



**Project #23-015
Willets Rezone
Located at approx. 1360 North 200 West**

REPORT SUMMARY...

Project Name: Willets Rezone
Proponent/Owner: Jed Willets / Jed F. Willets
Project Address: 1360 North 200 West
Request: Rezone to MR-20 & Design Review Permit
Current Zoning: MR-12
Date of Hearing: March 9, 2023
Type of Action: Legislative & Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

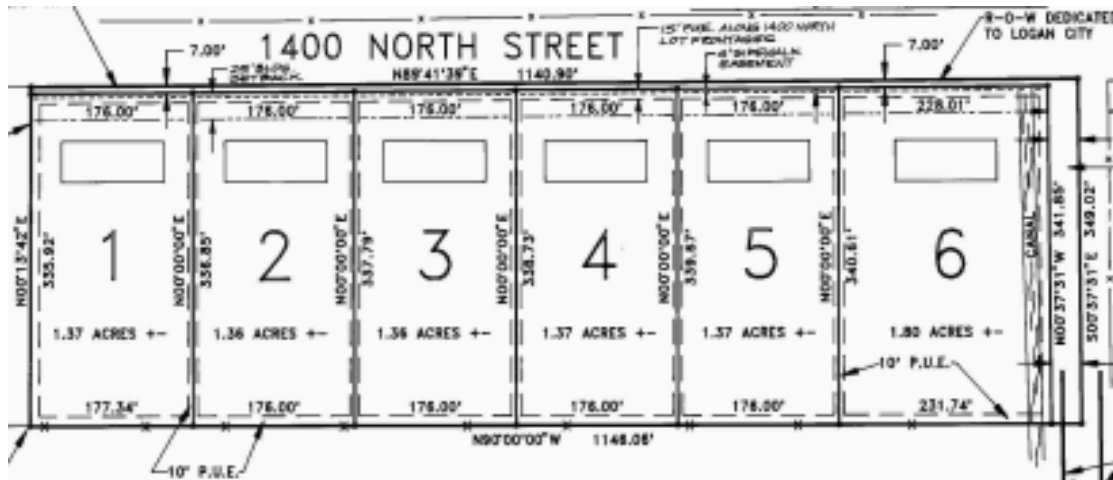
Staff recommends that the Planning Commission recommend **denial** to the Municipal Council for a rezone of approximately 1.80 acres of property located at approximately 1360 North 200 West (TIN# 05-041-0056) from Mixed Residential Low MR-12 to Mixed Residential Medium MR-20) and a Design Review Permit for a four-unit multi-family structure.

Land use adjoining the subject property

<i>North:</i>	CS: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	MR-12: Residential Uses

Background

In 1992 the Logan City Planning Commission approved the six (6) lot Royal Point Subdivision located south of 1400 North between 200 and 400 West. Each lot was approximately 1.30 to 1.80 acres in size. Lot #6 is associated with this request and is 1.80 acres in size. In 1992 the zoning was R4, which allowed multi-family structures at a rate of one unit per every 6,000 square feet (SF) and an additional 1,000 SF for each subsequent unit (4-plexes would require 9,000 SF). Over the course of the following two (2) years seven 4-plexes were built on Lot #6. In 1995 tax identification number (TIN) boundaries were divided around the existing seven 4-plexes at the county and not approved by Logan City (illegal subdivision). The creation of the seven (7) boundaries left the original parent TIN as a vacant 0.24-acre area in the southwest corner. In 2000 zoning designations and densities changed to “Multi Family High” and the project became “legally existing nonconforming”.



The original city approved Royal Point Subdivision (lot #6 is rezone subject property)

In 2011 and 2016, this same applicant applied for a rezone to MR-20. The city denied the 2011 rezone and approved the 2016 rezone to MR-20. The rezone was allowed so this applicant could build a duplex, an entitlement he thought he had because of the 0.24-acre property in a MR-12 zone and City Staff mistakenly didn't initially catch the 1997 illegal subdivision. The council rezoned it back to MR-12 in 2017 after a permit had been filed (vesting) for the duplex. The applicant did not complete the building permit nor was issued a building permit. After years of extensions and opportunities to finalize and issue the building permit it expired in May 2020. Since the permit expired and the zoning went back to MR-12 all entitlements were lost.

REQUEST

The proponent is requesting a re-zone of Lot #6 from Mixed Residential Low (MR-12) to Mixed Residential Medium (MR-20). This would achieve a higher density allowing for a proper Logan City subdivision to occur and thus creating recognized building lots and possible future development opportunities. It would then be the intention of the proponent to build a multi-family structure (up to 4 units for .24 acres) in the vacant area in the southwest corner. The MR-12 zone allows 12 units per acre. The MR-20 zone allows 20 units per acre. Currently, Lot #6 is developed at 15.5 units per acre.



Figure 2 shows the aerial photo of the site

GENERAL PLAN

The Future Land Use Plan (FLUP) identifies this area as Mixed Residential. It does not distinguish between medium and high. In Chapter 5 "Growth vs. Land Availability" it states the problem being that the per capita land consumption is increasing while available quality developable land is decreasing. The solutions identified are compact growth, infill and redevelopment. As part of the revised Land Development Code (LDC) and Zoning Map update in February of 2011, the area was zoned Mixed Residential Medium (MRM) rather than Mixed Residential High (MRH) because this area was over saturated with multi-family structures exceeding the balance of diverse housing options outlined in the General Plan, and the allowable densities in the Mixed Use, Town Center, and Campus Residential zones were substantially increased to promote increased density in those parts of the City.

LAND DEVELOPMENT CODE

The Land Development Code (LDC) allows for up to 20 residential units per acre of land in the MR-20 zone. The MR-20 zoning district permits a range of residential structures, including

duplexes, triplexes, townhomes, etc. The current zoning designation of MR-12 is similar but less density per acre is permitted. If this were a legally created building lot (City Subdivision not a County Recorder division of property), a 0.24 acre of land would allow a duplex.



Figure 3 shows the current zoning in the area

DESIGN REVIEW PERMIT

Building Orientation & Design

The LDC 17.09.040 states that buildings should be oriented towards the adjacent street or common courtyard with front facades and front doors for visual and walkability reasons. In certain cases, for practicality reasons or unique site constraints, buildings can orient away from the street, but façade considerations (four-sided architecture) and walkability should create inviting architecture and maintain direct walkability. The proposed townhomes orient to an existing interior parking lot. This area of the project site is not visible from the adjacent city streets and would not be subject to building orientation requirements.

The LDC 17.09.040 requires multi-family buildings to have minimum variations, interesting façade design, a mix of materials and articulation for aesthetically pleasing projects. The proposal shows façade variations and a mix of building materials. As conditioned with the Planning Commission determining design, the project meets the code requirements in the LDC.

Building Heights

The LDC allows building heights in the MR-20 zone at 45 feet. The proposed two-story building is shown at approximately 25-feet in height. As proposed, building height complies with the LDC standards.

Open Space & Landscaping

The LDC 17.07.110 requires 20% open space and an additional 10% useable outdoor space in the MR-30 zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor

experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per net acre of land for multi-family residential projects. As conditioned with compliant landscaping plans and minimum open space, the project meets the requirements of the LDC. Building Design, Height, Orientation, Setback, Open Space and Landscaping compliance will be required as per MR-20 is the rezone is approved by the Logan City Council.

SUMMARY

Jed Willets originally purchased the property in 2011 with the desire to build a duplex. An application for design review was submitted and the illegal subdivision was then discovered and thus rendering this property worthless as all density had already been accounted for on lot #6. Property trades were pursued between 2011 and 2016 to no avail. In 2016, the City Council up-zoned it for this applicant and he had every opportunity to finish the project between 2016 and 2020. Now, the applicant wants another opportunity and wants to increase the density from 2 to 4 units.

AGENCY AND CITY DEPARTMENT COMMENTS

No comments.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, one comment from Frank Schofield has been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/25/23, posted on the City's website and the Utah Public Meeting website on 2/27/23, and mailed to property owners within 300 feet on 2/20/23. The quarter page ad was published on 2/23/23.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The total maximum density of this project is 4 units.
3. The project shall provide two (2) vehicle parking stalls per each dwelling unit and a bike rack.
4. The building design shall contain a mix of materials and comply with LDC standards.
5. The sidewalk connection to the east shall remain.
6. All common and remainder areas shall be listed as "non-buildable" on the street dedication plat.
7. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of the 20% of the project site.
 - b) 20 trees and 50 shrubs/perennials shall be provided per acre.
8. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
10. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.

12. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
13. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
14. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Water—contact 716-9627*
 - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter. New and existing systems.
 - Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
 - Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water.
 - b. *Engineering —contact 716-9160*
 - Provide documents that resulted in the creation of the six lots in lot 6 of the Royal Point Subdivision.
 - Provide a letter of support from the HOA that clarifies this development is compliant with their CC&Rs.
 - Show how existing water and sewer is or will be provided to the development and the document creating shared access and utility easements to the proposed lot. Each building will be required to have their own water and sewer service. If routing services under canal, written permission from canal must be provided.
 - The additional density will require a second access.
 - The plans submitted do not show storm water management improvements on the property, including the provision for storm water detention/retention basins. Additional common / open space area may be required to comply with the City's storm water management standards.
 - Additional water shares or in-lieu fee for indoor and outdoor increased water demands shall be provided to the City in accordance with City Code 17.29.210 and Utah Administrative Rule R309-510-7.
 - All existing easement / right of way lines shall be shown on the plat and the type of easement / right of way and recording information shall be labeled on the plat. Improvements shall not infringe upon the rights of an existing easement / right of way. Where non-existent or insufficient, provide a 10' Public Utility Easement along all frontages and perimeter property lines, and provide a 5' Public Utility Easement along each side of all interior property lines.
 - All necessary cross access easements/agreements for private road and private utilities across all properties shall be recorded and provided to the City.
 - This development is not being proposed as a subdivision; therefore, all required easement and right-of-way dedications shall be completed by separate instrument approved by the City Engineer prior to recording with Cache County. All dedication documents shall be accompanied with a metes and bounds legal description and a separate legal description exhibit that is tied to two City approved monuments.
 - This development is located in an area of high water table (0 to 24 inches) and classified as having moderate liquefaction potential; as such structures and stormwater management facilities shall be designed accordingly.

- Agreements between property owners and easements where necessary shall be provided to the City prior to approval of a construction plan set that shows construction improvements outside of the property boundary lines.
- All utilities outside of the public right-of-way shall be private lines and shall be owned, maintained, repaired/replaced by Homeowners Association. All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.
- A Logan private Water Utility agreement for all private water and sewer lines (including fire lines) not located within a Public Right of Way. The agreement shall be recorded with the County Recorder.
- All lots shall have separate water service and sewer service connections to water distribution and sewer collection systems.
- Ensure sufficient fire hydrants are located in and around the site to meet fire code requirements as required by the Fire Marshall.
- Storm water detention/retention shall be provided per Logan City Design standards. This includes the retention of stormwater from an adjacent existing street that discharges to the property. Retention of the 90% storm event is required and shall be provided through the use of Low Impact design methods.
- Except for stormwater from City rights-of-way which shall be managed on the property, the development shall either incorporate into its stormwater design or pass through in a historical manner any stormwater that flows onto the property from adjacent properties.
- A Logan stormwater maintenance agreement shall be provided for City Review, approval and recordation at County Recorder's Office.
- Area is less than 1 acre so compliance with State Storm Water Permit is not required. Development shall comply with Logan City design standards for storm water detention/retention. Development shall also provide a sediment and erosion control plan for all construction activities.

c. Environmental —contact 716-9761

- Garbage dumpsters are already on site. Owners will need to work with Environmental Department to move dumpsters where they are safely accessible to equipment and other residents who share this dumpster.

