

Project #23-012 Zollinger 500 North Subdivision Located at 295 W 500 N

REPORT SUMMARY...

Project Name: Proponent / Owner: Project Address: Request: Current Zoning: Type of Action: Hearing Date Submitted By:

Zollinger 500 North Subdivision Guy Marker, Project Manager / Global Property 2000, LLC 295 W 500 N 9 Lot Subdivision Neighborhood Residential (NR-6) Quasi-Judicial January 26, 2023 Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Subdivision Permit for Project #23-012, Zollinger 500 North Subdivision, in the Neighborhood Residential (NR-6) zone located on 295 W 500 N, TIN #05-076-0004 & 05-076-0026.

Current Land use adjoining the subject property

North:	NR-6: Residential Uses	East:	NR-6: Residential Uses
South:	NR-6: Residential Uses	West:	NR-6: Residential Uses

Subdivision Proposal

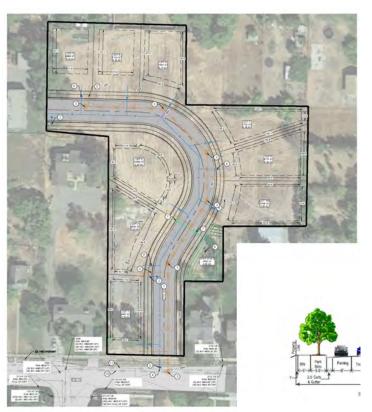
This request is for a 9 lot single family residential subdivision on 2.51 acres. The lot sizes vary from 6,457 SF to 10,599 SF, are over 50' in width and vary in depth. The proposed density of the subdivision is 3.5 units per acre.

Density & Lot Size

The proposal is consistent with the Logan City General Plan as the area is Detached designated Residential which is planned for new single family residential development. The Land Development Code (LDC) permits subdivisions within the NR-6 zone at a density of six (6) units to the acre and minimum lots sizes of 6,000 SF. The LDC sets an average minimum lot width of 50 feet. As proposed, the subdivision complies with lot size, lot width and density requirements in the LDC.

Access

The proposed building lots will be accessed from a new public street connected to 500 North. The proposed road will be constructed to the City's local streets standards for a 60' wide right of way. 500 North is classified as a "Local Street" in the Logan City



Transportation Master Plan and sufficiently sized to accommodate the proposed development.

The Land Development Code (LDC) 17.30.170 requires subdivisions with greater than 8 lots to have at least two (2) street connections. This proposal includes one street connection onto 500 North and one incomplete turnaround at the end of the proposed road. And as per the listed Public Works Conditions of Approval, the applicant will need to provide a cul-de-sac at the termination of the proposed street that is constructed to City standards.

Setbacks

The LDC requirements for setbacks in the NR-6 zone are as follows (as measured from property lines):

Front:	25 feet
Side:	8 feet
Rear:	10 feet

Setbacks for new buildings shall be reviewed at the time of the building permit application. There are non-conforming property line adjustments that were processed by the County but not approved by Logan City. As a result, existing buildings on adjacent properties may not meet City setback requirements. As conditioned, with existing property lines properly reviewed and building setbacks corrected, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

Engineering	
Water/Cross Connection	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment has been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 1/14/23, and the Utah Public Meeting website on 1/16/23. Public notices were mailed to property owners within 300 feet of the project site on 1/9/23.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

- 1. All standard conditions of approval will be recorded with the Subdivision Permit and are available in the Community Development Department.
- 2. Nine (9) lots are approved with this subdivision permit.
- 3. Provide second street connection per City standards and LDC requirements.
- 4. Standard streetscape improvements shall be in place prior to the issuance of final occupancy for all building lots.
- 5. Street trees shall be provided within the park strip at every 30 feet on center. The City Forrester will determine tree species.
- 6. Setbacks for new buildings shall be reviewed and approved at the time of the building permit application. Existing building abutting subdivision property lines shall adhere to setbacks and be corrected prior to recordation of the final plat.
- 7. The open space area and shall be listed as non-buildable on the final plat.
- 8. An HOA, or similar management entity, shall be established to maintain all common open space and provided to Community Development Department prior to recordation of final plat. A note shall be placed on the final plat referencing the responsibility of the HOA.

