



**Project #22-057
The Logan Silos
Located at 280 West 300 South**

REPORT SUMMARY...

Project Name: The Logan Silos
Proponent / Owner: Tim Rodebush / The Logan Silos LLC
Project Address: 280 West 300 South
Request: Design Review Permit
Current Zoning: Mixed Use (MU)
Type of Action: Quasi-Judicial
Hearing Date: October 27, 2022
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #22-057, The Logan Silos, on 1.96 acres in the Mixed Use (MU) zone located at 280 West 300 South, TIN #02-050-0012 & 02-050-0007.

Current Land use adjoining the subject property

<i>North:</i>	PUB: 300 South, LHS facilities	<i>East:</i>	NR-6: 200 West (partial alley) & residential
<i>South:</i>	MU: commercial & (CETC)	<i>West:</i>	MU: commercial

Project Proposal

This request is for a Design Review Permit for the redevelopment of the IFA mill site on 300 South into a mixed use project containing a mixture of commercial retail, office space, restaurants, residential, and outdoor event space. This specific request is for Phase I which includes the redevelopment of two existing buildings (Building "A" and "E" on attached site plan) and the installation of two (2) train cars on the north and south sides of the property intended for either housing or commercial uses (T3 & T4 on the attached site plan). The proposal shows the old country store building (Building A) remodeled into a mixed use building called the "Farmhouse" and the existing fertilizer storage bays (Building E) reconstructed into a mixed use building called the "Barn". The Farmhouse is approximately 3,000 SF of ground floor commercial space with the addition of two (2) residential units above. The Barn has a 5,000 SF footprint and the ground floor will be used as flex space with a minimum of 500 SF of commercial, and the remainder a mixture of commercial and residential. The proposal shows 6 residential units above the Barn. Between both floors, the Barn could have as many as six to 11 units (6-11) units. The specific uses of the train cars are undetermined, but the proponent says they will either be residential or commercial uses. Including both building and possible train car residential units, this proposal is requesting 15 units. The proposal also includes outdoor event space and surface parking lots

The entire property contains approximately 1.96 acres on two parcels. The IFA mill site parcel is 1.41 acres and is the subject property of Phase I. The IFA mill site contains a variety of commercial buildings, grain silos and other buildings associated with a grain mill. The .55-acre parcel to the east is vacant and undeveloped and will be constructed in future phases.

Subsequent phases of this project include converting the existing silos into commercial and/or residential uses, additional parking, and other potential site improvements. These future phases will require additional Design Review Permit(s).

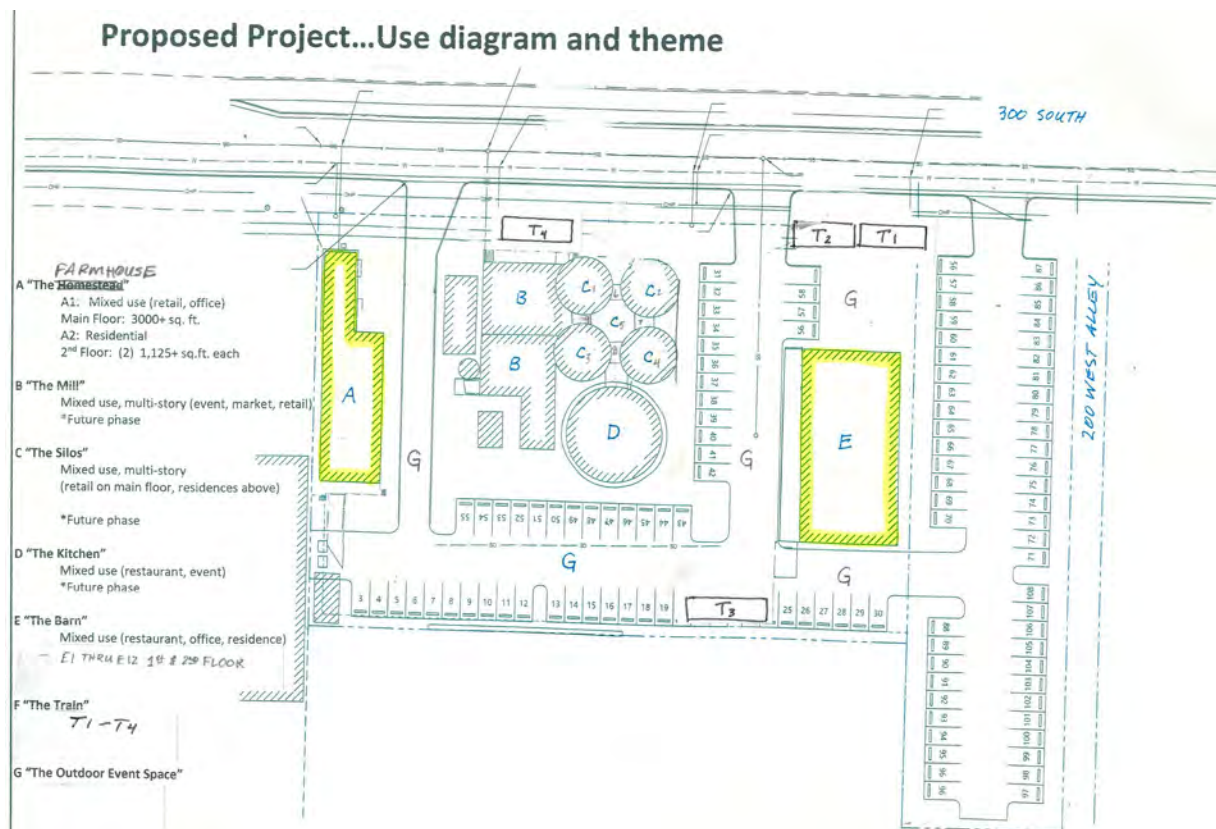


Figure 1: Project site plan

Mixed Use Zone

The Future Land Use Plan (FLUP) identifies the project site as Mixed Use Center (MUC). Section 3.7 of the Logan General Plan describes the Mixed Use Center area as intended for concentrations of commercial and office uses with residential uses integrated. The structures are intended to be multi-story with commercial use on the main level and office and residential uses on upper floors. The Mixed Use Centers are compact and designed for people to live, work, and play within a walkable center. The site is to be pedestrian friendly and have an emphasis on quality urban design and landscaping. This project would be consistent with the intent of the General Plan in repurposing an existing site, adding additional stories, and providing for a mix of uses.

MU Density and Commercial Requirement

The LDC has a base density of up to 20 dwelling units per acre and a minimum of 5 units per acre in the MU zone. The 1.41-acre project proposal for Phase I includes 15 units which equates to a density of 10 units per acre. Minimum commercial square footage requirement for this 1.41-acre parcel is 3,500 SF. The proposed project is consistent with the maximum and minimum densities, and minimum commercial square footage requirements in the LDC.

Building Frontage

The LDC requires a minimum 60% building frontage in the MU zone to create urban spaces with architectural mass framing streetscapes. This requirement also results in surface parking lots being less visually prominent and more subordinate to primary buildings. The proposed project shows existing buildings along 300 South with a 71% building frontage. As conditioned with frontage over 60%, the project complies with the LDC.

Setbacks

The LDC setback requirements in the MU zone are as follows (as measured from property lines):

Front Commercial:	0 - 10' (min-max)
Front Residential:	0 - 20' (min-max)
Side:	8' (min)
Rear:	10' (min)
Parking Front:	10' (min)
Parking Side/Rear:	5' (min)

Existing building setbacks:

Front Commercial:	18.7' Farmhouse	59' Barn	
Front Residential:	18.7' Farmhouse	59' Barn,	18' Train car
Side:	5.8' Farmhouse	6.5' Barn	
Rear:	66' Farmhouse	48.3' Barn	

Proposed parking setbacks:

Parking (front):	NA' Farmhouse	>30' Barn
Parking (side/rear):	~20'	>5'

The building setbacks are considered legally existing nonconforming because the buildings were constructed to comply with setback standards for the time and zone they were originally built. Expansion to a nonconforming structure is permitted if the changes do not increase the building footprint. The proposed building modifications show vertical expansion with no increase to the building footprints. In front of the Barn, a train car is set up for residential use which is within the front residential setback range. As the setbacks for the buildings are existing and there is not a change that increases the degree of nonconformity, the setbacks are appropriate for approval.

Existing parking areas on the property will be removed and new parking is proposed to the south and east sides of the project. The proposal shows parking within the appropriate setback range. As proposed, parking setbacks meet or exceed the LDC standards.

Lot Coverage

The LDC 17.10.100 establishes a maximum lot coverage of 60% (building footprint) in the MU zone. The total existing building footprints are approximately 26,000 SF on the 1.41-acre (61,420 SF) project site resulting in a 42% lot coverage. As proposed, the project complies with the lot coverage maximums in the LDC.

Site Access

Vehicular access is provided from 300 South through two (2) existing driveways. The interior parking areas are connected in a 'U' formation around the project site.

Site Layout & Pedestrian Circulation

The LDC 17.30.160 requires projects to provide safe, direct, and convenient pedestrian connectivity to the street and within project boundaries. The proposed site layout does not show pedestrian circulation and needs further development to show pedestrian connections throughout the development site, connection to future phases of development and pedestrian access points to 300 South and the city sidewalk. As conditioned, the project meets the requirements in the LDC.

Parking Requirements

The LDC requires 1.5 parking stalls for dwelling units containing one-bedroom or less and 2.0 parking stalls for dwelling units containing two bedrooms or more in the MU zone. Commercial parking requirements are based on the commercial uses within the building. Common

commercial parking requirements are 1.0 parking stall per every 300 SF of office space, 250 SF of retail space or 150 SF of dining area in a restaurant.

The proposed project shows 9-15 residential units (size undetermined). Using the maximum number of 15 dwelling units at two (2) stalls per unit, a total of 30 residential parking stalls is required. Between the Farmhouse and Barn, a minimum of 3,500 SF of commercial space is proposed. Exact commercial use is not determined so using moderate parking stall requirement of one (1) stall per every 250 SF (retail space), the commercial buildings would require 14 parking stalls for a grand total of 44 stalls. The plan shows a total of 52 parking stalls. As proposed, the parking requirements comply with the LDC.

The LDC 17.31.040 requires bike racks/parking areas for mixed use developments at .5 bike stall per bedroom and 1 bike stall per 10 parking stalls for commercial use. With unknown bedroom numbers, bike parking is estimated on two (2) bedrooms per unit which requires one (1) bike stall for each of the 15 units. Two (2) additional bike stalls are required based on 14 commercial parking stalls. No bike parking is indicated on the site plan. As conditioned, with a parking area to accommodate a minimum of 17 bikes, the project meets the code.

Building Design

The LDC 17.12 indicates that buildings in the MU zone shall vary from one another, have four-sided architecture and designed with a mix of materials. Acceptable building materials are masonry, stucco, fiber-cement board, wood and metal. Material mixes shall wrap all four sides of buildings and blank walls may not exceed 40 linear feet. Vertical dimensions of blank walls shall not exceed 12 feet and roof forms should be varied for visual interest. Buildings shall be oriented to the street with primary entrances facing towards the street. Secondary entrances should face the side or rear. Commercial/Mixed Use buildings are required to have 50% transparency (fenestration) along ground-floor street frontages and 20% for exposed sides and upper floors on new construction.

The proposal includes elevation plans and a conceptual rendering of the proposed modifications to the Farmhouse and the Barn.

The Farmhouse

The Farmhouse is currently a one-story block building that is painted white. The proposal shows adding a pitched roof and second story. The Farmhouse elevations show variety in materials such as white railing, wood siding, window trim and fascia. The upper floor addition and east elevation show additional windows. The entrances to the building are on the east and south sides, but not street facing as required by the LDC. The east entrance is near the original entrance location and may be considered appropriate as the railroad tracks are directly in front of the building. The tracks are not functional but are intended to remain as trains originally came to this site and the proponent is using them as part of the decoration and ambience of this redevelopment. The Commission may consider an enhanced pedestrian walkway connecting the east entrance to the front of the building or architectural feature to emphasize the east entrance and improve the interest from the 300 South approach.

The north and east facades of the single story portion of the Farmhouse are visible from 300 South. These façades show about 10% transparency. As this is intended for retail space, staff recommends that the ground floor frontage transparency meet the 50% minimum requirement for the north elevation and 20% on the east. The upper floor addition is set back from the front façade and is not being considered. As conditioned, with enhanced design to increase interest to the east entrance, and additional transparency on the north and east facades of the Farmhouse, the project meets the requirements in the LDC.



Figure 2: East Elevation of the Farmhouse

The Barn

The Barn is currently a concrete building with open storage bays on the west elevation and solid facades on the other sides. This building is 60' back from the sidewalk with rail cars between the Barn and 300 South reducing visibility from the street. The remodel adds a second floor, pitched roof, and wooden siding that resembles a barn building. There is very little variety in color or materials throughout the exterior of the building except for floor to ceiling windows covering the former open bays. Additional windows are added on the north elevation at about 25% transparency. As this is intended for commercial uses and the north side of the Barn is proposed as outdoor event space, staff recommends that the ground floor frontage transparency meet the 50% minimum requirement. The east-facing ground level is proposed as a 100' solid wall that can be seen from 300 South. Staff recommends an additional 20% fenestration as required for exposed side elevations and to break up the 100' wall length. As conditions with adding variation in color and materials to the exterior of the Barn and increasing fenestration on the north and east facades, the Barn meets the requirements of the LDC.

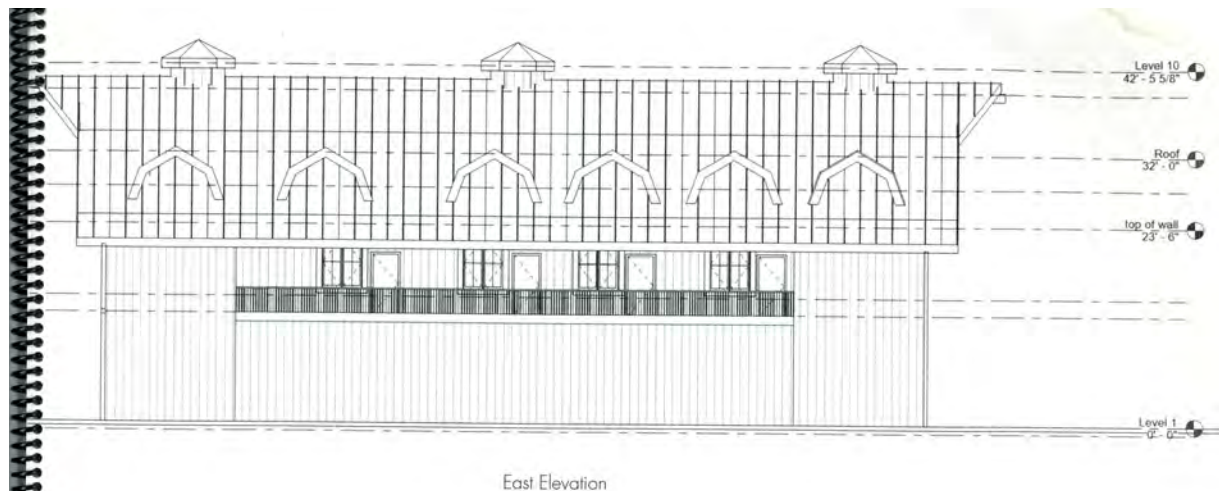


Figure 3: East elevation of the Barn

Building Height

The MU zone has a maximum height allowance of 58'. The Farmhouse addition has a proposed new building height of 28' and The Barn has a maximum height of 39.5' at the top of the pitched roofs. The proposed height of both buildings is compliant.