RECOMMENDED FINDINGS FOR REZONE DENIAL

The Planning Commission bases its decision on the following findings supported in the administrative record for this project:

1. The Logan City FLUP identifies the area as MR. The surrounding areas are zoned MR-12 and this property should also be zoned MR-12 for consistency
2. The Bridger Neighborhood was specifically downzoned to reduce the number new multi-family developments.
3. The lot was illegally subdivided in 1997 and the applicant had been given an opportunity to reconcile the illegal subdivision with a temporary rezone in order to build a duplex on the site, but failed to follow through with that allowance.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only					
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review	
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number	
1/31/23		MR-12/BRIDGER	MARCH 9	PC 23-015	
Type of Application (Check all that apply):					
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Subdivision	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal		<input checked="" type="checkbox"/> Zone Change	
				<input type="checkbox"/> Administrative Design Review	
				<input type="checkbox"/> Other	
PROJECT NAME					
Ted Willets - Plex unit					
PROJECT ADDRESS				COUNTY PLAT TAX ID #	
1360 N. 200 W.				05-041-0056	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER				PHONE #	
Ted Willets				435-760-3689	
MAILING ADDRESS		CITY	STATE	ZIP	
3901 S. 4000 W.		wekville	UT	84339	
EMAIL ADDRESS					
jedwillets1@gmail.com					
PROPERTY OWNER OF RECORD				PHONE #	
Ted F. Willets				435-760-3689	
MAILING ADDRESS		CITY	STATE	ZIP	
3901 S. 4000 W.		wekville	UT	84339	
EMAIL ADDRESS					
jedwillets1@gmail.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)				Total Lot Size (acres)	
Zone change to 20 units per acre to allow Plex unit on parcel Design review for Plex unit ZONE CHANGE FROM MR-12 TO MR-20				.24	
				Size of Proposed New Building (square feet)	
				3000	
				Number of Proposed New Units/Lots	
				2-4	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative		
			[Signature]		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner		
			[Signature]		

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

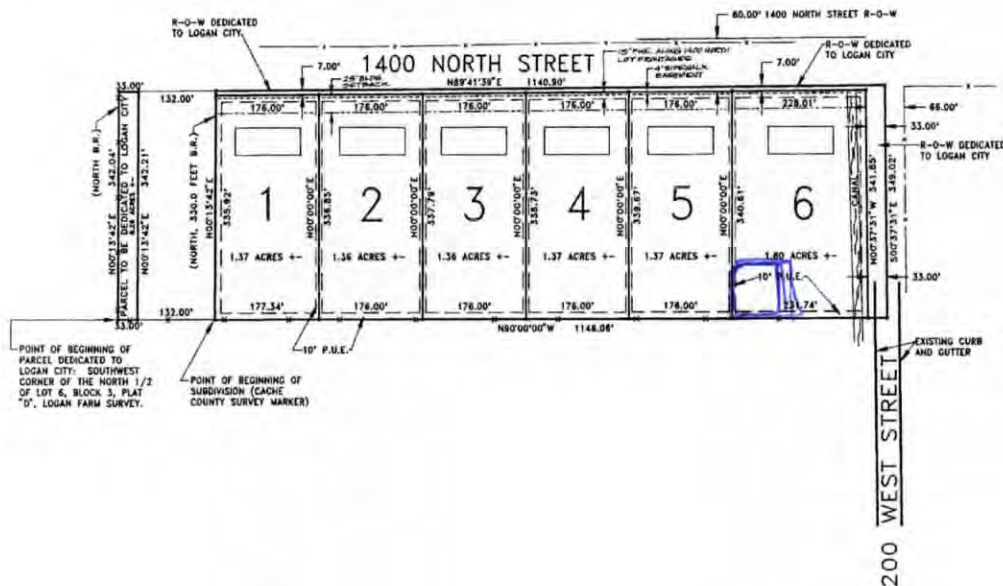
City Council W: 3/21/23
H: 4/4/23

ROYAL POINT SUBDIVISION

PART OF THE NORTH HALF OF LOT 6, BLOCK 3,
PLAT "D", LOGAN FARM SURVEY OF THE NORTH
HALF SECTION 28, TOWNSHIP 12 NORTH, RANGE
1 EAST OF THE SALT LAKE BASE AND MERIDIAN.



GRAPHIC SCALE



SURVEYOR'S CERTIFICATE

I, WAYNE L. CROW, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6162, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT INTO LOTS AND STREETS, HEREINAFTER TO BE KNOWN AS: ROYAL POINT SUBDIVISION AND THE SAME HAVE BEEN CORRECTLY SURVEYED AND ALL STREETS ARE THE DIMENSIONS SHOWN.

BOUNDARY DESCRIPTION

PARCEL TO BE DEDICATED TO LOGAN CITY

PART OF THE NORTH HALF OF LOT 6, BLOCK 3, PLAT "D", LOGAN FARM SURVEY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE SAID NORTH HALF OF LOT 6, SAID POINT OF BEGINNING BEING A FENCE CORNER AND RUNNING THENCE NORTH 0°13'42" EAST ALONG A FENCE LINE, 342.04 FEET (NORTH BY RECORD) TO THE SOUTH LINE OF 1400 NORTH STREET; THENCE NORTH 89°41'38" EAST ALONG SAID SOUTH LINE OF 1400 NORTH STREET, 33.00 FEET; THENCE SOUTH 0°13'42" WEST, 342.31 FEET TO THE SOUTH LINE OF THE SAID NORTH HALF AND A FENCE LINE; THENCE WEST ALONG SAID SOUTH LINE AND FENCE LINE, 33.00 FEET TO THE POINT OF BEGINNING, CONTAINING 0.26 ACRES ±

PARCEL CONTAINING ROYAL POINT SUBDIVISION

PART OF THE NORTH HALF OF LOT 6, BLOCK 3, PLAT "D", LOGAN FARM SURVEY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH LIES EAST ALONG THE SOUTH LINE OF THE SAID NORTH HALF OF LOT 6, 185.00 FEET FROM THE SOUTHWEST CORNER OF THE SAID NORTH HALF OF LOT 6, SAID POINT OF BEGINNING BEING MONUMENTED BY A CACHIE COUNTY SURVEY MARKER AND RUNNING THENCE NORTH 0°13'42" EAST, 342.82 FEET (NORTH, 330.00 FEET BY RECORD) TO THE SOUTH LINE OF 1400 NORTH STREET; THENCE NORTH 89°41'38" EAST ALONG SAID NORTH LINE OF 1400 NORTH STREET, 1140.90 FEET TO THE NORTHEAST CORNER OF SAID LOT 6; THENCE SOUTH 0°13'31" EAST ALONG THE EAST LINE OF SAID LOT 6, 348.02 FEET TO THE SOUTHEAST CORNER OF THE SAID NORTH HALF OF LOT 6 AND EXTENDED FENCE LINE; THENCE WEST ALONG SAID EXTENDED FENCE LINE, 1144.06 FEET TO THE POINT OF BEGINNING, CONTAINING 9.082 ACRES ±



9/14/92
DATE
WAYNE L. CROW
SIGNATURE

Gibbons & Crow
CIVIL ENGINEERING/LAND SURVEYING
888 NORTH MAIN, LOGAN, UTAH 84321 (801)753-0606

COUNTY SURVEYOR'S CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION FILED IN THIS OFFICE.

OCTOBER 5, 1992
DATE



PLANNING COMMISSION APPROVAL

APPROVED THIS 6 DAY OF Oct A.D. 1992
BY THE Planning Commission.

[Signature]
CHAIRPERSON

ENGINEER'S CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION FILED IN THIS OFFICE.

OCT 6, 1992
DATE

[Signature]
ENGINEER

COUNCIL APPROVAL AND ACCEPTANCE

PRESENTED TO THE Mayor COUNCIL THIS 13th DAY OF Oct A.D. 1992 AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

[Signature]
COUNCIL CHAIRPERSON
[Signature]
ATTEST:

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREINAFTER KNOWN AS: DO HEREBY WARRANT AND SAVE THE HARMLESS FROM ANY EXEMPTIONS AND INCUMBRANCES AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

IN WITNESS WHEREOF WE HAVE HERETO SET OUR SIGNATURES THIS 13th DAY OF Oct A.D. 1992
[Signatures]
W. L. Crow
Wayne L. Crow
Surveyor
[Signatures]
Preston D. Nadeau
Preston D. Nadeau
County Surveyor
[Signatures]
Michael L. Crow
Michael L. Crow
Engineer

COUNTY RECORDER'S No. 565307

STATE OF UTAH, COUNTY OF CACHE RECORDED AND FILED AT THE REQUEST OF MICHAEL L. CROW
DATE 10/26/1992 TIME 12:10 P.M. FEE \$24.00
ABSTRACTED

INDEX 1992-828
FILED IN: FILE OF PLATS

[Signature]
COUNTY RECORDER

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS 10th DAY OF Oct A.D. 1992

[Signature]
ATTORNEY

ACKNOWLEDGEMENT

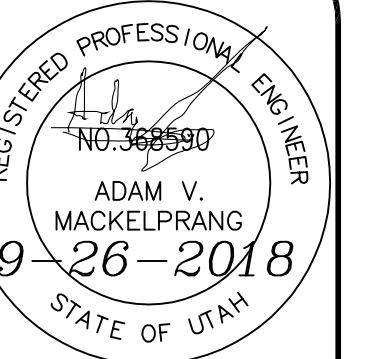
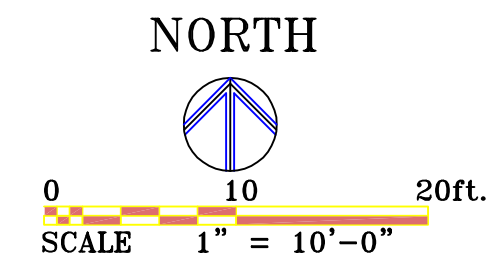
STATE OF Utah COUNTY OF Cache
ON the 13th DAY of October, 1992, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC IN AND FOR SAID COUNTY OF Cache, IN SAID STATE OF Utah, THE SIGNERS OF THE ATTACHED OWNER'S DEDICATION, IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THEY SIGNED IT FREELY AND VOLUNTARILY AND FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES 2/19/94

[Signature]
NOTARY PUBLIC

- LEGEND
- LOT LINE
 - PUE LINE
 - NEW CURBING
 - EXISTING ASPHALT
 - NEW CONCRETE
 - EXISTING CONCRETE
 - EXISTING IRRIGATION
 - EXISTING SEWER LINE
 - EXISTING GAS LINE
 - NEW 4" SEWER SERVICE
 - EXISTING WATER LINE
 - PROPOSED WATER LINE SERVICE

