



**Project #23-012
Zollinger 500 North Subdivision
Located at 295 W 500 N**

REPORT SUMMARY...

<i>Project Name:</i>	Zollinger 500 North Subdivision
<i>Proponent / Owner:</i>	Guy Marker, Project Manager / Global Property 2000, LLC
<i>Project Address:</i>	295 W 500 N
<i>Request:</i>	9 Lot Subdivision
<i>Current Zoning:</i>	Neighborhood Residential (NR-6)
<i>Type of Action:</i>	Quasi-Judicial
<i>Hearing Date</i>	January 26, 2023
<i>Submitted By:</i>	Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Subdivision Permit for Project #23-012, Zollinger 500 North Subdivision, in the Neighborhood Residential (NR-6) zone located on 295 W 500 N, TIN #05-076-0004 & 05-076-0026.

Current Land use adjoining the subject property

<i>North:</i>	NR-6: Residential Uses	<i>East:</i>	NR-6: Residential Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	NR-6: Residential Uses

Subdivision Proposal

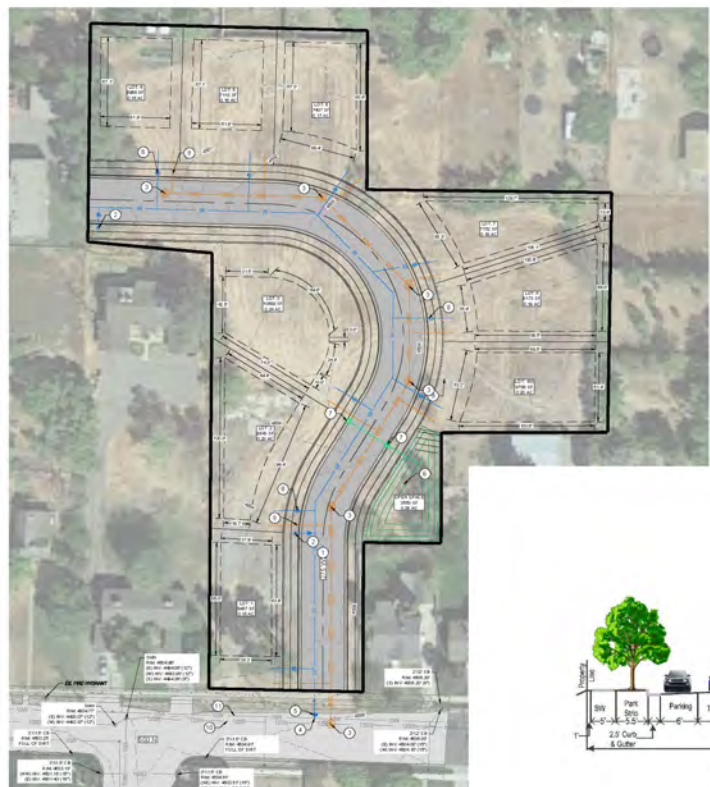
This request is for a 9 lot single family residential subdivision on 2.51 acres. The lot sizes vary from 6,457 SF to 10,599 SF, are over 50' in width and vary in depth. The proposed density of the subdivision is 3.5 units per acre.

Density & Lot Size

The proposal is consistent with the Logan City General Plan as the area is designated Detached Residential which is planned for new single family residential development. The Land Development Code (LDC) permits subdivisions within the NR-6 zone at a density of six (6) units to the acre and minimum lots sizes of 6,000 SF. The LDC sets an average minimum lot width of 50 feet. As proposed, the subdivision complies with lot size, lot width and density requirements in the LDC.

Access

The proposed building lots will be accessed from a new public street connected to 500 North. The proposed road will be constructed to the City's local streets standards for a 60' wide right of way. 500 North is classified as a "Local Street" in the Logan City



Transportation Master Plan and sufficiently sized to accommodate the proposed development.

The Land Development Code (LDC) 17.30.170 requires subdivisions with greater than 8 lots to have at least two (2) street connections. This proposal includes one street connection onto 500 North and one incomplete turnaround at the end of the proposed road. And as per the listed Public Works Conditions of Approval, the applicant will need to provide a cul-de-sac at the termination of the proposed street that is constructed to City standards.