Open Space & Landscaping

The LDC 17.10.100 requires 10% open space and an additional 10% useable outdoor space. Generally, open space consists of landscaping (plant material) and usable outdoor space consists of gathering areas such as decks, patios, pool/hot tub facilities, plazas and other similar outdoor improvements. In the MU zone, 40% of the usable outdoor space shall be public gathering areas. When an existing site is proposed for redevelopment that is an increase of more than 10% in gross square footage, LDC §17.32.040C allows the Planning Commission

discretion to review the landscaping installed on the entire property and may require conformance with current landscape requirements. The eastern parcel that is proposed for future parking is not included in Phase I and is excluded from landscape requirements at this time.

The project site does not have existing landscaping or intentional space for outdoor enjoyment nor is there a landscape plan provided with the proposal. The site plan identifies 'Outdoor Event Space' (G on the site plan) which is shown in a drive aisle and parking area, and as such, does not count towards meeting the minimum open space requirements. The frontage along 300 South includes original railroad tracks and the project is intended to maintain the feel of a mill and silo area, so a creative landscaping plan incorporating this area may be appropriate. The site is large enough that all of the minimum land set asides (open space and useable outdoor space) can be accommodated and incorporated into the overall project design. Staff recommends that an overall performance landscape plan is submitted prior to the first building permit specifically identifying open space, landscape plantings, usable outdoor areas and public gathering areas.

The 1.41-acre or 61,420 SF site requires 6,142 SF of open space and 6,142 SF of useable outdoor space. Of the usable outdoor space, 2,457 SF shall be public gathering areas as defined in the MU zone. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers, and ornamental grasses per acre of land in the MU zone. A variety of plants species are required, and 25% of the plant material is required to be evergreen species. For 1.41 acres, a minimum of 28 trees and 70 shrubs/perennials/ornamental grasses would be required as per the LDC.

As conditioned, with a performance landscape plan, the project complies with the requirements of the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

The project was sent to City Departments and applicable agencies for review. All comments were provided to the applicant and applicable items are included as conditions of approval.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received from the public.

PUBLIC NOTIFICATION

Public notices were mailed to property owners within 300 feet of the project site on October 10, 2022. Legal notices were published in the Herald Journal on October 15, 2022, and the Utah Public Meeting website and Logan City website on October 17, 2022. A quarter page Ad was published in the Harald Journal on October 13, 2022.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Permit and are available in the Community Development Department.

2. The buildings are allowed to be expanded to include upper floor additions while maintaining existing setbacks. Additions will be subject to any current building code requirements.
3. No parking is permitted between the buildings and 300 South.
4. The project shall provide at least 52 parking stalls that comply with minimum LDC standards.
5. An area shall be designated for bike parking and contain a minimum of 17 bikes.
6. The single story portion of the Farmhouse shall meet minimum transparency requirements of 50% on the north façade and 20% on the east façade.
7. Barn ground floor street facing building facade shall meet minimum transparency requirements of 50% on the north façade and 20% on the east façade.
8. The Barn shall add variation in color and/or materials to the exterior facades.
9. A performance landscaping plan for the 1.41-acre site, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 12,284 SF.
 - b) Of the 6,142 SF usable outdoor space, 2,457 SF shall be open to the public.
 - c) A total minimum number of 28 trees and 71 shrubs, perennials and grasses shall be provided on the silo developed property.
 - d) Trees, shrubs, grasses and perennials shall be planted around parking areas and may be provided in planters or configurations around buildings that are appropriate to the nature of the redeveloped site.
 - e) Street trees shall be provided every 30 feet along 300 South.
 - f) Varieties and sizes of all plant material shall be specified on the plan and plant quantities shall be per LDC §17.39.050 and include a minimum of 25% evergreen varieties for year-round visual interest.
10. A pedestrian pathway network plan shall be provided with the landscaping plan illustrating pedestrian connections throughout the development, connecting all building entrances, open space and gathering areas, city sidewalks and future phases of development.
11. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
12. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
13. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
14. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire Department*
 - 1) Residential R2, and mixed-use type buildings (The Farmhouse and The Barn) are required to have building fire sprinklers and fire alarm systems.
 - 2) A Fire hydrant is required to be within 100' of all FDC's.
 - 3) This project may be subjected to third-party life safety plans review.
 - b. *Light and Power Department*
 - 1) Public Utility Easements (PUEs) are required on all property lines. May be recorded with a subdivision plat or as separate document prior to issuance of a building permit.
 - c. *Environmental Department*
 - 1) Minimum 60 ft. straight on clear access required. Approach must be level, no down or uphill slopes and no parking spaces blocking access.
 - 2) Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - 3) Place bollards in the back of the enclosure to protect walls.

- 4) Gates are not required, however if desired, they must be designed to stay open during the collection process.
 - 5) Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
- d. *Building Safety*
- 1) This will be a change of use of these buildings. A licensed architect and licensed engineer will be required to evaluate these buildings and make sure they are brought up to current code.
- e. *Business Licensing*
- 1) A Business License is required for all commercial entities operating at this location. A Landlord License would be required for any residential units that are not owner-occupied.
- f. *Water/Cross Connection Department*
- 1) All commercial buildings water mains need to have their own RP (ASSE1013) backflow assembly installed and tested on the water main as it enters the building before any branch offs or possible connections inside or outside of building. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter. Refer to Utah State Amendment#608.1.1,608.1.2,608.1.2.1 for installation criteria. Properly sized drain required to serve this backflow assembly.
 - 2) Residential water services or (mains) must be totally separated from any commercial water mains. If residential buildings are three levels above finish grade or higher, their water mains must have a minimum DC (ASSE1015) backflow assembly on the water mains also. Separate residential and commercial water systems (services).
 - 3) All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested.
 - 4) Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) backflow assembly installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
 - 5) Project shall comply with all current Utah State plumbing codes, amendments, and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention, during and after construction. All commercial buildings water mains need to have their own RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or connections.
- g. *Engineering Department*
- 1) Provide onsite detention/retention of storm water onsite per current City Storm Water design standards. This shall include the use of Low Impact Design methods for the complete onsite retention of the 90% storm event.
 - 2) Utilities services were modified and stubbed into proposed development during the reconstruction of 300 South by the City. Based current proposed development, these services need to be reevaluated to ensure proper size and location during the design review phase.
 - 3) Provide water shares or in-leu of fee for increased water demand to City system for proposed development per Utah Administrative Code R309-510-7.
 - 4) Driveways shall comply with the City's minimum and maximum allowable widths.
 - 5) Back out areas in the parking lot shall be a minimum 9' by 20'.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT
The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed building is compatible with surrounding land uses of the MU zone and will not interfere with the use and enjoyment of adjoining or area properties.
2. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties.
3. The design review permit substantially conforms to the requirements of Title 17 of the Logan Municipal Code.
4. The project meets the goals and objectives in the General Plan for the Mixed-Use Center (MUC) area.
5. The project development utilizes existing utilities, infrastructure, and roadways.
6. 300 South is adequate in size and design to sufficiently handle automobile traffic related to the proposed land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only		<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board	<input type="checkbox"/> Administrative Review
Date Received 9/19/22	Planner INT	Zone/Neighborhood MU/WOODRUFF HOCT 27	Scheduled Meeting Date NOV 27	Application Number PC 22-057	
Type of Application (Check all that apply): <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input checked="" type="checkbox"/> Design Review</div> <div style="width: 50%;"><input type="checkbox"/> Conditional Use</div> <div style="width: 50%;"><input type="checkbox"/> Subdivision</div> <div style="width: 50%;"><input type="checkbox"/> Administrative Design Review</div> <div style="width: 50%;"><input type="checkbox"/> Code Amendment</div> <div style="width: 50%;"><input type="checkbox"/> Appeal</div> <div style="width: 50%;"><input type="checkbox"/> Zone Change</div> <div style="width: 50%;"><input type="checkbox"/> Other</div> </div>					
PROJECT NAME THE LOGAN SILOS					
PROJECT ADDRESS 280 WEST 300 SOUTH LOGAN UTAH 84321				COUNTY PLAT TAX ID # 02-050-0012, -0007	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER TIM RODEBUSH				PHONE # 760-212-8658	
MAILING ADDRESS		CITY		STATE	
432 WEST CENTER ST. LOGAN, UTAH		84321		84321	
EMAIL ADDRESS timrodebush@yahoo.com					
PROPERTY OWNER OF RECORD LOGAN SILOS LLC				PHONE # SAME AS ABOVE	
MAILING ADDRESS		CITY		STATE	
432 WEST CENTER ST. LOGAN UTAH		84321		84321	
EMAIL ADDRESS SAME AS ABOVE					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)				Total Lot Size (acres)	
REPURPOSE THE EXISTING SITE & STRUCTURES. - NOT TO DEMOLISH OR RESURRECT. - SEE 312 DESIGN CONCEPT PACKET FOR MORE DETAILS				Size of Proposed New Building (square feet) 7000+ sqft.	
				Number of Proposed New Units/Lots 20	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.				Signature of Property Owner's Authorized Project Representative 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner 	

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL.

September 19, 2022

To All:

This application is intended to request only spaces A, E, F, G to be the subject spaces for discussion. We are requesting these concepts to be approved.

We have provided information on the entire project to get the full perspective. Please refer to page 16 to see the entire site theme and diagram to view "The Logan Silos" project. We intend to do future phases as indicated on that same page.

