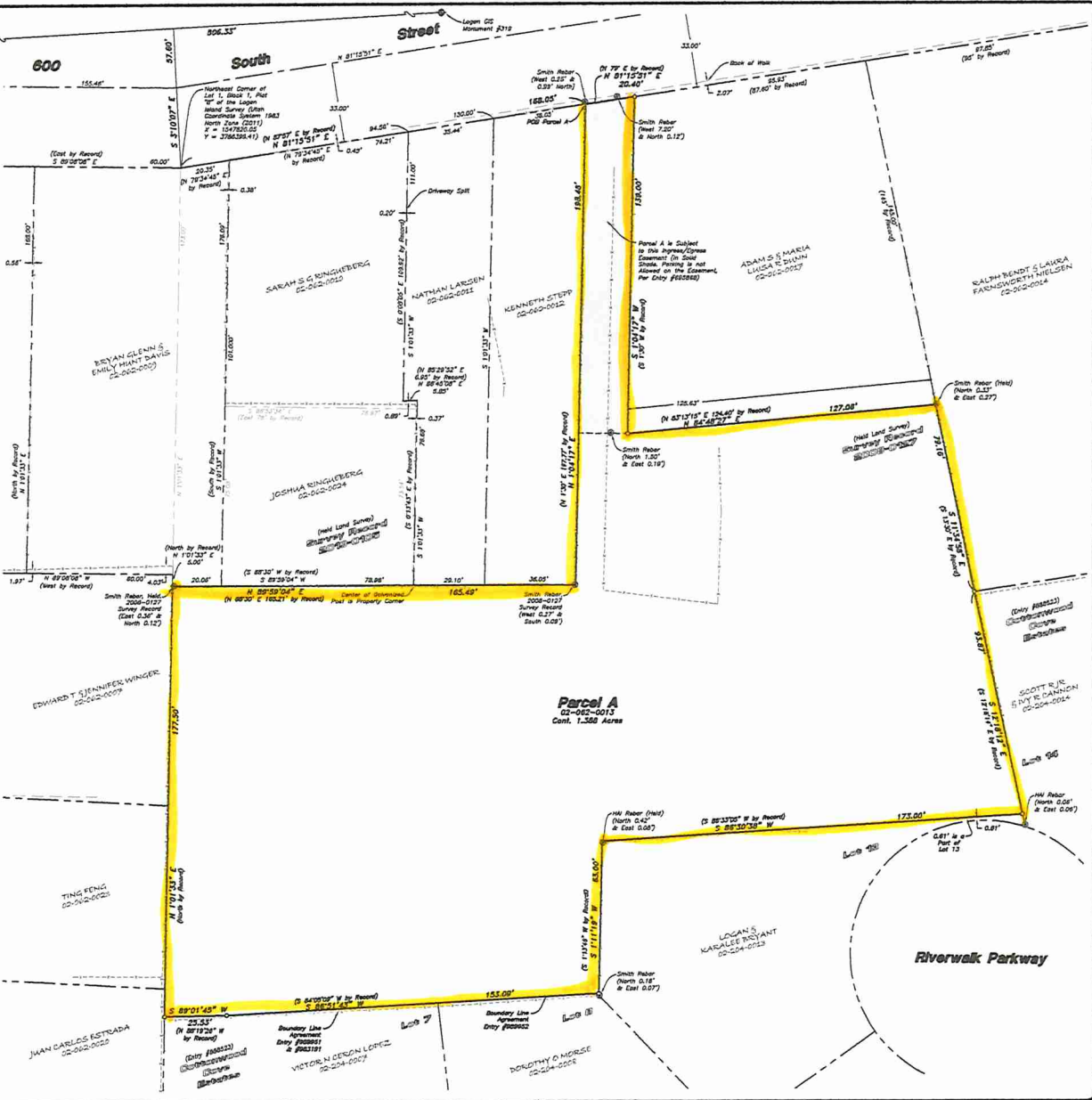
The purpose of this survey was to establish the parcel as shown and described herein. The survey was ordered by Miriam Alberto for IGLESIA DE DIOS PENELE INC. The control used to establish the property corners was the existing survey monumentation around Block 1, Plat B of the Logan Island Survey located in the Southeast of Section 4, Township 11 North, Range 1 East, Salt Lake Base & Meridian. The basis of bearing is the X Line from Logan CG Monument #516 to #520, which bears South 85°49'33" West, "Utah Coordinate System 1983 North Zone".