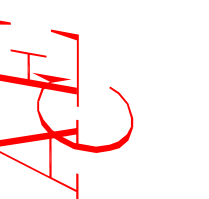
EAST ROYAL POINT LOT 7 SITE PLAN



DATE	REVISIONS	DRAWING
		2500N.DWG
SCALE		DRAWN BY BGL

PROJECT
EAST ROYAL POINT LOT 7
SITE PLAN

ALLIANCE CONSULTING
ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84321
(435) 755-5121



GENERAL NOTES:
1. ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE AND STATE AND LOCAL CODES.
2.CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE ANY WORK PROCEEDS.
3. FLOOR JOISTS ARE TO BE AS PER FRAMING PLAN OR COMPATIBLE. FLOOR DEFLECTION MUST BE L/480 OR BETTER.
4. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS.
5. 5/8" TYPE "X" SHEET ROCK AT GARAGE WALLS CEILING AND BEARING WALLS COMMON TO HOUSE. INSULATE HOUSE WALLS.
6. WIRE FOR TELEPHONE AND TELEVISION JACKS (UL LISTED) GENERAL CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER. ALL ELECTRICAL PARTS SHOWN ARE FOR REFERENCE ONLY. CHECK WITH OWNER FOR EXACT LOCATION.
7. CONTRACTOR SHALL VERIFY ALL BEAM, JOISTS SIZES AND SPACING (SEE STRUCTURAL DRAWINGS WHEN APPLICABLE).
8. GENERAL CONTRACTOR TO VERIFY WITH OWNER ON ALL EXTERIOR DOOR AND WINDOW TYPES AND MANUFACTURER PRIOR TO THE STARTING OF ANY FRAMING.
9. SEE FOUNDATION PLAN / ENGINEERING SHEETS FOR LOCATIONS OF FOUNDATION STRAPS.
10. ALL HEADERS & BEAMS ARE TO BE 2X10 DF #2 BTR UNLESS NOTED OTHER WISE.
11. ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE WITH A MIN. U-FACTOR OF 0.32
12. ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-13 INSULATIONS
13. ALL EXTERIOR ABOVE GRADE WALLS TO HAVE A MINIMUM OF R-20 INSULATION UNLESS NOTED OTHER WISE.
14. ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49 INSULATION UNLESS NOTED OTHER WISE.

MECHANICAL ROOM:
1. IN CLIMATE ZONES 3 THROUGH 8, WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM, ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE N1102.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET A MINIMUM OF THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION N1103. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
EXCEPTIONS: 1. DIRECT VENT APPLIANCES WIT BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVE COMPLYING WITH SECTIONS N1102.4.2 AND R1006
2. GAS/PROPANE FORCED AIR HEAT THRU-OUT. SUBCONTRACTOR TO SUPPLY GENERAL CONTRACTOR WITH COMPLETE SHOP DRAWINGS AND HEAT LOSS CALCULATIONS. ALL WARM AIR DUCTS AND COLD AIR RETURNS SHOWN ARE FOR REFERENCE ONLY.
GUARDRAIL NOTES:
1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT A 4-INCH SPHERE CANNOT PASS THROUGH.



MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	2	1	160T0	192"X84"X1 3/4"	194"X87"	D01
D02	1	1	2060 L IN	24"X12"X1 3/8" L IN	26"X14 1/2"	D02
D03	1	1	2060 R IN	24"X12"X1 3/8" R IN	26"X14 1/2"	D03
D04	1	1	2468 L IN	28"X80"X1 3/8" L IN	30"X82 1/2"	D04
D05	1	1	2468 R IN	28"X80"X1 3/8" R IN	30"X82 1/2"	D05
D06	1	1	3068 L EX	36"X80"X1 3/4" L EX	38"X83"	D06
D07	1	1	3068 L EX	36"X80"X1 3/8" L EX	38"X83"	D07
D08	1	1	3068 R EX	36"X80"X1 3/4" R EX	38"X83"	D08
D09	1	1	3068 R EX	36"X80"X1 3/8" R EX	38"X83"	D09
D10	1	1	5068 L EX	60"X80"X1 3/4" L EX	62"X83"	D10
D11	2	1	5068 L/R IN	(2) 30"X80"X1 3/8" L/R IN	62"X82 1/2"	D11
D12	1	1	5068 R EX	60"X80"X1 3/4" R EX	62"X83"	D12
D13	1	2	1868 L IN	20"X80"X1 3/8" L IN	22"X82 1/2"	D13
D14	1	2	1868 R IN	20"X80"X1 3/8" R IN	22"X82 1/2"	D14
D15	2	2	2468 L IN	28"X80"X1 3/8" L IN	30"X82 1/2"	D15
D16	2	2	2468 R IN	28"X80"X1 3/8" R IN	30"X82 1/2"	D16
D17	1	2	2868 L IN	32"X80"X1 3/8" L IN	34"X82 1/2"	D17
D18	1	2	2868 R IN	32"X80"X1 3/8" R IN	34"X82 1/2"	D18
D19	12	2	4068 L/R IN	(2) 24"X80"X1 3/8" L/R IN	50"X82 1/2"	D19
D20	1	2	2468 L	28"X80"X1 3/8" L	58"X82 1/2"	D20
D21	1	2	2468 R	28"X80"X1 3/8" R	58"X82 1/2"	D21
D22	4	2	3068 L IN	36"X80"X1 3/8" L IN	38"X82 1/2"	D22
D23	4	2	3068 R IN	36"X80"X1 3/8" R IN	38"X82 1/2"	D23

MASTER WINDOW SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	2	1	2030SH	24"x36"SH			2
W02	2	1	2628LS	30"x32"LS			2
W03	2	1	3026FX	36"x30"FX		YES	2
W04	2	1	4030LS	48"x36"LS			2
W05	2	1	7040TS	84"x48"TS			2
W06	2	2	3030FX	36"x36"FX			2
W07	6	2	4046LS	48"x54"LS	YES		6
W08	4	2	5050LS	60"x60"LS	YES		4

Duplex for Jed Willets
East Royal Point Subdivision
Logan UT. 84321
Lot #7
Parcel ID# 05-041-0056

CONTENTS:

- 1. COVER PAGE
- 2. FOUNDATION PLAN
- 3. MAIN FLOOR PLAN
- 4. SECOND FLOOR PLAN
- 5. ELEVATIONS
- 6. ELECTRICAL PLANS
- 7. BUILDING SECTIONS & DETAILS
- S0.1 STRUCTURAL SPECIFICATIONS
- S1.0 FOOTING / FOUNDATION PLAN
- S1.1 STRUCTURAL DETAILS
- S2.0 ROOF & 2ND FLOOR FRAMING PLAN
- S2.1 STRUCTURAL DETAILS

PROJECT FOR:

Jed Willets

TITLE:

Cover page

DATE:
2/2/2018

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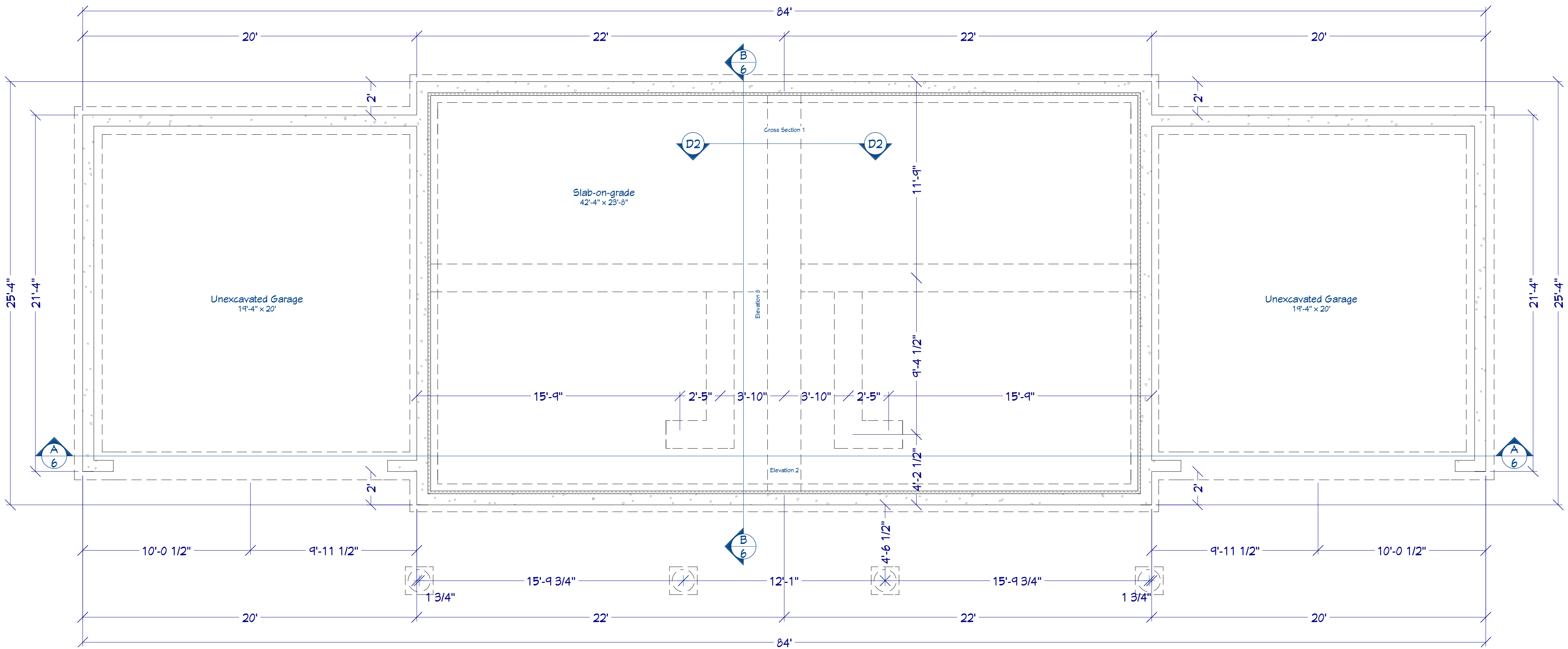
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BAIRDESIGN

SEE FRAMING DETAILS E-S1.1 & S2.1 FOR FIRE WALL CONSTRUCTION.
NOTE: 5/8" TYPE "X" SHEET ROCK MUST BE FIRE TAPED ON ALL SEAMS.
ALL PENETRATIONS MUST BE FIRE CAULKED. STUD CAVITY TO BE INSULATED TO CODE. IBC 2015 SECTION 706-FIRE WALLS.