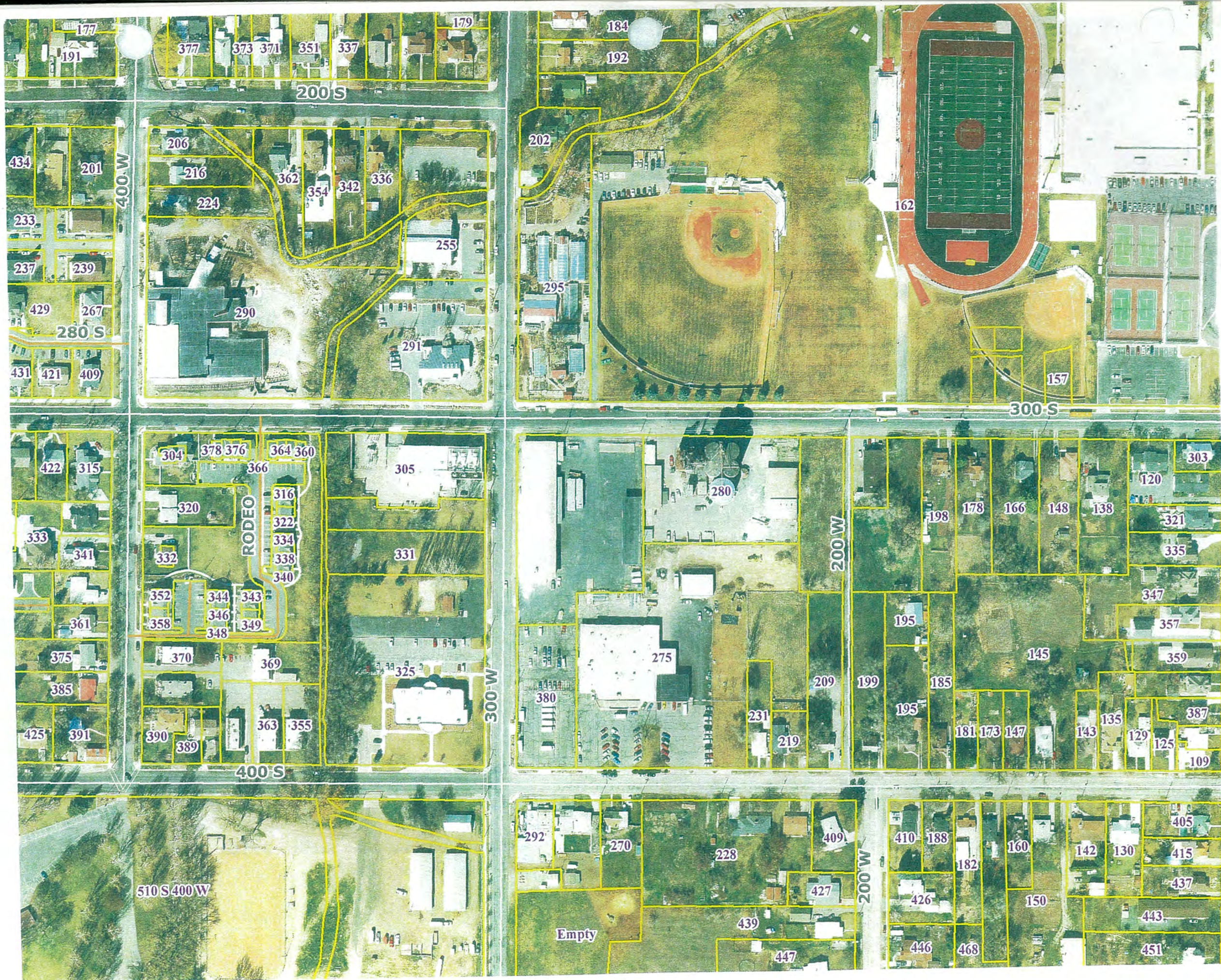
Thank you,
Tim Rodebush
The Logan Silos

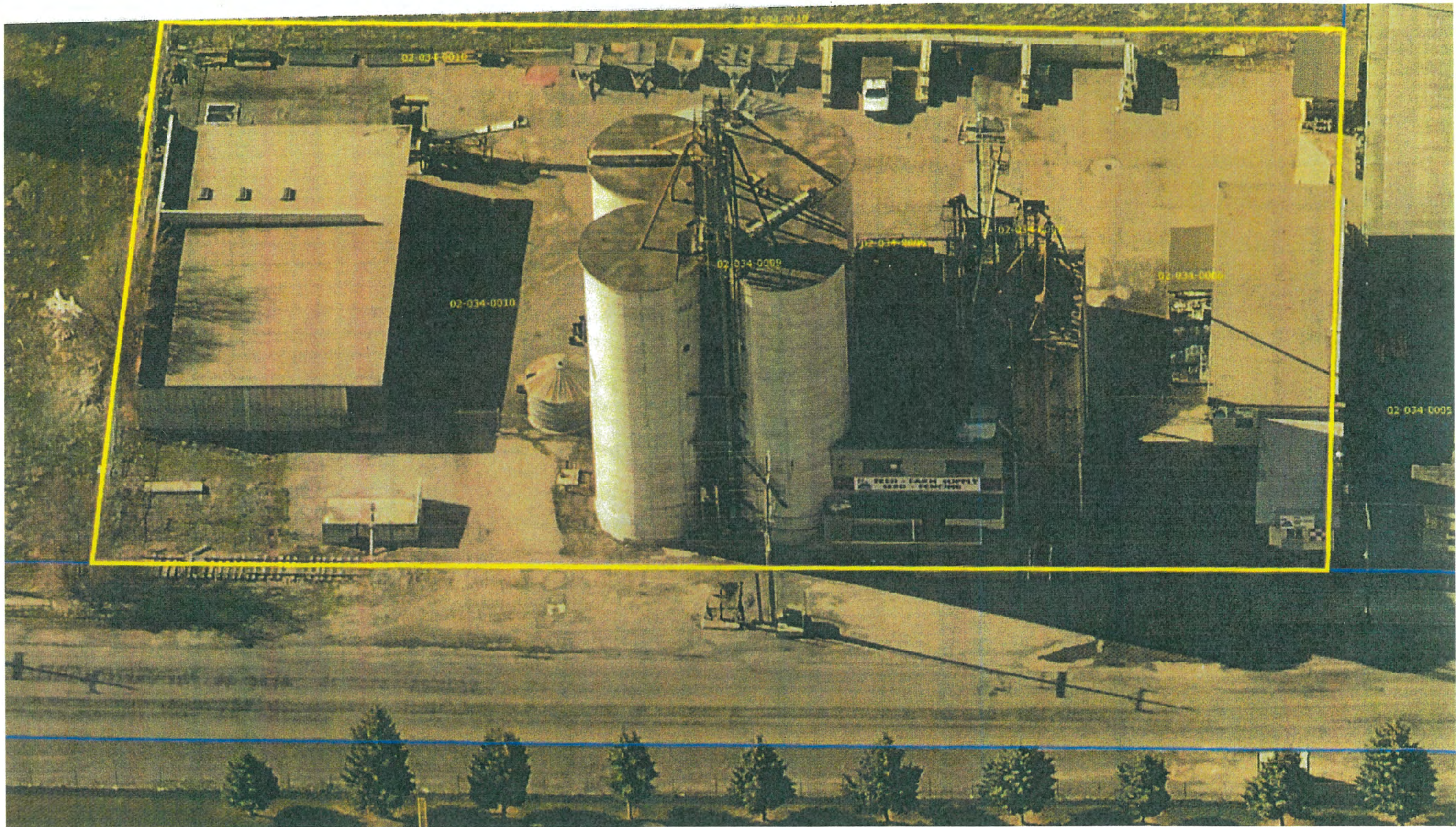
The Logan Silos

*280 west 300 south
Logan, UT 84321*

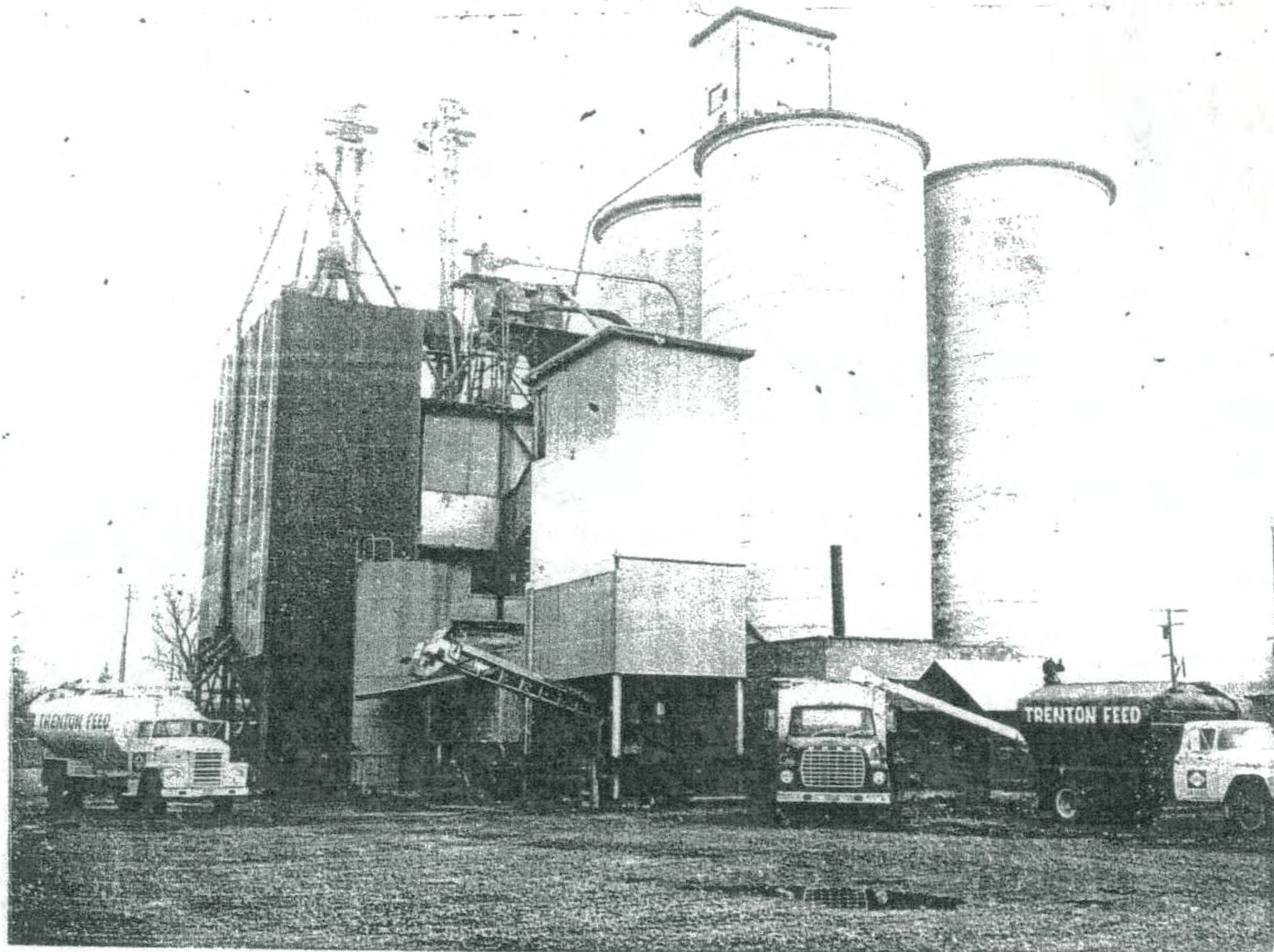
Legend Sheet I

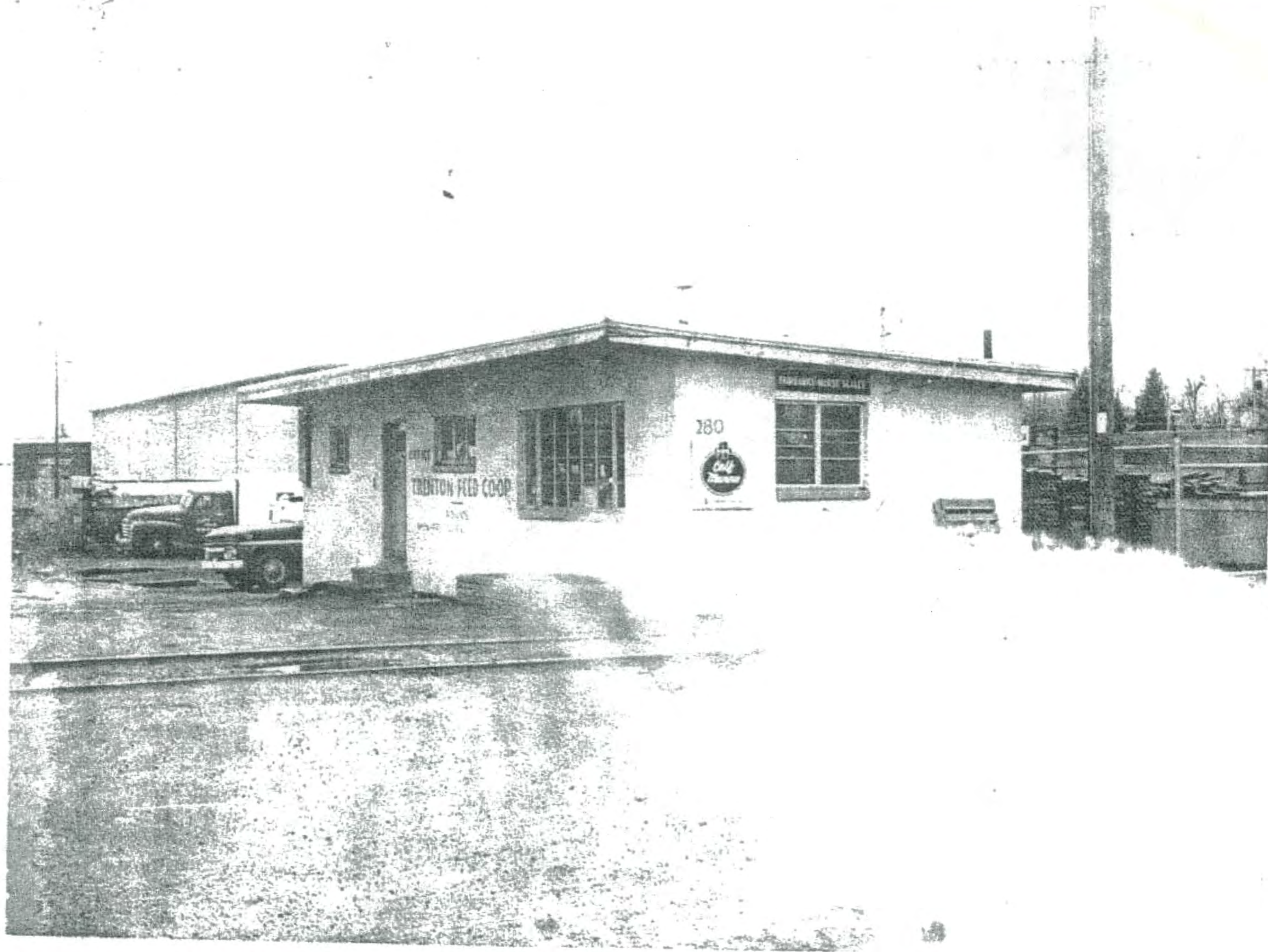
Page	Description
1	Current Cache County recorder's plat map.
2-5	Current and old existing pictures.
6	Vicinity plat map.
7	Property deed.
8-9	Logan city engineering water model analysis.
10	Alta land title survey.
11	City approved and signed wet utility plan, proposed new parking plan and new fire hydrant.
12-13	City site drawing, new side walk, curb, gutter and storm drain.
14	City sewer map.
15	Existing utilities.
16	New proposed site plan (project theme and diagram).
17-18	Site vertical elevations and widths (existing structures).
19-22	Property footprint with structure and perimeter measurements.
23-26	Barn concept with elevations.
27	Colored barn concept.
28-29	Homestead ^{FARMHOUSE} concept with elevations.
30	Colored homestead ^{FARMHOUSE} concept.











PT. SW⁴ NE⁴ Section 4 Township North 11 Range 1 East

02-050

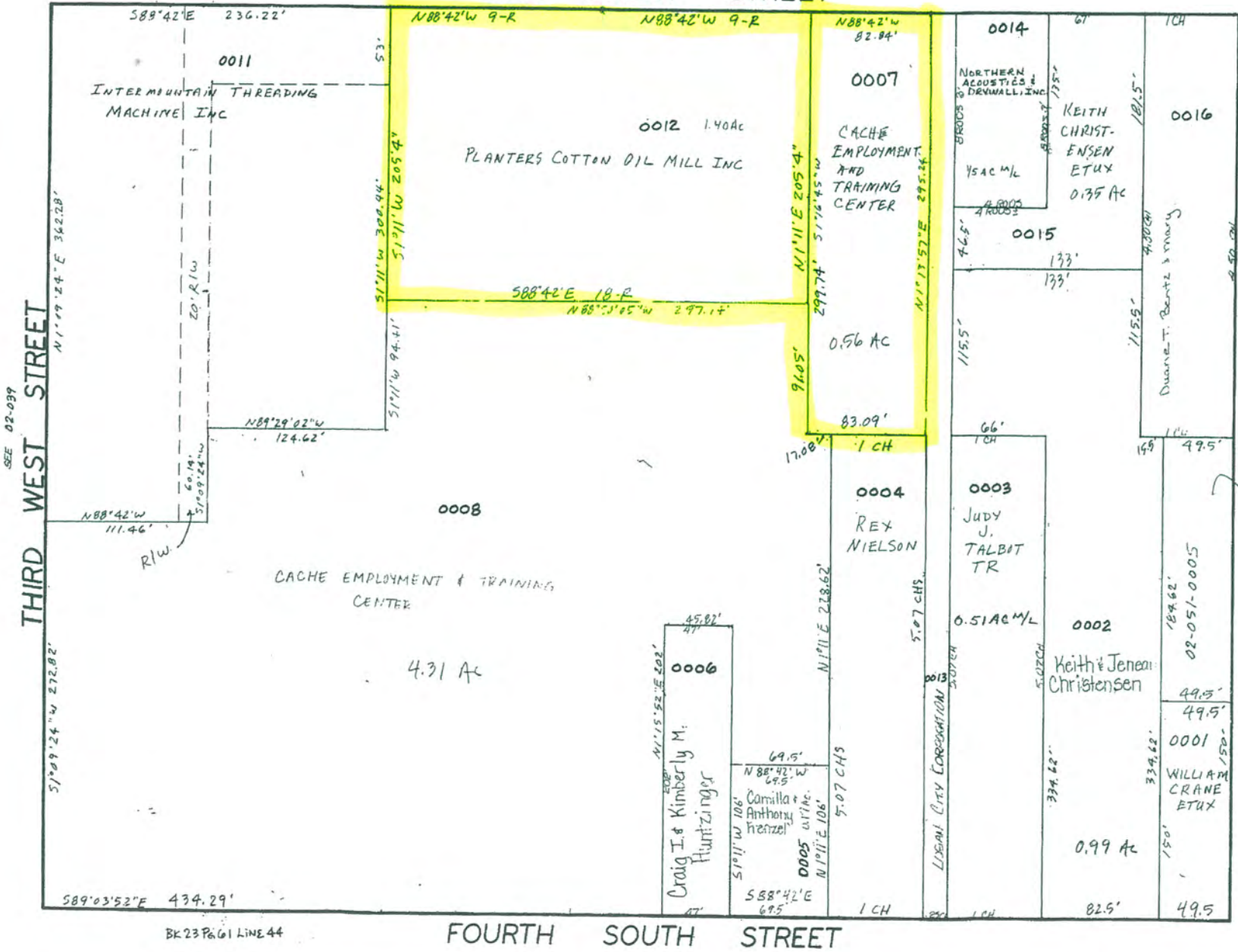
Scale 1 Inch = 60 FEET

PART PLAT "D" LOGAN CITY

TAX UNIT 27

SEE 02-042

THIRD SOUTH STREET



19

SEE 02-051

SEE 02-057

WHEN RECORDED MAIL TO:
LOGAN SILOS, L.L.C.
2405 OLD COLONY ROAD
VISTA, CA 92084

Ent 1172916 Bk 1953 Pg 1516
Date 02-Jun-2017 01:43PM Fee \$12.00
Michael Gleed, Rec. - Filed By mg
Cache County, UT
For INWEST TITLE SERVICES - ST. GEORGE
Electronically Submitted by Simplifile

SPACE ABOVE THIS LINE FOR RECORDERS USE ONLY
RECORDED AT THE REQUEST OF INWEST TITLE SERVICES, INC. ORDER # 236232

WARRANTY DEED

INTERMOUNTAIN FARMERS ASSOCIATION, A UTAH AGRICULTURAL COOPERATIVE ASSOCIATION
GRANTOR(S)

OF SALT LAKE CITY, COUNTY OF SALT LAKE, STATE OF UT
HEREBY CONVEY AND WARRANT TO

LOGAN SILOS, L.L.C., A UTAH LIMITED LIABILITY COMPANY

GRANTEE(S)

OF VISTA, COUNTY OF SAN DIEGO, STATE OF CA
FOR THE SUM OF TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION,
THE FOLLOWING DESCRIBED TRACT OF LAND IN CACHE COUNTY, STATE OF UT:

(02-050-0012)

See Attached Exhibit "A"

SUBJECT TO EASEMENTS, RESTRICTIONS, ENCUMBRANCES AND RIGHTS OF WAY OF RECORD, AND TAXES
FOR THE YEAR 2017 AND THEREAFTER.