Setbacks

The LDC requirements for setbacks in the NR-6 zone are as follows (as measured from property lines):

Front:	25 feet
Side:	8 feet
Rear:	10 feet

Setbacks for new buildings shall be reviewed at the time of the building permit application. There are non-conforming property line adjustments that were processed by the County but not approved by Logan City. As a result, existing buildings on adjacent properties may not meet City setback requirements. As conditioned, with existing property lines properly reviewed and building setbacks corrected, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Engineering	
• Water/Cross Connection	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment has been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 1/14/23, and the Utah Public Meeting website on 1/16/23. Public notices were mailed to property owners within 300 feet of the project site on 1/9/23.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Subdivision Permit and are available in the Community Development Department.
2. Nine (9) lots are approved with this subdivision permit.
3. Provide second street connection per City standards and LDC requirements.
4. Standard streetscape improvements shall be in place prior to the issuance of final occupancy for all building lots.
5. Street trees shall be provided within the park strip at every 30 feet on center. The City Forrester will determine tree species.
6. Setbacks for new buildings shall be reviewed and approved at the time of the building permit application. Existing building abutting subdivision property lines shall adhere to setbacks and be corrected prior to recordation of the final plat.
7. The open space area and shall be listed as non-buildable on the final plat.
8. An HOA, or similar management entity, shall be established to maintain all common open space and provided to Community Development Department prior to recordation of final plat. A note shall be placed on the final plat referencing the responsibility of the HOA.

9. Final plat shall be recorded within one (1) year of this action. If the project is to be phased, a phasing plan shall be submitted to the Planning Commission for review & approval. Each phase shall be recorded in compliance with the deadlines established in the Land Development Code.
10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Fire - contact 716-9515

1. Fire apparatus turn around and additional fire hydrants required.

b. Environmental - contact 716-9761

2. Residential cans will be provided. This is a dead end road and cans will need to be brought out to 500 North for collection.

c. Engineering - contact 716-9160

GENERAL

3. The properties involved have been flagged as having illegal lot splitting performed. The City shall review the resulting lots to determine if any are non-conforming. If found non-conforming lots shall be revised to meet conformance requirements.
4. Provide water shares or in-lieu fee for indoor and outdoor increased demands to the City system. This requirement shall be per City Code and Utah Administrative Rule R509-519-7
5. Show all existing easement lines on the plat and provide the type of easement and recording information for each on the plat. Where non-existent or insufficient, provide a 10' Public Utility Easement along all frontages and perimeter property lines, and provide a 5' Public Utility Easement along each side of all interior property lines.
6. This development has been identified as a residential subdivision and as such shall provide a subdivision plat that meets City standards to be recorded along with the improvement plans.
7. CC&R's shall include language that addresses the requirement of the HOA to maintain any private water lines, private sewer lines, common access and parking areas, and the Storm Water management system, basins, swales, and related infrastructure outside of a right of way dedicated to the City.
8. Provide Development Agreement and financial surety of at least 110% of the cost to construct all infrastructure & storm water improvements. Financial assurances shall not expire for a minimum of 2 years from date of City acceptance.
9. Provide a Geotechnical Report that includes but is not limited to: 1) California Bearing Ratio (CBR) of subgrade of pavement section, 2) Historical high ground water elevation, and 3) Percolation rate of soils at bottom of all storm water retention ponds.
10. A "Pre construction meeting" shall be held with the City's Engineering Division prior to starting construction activities and a "Work in the Right of Way" permit shall be obtained for all work in the City's right-of-way and PUE prior to scheduling the Pre Construction meeting.
11. Wetlands have been identified as existing or previously existing on the property. Provide a wetlands delineation study to confirm the location of any wetlands. If wetlands are found, provide a wetlands mitigation plan approved by the Army Corps of Engineers.

UTILITIES

12. All utilities and services located outside of the public right-of-way way shall be private lines and shall be owned, maintained, repaired/replaced by the homeowner or Homeowners Association. All infrastructure shall be installed, maintained, and repaired/replaced in accordance with Logan City Standards.

13. All lots shall have separate water service and sewer service connections to water distribution and sewer collection systems.
14. A fire hydrant shall be constructed at the west end of the proposed road.
15. The proposed sewer manhole shown in 500 North shall be a 60" manhole.
16. All existing utility service lines extending to the site that are not proposed to be used with the new development shall be capped at the City main line.
17. Proposed water and sewer lines in the right of way shall be a minimum of 8 inches in diameter, line in private drives shall be a minimum of 6 inches in diameter. The City may require larger diameter lines (proposed or existing) if required according to modeling performed by Logan City Utility Staff or as required by the City's master plans.