SURVEY CERTIFICATE

I, Clinton G. Hansen, do hereby certify that I am a Registered Land Surveyor and that I hold Certificate No. 7881587 as prescribed by the Laws of the State of Utah, and that I have made and/or Supervised the survey of the property shown and described herein and that this plat is a true and correct representation of said survey to the best of my knowledge and belief.



October 28th, 2022
Date

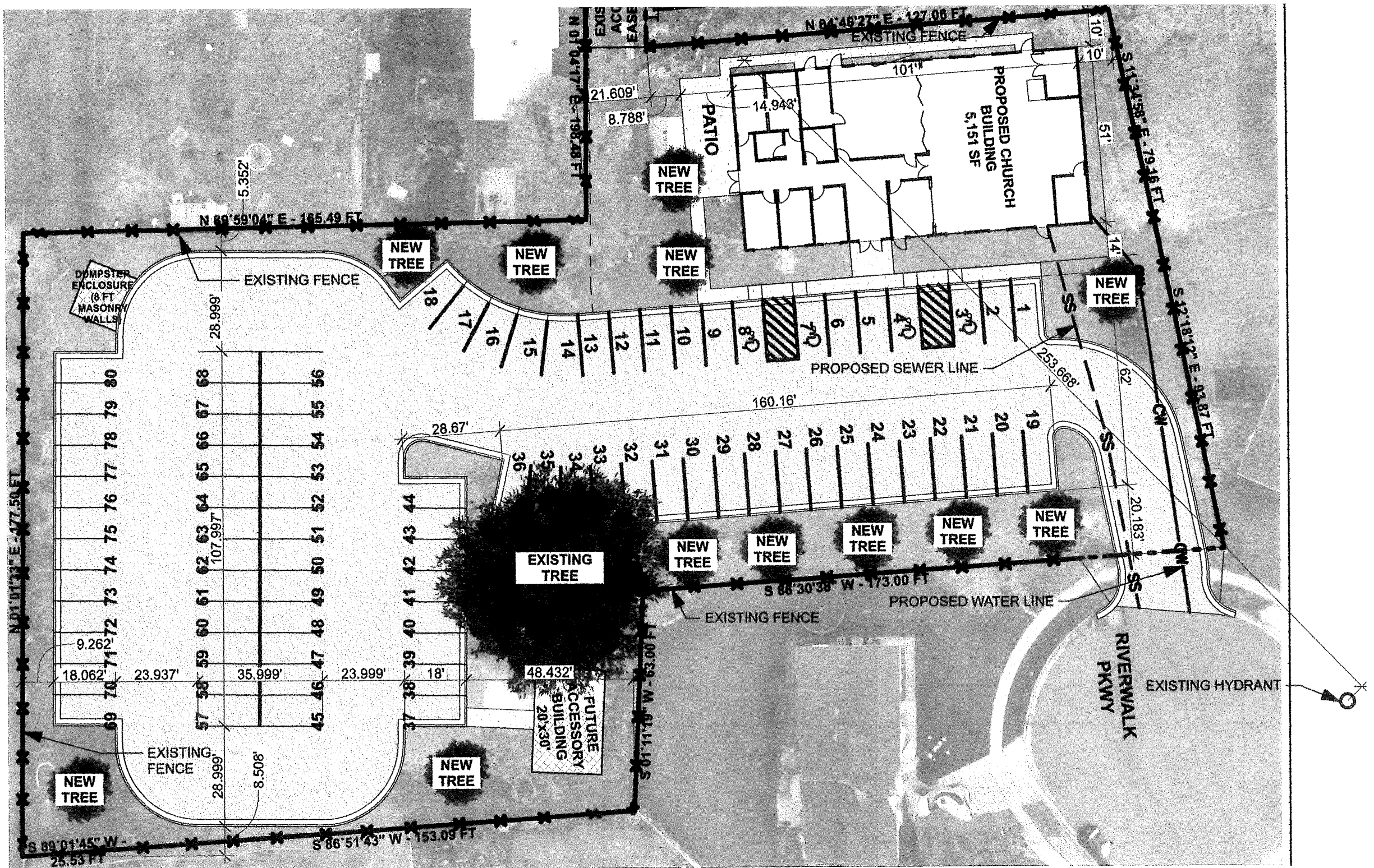
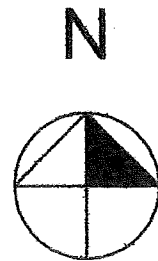