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



Foundation plan
Scale: 1/4" = 1'
See structural drawings
Sheet S1.0 for specifications



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PROJECT FOR:
Jed Willets

TITLE:
Foundation plan

DATE:
2/2/2018

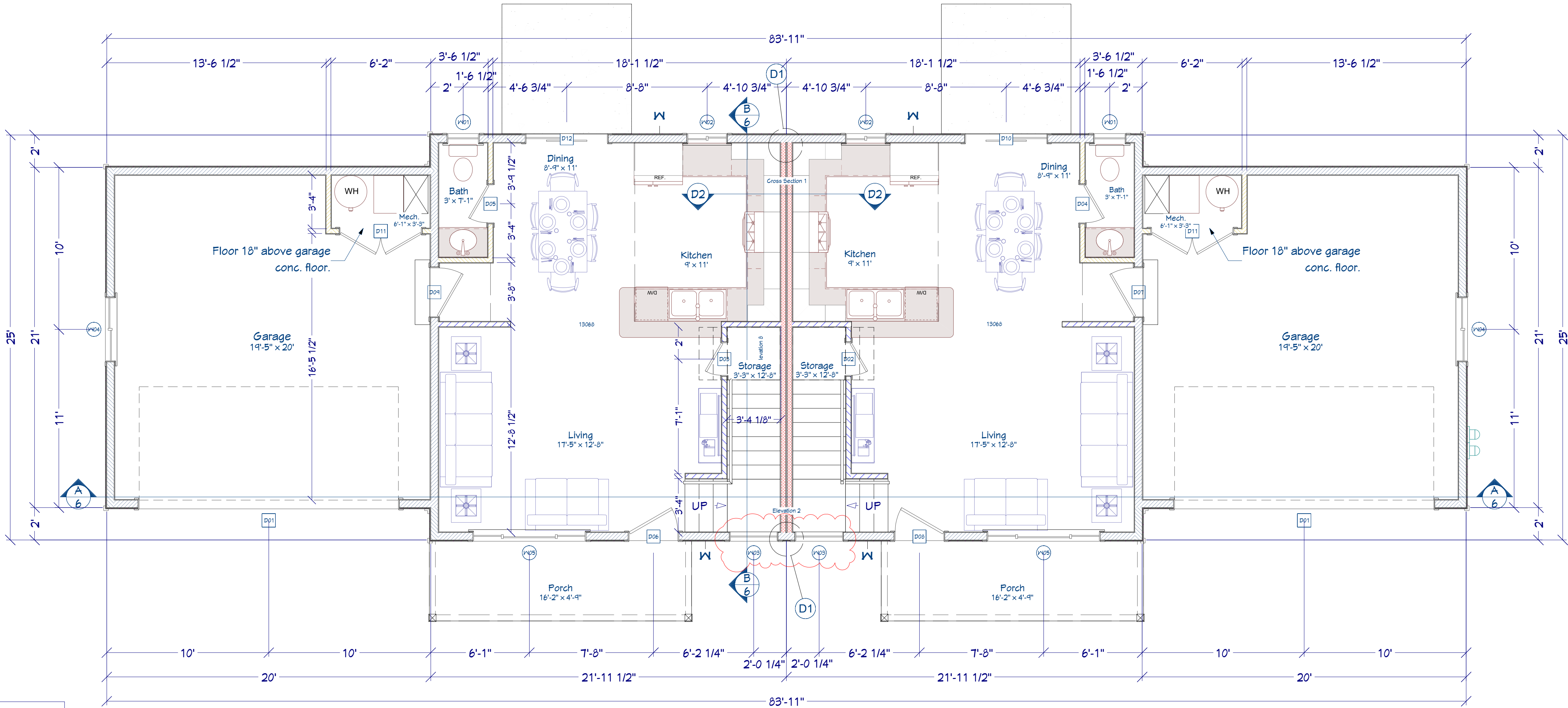
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SEE FRAMING DETAILS E-S1.1 & S2.1 FOR FIRE WALL CONSTRUCTION.
NOTE: 5/8" TYPE "X" SHEET ROCK MUST BE FIRE TAPED ON ALL SEAMS.
ALL PENETRATIONS MUST BE FIRE CAULKED. STUD CAVITY TO BE INSULATED TO CODE. IBC 2015 SECTION 706-FIRE WALLS.

MECHANICAL ROOM:

1. IN CLIMATE ZONES 3 THROUGH 8, WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM, ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE N1102.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET A MINIMUM OF THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION N1103. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
- EXCEPTIONS: 1. DIRECT VENT APPLIANCES WIT BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVE COMPLYING WITH SECTIONS N1102.4.2 AND R1006
3. GAS/PROPANE FORCED AIR HEAT THRU-OUT. SUBCONTRACTOR TO SUPPLY GENERAL CONTRACTOR WITH COMPLETE SHOP DRAWINGS AND HEAT LOSS CALCULATIONS. ALL WARM AIR DUCTS AND COLD AIR RETURNS SHOWN ARE FOR REFERENCE ONLY.
4. G2408.2 (305.3) ELEVATION OF IGNITION SOURCE. EQUIPMENT AND APPLIANCES HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES (457 mm) ABOVE THE FLOOR IN HAZARDOUS LOCATIONS AND PUBLIC GARAGES, PRIVATE GARAGES, REPAIR GARAGES, MOTOR FUEL-DISPENSING FACILITIES AND PARKING GARAGES.

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



549 sq.ft. each unit

1,098 sq.ft. floor total

Main floor plan

Scale: 1/4" = 1'

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	2	1	16070	142"x34"x1 3/4"	194"x87"
D02	1	1	2060	L IN 24"x12"x1 3/8" L IN	26"x14 1/2"
D03	1	1	2060	R IN 24"x12"x1 3/8" R IN	26"x14 1/2"
D04	1	1	2468	L IN 28"x80"x1 3/8" L IN	30"x82 1/2"
D05	1	1	2468	R IN 28"x80"x1 3/8" R IN	30"x82 1/2"
D06	1	1	3068	L EX 36"x80"x1 3/4" L EX	38"x83"
D07	1	1	3068	L EX 36"x80"x1 3/8" L EX	38"x83"
D08	1	1	3068	R EX 36"x80"x1 3/4" R EX	38"x83"
D09	1	1	3068	R EX 36"x80"x1 3/8" R EX	38"x83"
D10	1	1	5068	L EX 60"x80"x1 3/4" L EX	62"x83"
D11	2	1	5068	L/R IN (2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"
D12	1	1	5068	R EX 60"x80"x1 3/4" R EX	62"x83"
D13	1	2	1868	L IN 20"x80"x1 3/8" L IN	22"x82 1/2"
D14	1	2	1868	R IN 20"x80"x1 3/8" R IN	22"x82 1/2"
D15	2	2	2468	L IN 28"x80"x1 3/8" L IN	30"x82 1/2"
D16	2	2	2468	R IN 28"x80"x1 3/8" R IN	30"x82 1/2"
D17	1	2	2868	L IN 32"x80"x1 3/8" L IN	34"x82 1/2"
D18	1	2	2868	R IN 32"x80"x1 3/8" R IN	34"x82 1/2"
D19	12	2	4068	L/R IN (2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"
D20	1	2	2468	L 28"x80"x1 3/8" L	58"x82 1/2"
D21	1	2	2468	R 28"x80"x1 3/8" R	58"x82 1/2"
D22	4	2	3068	L IN 36"x80"x1 3/8" L IN	38"x82 1/2"
D23	4	2	3068	R IN 36"x80"x1 3/8" R IN	38"x82 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	2	1	2030SH	24"x36"SH	
W02	2	1	2628LS	30"x32"LS	
W03	2	1	3026FX	36"x30"FX	YES
W04	2	1	4030LS	48"x36"LS	
W05	2	1	7040TS	84"x48"TS	
W06	2	2	3030FX	36"x36"FX	
W07	6	2	4046LS	48"x54"LS	YES
W08	4	2	5050LS	60"x60"LS	YES

- SYMBOLS:
- W WATER FAUCET
 - HEAT VENT
 - FLOOR DRAIN
 - BEARING WALLS

DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE

PROJECT FOR:

Jed Willets

TITLE:

Main floor plan

DATE:
2/2/2018

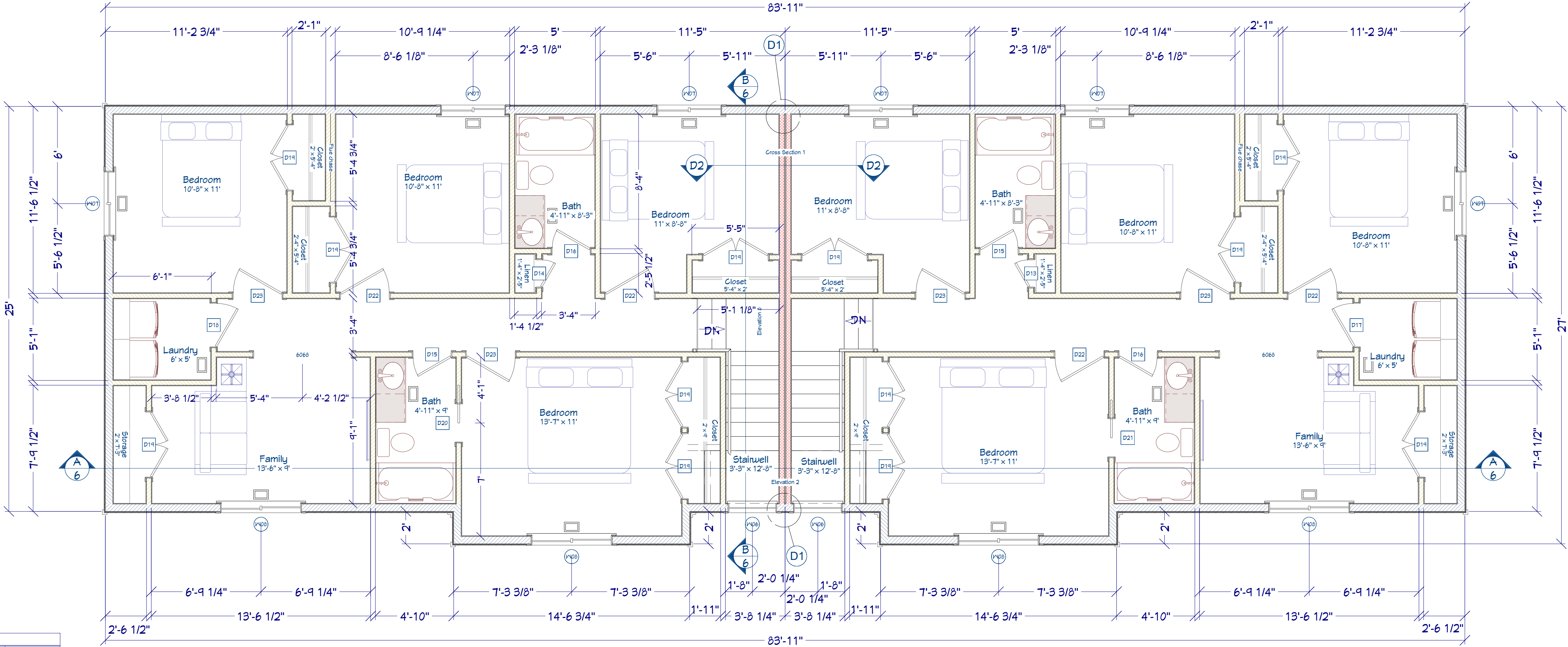
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SEE FRAMING DETAILS E-S1.1 & S2.1 FOR FIRE WALL CONSTRUCTION.
NOTE: 5/8" TYPE "X" SHEET ROCK MUST BE FIRE TAPED ON ALL SEAMS.
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ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10. 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



1,078 sq.ft. each unit

2,156 sq.ft. floor total
Second floor plan
Scale: 1/4" = 1'