WITNESS, THE HAND(S) OF SAID GRANTOR(S), THIS 1ST DAY OF JUNE, 2017.

INTERMOUNTAIN FARMERS ASSOCIATION, A UTAH
AGRICULTURAL COOPERATIVE ASSOCIATION



BY: CRAIG SELLERS, VICE-PRESIDENT

ACKNOWLEDGMENT

STATE OF UTAH)
) (ss.
COUNTY OF SALT LAKE)

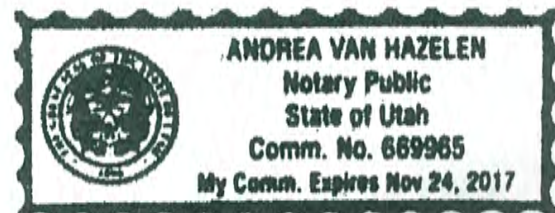
On this 1st day of June, 2017, personally appeared before me CRAIG SELLERS, whose identity is personally known to me (or proven on the basis of satisfactory evidence) and who by me duly sworn/affirmed, did say that he is the VICE-PRESIDENT, of INTERMOUNTAIN FARMERS ASSOCIATION, A UTAH AGRICULTURAL COOPERATIVE ASSOCIATION, and that said document was signed by him/her in behalf of said Corporation by Authority of its By-Laws (or a Resolution of its Board of Directors), and said CRAIG SELLERS acknowledged to me that the said Corporation executed the same.


NOTARY PUBLIC

My Commission Expires:

Nov. 24, 2017


INWEST TITLE SERVICES, INC.



MEMORANDUM

To: Bill Young, City Engineer
Craig Humphries, Fire Marshall
File

From: Joe Hawkes, P.E.

Date: November 6, 2018

RE: Fire Flow Analysis at 280 West 300 South - Old IFA Property

Logan City has developed a calibrated water model that is used to evaluate the ability to deliver water in accordance to Utah State Code (R309-105-9. Minimum Water Pressure). In accordance with these rules, we are required to meet the following requirements for new development:

1. Pressures not less than 20 psi during conditions of fire flow and fire demand experienced during peak day demand.
2. Pressures not less than 30 psi during peak instantaneous demand (without fire flows)
3. Pressures not less than 40 psi during peak day demand (without fire flows)
4. The addition of new development can not reduce the residual pressure at any service connection in the system to below 20 psi under any conditions.

Table 1 summarizes our peaking factors and demands for the referenced project used in the impact evaluation.

Table 1 - Summary of Model Parameters

Description	Value	Source
Peak Day Factor	1.8	Culinary Water System Master Plan (CWSMP), April 2007, pg 2-9.
Peak Hour	2.4	CWSMP, April 2007, pg 2-9.
Instantaneous Peak Factor	3.5	Review of system wide SCADA.
Lowest Water Demand Factor	0.5	Review of system wide SCADA
Fire Flow Required	2000 gpm	Estimated (Actual per IFC Table B105.1)
Water Demand of Project	(not provided) gpm	Estimated Average Day

The evaluation assumes that all of the flows come directly off of the existing City water system at the given locations. This evaluation does not include any losses in hydrant lines, service lines, fire lines, private lines, or any piping other than the City's distribution system.

Results

Table 2 summarizes the modeled results at the existing identified fire hydrant.

Table 2 - Results at node J29632 representing Fire Hydrant FH02385 at 280 W 300 S

	With PRVs	
Condition	gpm	psi
Peak Day	NA	85 (static)
Fire Flows*	2,000	71
Maximum Avail Flows	5,283	20

* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

Table 3 summarizes the modeled results available at the City main line in the street.

Table 3 - Results at existing 8" mainline in 300 S (matching results in Table 2)

	With PRVs	
Condition	gpm	psi
Peak Day	NA	85 (static)
Fire Flows*	2,000	71
Maximum Avail Flows	5,283	20

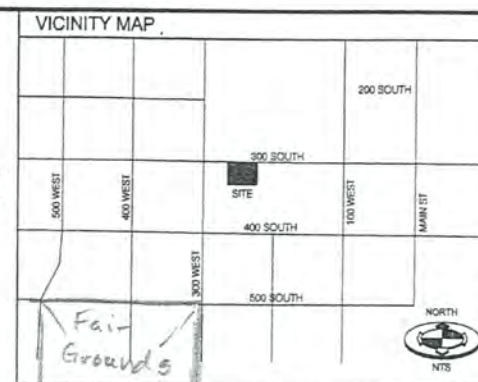
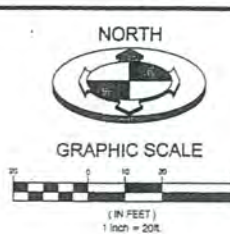
* Fire flows are additive with Peak Day flows for total flow at the farthest point affecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

This information provides three points from which the developer's consultant can create a pressure versus flow curve to match the actual values. The actual design fire flow must be obtained from the Fire Marshall prior to completing the hydraulic analysis.

LOGAN CITY GPS MONUMENT LC302
FOUND MONUMENT
BENCHMARK EL=4518.22

ALTA/NSPS LAND TITLE SURVEY

LOCATED IN THE NORTHEAST QUARTER OF SECTION 4,
TOWNSHIP 11 NORTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
LOGAN, CACHE COUNTY, UTAH



SURVEYOR'S CERTIFICATE
TO: FIRST AMERICAN TITLE INSURANCE COMPANY
INTERMOUNTAIN FARMERS ASSOCIATION
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE
MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR
ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS,
AND INCLUDES ITEMS 7, 8, 9, 11, AND 13 OF TABLE A THEREOF. THE FIELDWORK WAS
COMPLETED ON NOVEMBER 8, 2016.



TITLE DESCRIPTION
EXHIBIT A:
BEGINNING IN THE SOUTH LINE OF THIRD SOUTH STREET 446.40 FEET WEST BY LOCAL
VARIATION OF A POINT 448 FEET WEST OF A POINT 75.90 FEET NORTH OF THE SOUTHEAST
CORNER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 4,
TOWNSHIP 11 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, THIS POINT
OF BEGINNING BEING ALSO DESCRIBED AS SOUTH 01°11' WEST 2022.40 FEET IN THE
MONUMENT LINE OF MAIN STREET AND NORTH 88°42' WEST 1715.95 FEET FROM THE STREET
MONUMENT OF LAGAN CITY, UTAH AT THE INTERSECTION OF MAIN AND CENTER STREET
AND RUNNING THENCE NORTH 88°42' WEST IN THE SOUTH LINE OF THIRD SOUTH STREET 9
RODS; THENCE SOUTH 01°11' WEST 205 FEET 4 INCHES; THENCE SOUTH 88°42' EAST 18
RODS; THENCE NORTH 01°11' EAST 205 FEET 4 INCHES; THENCE NORTH 88°42' WEST 9 RODS
TO THE PLACE OF BEGINNING.

REFERENCE DOCUMENTS
R1) COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE
COMPANY, SEPTEMBER 17, 2016, ORDER NO. 5559669.
R2) RECORD OF SURVEY FOR C. DENNIS CLARK BY JSH SURVEYING AND DRAFTING INC.
RECORDED # 2012-059.
R3) RECORD OF SURVEY FOR SADDLEMAN BY GIBBONS & CROW, RECORDED # 1993-070.

GENERAL NOTES
THIS SURVEY IS BASED UPON THE COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST
AMERICAN TITLE INSURANCE COMPANY, NOVEMBER 15, 2016, ORDER NO. 88939-PF.
1) DOCUMENTS OF ADJOINING PROPERTIES OR OTHER DOCUMENTS NOT FURNISHED WITH
THE REFERENCED TITLE REPORTS HAVE NOT BEEN USED IN THE PERFORMANCE OF THIS
SURVEY. THEREFORE, SURVEYS THAT MAY EXIST REGARDING GAPS OR OVERLAPS OF
DESCRIPTORS AND QUESTIONS AS TO UNDERLYING FEE OWNERSHIP, JUNIOR AND SENIOR
RIGHTS OF OWNERSHIP PERTAINING TO ADJOINING PROPERTIES, ARE NOT ADDRESSED ON OR
BY THIS MAP. THE INFLUENCE OF OTHER DOCUMENTS COULD RESULT IN THE VARIANCE OF
PROPERTY LINES AS SHOWN HEREON.
2) NOTES PERTAINING TO EXCEPTIONS TO COVERAGE, SCHEDULE B OF REFERENCED
PRELIMINARY REPORT.
ITEMS 1-12 NOT ADDRESSED BY THIS SURVEY.
ITEM 13 RIGHT OF WAY EASEMENT IN FAVOR OF THE MOUNTAIN STATES TELEPHONE AND
TELEGRAPH COMPANY, TO CONSTRUCT, OPERATE, MAINTAIN AND REMOVE COMMUNICATION
EQUIPMENT AND OTHER FACILITIES, FROM TIME TO TIME, UPON OVER, UNDER AND ACROSS A PORTION
OF THE SUBJECT PROPERTY, RECORDED SEPTEMBER 15, 1983, AS ENTRY NO. 462824, IN BOOK 322, AT
PAGE 543.
(SURVEY FINDINGS: AS SHOWN, MONUMENTS CALLED OUT IN EASEMENT NOT FOUND
LOCATION OF EASEMENT IS BEST FIT)
ITEM 14 RIGHT OF WAY AND UTILITY EASEMENT, INCLUDING ANY PRESUMED RIGHT, PRIVILEGE AND
AUTHORITY BENEFITING THE CORRESPONDING UTILITY COMPANY FOR OVERHEAD TRANSMISSION LINES
(INCLUDING ALL APPURTENANT POSTS, POLES, ANCHORS, CABLES, GUY WIRES AND FIXTURES), TO
CONSTRUCT, OPERATE, MAINTAIN AND REMOVE EQUIPMENT AND OTHER FACILITIES, FROM TIME TO
TIME, UPON OVER AND ACROSS THE NORTH PROPERTY LINE OF THE SUBJECT PROPERTY, AS
EVIDENCED BY A VISUAL INSPECTION.
(SURVEY FINDINGS: AS SHOWN)
ITEM 15-18 NOT ADDRESSED BY THIS SURVEY.

LEGEND AND ABBREVIATIONS	
▲	LOGAN CITY MONUMENT
○	PROPERTY CORNER AND LINE PLANT WATER
—	ADJOINING DEED LINE
—	STREET CENTERLINE
—	CURB AND GUTTER
—	EDGE OF ASPHALT
—	EDGE OF CONCRETE
—	BLOCK WALL
—	CHAIN LINK FENCE
—	SEWER
—	STORM DRAIN
—	WATER LINE
—	OVERHEAD POWER
□	TELEPHONE BOX
×	WATER VALVE
×	FIRE HYDRANT
×	WATER METER
×	MANHOLE FOR TRUCK SCALES
SSMH	SANITARY SEWER MANHOLE
POB	POINT OF BEGINNING
SDIB	STORM DRAIN INLET BOX
SDCB	STORM DRAIN CATCH BASIN
SDMH	STORM DRAIN MANHOLE
TOG	TOP OF GRADE
PUE	PUBLIC UTILITY EASEMENT

NARRATIVE OF SURVEY
SCOPE:
BENCHMARK ENGINEERING & LAND SURVEYING, LLC WAS RETAINED BY BRYON COUTLER OF
INTERMOUNTAIN FARMERS ASSOCIATION TO PERFORM AN ALTA/NSPS SURVEY OF SUBJECT
PROPERTY AS SHOWN HEREON.

BASIS OF BEARING
THE BASIS OF BEARINGS FOR THIS SURVEY IS N88°15'30"W AS SHOWN HEREON.