No.	Date	By

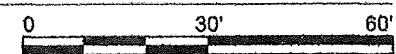
ADVANCED LAND SURVEYING
1770 Research Park Way, Ste. 100
Logan, Utah 84301
(p) 435-770-9545 (f) 435-341-5583
www.advancedsurveying.com

IGLESIA DE DIOS PENELE INC
Boundary Survey for
A Part of the Southeast Quarter of Section 4,
Township 11 North, Range 1 East, S.L.B.M.

Job Number	24-299
Drawn By	CHH
Date	10/19/22
Scale	1"=20'
File	24-299



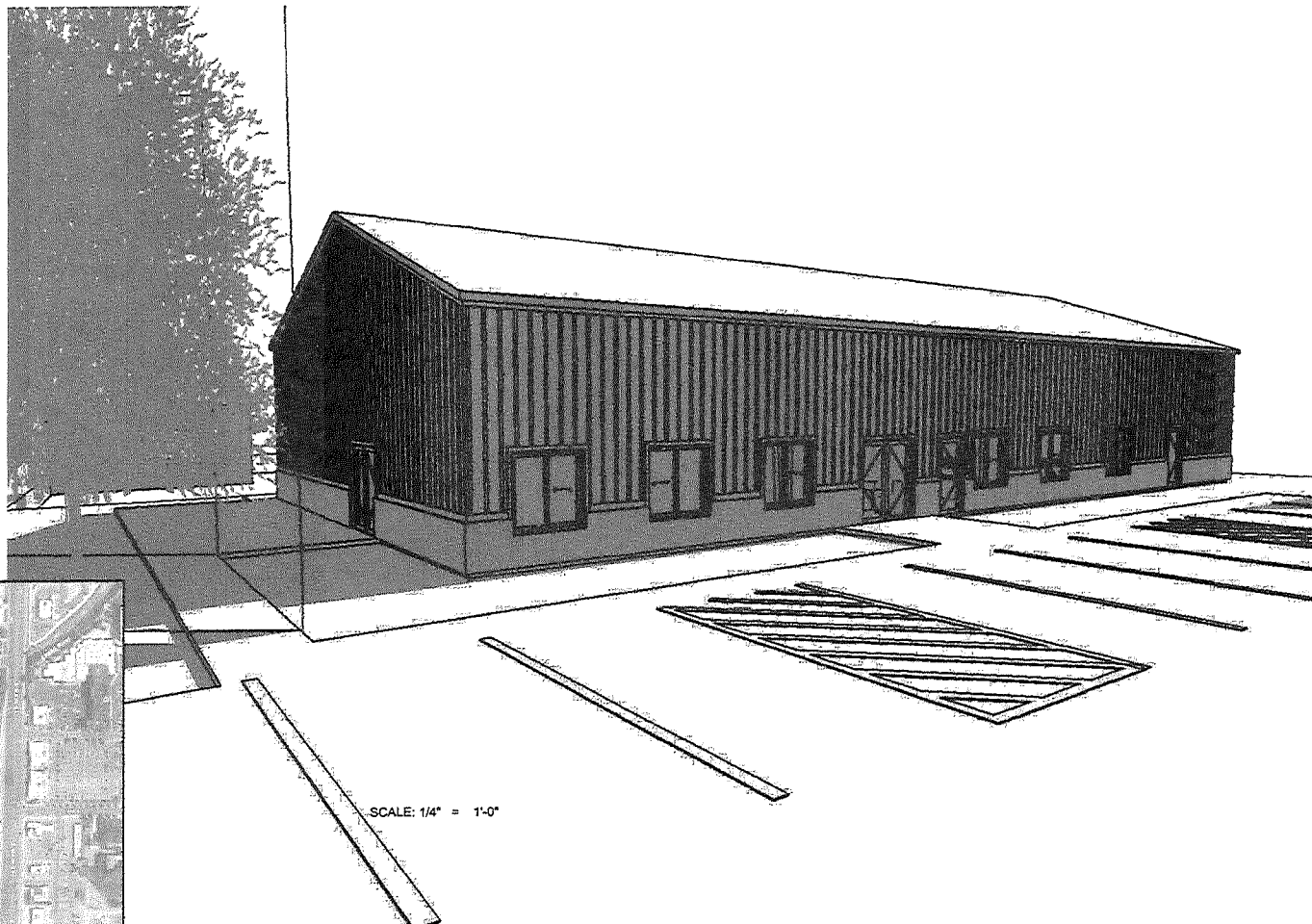
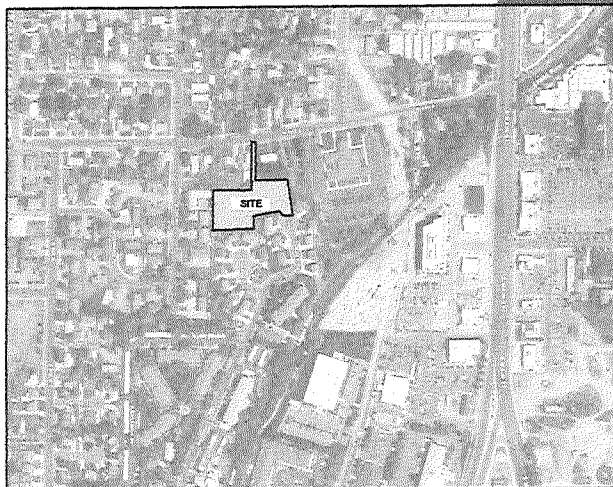
1
SD2 ARCHITECTURAL SITE PLAN
SCALE: 1" = 30'