STORMWATER / IRRIGATION

18. Provide storm water detention/retention per Logan City Design standards. This includes the retention of stormwater from an adjacent existing street that discharges to the property. Retention of the 90% storm event is required and shall be provided through the use of Low Impact design methods.
19. Provide a stormwater maintenance agreement for City Review, approval and recordation at County Recorder's Office.
20. Area is greater than 1 acre so compliance with State Storm Water Permit is required. Development shall comply with Logan City design standards for storm water detention/retention. Development shall also provide a sediment and erosion control plan for all construction activities.
21. Maintain the capacity, size, and location of all existing irrigation system infrastructure along and within the project; or where irrigation infrastructure is required to be relocated or changed, improve the infrastructure to the irrigation company standards. The City will require all affected Irrigation companies to provide a signature approval on all final construction plans and final plats.
22. Stormwater basins shall not be located on residential lots. A dedicated parcel for stormwater management shall be provided and language added to the CC&Rs indicating that the storm water system shall be maintained by the HOA.
23. The minimum diameter of storm drain piping in a City right of way shall be 15 inches unless a larger size is required by the design.

STREETS

24. The City does not expect that 550 N will ever connect to the road proposed herein. As such, provide a cul de sac turn-around at the west end of the proposed street.
25. The proposed road shall be located a minimum of 125' (center to center) from the 300 W right of way.
26. Dedicate right of way along 500 North as required such that a minimum 60' of right-of-way exists and construct half street improvements for a 60' Residential Street cross section and pavement section per City Design Standards.
27. All development accesses shall be in accordance with Logan Design Standards.
28. Construct new curb, gutter, sidewalk, and park strip on 500 North in accordance with City standards and specifications.
29. Where the existing half street or portion thereof is in poor condition in regard to cracking, or is damaged during construction; owner shall reconstruct the pavement cross section out to an area of good condition asphalt. When applicable a minimum 3' of existing asphalt shall be removed and replaced.

d. Water/Cross Connection - contact 716-9627

30. Doghouse manholes are only allowed by exception when adequate considerations are taken to reduce infiltration.
31. The applicant must provide details addressing infiltration for any doghouse manholes.

e. Water/(Cross Connection & Backflow Prevention) - contact 716-9627

32. All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
33. Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow prevention and cross connection protection, during and after construction, for the safety of the water.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed subdivision is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the subdivision meets the minimum lot sizes and maximum allowed densities for the NR-6 zone.
2. The Subdivision Permit conforms to the requirements of Title 17.48 concerning hearings, procedures, application requirements and plat preparations.
3. The project meets the goals and objectives of the Logan General Plan by providing new residential housing in areas with existing services and infrastructure.
4. 500 North provides adequate access and utility services to the subdivision.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review	
Date Received 12/7/22		Zone/Neighborhood NR-C/ellis		Scheduled Meeting Date Jan. 2023	
Application Number PC 23-011					
Type of Application (Check all that apply):					
<input type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use		<input checked="" type="checkbox"/> Subdivision	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal		<input type="checkbox"/> Administrative Design Review	
				<input type="checkbox"/> Zone Change	
				<input type="checkbox"/> Other	
PROJECT NAME Zollinger 500 N					
PROJECT ADDRESS 295 W. 500 N				COUNTY PLAT TAX ID # 05-076-0004 & 05-076-0026	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Guy Marker Project Manager				PHONE # 435-232-2544	
MAILING ADDRESS 695 West 1700 South, building 7		CITY Logan		STATE Utah	
				ZIP 84321	
EMAIL ADDRESS Ryan@zollingerllc.com, Lance@zolingerllc.com and gmarker518@gmail.com					
PROPERTY OWNER OF RECORD Globe Property 2000				PHONE # 435-753-1122	
MAILING ADDRESS 695 West 1700 South, building 7		CITY Logan		STATE Utah	
				ZIP 84321	
EMAIL ADDRESS Ryan@zollingerllc.com, Lance@zolingerllc.com and gmarker518@gmail.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) The property is made up of two Parcels 05-076-0004 and 05-076-0026. With a total of 2.51 +/- Acres or 109,336 +/- sq ft of land. It is purposed that we will subdivided the property into 9 lots of 6,000 plus sq ft per lot. With the city's standard setbacks to meet code, with front at 25', corner at 20', side at 8' and rear at 10' with building height under 35'. Lot 1 has 6,457 sq ft, lot 2 has 8,543 sq ft, lot 3 has 10,436 sq ft, lot 4 has 6,968 sq ft, lot 5 has 6,925 sq ft, lot 6 has 7,628 sq ft, lot 8 has 7,873 sq ft. lot 9 has 8,727 sq ft and the open space has 3,596 sq ft. With a purposed new street named as 275 W with a 60 Public Right of Way.				Total Lot Size (acres) 2.51 Acres or 109,336 Sq. Ft.	
				Size of Proposed New Building (square feet) 6000 Sq. Ft. Plus	
				Number of Proposed New Units/Lots 9	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.				Signature of Property Owner's Authorized Project Representative 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner 	

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