BENCHMARK
LOGAN CITY GPS MONUMENT LC302 EL=4518.22

PROJECT NO.	1611217
ALTA/NSPS LAND TITLE SURVEY	
SVA 01 1 OF 1	

BENCHMARK
ENGINEERING &
LAND SURVEYING



INTERMOUNTAIN FARMERS
ASSOCIATION
280 WEST 300 SOUTH
LOGAN, UTAH

1611217

ALTA/NSPS
LAND TITLE
SURVEY

SVA 01
1 OF 1



REMOVE EXISTING ASPHALT
CONSTRUCT HOT MIX
ASPHALT 4 INCHES THICK
AS PER DETAILS B & C
ON SHEET D1

SAW CUT ASPHALT
ON CL

RELOCATE 1" WATER SERVICE
TO STA: 14+05.0 R 23.0'

PROTECT WATER VALVE
INSTALL CONCRETE COLLAR
AS PER DETAIL F ON SHEET D2

RELOCATE 1" WATER SERVICE
TO STA: 15+47 R 23.0'

INSTALL 36" X 36"
IRRIGATION BOX - 1
AS PER DETAIL E ON SHEET D2
STA: 15+66.27 R 35.04

CONSTRUCT CONCRETE
ON STREET PARKING
AS PER DETAIL B ON SHEET D1

RELOCATE WATER METER
TO STA: 16+82 R 34.5'

RELOCATE WATER METER
TO STA: 17+48 R 23.6'

PROTECT EXISTING
UTILITY POLE

13+00

14+00

15+00

16+00

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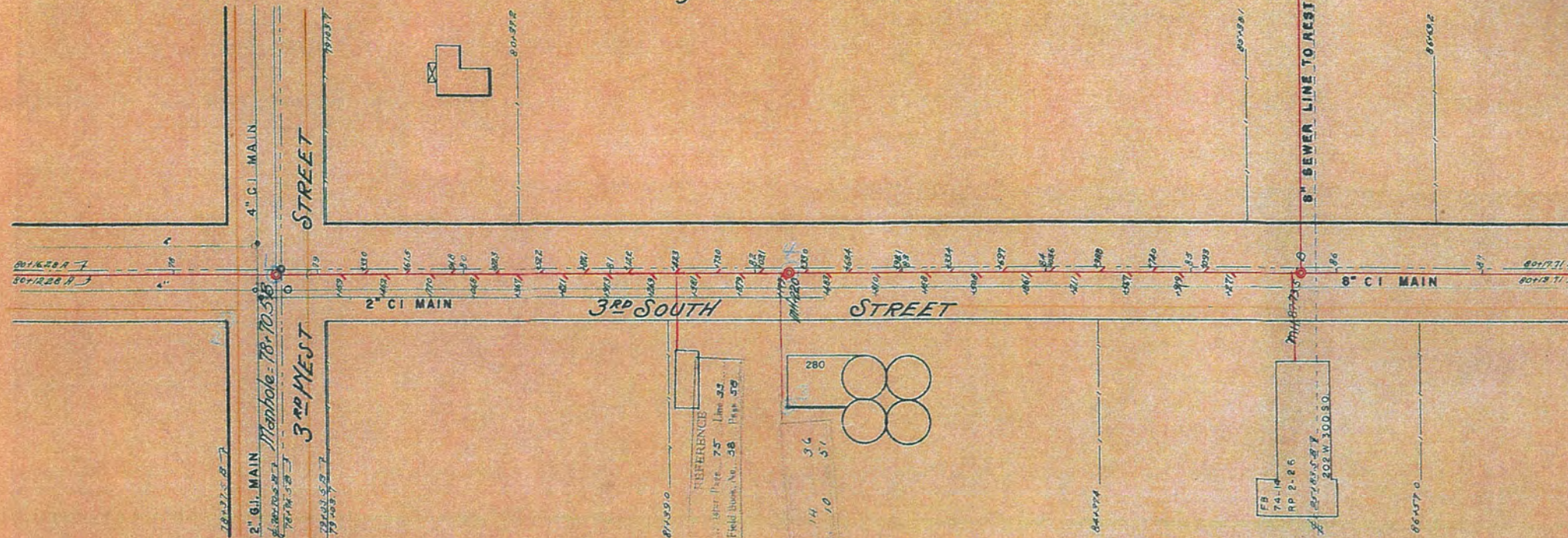
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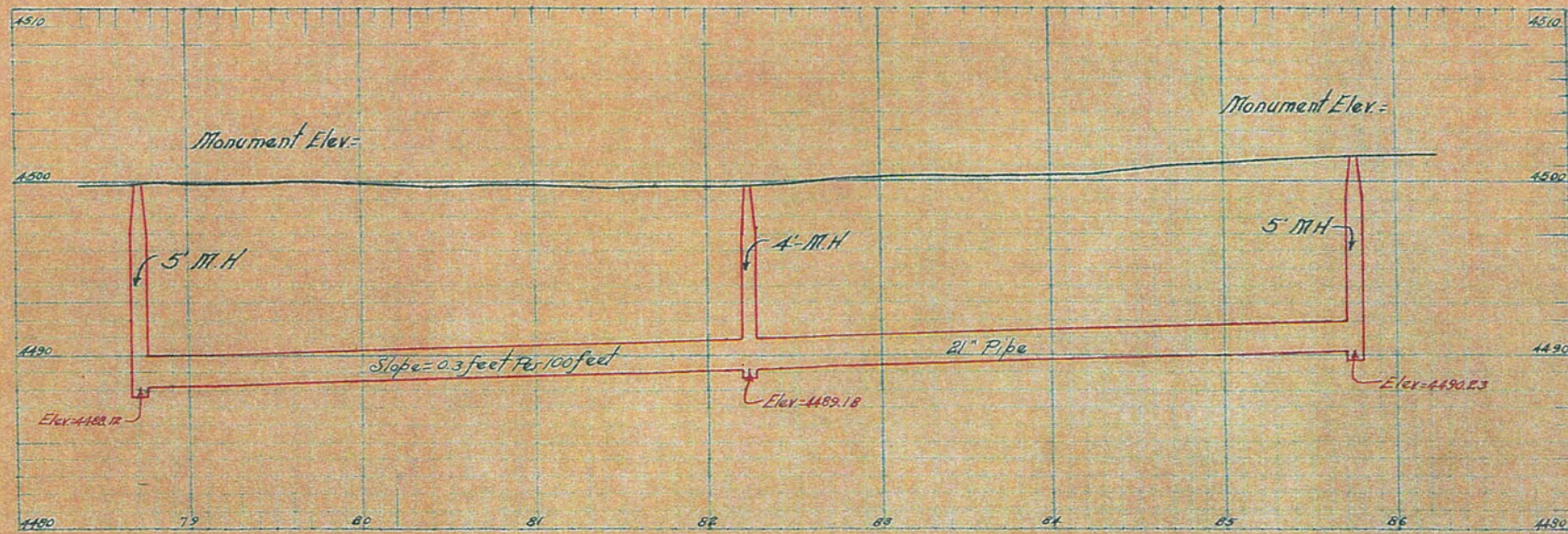
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IN _____ TPD
DATE 6-15-24

PART of N.E. 1/4 SECTION 4








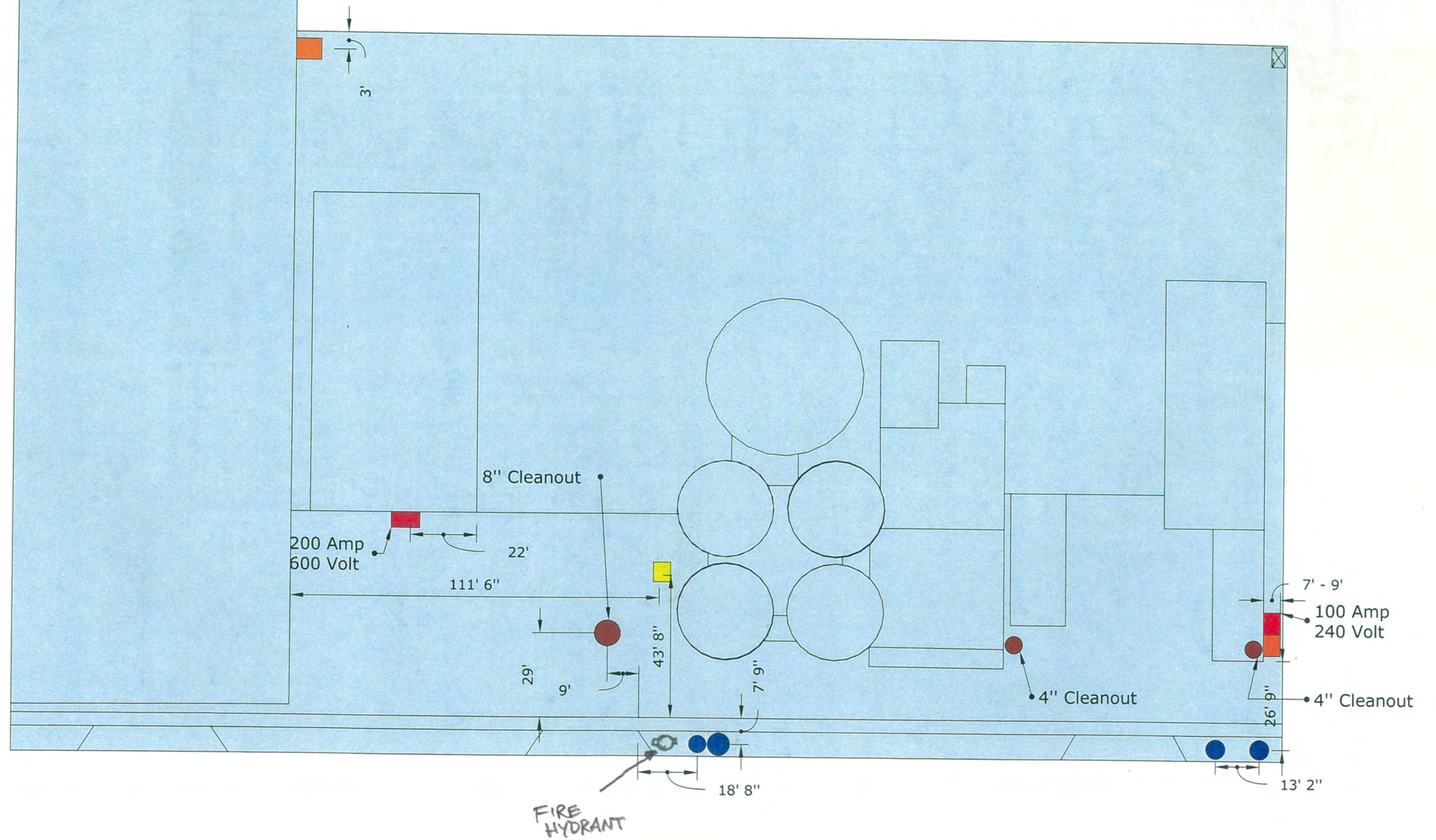
PART of N.E. 1/4 SECTION 4



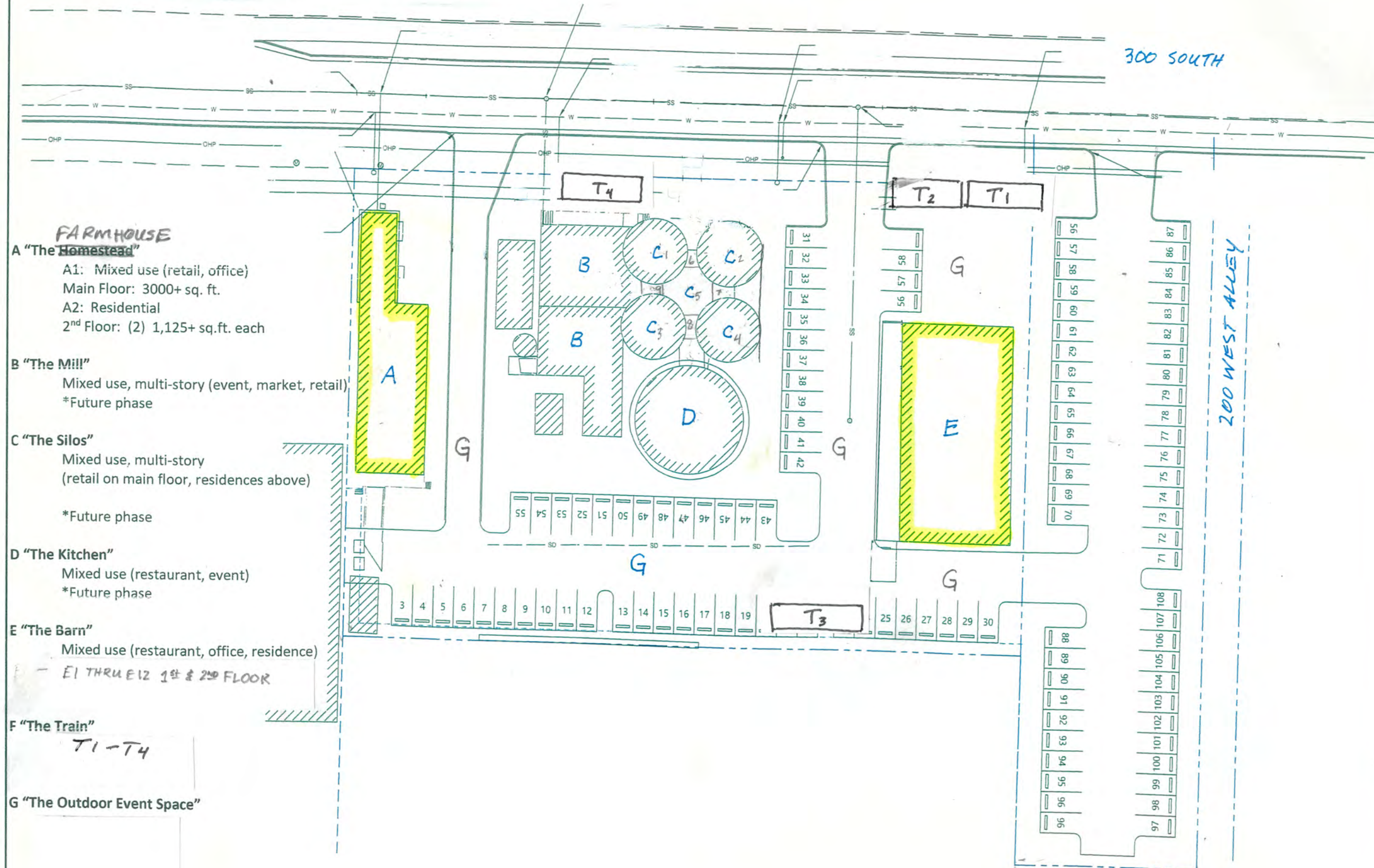
Scale - 1 inch = 60 feet
April - 1924
F.W. Thomas
City Engineer

Existing Utilities

-  = Telecom
-  = Power Meter
-  = Gas Meter
-  = Sewer
-  = Water Meter



Proposed Project...Use diagram and theme



Historic IFA

Redevelopment

3rd West and 3rd South Streets

Logan, Utah

Utility Layout Plan

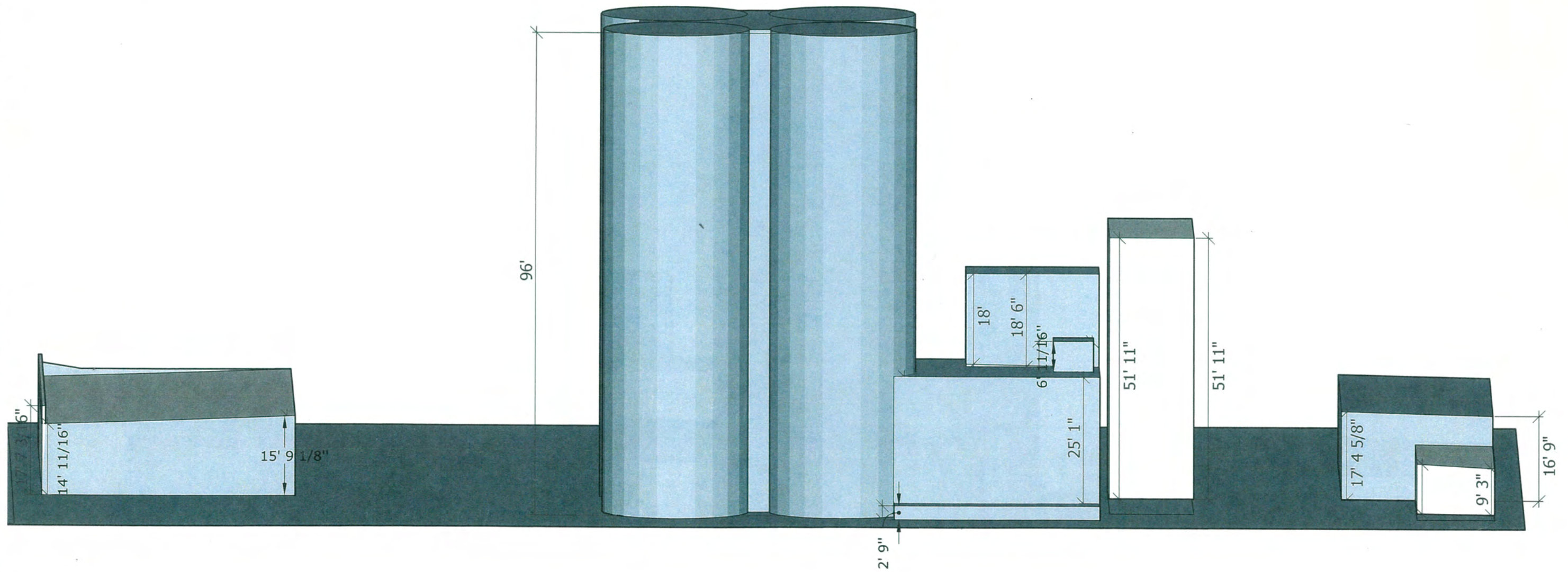
Sheet Scale - 1" = 20'