- 9. Final plat shall be recorded within one (1) year of this action. If the project is to be phased, a phasing plan shall be submitted to the Planning Commission for review & approval. Each phase shall be recorded in compliance with the deadlines established in the Land Development Code.
- 10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Fire - contact 716-9515

1. Fire apparatus turn around and additional fire hydrants required.

b. Environmental - contact 716-9761

2. Residential cans will be provided. This is a dead end road and cans will need to be brought out to 500 North for collection.

c. Engineering - contact 716-9160

GENERAL

- 3. The properties involved have been flagged as having illegal lot splitting performed. The City shall review the resulting lots to determine if any are non-conforming. If found non-conforming lots shall be revised to meet conformance requirements.
- Provide water shares or in-lieu fee for indoor and outdoor increased demands to the City system. This requirement shall be per City Code and Utah Administrative Rule R509-519-7
- 5. Show all existing easement lines on the plat and provide the type of easement and recording information for each on the plat. Where non-existent or insufficient, provide a 10' Public Utility Easement along all frontages and perimeter property lines, and provide a 5' Public Utility Easement along each side of all interior property lines.
- 6. This development has been identified as a residential subdivision and as such shall provide a subdivision plat that meets City standards to be recorded along with the improvement plans.
- 7. CC&R's shall include language that addresses the requirement of the HOA to maintain any private water lines, private sewer lines, common access and parking areas, and the Storm Water management system, basins, swales, and related infrastructure outside of a right of way dedicated to the City.
- 8. Provide Development Agreement and financial surety of at least 110% of the cost to construct all infrastructure & storm water improvements. Financial assurances shall not expire for a minimum of 2 years from date of City acceptance.
- 9. Provide a Geotechnical Report that includes but is not limited to: 1) California Bearing Ratio (CBR) of subgrade of pavement section, 2) Historical high ground water elevation, and 3) Percolation rate of soils at bottom of all storm water retention ponds.
- 10. A "Pre construction meeting" shall be held with the City's Engineering Division prior to starting construction activities and a "Work in the Right of Way" permit shall be obtained for all work in the City's right-of-way and PUE prior to scheduling the Pre Construction meeting.
- 11. Wetlands have been identified as existing or previously existing on the property. Provide a wetlands delineation study to confirm the location of any wetlands. If wetlands are found, provide a wetlands mitigation plan approved by the Army Corps of Engineers.

UTILITIES

12. All utilities and services located outside of the public right-of-way way shall be private lines and shall be owned, maintained, repaired/replaced by the homeowner or Homeowners Association. All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.

- 13. All lots shall have separate water service and sewer service connections to water distribution and sewer collection systems.
- 14. A fire hydrant shall be constructed at the west end of the proposed road.
- 15. The proposed sewer manhole shown in 500 North shall be a 60" manhole.
- 16. All existing utility service lines extending to the site that are not proposed to be used with the new development shall be capped at the City main line.
- 17. Proposed water and sewer lines in the right of way shall be a minimum of 8 inches in diameter, line in private drives shall be a minimum of 6 inches in diameter. The City may require larger diameter lines (proposed or existing) if required according to modeling performed by Logan City Utility Staff or as required by the City's master plans.

STORMWATER / IRRIGATION

- 18. Provide storm water detention/retention per Logan City Design standards. This includes the retention of stormwater from an adjacent existing street that discharges to the property. Retention of the 90% storm event is required and shall be provided through the use of Low Impact design methods.
- 19. Provide a stormwater maintenance agreement for City Review, approval and recordation at County Recorder's Office.
- 20. Area is greater than 1 acre so compliance with State Storm Water Permit is required. Development shall comply with Logan City design standards for storm water detention/retention. Development shall also provide a sediment and erosion control plan for all construction activities.
- 21. Maintain the capacity, size, and location of all existing irrigation system infrastructure along and within the project; or where irrigation infrastructure is required to be relocated or changed, improve the infrastructure to the irrigation company standards. The City will require all affected Irrigation companies to provide a signature approval on all final construction plans and final plats.
- 22. Stormwater basins shall not be located on residential lots. A dedicated parcel for stormwater management shall be provided and language added to the CC&Rs indicating that the storm water system shall be maintained by the HOA.
- 23. The minimum diameter of storm drain piping in a City right of way shall be 15 inches unless a larger size is required by the design.