SHEET INDEX

- SD1 SCHEMATIC COVER ...
- SD2 ARCHITECTURAL SIT...
- SD3 FIRST FLOOR PLAN
- SD4 ELEVATIONS
- SD5 ELEVATIONS
- SD6 ELEVATIONS
- SD7 ELEVATIONS

VICINITY MAP



SCALE: 1/4" = 1'-0"

3D Schematic View



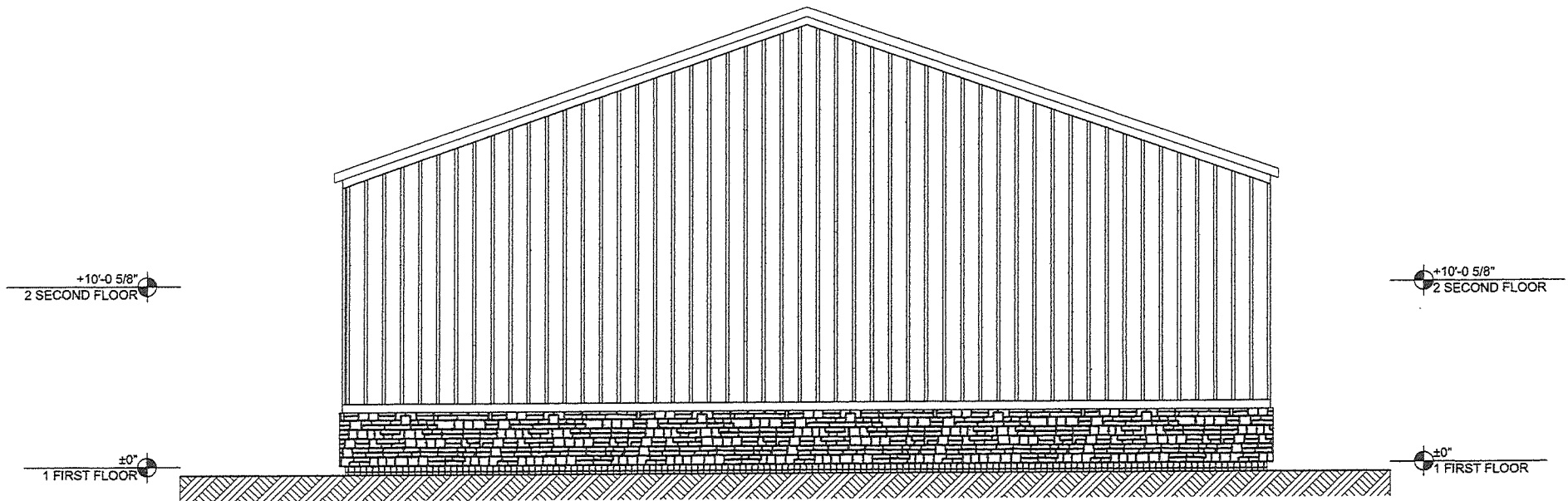
DEIV
architecture

DEIV Architecture and Design, PLLC
PO Box 991
Bountiful, UT 84011

IGLESIA DE DIOS CHAPEL
IGLESIA DE DIOS PENIEL INC

SCHEMATIC COVER SHEET
1/30/23