Sheet No:

U1

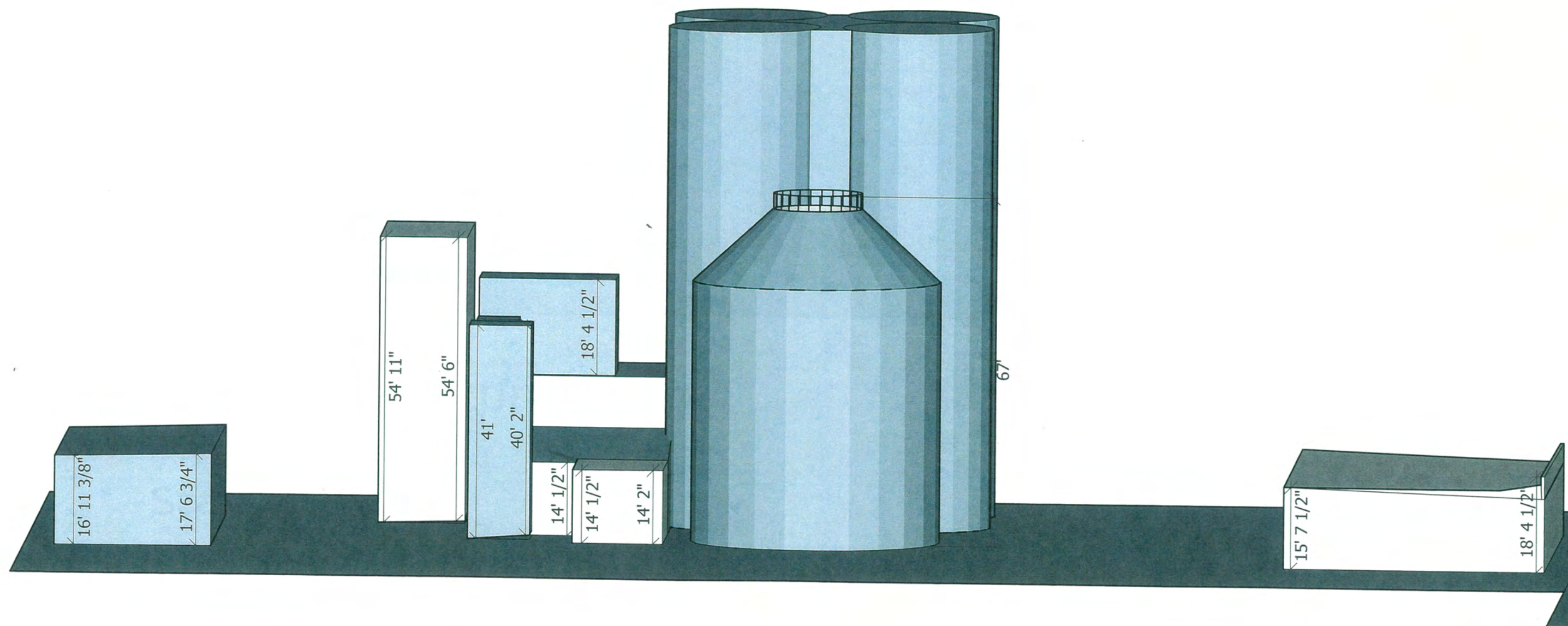
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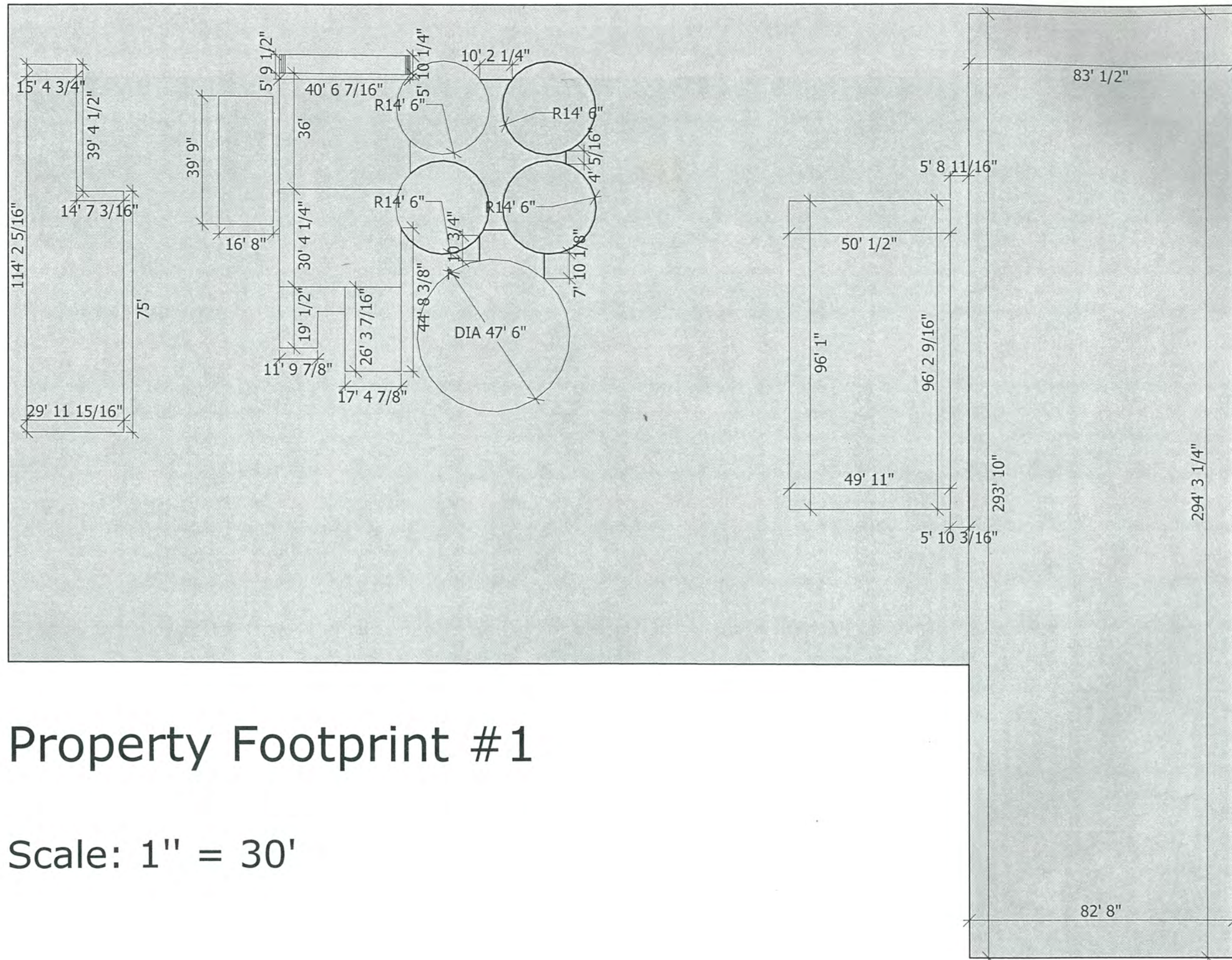
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3D Footprint #2

Scale: 1" = 19'



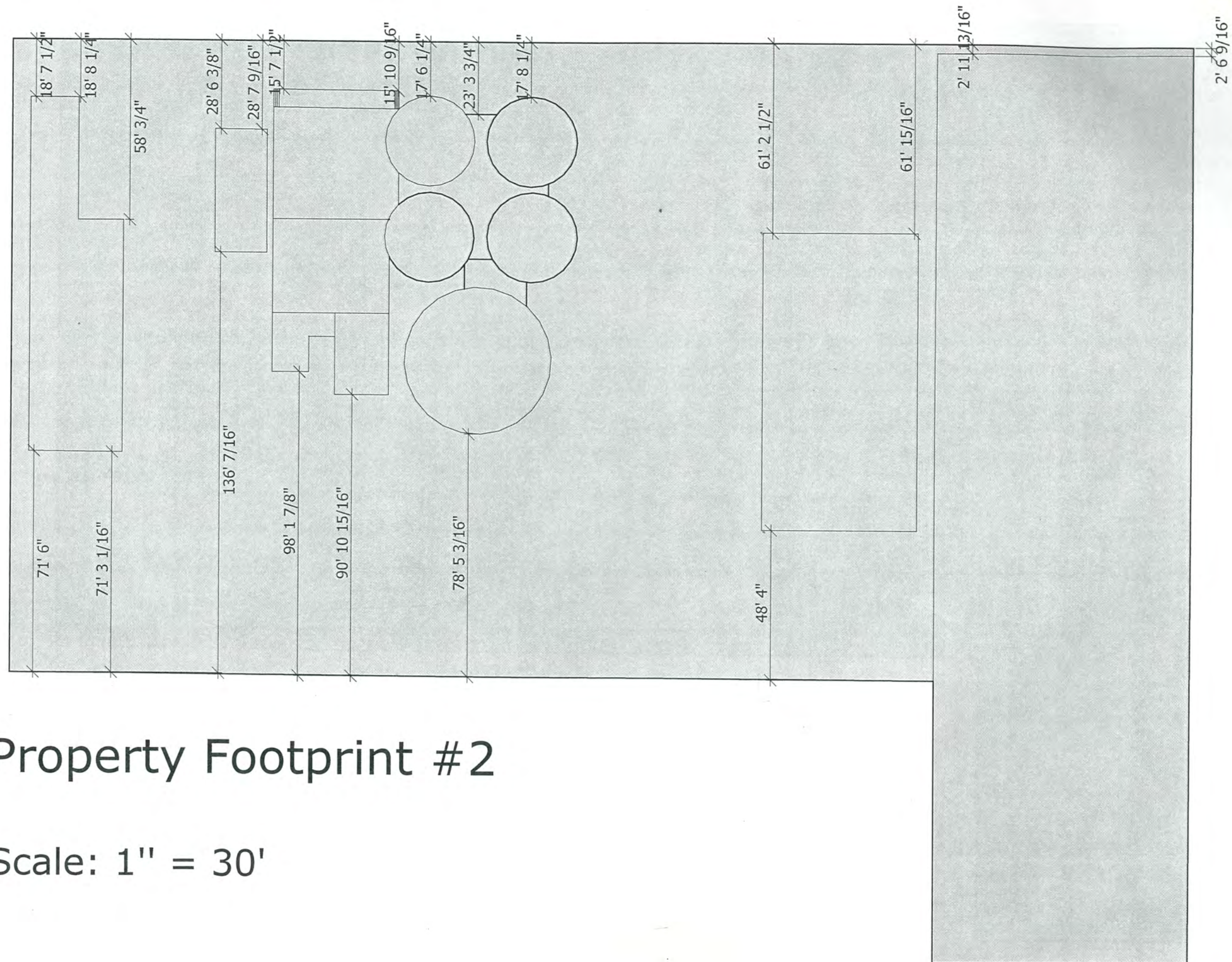


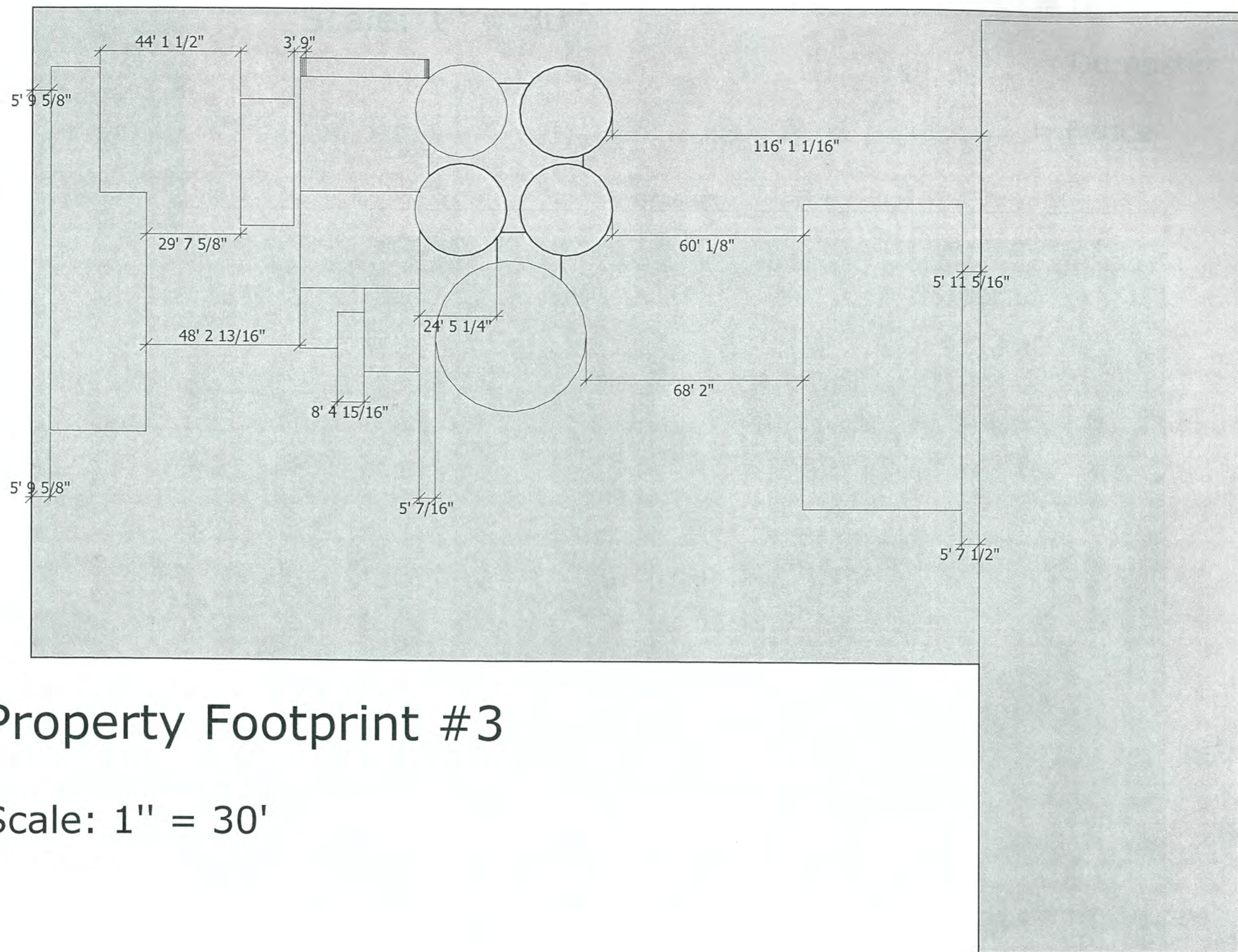
Property Footprint #1

Scale: 1" = 30'