STREETS

- 24. The City does not expect that 550 N will ever connect to the road proposed herein. As such, provide a cul de sac turn-around at the west end of the proposed street.
- 25. The proposed road shall be located a minimum of 125' (center to center) from the 300 W right of way.
- 26. Dedicate right of way along 500 North as required such that a minimum 60' of rightof-way exists and construct half street improvements for a 60' Residential Street cross section and pavement section per City Design Standards.
- 27. All development accesses shall be in accordance with Logan Design Standards.
- 28. Construct new curb, gutter, sidewalk, and park strip on 500 North in accordance with City standards and specifications.
- 29. Where the existing half street or portion thereof is in poor condition in regard to cracking, or is damaged during construction; owner shall reconstruct the pavement cross section out to an area of good condition asphalt. When applicable a minimum 3' of existing asphalt shall be removed and replaced.

d. Water/Cross Connection - contact 716-9627

- 30. Doghouse manholes are only allowed by exception when adequate considerations are taken to reduce infiltration.
- 31. The applicant must provide details addressing infiltration for any doghouse manholes.
- e. Water/(Cross Connection & Backflow Prevention) contact 716-9627
 - 32. All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - 33. Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

- 1. The proposed subdivision is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the subdivision meets the minimum lot sizes and maximum allowed densities for the NR-6 zone.
- 2. The Subdivision Permit conforms to the requirements of Title 17.48 concerning hearings, procedures, application requirements and plat preparations.
- 3. The project meets the goals and objectives of the Logan General Plan by providing new residential housing in areas with existing services and infrastructure.
- 4. 500 North provides adequate access and utility services to the subdivision.
- 5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

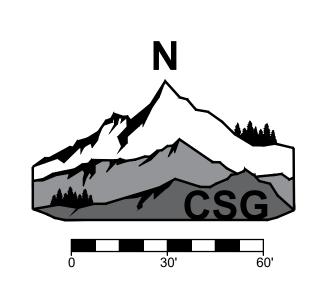
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