MASTER DOOR SCHEDULE				
NUMBER	QTY	FLOOR SIZE	DIMENSIONS	R/O
D01	2	1	16070	192"x84"x1 3/4"
D02	1	1	2060 L IN	24"x12"x1 3/8" L IN
D03	1	1	2060 R IN	24"x12"x1 3/8" R IN
D04	1	1	2468 L IN	28"x80"x1 3/8" L IN
D05	1	1	2468 R IN	28"x80"x1 3/8" R IN
D06	1	1	3068 L EX	36"x80"x1 3/4" L EX
D07	1	1	3068 L EX	36"x80"x1 3/8" L EX
D08	1	1	3068 R EX	36"x80"x1 3/4" R EX
D09	1	1	3068 R EX	36"x80"x1 3/8" R EX
D10	1	1	5068 L EX	60"x80"x1 3/4" L EX
D11	2	1	5068 L/R IN	(2) 30"x80"x1 3/8" L/R IN
D12	1	1	5068 R EX	60"x80"x1 3/4" R EX
D13	1	2	1868 L IN	20"x80"x1 3/8" L IN
D14	1	2	1868 R IN	20"x80"x1 3/8" R IN
D15	2	2	2468 L IN	28"x80"x1 3/8" L IN
D16	2	2	2468 R IN	28"x80"x1 3/8" R IN
D17	1	2	2868 L IN	32"x80"x1 3/8" L IN
D18	1	2	2868 R IN	32"x80"x1 3/8" R IN
D19	12	2	4068 L/R IN	(2) 24"x80"x1 3/8" L/R IN
D20	1	2	2468 L	28"x80"x1 3/8" L
D21	1	2	2468 R	28"x80"x1 3/8" R
D22	4	2	3068 L IN	36"x80"x1 3/8" L IN
D23	4	2	3068 R IN	36"x80"x1 3/8" R IN

MASTER WINDOW SCHEDULE				
NUMBER	QTY	FLOOR SIZE	DIMENSIONS	EGRESS
W01	2	1	2030SH	24"x36"SH
W02	2	1	2628LS	30"x32"LS
W03	2	1	3026FX	36"x30"FX
W04	2	1	4030LS	48"x36"LS
W05	2	1	7040TS	84"x48"TS
W06	2	2	3030FX	36"x36"FX
W07	6	2	4046LS	48"x54"LS
W08	4	2	5050LS	60"x60"LS

- SYMBOLS:
- W WATER FAUCET
 - HEAT VENT
 - FLOOR DRAIN
 - BEARING WALLS

DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE

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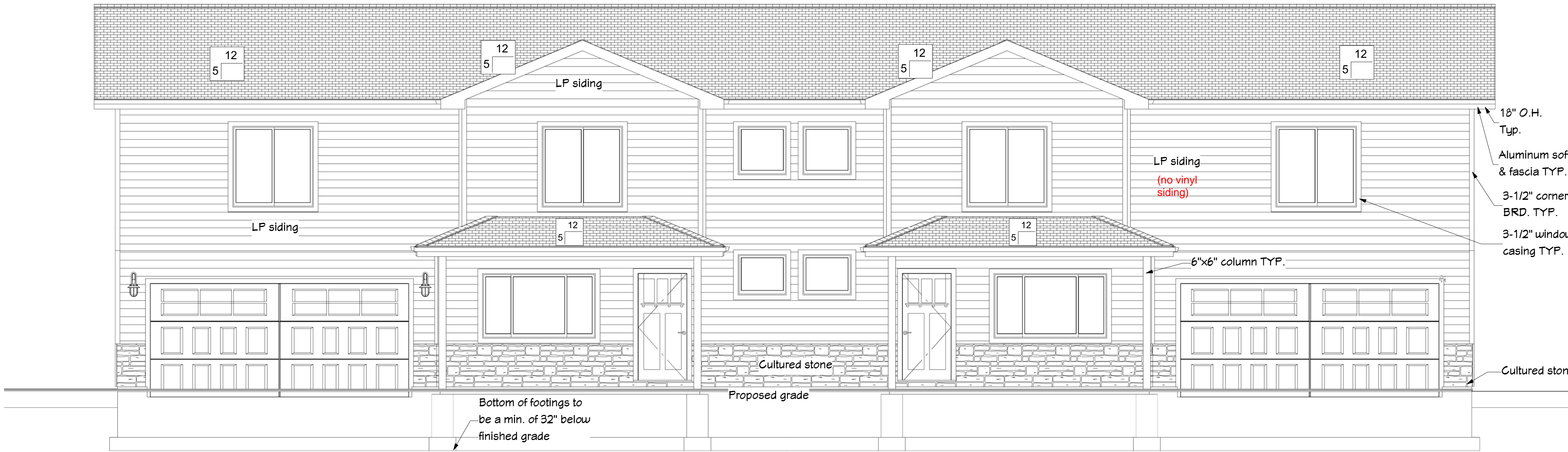


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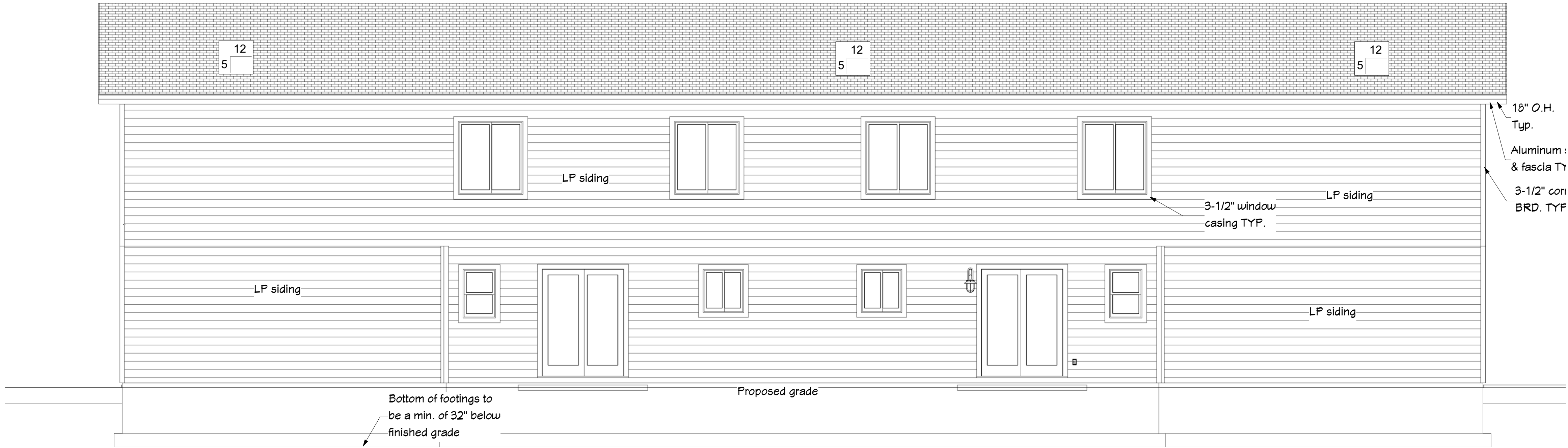
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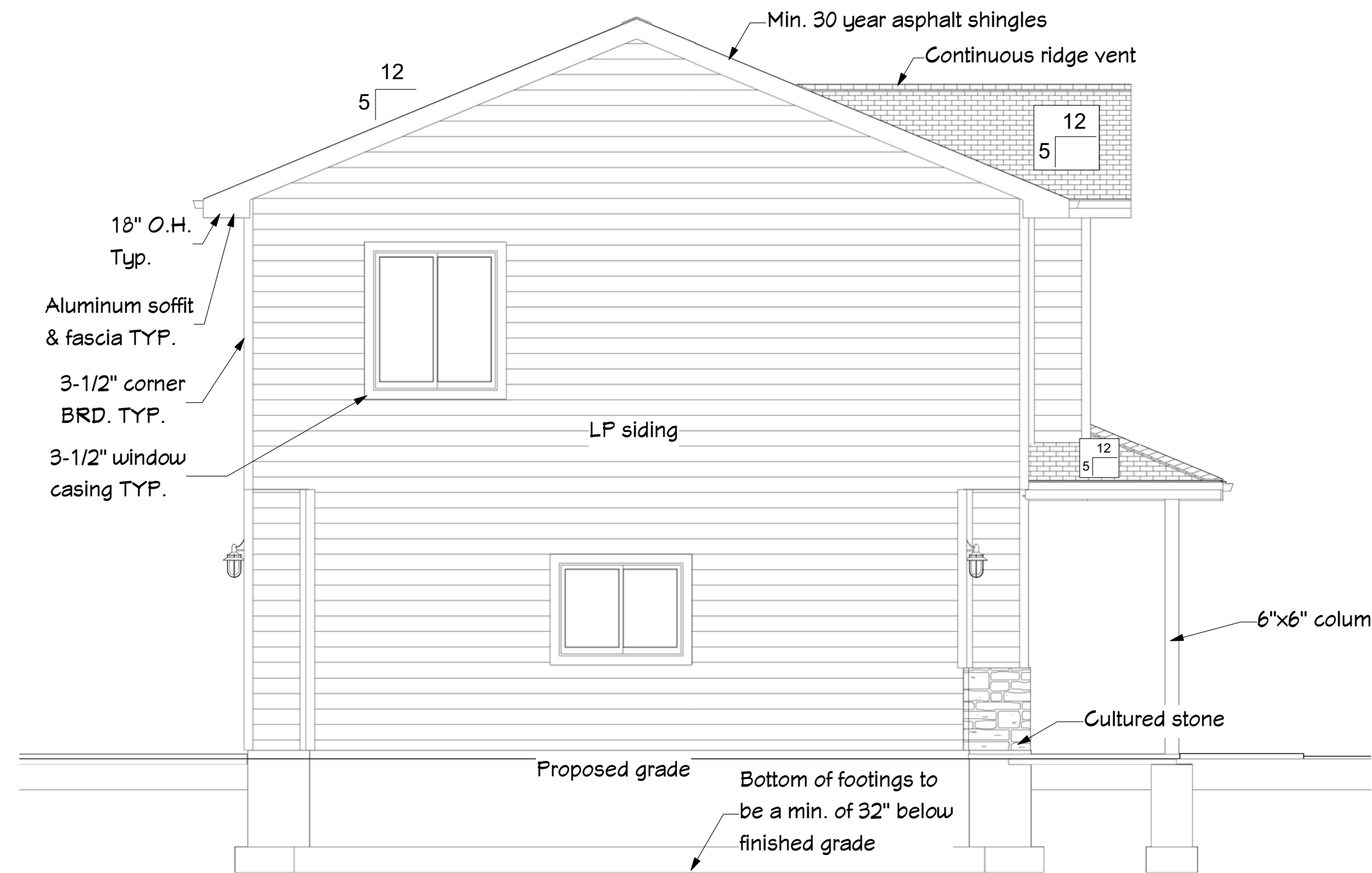
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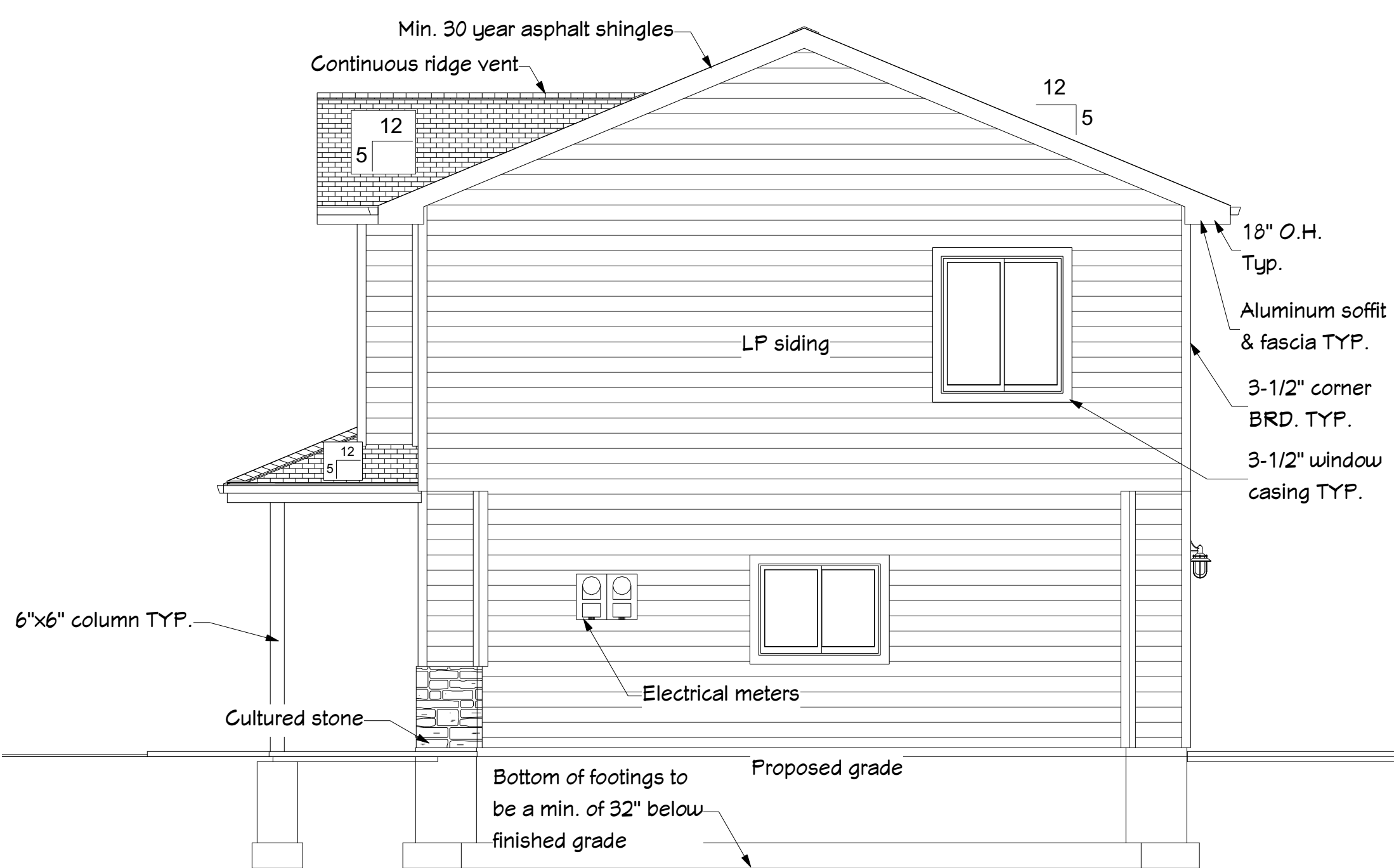
Front elevation
Scale: 1/4" = 1'