Property Footprint #2

Scale: 1" = 30'





Property Footprint #3

Scale: 1" = 30'

Property Footprint #4

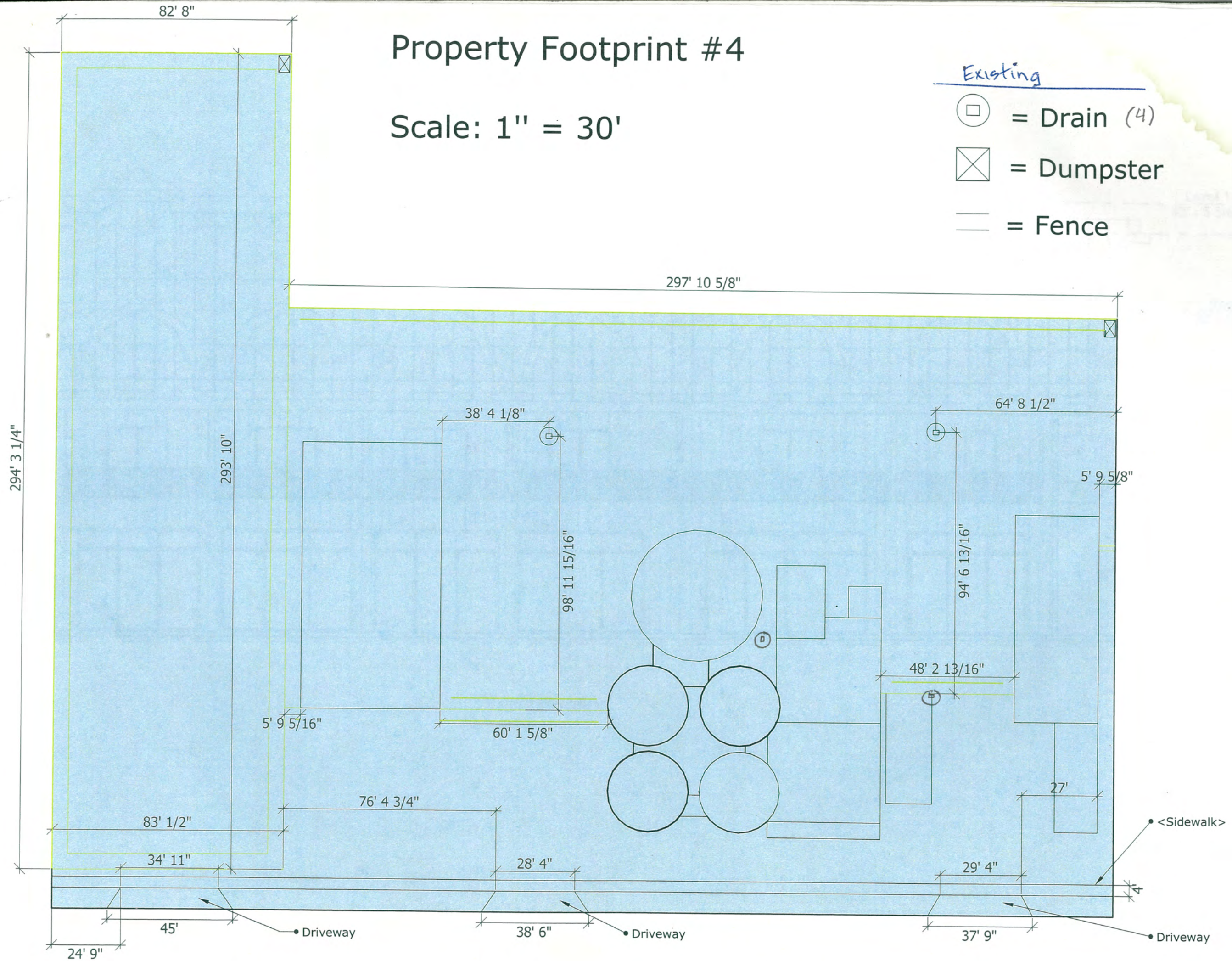
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Existing

⊠ = Drain (4)