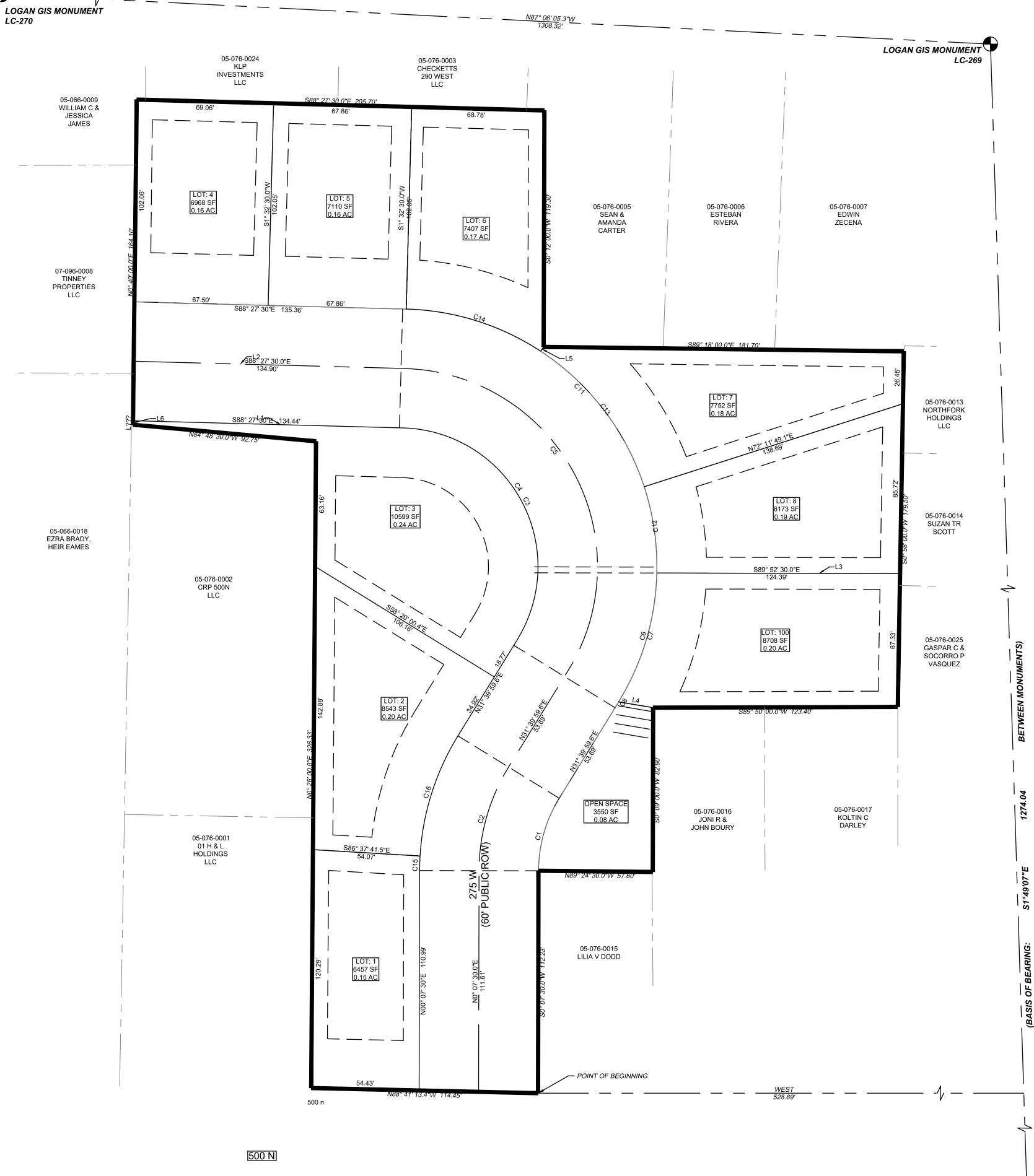
For Staff Only				
Planning Commission	Land Use Appeal Board		□ Administrative Review	
Date Received Zone/Neigh	borhood	Scheduled Meeting Date	Application Number PC 23-011	
	of Application (Cl	neck all that apply):		
□ Design Review □ Conditiona □ Code Amendment □ Appeal	al Use 🛛 🔳 Su		nistrative Design Review	
PROJECT NAME				
Zollinger 500 N				
PROJECT ADDRESS			COUNTY PLAT TAX ID #	
295 W. 500 N			05-076-0004 & 05-076-0026	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNE	R		PHONE #	
Guy Marker Project Manager			435-232-2544	
MAILING ADDRESS	CITY	STATE	ZIP	
695 West 1700 South, building	7 Logar	n Utah	84321	
EMAIL ADDRESS				
Ryan@zollingerllc.com, Lance	e@zolinger	llc.com and gmar	ker518@gmail.com	
PROPERTY OWNER OF RECORD			PHONE #	
Globle Property 2000			435-753-1122	
MAILING ADDRESS	CITY	STATE	ZIP	
695 West 1700 South, building	7 Loga	n Utah	84321	
EMAIL ADDRESS		and the second second		
Ryan@zollingerllc.com, Lance@	zolingerllc.co	om and gmarker518	8@gmail.com	
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD B		SENTED	Total Lot Size (acres)	
(Include as much detail as possible - attach a separate s The property is made up of two Parcels 05-07 2,51+/- Acres or 109,336 +/- sq ft of land. It i property into 9 lots of 6,000 plus sq ft per lot. code, with front at 25', corner at 20', side at 8 35'. Lot 1 has 6,457 sq ft, lot 2 has 8,543 sq f lot 5 has 6,925 sq ft, lot 6 has 7,628 sq ft, lot the open space has 3,596 sq ft. With a purpos Public Right of Way.	6-0004 and 05-07 is purposed that w With the city's sta ' and rear at 10' w ft, lot 3 has 10,43 8 has 7,873 sq ft. sed new street na	ve will subdivided the andard setbacks to meet vith building height under 5 sq ft, lot 4 has 6,968 sq ft lot 9 has 8,727 sq ft and med as 275 W with a 60	Number of Proposed New Units/Lots 9	
I certify that the information contained in this application and supporting plans are correct and accurate. I also certify that am authorized to sign all further legal documents and permit behalf of the property owner.	t on	gnature of Property Owner's Auth	norized Project Representative	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				
APPLICATION MUST BE ACCURATE AND COMPLETE	6	OF		

NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -



ZOLLINGER 500 N PRELIMINARY PLAT

NE 1/4 SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN



LINE TABLE			
LINE #	LENGTH	DIRECTION	
L1	136.25'	N88° 27' 30.00"W	
L2	136.71'	N88° 27' 30.00"W	
L3	122.61'	S89° 52' 30.00"E	
L4	17.63'	N80° 24' 21.17"W	
L5	2.63'	S33° 56' 32.55"W	
L6	2.03'	N0° 40' 00.00"E	

C	CURVE T	ABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	38.54'	70.00'	31°32'30"	S15° 53' 45"W 38.05
C2	55.05'	100.00'	31°32'30"	N15° 53' 45"E 54.36'
C3	146.76'	70.00'	120°07'30"	N28° 23' 45"W 121.3
C4	146.76'	70.00'	120°07'30"	N28° 23' 45"W 121.3
C5	209.66'	100.00'	120°07'30"	N28° 23' 45"W 173.3
C6	68.61'	130.00'	30°14'20"	S16° 32' 49"W 67.82
C7	62.61'	130.00'	27°35'46"	N13° 55' 23"E 62.01'
C8	8.95'	130.00'	3°56'44"	S29° 41' 38"W 8.95'
C11	87.73'	130.00'	38°39'54"	S37° 24' 01"E 86.07'
C12	40.68'	130.00'	17°55'41"	S8° 50' 20"E 40.51'
C13	86.80'	130.00'	38°15'17"	S36° 55' 49"E 85.19'
C14	73.51'	130.00'	32°24'03"	S72° 15' 29"E 72.54'
C15	7.37'	130.00'	3°14'49"	N1° 44' 54"E 7.37'
C16	64.20'	130.00'	28°17'41"	N17° 31' 09"E 63.55'

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.

- DESIGNING OUR FUTURE



VICINITY MAP

PROJECT CONTACTS:

1. DEVELOPER: RYAN ZOLLINGER ZOLLINGER GROUP LLC RYAN@ZOLLINGERLLC.COM

2. CIVIL ENGINEER: DANNY MACFARLANE, PE 498 WEST 100 SOUTH PROVIDENCE, UT 84332 DANNY@CIVILSOLUTIONSGROUP.NET P. 435.213.3762

3. SURVEYOR: DENNIS CARLISLE 669 NORTH 1890 WEST SUITE 47B

PROVO, UT 84601 DCARLISLE@CSG.WORK P. 801.874.4132 EXT. 712

GENERAL NOTES:

- 1. PARCEL TAX ID #'S: 05-076-0026 & 05-076-0004 ZONE: TRADITIONAL NEIGHBORHOOD RESIDENTIAL (NR-6)
- PROPOSED NUMBER OF RESIDENTIAL LOTS: 9 4. PROPOSED NUMBER OF PHASES: 1
- RESIDENTIAL TOTAL AREA: 1.65 ACRES
- . PROPOSED OPEN SPACE AREA: 0.10 ACRES PROPOSED ROW AREA: 0.76 ACRES
- 8. BUILDING SETBACKS: 8.1. FRONT: 25'
- 8.2. CORNER: 20' 8.3. SIDE: 8' 8.4. REAR: 10'
- 9. THIS PROJECT IS NOT LOCATED WITHIN A FLOOD ZONE

LEGAL DESCRIPTION:

LOGAN GIS MONUMENT

LC-273

(FROM TITLE REPORT)