Rear elevation
Scale: 1/4" = 1'



Left elevation
Scale: 1/4" = 1'



Right elevation
Scale: 1/4" = 1'

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THEY ARE NOT TO SCALE

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Jed Willets

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Elevations

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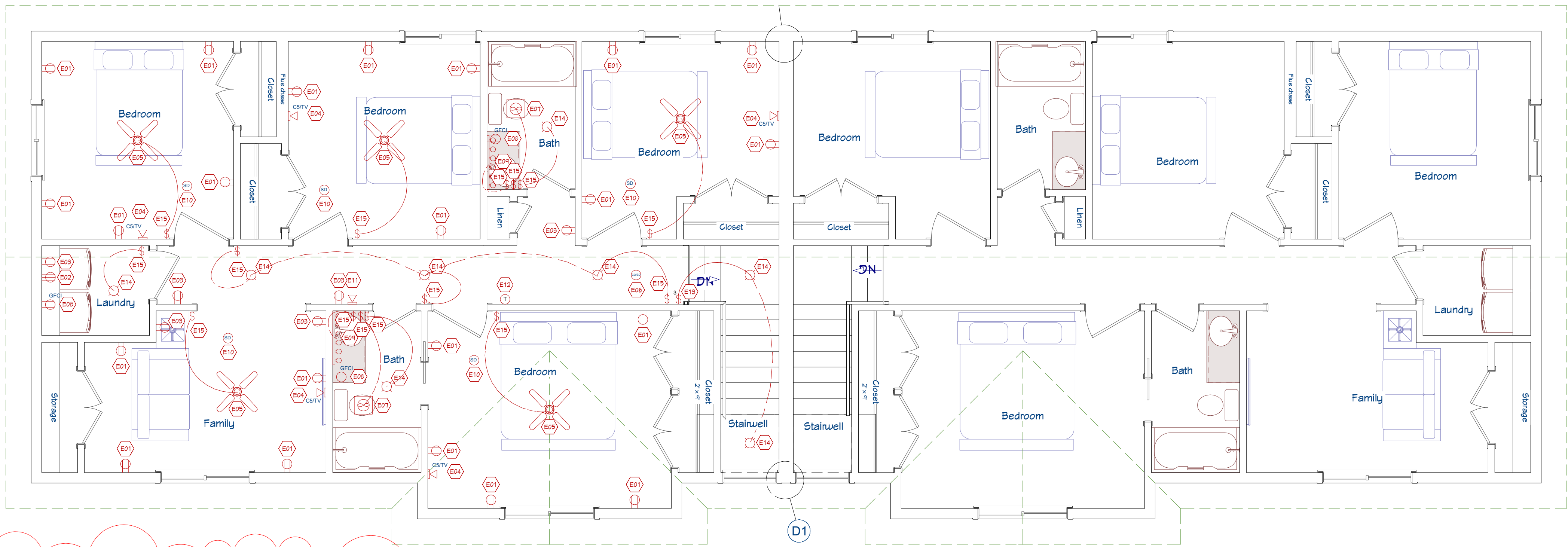
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COORDINATE WITH OWNER THE POSSIBLE
INSTALLATION OF SECURITY SYSTEMS, INTERCOM,
CABLE TV, COMPUTER, SPEAKERS, OR OTHER
SPECIALTY ITEMS NOT INDICATED ON THE
DRAWINGS, BUT CURRENT WITH THE INDUSTRY.
ALL OUTLET SPACING IS CONCEPTUAL IN NATURE
AND WILL BE FIELD VERIFIED. ELECTRICIAN
WILL BE RESPONSIBLE FOR PROPER INSTILLATION
OF ALL EXTERIOR PENETRATIONS OF STRUCTURE.
ARC FAULT PROTECTION TO BE PROVIDED
AS PER 3802.12, AND BE COMBINATION TYPE.
TAMPER RESISTANT OUTLETS ARE TO BE
INSTALLED THROUGHOUT THE ENTIRE PROJECT.
EXTERIOR OUTLETS WILL BE REQUIRED
TO HAVE COVERS OVER THEM TO CONFORM
WITH SECTION E3902.8 THROUGH E3902.10
OUTLET SPACING MUST CONFORM TO IRC 3901.2.1

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	LIGHT FIXTURE
	RECESSED LIGHT
	EYEBALL (ROTATED)
	CEILING FAN (LIGHTS)
	CHANDELIER
	FLUORESCENT LIGHTS (SEE PLAN FOR SIZE)
	DUAL SPOTLIGHT
	EXTERIOR LIGHT
	LIGHT BAR W/MIRROR
	LIGHT HALF CONE
	BATHROOM EXHAUST FAN
	SMOKE DETECTOR
	TELEVISION
	TELEPHONE
	CATS w/ TV
	INTERCOM
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	110V /DUPLX OUTLET
	110V /QUADRUPLEX
	110V /FLOOR DUPLX OUTLET
	GFCI OUTLET
	DUPLX (WEATHERPROOF)
	220V OUTLET
	THERMOSTAT
	BREAKER PANEL

ELECTRICAL SCHEDULE IS FOR ONE UNIT
(ELECTRICAL IDENCTICAL IN BOTH UNITS)