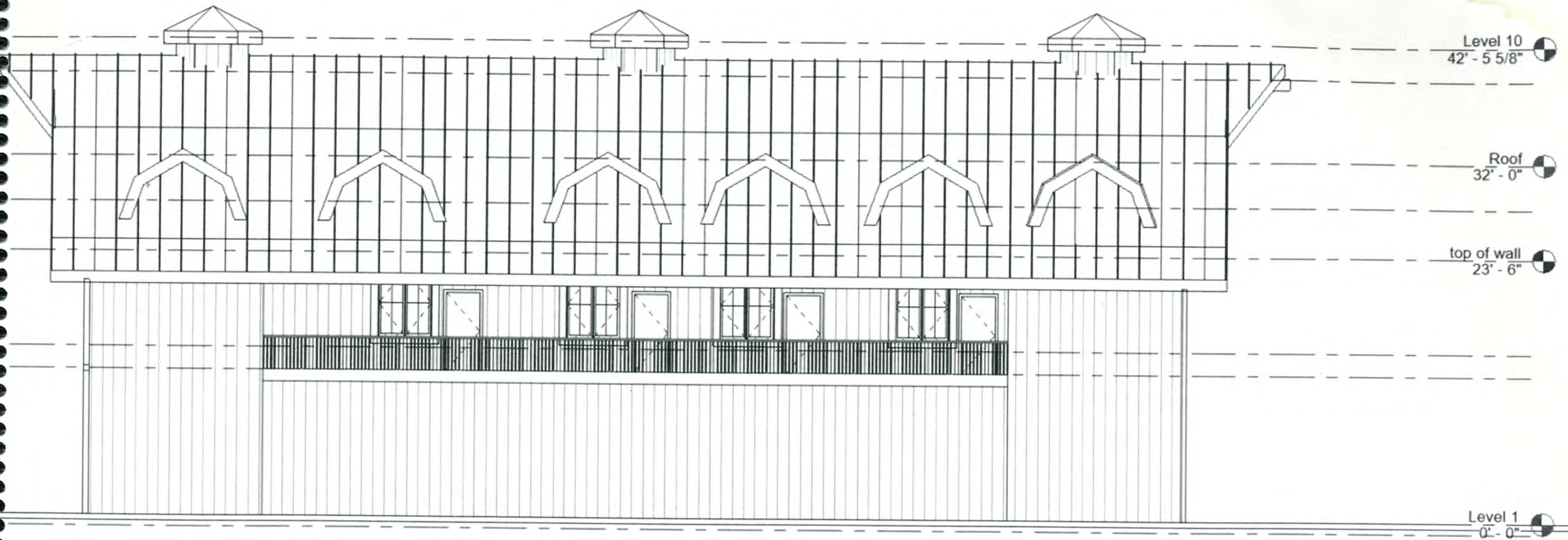
⊠ = Dumpster

— = Fence





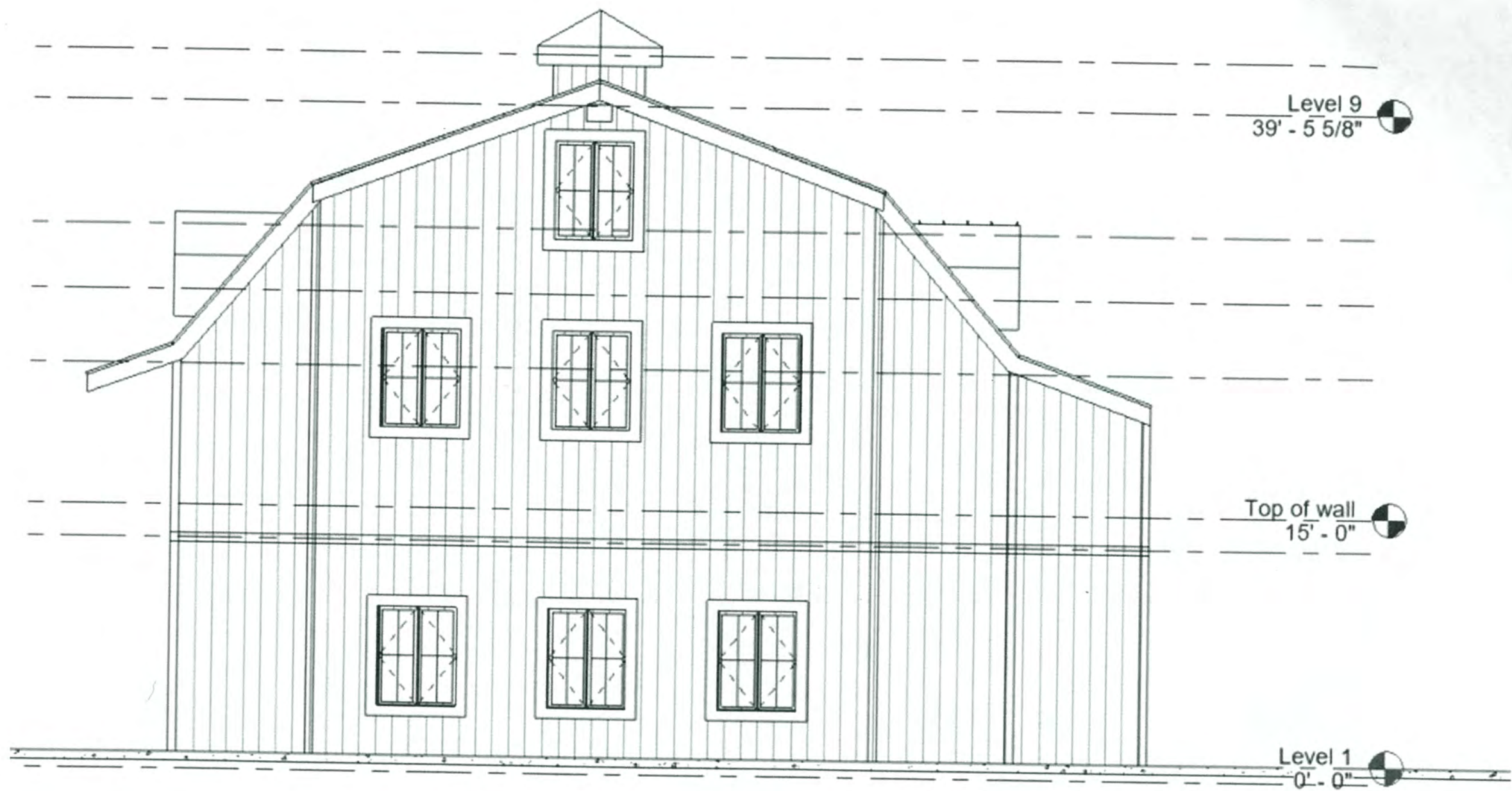
West Elevation



East Elevation

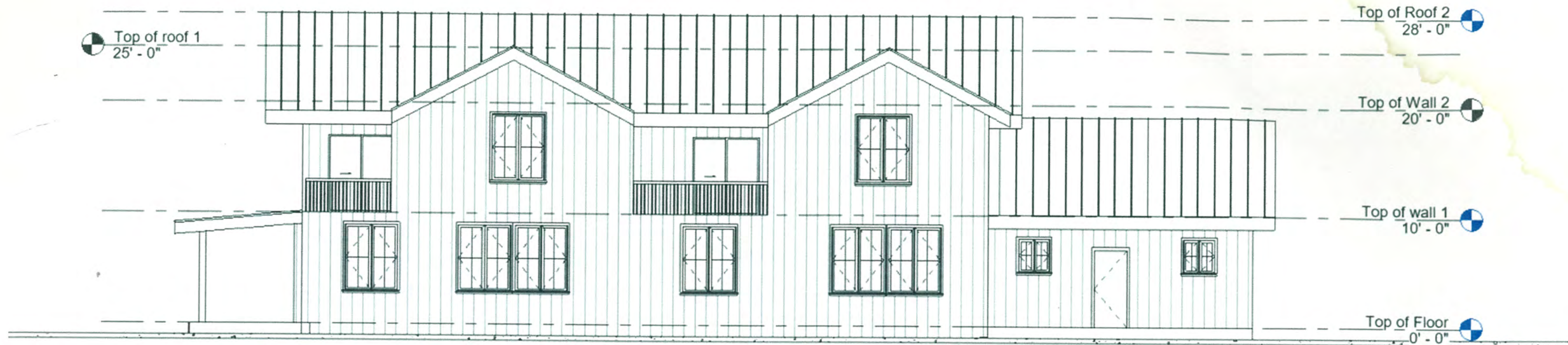


North Elevation

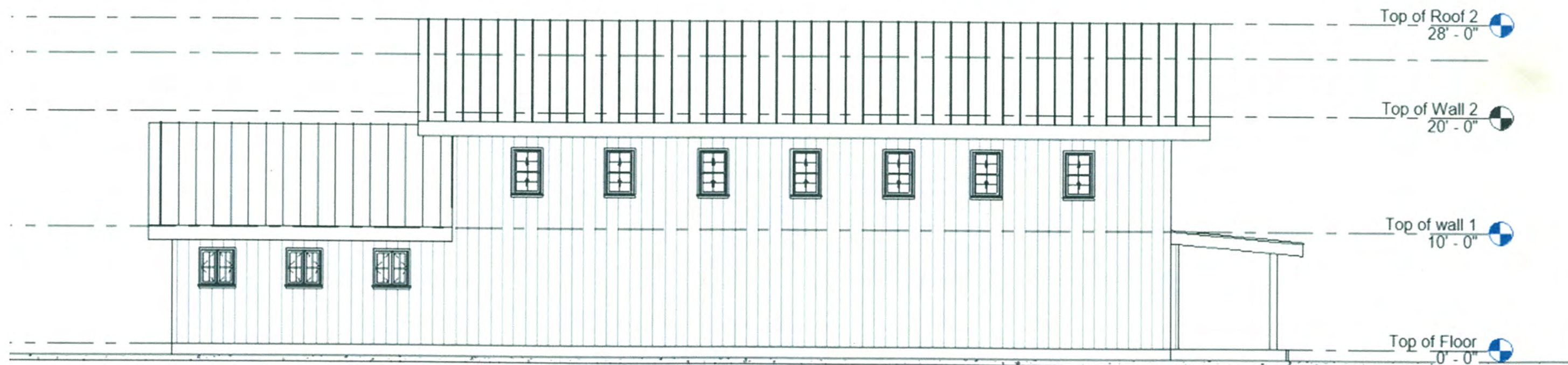


South Elevation

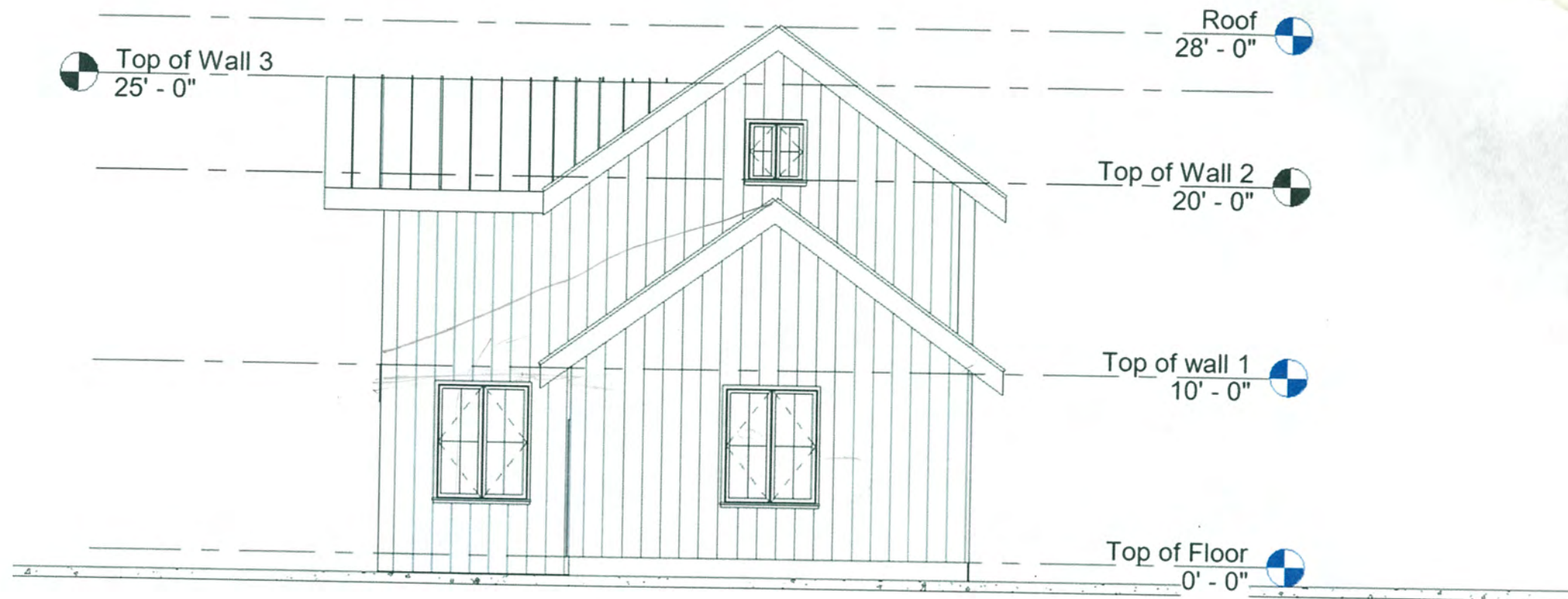




East Elevation



West Elevation



North Elevation



South Elevation



ORIGINAL



ESTABLISHED 1866

290 North 100 West, Logan, Utah 84321
(435) 716-9021
www.loganutah.org

When recorded return to:
Community Development
City of Logan
290 North 100 West
Logan, UT 84321

DESIGN REVIEW PERMIT

At the December 13, 2018 meeting the Logan City Planning Commission conditionally approved **PC 18-043 The Logan Silos** for the first phase of the redevelopment of the IFA mill site on 300 South into a mixed-use project containing a mixture of commercial retail, office space, restaurants, residential, and outdoor event space. This specific request is for Phase I which includes the redevelopment of two existing buildings (Buildings "A" and "E"). The old country store facility will be remodeled into a mixed-use building called "The Homestead" and the existing fertilizer storage bays will be reconstructed into a mixed-use building called "The Barn". The proposal includes site improvements, landscaping and surface parking lots.

These conditions are binding on the property owner and any subsequent purchaser of the property. If the property is rented or leased to another party, the recorded owner is still responsible for compliance with the conditions.

CONDITIONS OF APPROVAL

1. All standard conditions of approval are recorded and available in the Community Development Department.
2. The buildings are permitted to maintain the existing setbacks for upper floor additions. Additions will be subject to any current building code requirements.
3. No parking will be permitted between the building and 300 South. Parking locations and numbers will be reviewed with each additional phase.
4. Parking on the site will provide for a minimum of 48 stalls striped and meeting all minimum dimensions in this Phase.
5. A performance landscaping plan, prepared in accordance with LDC §17.39, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a. Open and usable outdoor areas shall total a minimum of 12,284 SF or 20% of the developed site area. The future parking lot parcel will require additional review.
 - b. A total minimum number of 28 trees and 71 shrubs, perennials and grasses shall be provided on the silo developed property.
 - c. Trees, shrubs, grasses and perennials shall be planted around parking areas and may be provided in planters or configurations around buildings that are appropriate to the nature of the redeveloped site.
 - d. Varieties and sizes of all plant material shall be specified on the plan and plant quantities shall be per LDC §17.39.050 and include a minimum of 25% evergreen varieties for year-round visual interest.
6. A pedestrian path from the sidewalk to the entrance of The Homestead shall be provided that is separated from the vehicle driveway.
7. The single-story portion of The Homestead north and east elevations shall meet the minimum transparency requirements of the LDC.
8. The east elevation of The Barn building will include vertical landscaping along the main level wall length.

9. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
10. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
11. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
12. Prior to issuance of a building permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. Fire Department
 - i. Residential R2 and mixed-use type buildings (The Homestead and The Barn) are required to have building fire sprinklers and fire alarm systems.
 - ii. A fire hydrant is required to be within 100' of all FDC's.
 - iii. This project may be subjected to a third-party life safety plans review.
 - b. Light and Power Department
 - i. Public Utility Easements (PUE) are required on all property lines. May be recorded with a subdivision plat or as separate document prior to issuance of a building permit.
 - c. Environmental Department
 - i. Dumpster enclosure not required for the interior site but sufficient space should be provided to place two dumpsters side by side for sharing this dumpster location. If another site is needed, then an enclosure is required if it will be visible from Main Street. A 60' straight on access and a minimum inside measurement of 12' wide by 10' deep for a single enclosure. Bollards should be provided in the back of the enclosure to protect the wall.
 - d. Business Licensing
 - i. A business license is required for all commercial entities operating at this location. A landlord license would be required for any residential units that are not owner-occupied.
 - e. Water/Cross Connection Department
 - i. All commercial buildings water mains need to have their own RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or connections.
 - ii. Residential water services or (mains) must be totally separated from any commercial water mains. If residential buildings are three levels above finish grade or higher, their water mains must have backflow assemblies on the water mains also.
 - iii. Separate residential and commercial water systems.
 - iv. Any landscape irrigation connected to Logan City water must have a high-hazard backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - v. Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - vi. All points of use of water must comply with 2015 IPC and State of Utah Amendments, during and after construction.
 - f. Forestry Department
 - i. Any existing street trees that are part of the recent street development project are to remain and be maintained.
 - g. Engineering Department
 - i. Provide onsite detention/retention of storm water onsite per current City Storm Water design standards. This shall include the use of Low Impact Design methods for the complete onsite retention of the 90% storm event.
 - ii. Utilities services were modified and stubbed into proposed development during the reconstruction of 300 South by the City. Based current proposed development, these

services need to be reevaluated to ensure proper size and location during the design review phase.

- iii. Provide water shares or in-leu of fee for increased water demand to City system for proposed development per Utah Administrative Code R309-510-7.

FINDINGS FOR APPROVAL

1. The proposed building is compatible with surrounding land uses of the Mixed Use (MU) zone and will not interfere with the use and enjoyment of adjoining or area properties.
2. The project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks to adjacent development.
3. The project substantially conforms to the requirements of Logan Municipal Code Title 17.
4. The project meets the goals and objectives in the General Plan for the Mixed-Use Center (MUC) area.
5. The project development utilizes existing utilities, infrastructure, and roadways.
6. The provision of a pedestrian walkway to the site from the sidewalk will meet the intent of the building orientation guidelines of the Land Development Code.
7. The use of vegetation in the landscape area to the east of The Barn building meet the intent of fenestration along the building wall.
8. 300 South and surrounding existing and proposed roadways provide access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.
9. The proposed uses shall provide adequate off-street parking in conformance with Title 17.
10. The project, as conditioned, conforms to landscaping requirements in Title 17.
11. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
12. The project has been amended to meet the requirements of Code and conditions of approval by City Departments.

The Planning Commission's decision came on a motion by Commissioner Sandi Goodlander with a second by Commissioner Eduardo Ortiz. The motion passed by a vote of 7-0.

This action will expire **one year** from the date of **December 13, 2018** if all conditions have not been met. An extension of time must be requested in writing and received by the Community Development Department prior to the expiration date. **The City does not send reminder notices or other notification of the pending expiration date. The action to request an extension is the responsibility of the proponent.**

We have reviewed the decision of the Planning Commission and agree to the conditions and requirements. We understand this project expires one year from the date of the Commission's action unless the final plat has been recorded, or the Department of Community Development has issued a building permit. If an extension of time is required, we must submit our written request prior to the expiration date of the Planning Commission's action. The length of an extension of time is established in the Logan Land Development Code (LDC) Chapter 17.58.

Accepted and agreed by:

Property Owner or Agent for The Logan Silos

Signed: _____

Print Name: _____

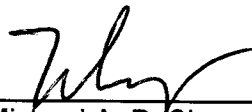
Address: _____

City/State/Zip: _____

Date: _____

12-28-18

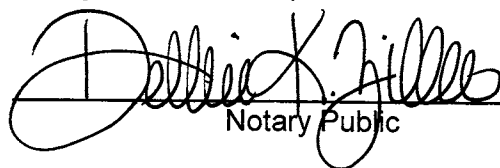
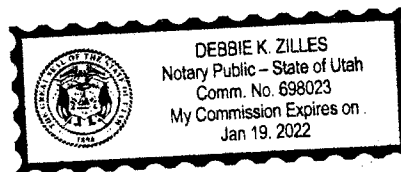
By the authority vested in me as the Logan City Director of Community Development, I affix my signature upon this document for granting a permanent and recorded Planning Commission Permit to run with the subject property in perpetuity.



Michael A. DeSimone, AICP
Community Development Director
City of Logan

State of Utah)
 : §
County of Cache)

On this 7 day of January, 2019, before me, Debbie K. Zilles,
a notary public, personally appeared Michael A. DeSimone, Community Development Director for
the City of Logan, who is personally known to me and who signed the above permit.


Notary Public

LOGAN SILOS LLC (06/08/2017 - Present) (Vesting: 1172916)

Property Address

280 W 0300 S
LOGAN

Current Owner Mailing Address

2405 OLD COLONY RD
VISTA, CA 92084-1618

Tax District: LOGAN CITY (027)

Tax Status: Taxable

Parcel History: REM/COM 8-27-82; CHG DESC 4/02;

Water Rights: NO

Building Type: Comm

Square Feet: 3586

Year Built: 1921

Acres: 1.4

Legal Description: BEG IN S LINE OF 300 SOUTH ST 446.40 FT W
(LV) OF PT 448 FT W OF PT 75.90 FT N OF SE COR OF NW/4 OF
NE/4 SEC 4 T 11N R 1E & BEING S 1*11' W 2022.4 FT IN MON
LN OF MAIN ST & N 88*42' W 1715.95 FT FROM ST MON OF
LOGAN CITY AT INTERSEC OF MAIN & CENTER STREET & TH N
88*42' W 9 RDS ALG S LN OF 300 S ST TH S 1*11' W 205 FT 4
INCHES TH S 88*42' E 18 RDS TH N 1*11' E 205 FT 4 INCHES
TH N 88*42' W 9 RDS TO BEG CONT 1.40 AC M/B

LOGAN SILOS LLC (06/06/2018 - Present) (Vesting: 1196646)
CACHE EMPLOYMENT AND TRAINING CENTER (11/16/2010 - 06/06/2018) (Vesting: 862514)
CACHE EMPLOYMENT & TRAINING CENTER (06/22/2004 - 11/15/2010) (Vesting: 862514)
CACHE EMPLOYMENT & TRAINING CENTER (06/07/2004 - 06/22/2004) (Vesting: 661293)
CACHE EMPLOYMENT & TRAINING CENTER. (05/30/1997 - 06/07/2004) (Vesting: 661293)

Property Address

275 W 0400 S
LOGAN

Current Owner Mailing Address

2405 OLD COLONY RD
VISTA, CA 92084-1618

Tax District: LOGAN CITY (027)

Tax Status: **Taxable**

Parcel History: **CHANGE DESC; COMB W/0017 8/93; COMB W/PT 0005
5/04; REALIGN W/0008 11/10;**

Water Rights: NO

Acres: 0.56

Legal Description: BEG N 88*42' W 1042.9 FT & N 75.9 FT FROM
SE COR NW/4 NE/4 SEC 4 T 11N R 1E & TH S 1*11' W 206.03
FT TH S 1*11' W 94.41 FT TH S 89*29'02" E 132.84 FT TH S
1*15'52" W 334.14 FT TO N LN OF 400 S ST TH S 89*03'51" E
66 FT ALG ST TH N 1*15'52" E 334.62 FT TH S 89*29'02" E
98.16 FT TO TRUE POB TH S 89*29'02" E 83.09 FT TH N
1*13'57" E 295.24 FT TO S LN OF 300 S ST TH N 88*42' W
82.84 FT TH S 1*16'45" W 299.74 FT TO TRUE POB WITH R/W
ON DEED CONT 0.56 AC M/L

October 25, 2019

Tim Robebush
2405 Old Colony Road
Vista, CA 92084

RE: Design Review Permit #18-043 (The Logan Silos)

Dear Mr. Rodebush:

I have reviewed your request for an additional time extension for the above referenced permit application. As per Section 17.51.020 of the Land Development Code, Logan City hereby grants an extension of permit approval on your project for one additional year. As indicated in your email dated October 25, 2019, you have had issues with your professional team hired to assist with this project, and once that is sorted out, you are still planning on initiating the project.

You are hereby granted a time extension of 12 additional months from the original permit expiration date of December 13, 2019. The new expiration date for Design Review Permit 18-043 is December 13, 2020.

If you have any questions about this matter, please don't hesitate to contact me at (453) 716-9022 or mike.desimone@loganutah.org.

Sincerely,

A handwritten signature in black ink, appearing to read "M. DeSimone".

Michael A. DeSimone
Director