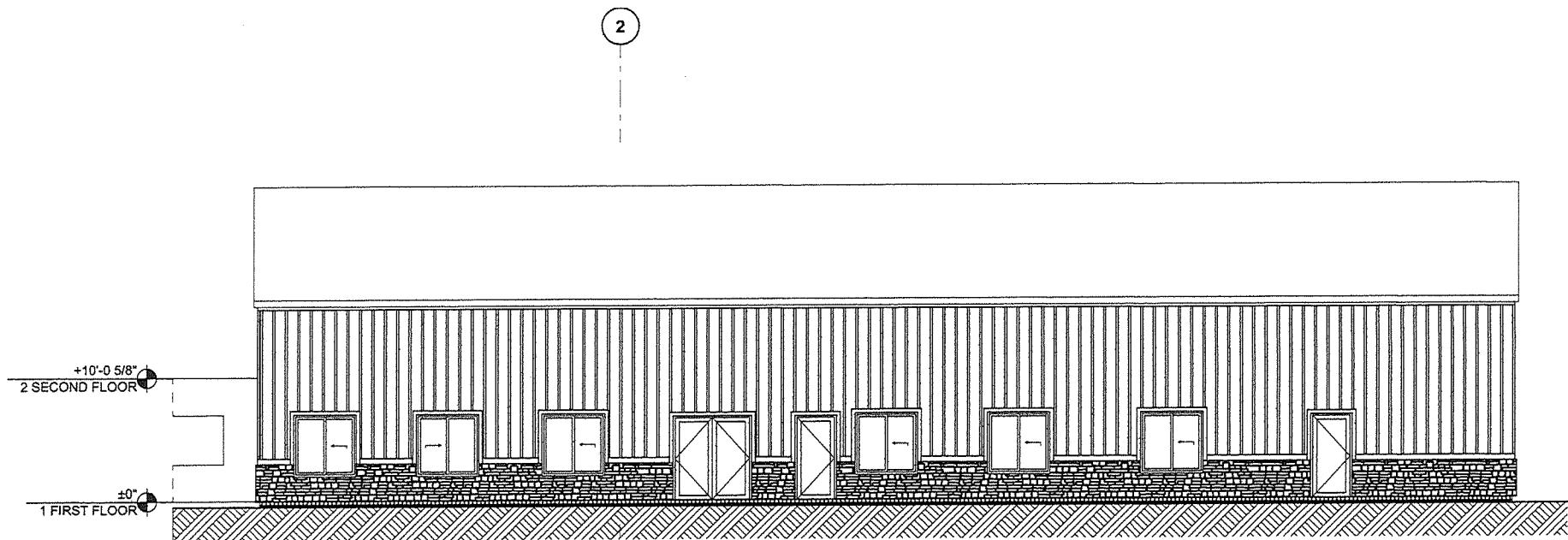
SD1



1

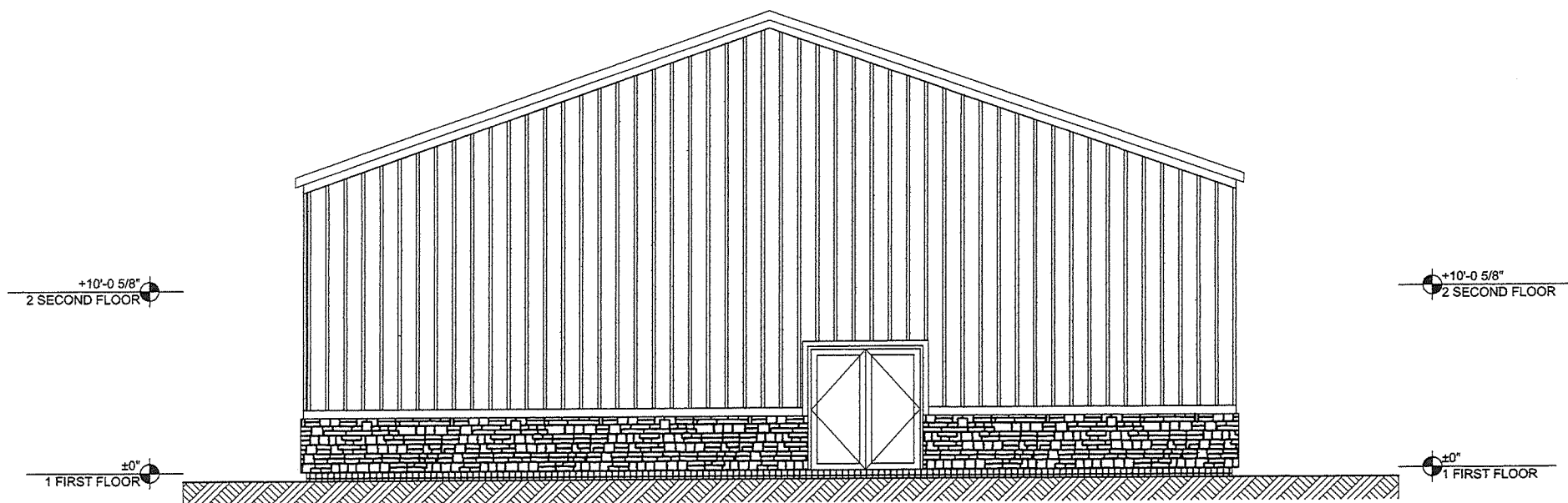
EAST ELEVATION

SCALE: 3/16" = 1'-0"



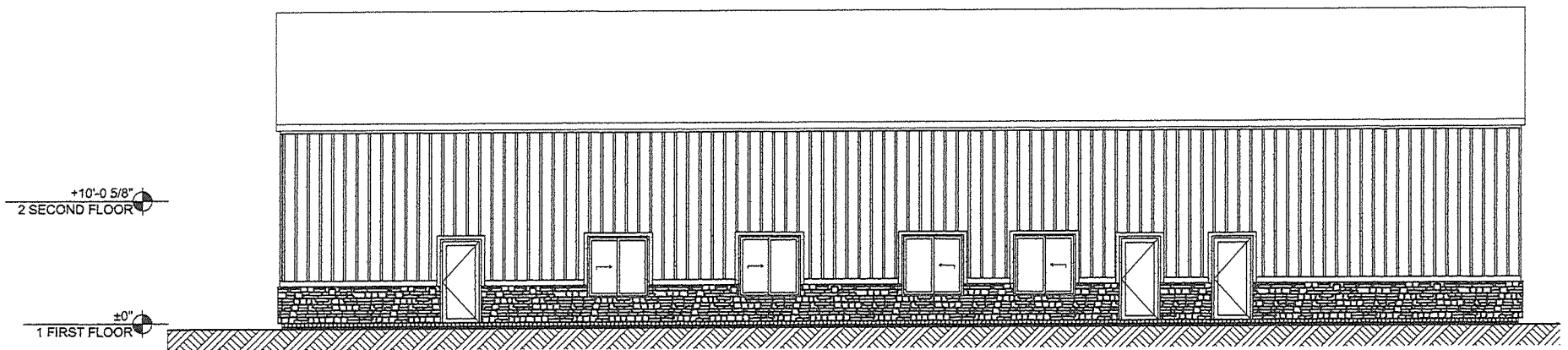
1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