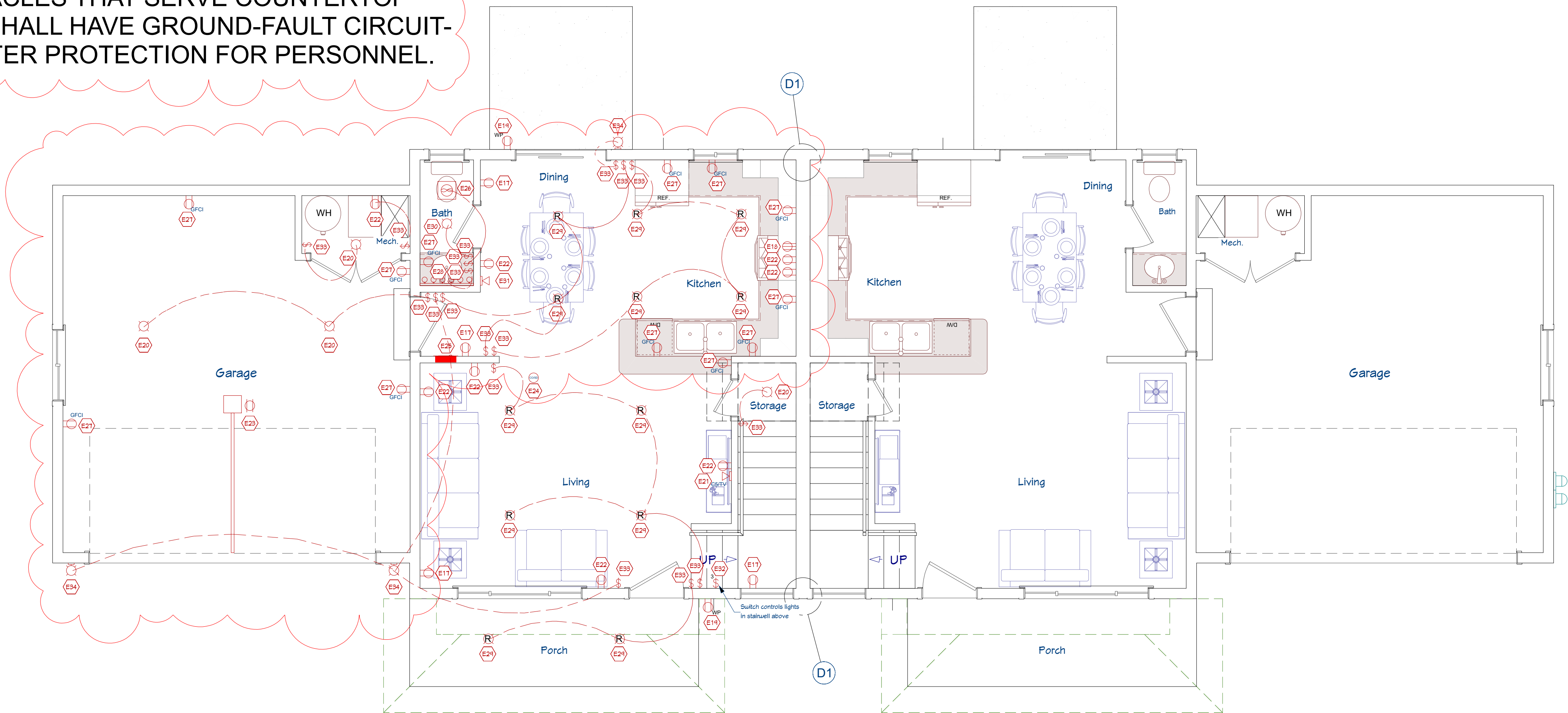
ELECTRICAL SCHEDULE									
NUMBER	QTY	FLOOR	ATTACHED TO	DESCRIPTION	NUMBER	QTY	FLOOR	ATTACHED TO	DESCRIPTION
E01	22	2	WALL	220V	E01	22	2	WALL	220V
E02	1	2	WALL	DUPLX	E02	1	2	WALL	DUPLX
E03	6	2	WALL	CATS W/ TV	E03	6	2	WALL	CATS W/ TV
E04	5	2	WALL	CEILING FAN (LIGHTS)	E04	5	2	WALL	CEILING FAN (LIGHTS)
E05	5	2	CEILING	CO/SMOKE DETECTOR	E05	5	2	CEILING	CO/SMOKE DETECTOR
E06	1	2	CEILING	EXHAUST	E06	1	2	CEILING	EXHAUST
E07	2	2	WALL	GFCI	E07	2	2	WALL	GFCI
E08	3	2	WALL	LIGHT BAR (MIRROR)	E08	3	2	WALL	LIGHT BAR (MIRROR)
E09	2	2	CEILING	SMOKE DETECTOR	E09	2	2	CEILING	SMOKE DETECTOR
E10	5	2	WALL	TELEPHONE JACK	E10	5	2	WALL	TELEPHONE JACK
E11	1	2	WALL	THERMOSTAT	E11	1	2	WALL	THERMOSTAT
E12	1	2	WALL	THREE WAY	E12	1	2	WALL	THREE WAY
E13	8	2	CEILING	TRADITIONAL FLUSH DOME	E13	8	2	CEILING	TRADITIONAL FLUSH DOME
E14	15	2	WALL	SINGLE POLE	E14	15	2	WALL	SINGLE POLE
E15	4	1	WALL	220V	E15	4	1	WALL	220V
E16	1	1	WALL	DUPLX (WEATHERPROOF)	E16	1	1	WALL	DUPLX (WEATHERPROOF)
E17	2	1	CEILING	BARE BULB	E17	2	1	CEILING	BARE BULB
E18	4	1	CEILING	CATS W/ TV	E18	4	1	CEILING	CATS W/ TV
E19	8	1	CEILING	DUPLX	E19	8	1	CEILING	DUPLX
E20	1	1	CEILING	CEILING DUPLX	E20	1	1	CEILING	CEILING DUPLX
E21	1	1	CEILING	CO/SMOKE DETECTOR	E21	1	1	CEILING	CO/SMOKE DETECTOR
E22	1	1	WALL	ELECTRICAL PANEL	E22	1	1	WALL	ELECTRICAL PANEL
E23	1	1	CEILING	EXHAUST	E23	1	1	CEILING	EXHAUST
E24	12	1	WALL	GFCI	E24	12	1	WALL	GFCI
E25	1	1	WALL	LIGHT BAR (MIRROR)	E25	1	1	WALL	LIGHT BAR (MIRROR)
E26	12	1	CEILING	RECESSED DOWN LIGHT	E26	12	1	CEILING	RECESSED DOWN LIGHT
E27	1	1	CEILING	TRADITIONAL FLUSH DOME	E27	1	1	CEILING	TRADITIONAL FLUSH DOME
E28	1	1	WALL	TELEPHONE JACK	E28	1	1	WALL	TELEPHONE JACK
E29	1	1	WALL	THREE WAY	E29	1	1	WALL	THREE WAY
E30	18	1	WALL	SINGLE POLE	E30	18	1	WALL	SINGLE POLE
E31	3	1	WALL	CAGED LANTERN SCENCE	E31	3	1	WALL	CAGED LANTERN SCENCE



Second floor electrical plan
Scale: 1/4" = 1'

ELECTRICAL DIAGRAMS ARE
FOR REFERENCE ONLY. ELECTRICIAN
TO INSTALL ACCORDING TO LOCAL
ELECTRICAL CODE & STATE AMENDMENTS
FOR THE AFCI.

E3902.6 KICHEN RECEPTACLES. 125 VOLT,
SINGLE-PHASE, 15 AND 20-AMPERE
RECEPTACLES THAT SERVE COUNTERTOP
SURFACES SHALL HAVE GROUND-FAULT CIRCUIT-
INTERRUPTER PROTECTION FOR PERSONNEL.



Main floor electrical plan
Scale: 1/4" = 1'

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PROJECT FOR:

Jed Willets

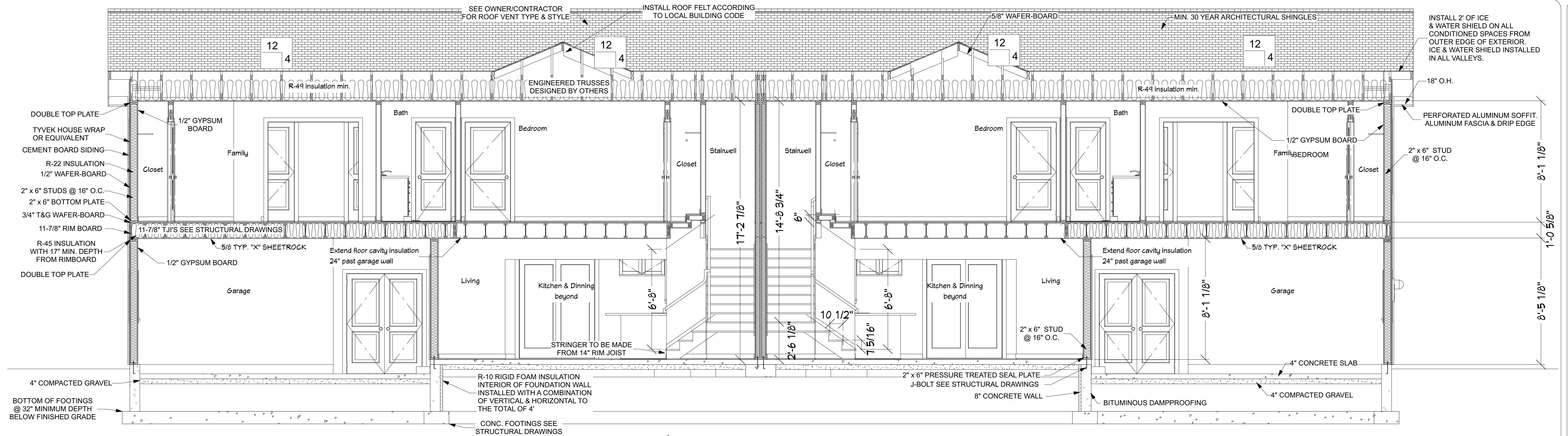
Electrical plans

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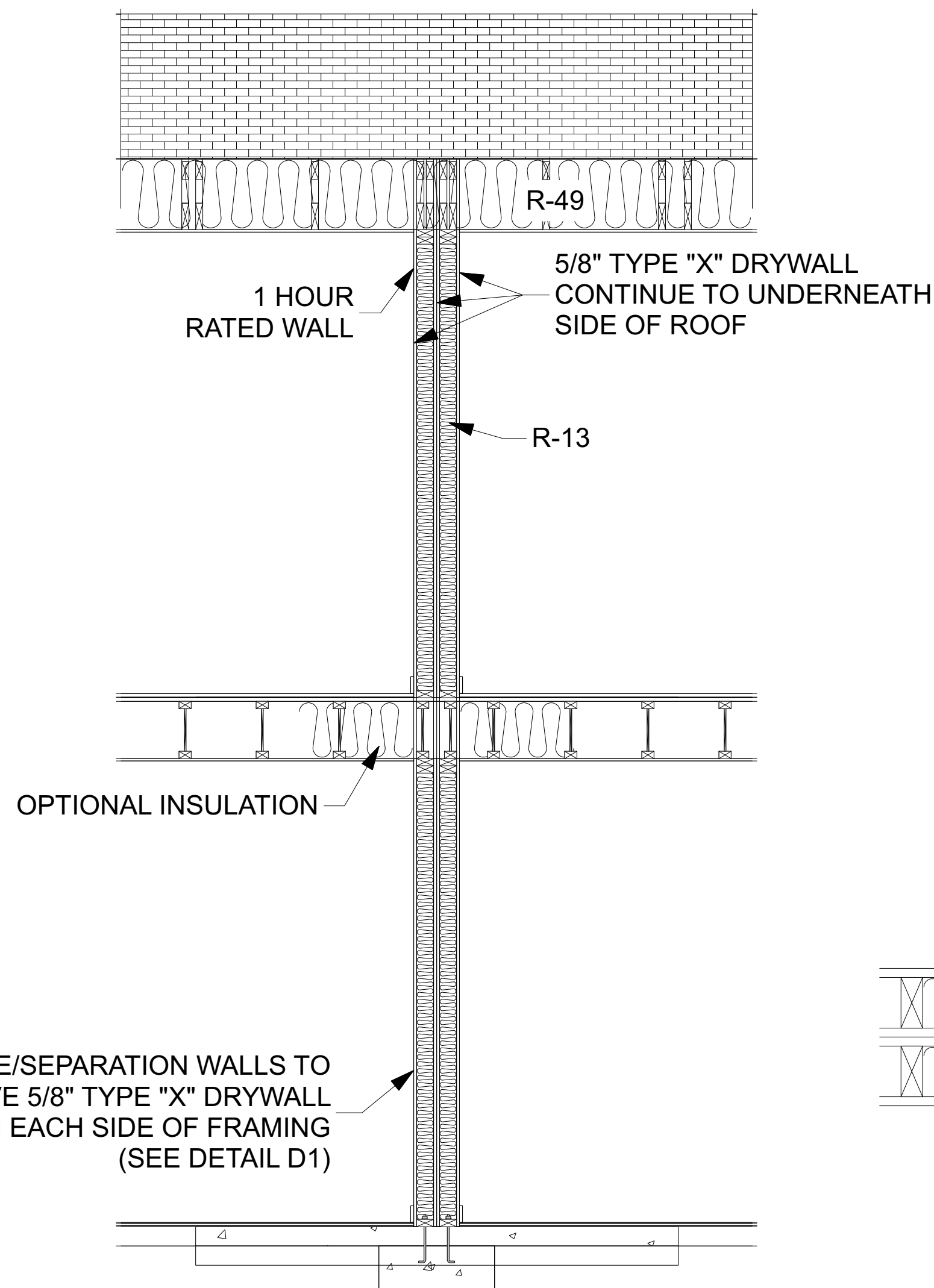
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6