BEGINNING IN THE NORTH LINE OF 500 NORTH STREET 25 RODS 7 FEET WEST OF A POINT 4 RODS NORTH OF THE NORTHEAST CORNER OF BLOCK 44, PLAT A, LOGAN CITY SURVEY, AND RUNNING THENCE NORTH 15 RODS; THENCE EAST 3.5 RODS; THENCE NORTH 3 RODS; THENCE EAST 64.75 FEET; THENCE NORTH 5 RODS; THENCE WEST 11.5 RODS; THENCE NORTH 137.5 FEET; THENCE WEST 12.5 RODS; THENCE SOUTH IN THE EAST LINE OF 300 WEST STREET 187 FEET; THENCE EAST 6 RODS; THENCE SOUTH 170 FEET TO A POINT 160 FEET NORTH OF THE NORTH LINE OF 500 NORTH STREET; THENCE EAST 90 FEET; THENCE SOUTH 160 FEET; THENCE EAST 92.75 FEET, MORE OR LESS TO BEGINNING, SITUATED IN BLOCK 37, PLAT A, LOGAN FARM SURVEY.

ALSO: ALL THAT LAND AS CONVEYED IN THAT CERTAIN BOUNDARY LINE AGREEMENT BETWEEN GLOBAL PROPERTY 2000, LLC AND DEBRA J. PETERSON, TRUSTEE OF THE DEBRA J. PETERSON LIVING TRUST DATED DECEMBER 6, 2002, RECORDED DECEMBER 29, 2006 AS ENTRY NO. 933922 IN BOOK 1442 AT PAGE 1336.

ALSO: ALL THAT LAND AS CONVEYED IN THAT CERTAIN BOUNDARY LINE AGREEMENT BETWEEN GLOBAL PROPERTY 2000, LLC AND CHARLES R. WIMMER AND BARBARA F. WIMMER, TRUSTEES AND THE SUCCESSORS TRUSTEES OF THE CHARLES R. WIMMER TRUST, AS AMENDED AND RESTATED ON JULY 15, 2004, RECORDED FEBRUARY 28, 2007 AS ENTRY NO. 937886 IN BOOK 1450 AT PAGE 845.

LESS: BEGINNING AT THE NORTHEAST CORNER OF BLOCK 44, PLAT A, LOGAN CITY SURVEY AND RUNNING THENCE WEST 593.34 FEET; THENCE NORTH 76.02 FEET; THENCE SOUTH 89°02' EAST 113.39 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 89°02' EAST 57.1 FEET ALONG THE NORTH LINE OF 500 NORTH STREET TO THE WEST LINE OF DEBRA J. PETERSON PROPERTY; THENCE NORTH 0°17'33" WEST 112.96 FEET; ALONG SAID LINE; THENCE NORTH 89°35'11" WEST 57.1 FEET; THENCE SOUTH 0°17'59" EAST 112.41 FEET TO BEGINNING.

FENCE LINE DESCRIPTION

A PORTION OF LOT 1, BLOCK 37, PLAT "A", LOCATED IN THE NE1/4 OF SECTION 33, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN, LOGAN, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT A REBAR (FOUND) ON THE NORTH LINE OF 500 NORTH STREET & THE SOUTH LINE OF SAID LOT 1, LOCATED BY RECORD AS BEING NORTH 66.00 FEET AND WEST 481.00 FEET FROM THE NORTHEAST CORNER OF BLOCK 44, PLAT "A", LOGAN CITY SURVEY, AND LOCATED BY SURVEY AS BEING S1°49'07"E 599.62 FEET ALONG THE MONUMENT LINE BETWEEN LOGAN CITY GIS MONUMENT LC-269 & LC-273 AND WEST 528.89 FEET FROM SAID LOGAN GIS MONUMENT LC-269; THENCE N88°41'13"W 114.45 FEET ALONG THE NORTH LINE OF 500 NORTH STREET AND THE SOUTH LINE OF LOT 1 TO A FENCE LINE; THENCE ALONG SAID FENCE LINE THE FOLLOWING 11 (ELEVEN) COURSES & DISTANCES: N0°26'00"E 326.33 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE N84°48'30"W 92.75 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE N0°40'00"E 164.10 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S88°27'30"E 205.70 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S0°12'00"W 119.30 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S89°18'00"E 181.70 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S0°58'00"W 179.50 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S89°50'00"W 123.40 FEET; THENCE S0°09'00"W 82.90 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE N89°24'30"W 57.60 FEET TO A PETERSON REBAR & CAP (FOUND); THENCE S0°07'30"W 112.23 FEET TO THE POINT OF BEGINNING.