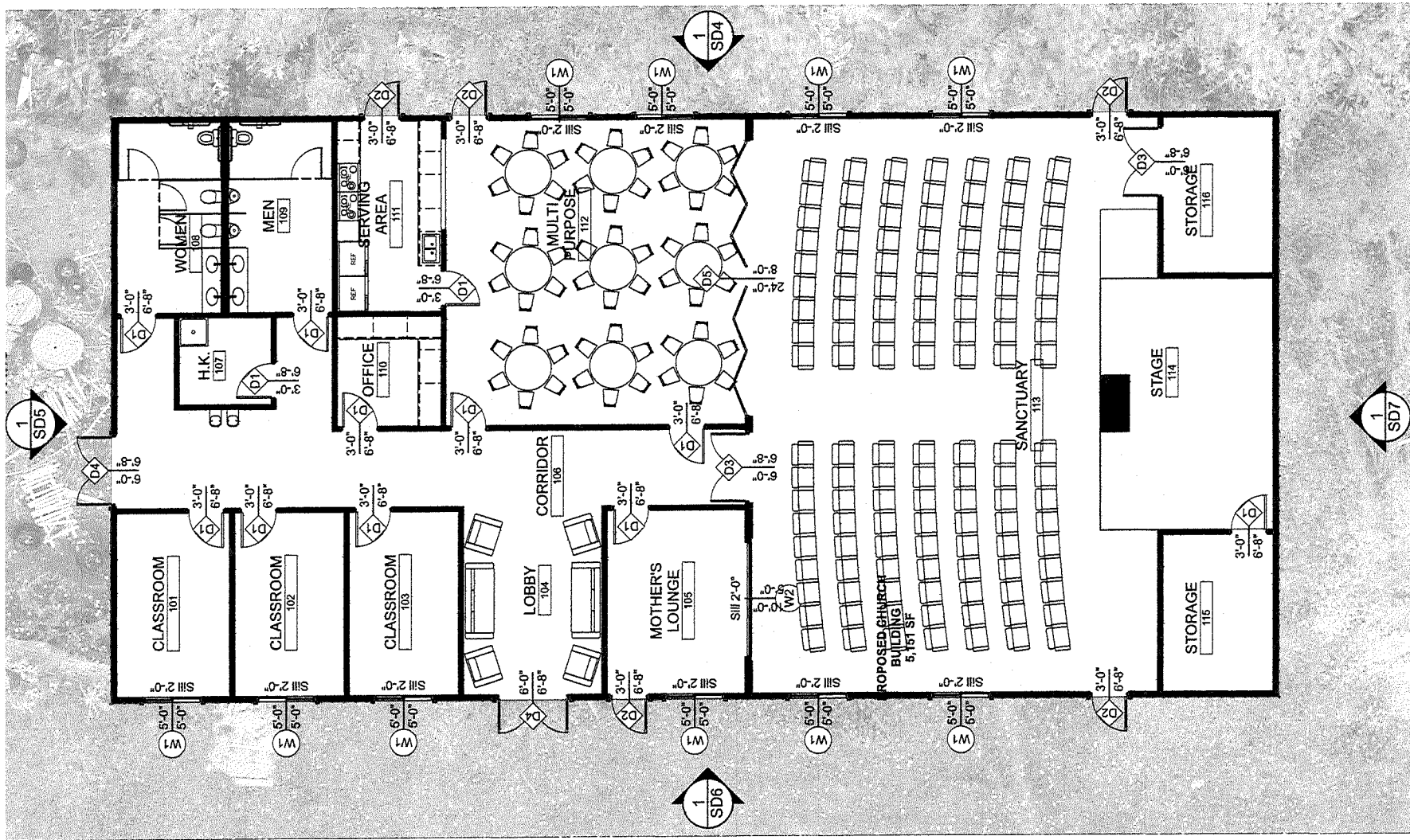


1 WEST ELEVATION

SCALE: 3/16" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



First Floor Plan
SCALE: 1/8" = 1'-0"