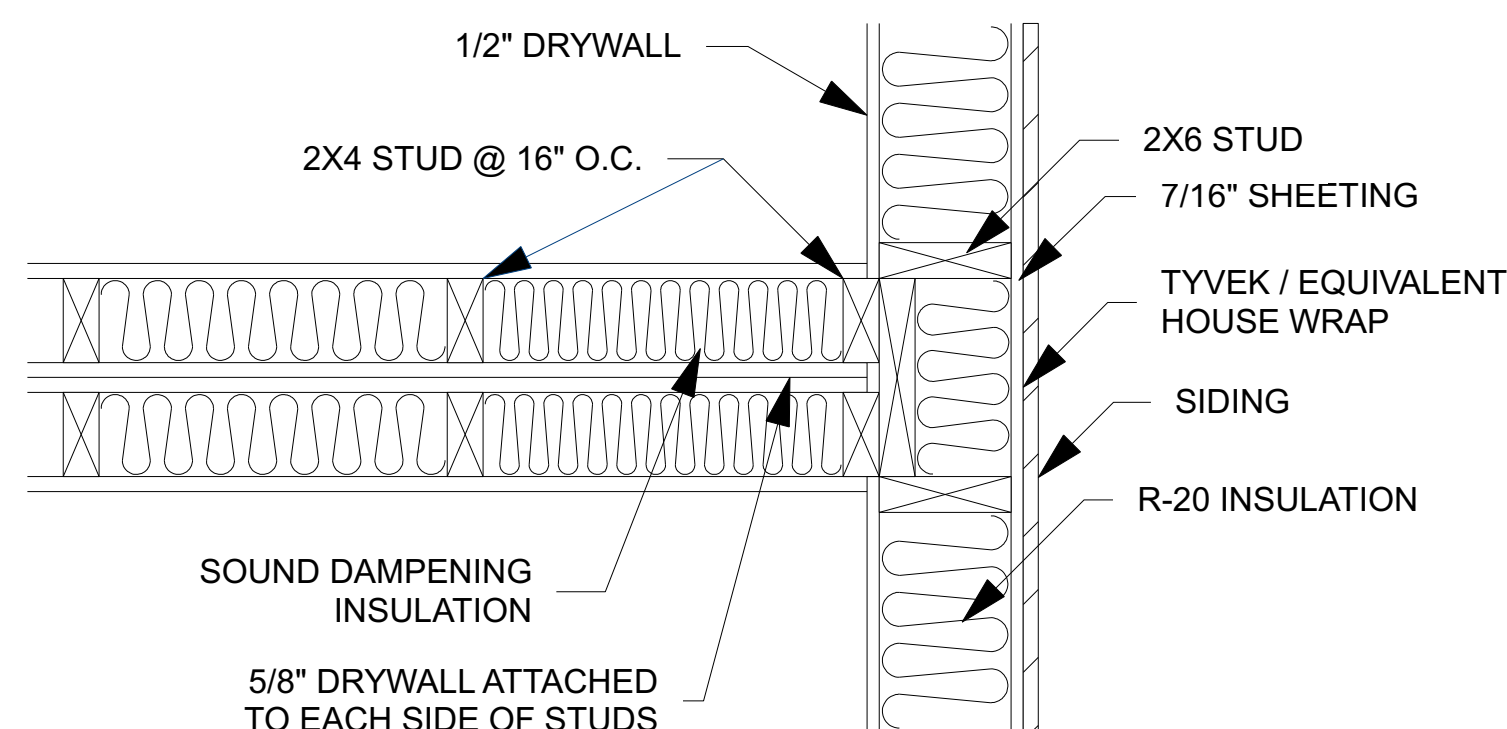
DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE



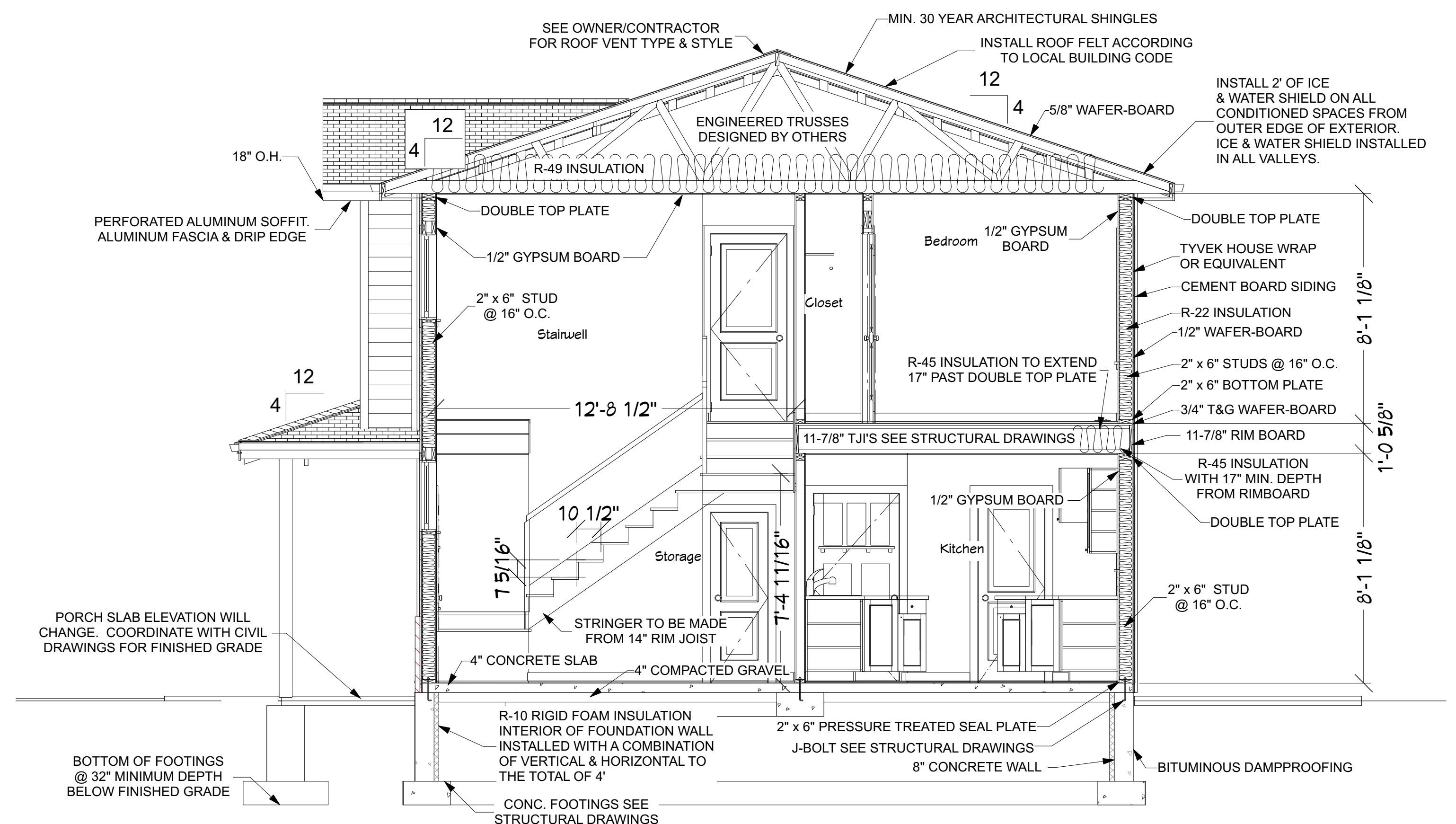
A
6 **Building section**
Scale: 5/16" = 1'



D2 **FIREWALL TO ROOF CONNECTION**
NOT TO SCALE



D1 **FIREWALL TO EXTERIOR CONNECTION**
NOT TO SCALE



B
6 **Building section**
Scale: 5/16" = 1'

DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE

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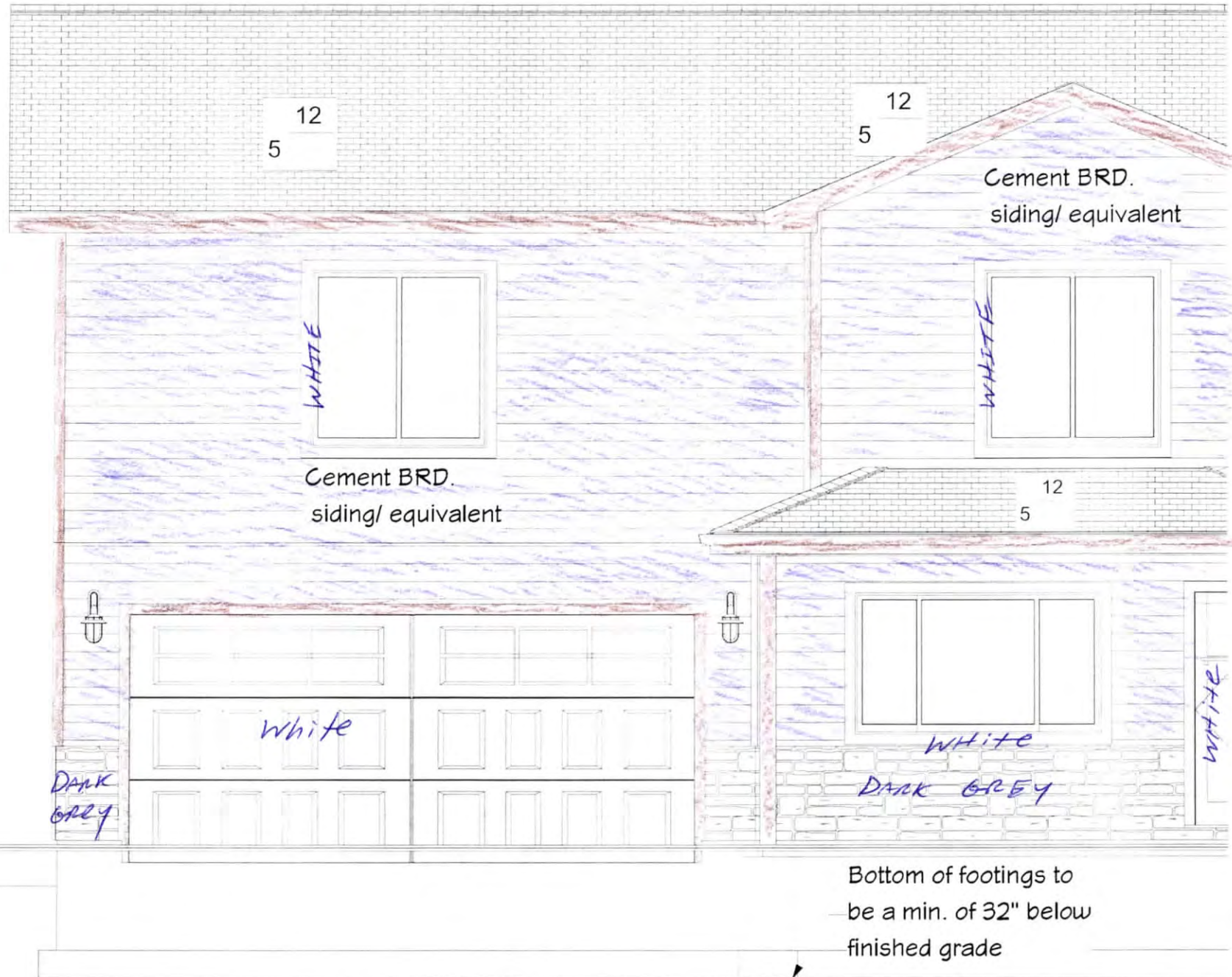
PROJECT FOR:

Jed Willets

TITLE:
Building sections & details

DATE:
2/2/2018

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Front elevation