CONTAINS: 2.51 +/- ACRES



JUC

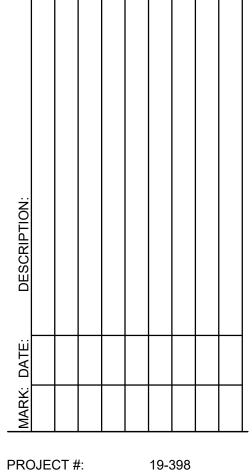
S

 \square

ά N 4 N C 111

500 LINGER /, 500 N N UT, 84321 ZOLL 95 W, 5 0GAN 29 N

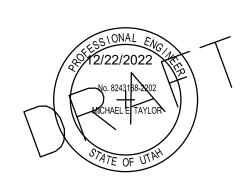
Ζ



DRAWN BY:

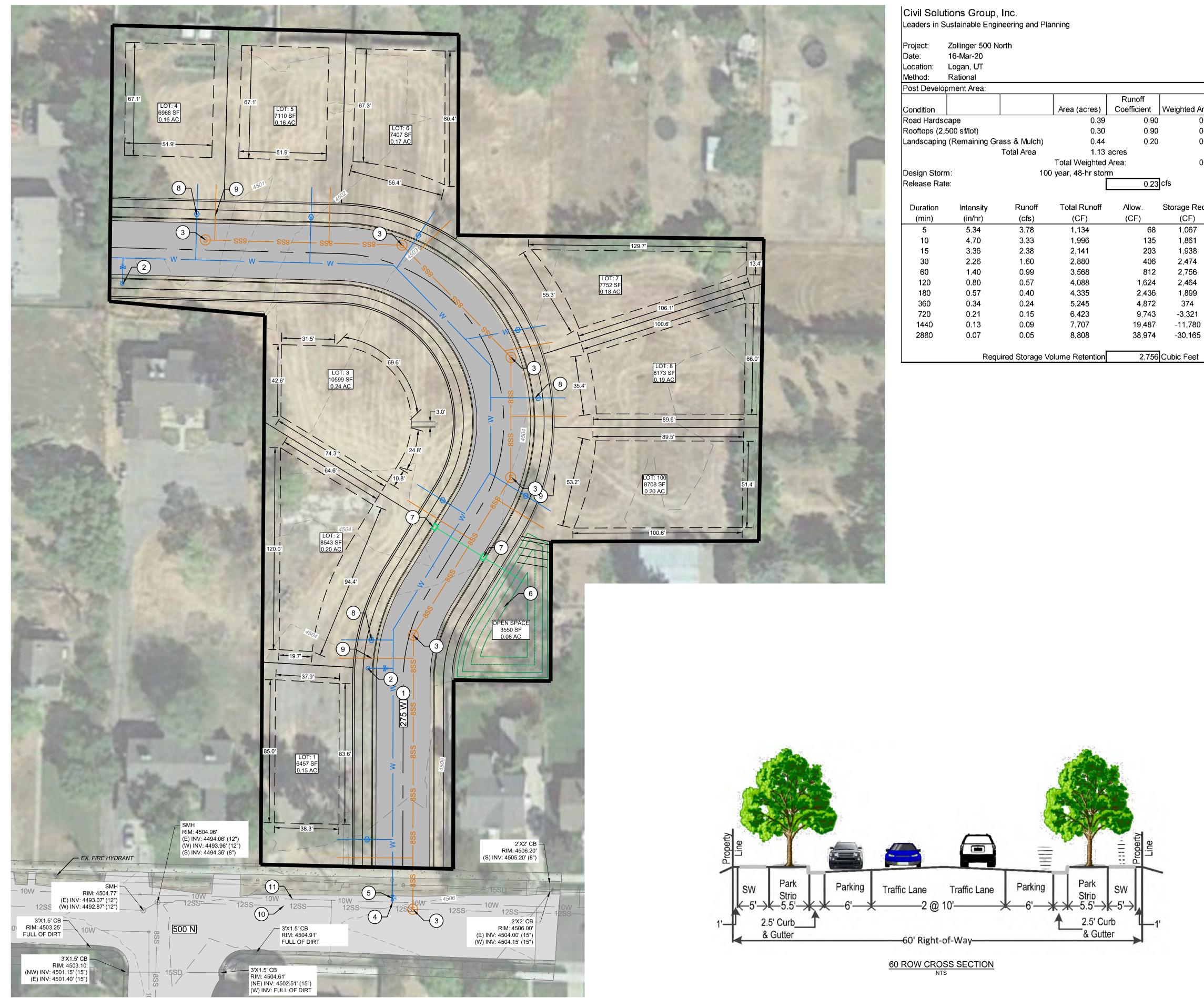
PROJECT MANAGER: D. MACFARLANE ISSUED: 12/22/2022

H. BARTH



PRELIMINARY SURVEY PLAN

1 OF 2



nger 500 N Pi 19-398

Civil Solutions Group, Inc.
Leaders in Sustainable Engineering and Plannir

Project:	Zollinger 500 N	lorth			
Date:	16-Mar-20				
Location:	Logan, UT				
Method:	Rational				
Post Develo	pment Area:				
				Runoff	
Condition			Area (acres)	Coefficient	Wei
Road Hards	cape		0.39	0.90	
Rooftops (2	,500 sf/lot)		0.30	0.90	
Landscapin	g (Remaining Gi	rass & Mulch)	0.44	0.20	
		Total Area	1.13	acres	
			Total Weighted	Area:	
Design Stor	m:	100	year, 48-hr stor	m	-
Release Ra	te:			0.23	cfs
Duration	Intensity	Runoff	Total Runoff	Allow.	Stor
(min)	(in/hr)	(cfs)	(CF)	(CF)	
5	5.34	3.78	1,134	68	
10	4.70	3.33	1,996	135	
15	3.36	2.38	2,141	203	
30	2.26	1.60	2,880	406	
60	1.40	0.99	3,568	812	
120	0.80	0.57	4,088	1,624	
180	0.57	0.40	4,335	2,436	
360	0.34	0.24	5,245	4,872	
720	0.21	0.15	6,423	9,743	
1440	0.13	0.09	7,707	19,487	-
2880	0.07	0.05	8,808	38,974	-
	D	uined Stevens Mr		0.750	

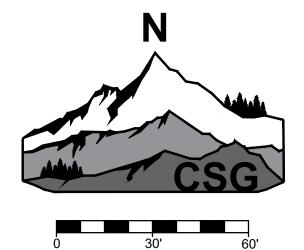
btod Aroo	
<u>ihted Area</u> 0.35 0.27 0.09	
0.71	

orage Req'd (CF) 1,067 1,861 1,938 2,474 2,756 2,464

1,899 374 -3,321 -11,780 -30,165

1 SITE SHEET KEY NOTES:

- PROPOSED 60' ROW. SEE DETAIL THIS SHEET
 FIRE HYDRANT ASSEMBLY
 SEWER MAN HOLE, TYP
 TIE INTO EXISTING WATER LINE
 INSTALL GATE VALVE, TYP.
 STORM WATER POND
 STORMWATER CATCH BASIN
 CULINARY WATER METER AND SERVICE
 SANITARY SEWER SERVICE
 EXISTING 12" SANITARY SEWER LINE
 EXISTING 10" CULINARY WATER LINE



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION. THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 24" X 36" SHEET OF PAPER. THESE PLANS ARE PRODUCED IN COLOR AND SHOULD BE PLOTTED AS SUCH.



CIVIL PLAN

2 OF 2