



Project #22-053
Black Rifle Coffee Company
Located at 398 North Main Street

REPORT SUMMARY...

Project Name: Black Rifle Coffee Company
Proponent / Owner: Julianne McGee (Black Rifle) / Logan Main and 4th Pads LLC
Project Address: 398 North Main Street
Request: Design Review Permit
Current Zoning: Town Center 1 (TC-1)
Type of Action: Quasi-Judicial
Date of Hearing: January 26, 2023
Submitted By: Tanya Rice, Planner II

RESUBMITTAL 1/26/23 – Summary of Changes

This is a resubmitted project design and layout in response to issues and conditions raised from the September 8, 2022 Planning Commission hearing. The primary changes are:

- Building Orientation – building now orients/fronts Main Street.
- Building Design & Frontage – removed windows from street facing facades and added 237' of canopy over the drive-thru.
- Eliminated outdoor dining.
- Modified/Removed Dog Run – unidentified on new site plan.
- Eliminated sidewalk access from 400 N.

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #22-053, Black Rifle Coffee Company, for a property located at 374 & 398 North Main Street, TIN# 06-043-0015, 06-043-0017.

Current Land use adjoining the subject property

<i>North:</i>	TC-1: Commercial Uses	<i>East:</i>	TC-1: Commercial Uses
<i>South:</i>	TC-1: Commercial Uses	<i>West:</i>	TC-1: Commercial Uses

PROJECT PROPOSAL

The 0.63-acre project site is located at the southeast corner of the intersection of Main Street and Fourth North is currently vacant and previously contained a gas station and car wash that were removed in 2021. The proposed project includes a new single-story 3,528 SF mixed commercial space (fast food/coffee/retail) covered drive-thru lane along Main Street and 400 North, paved parking lot and landscaping. The proposed drive-thru lane wraps the building & property in a counter-clockwise direction. The primary entrance and paved parking areas are proposed on the east side of the building.

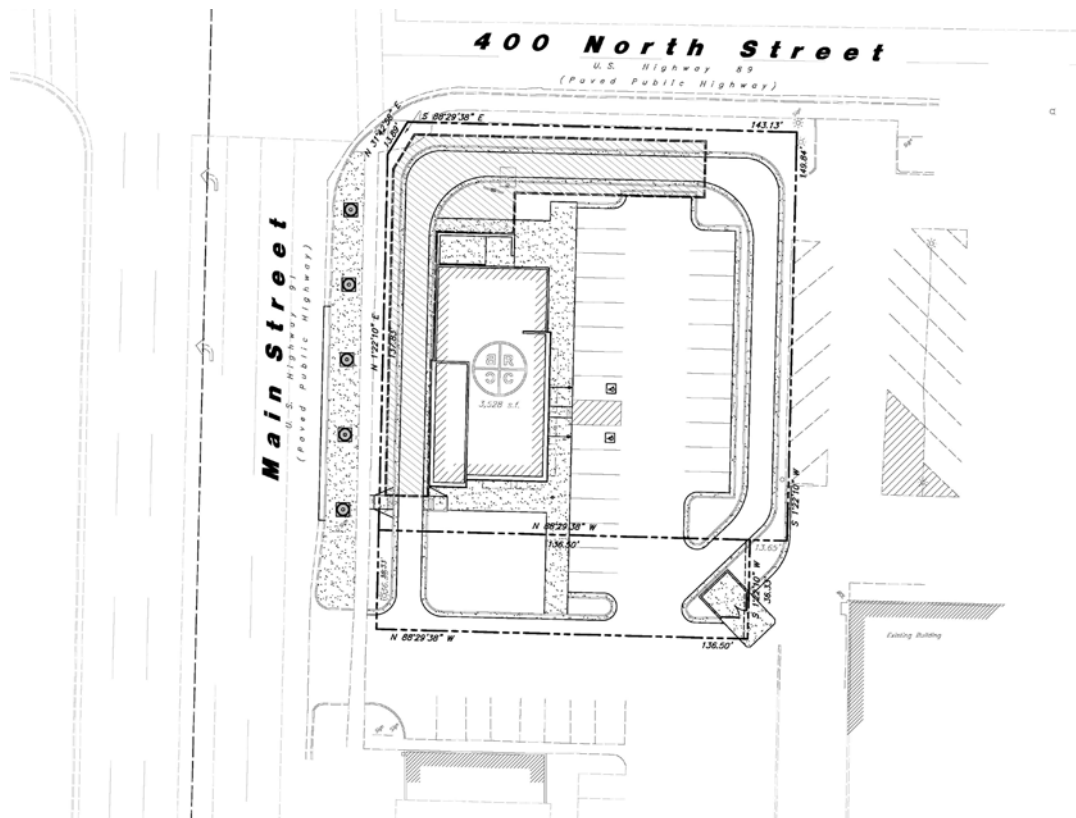


Figure 1 shows the proposed site plan

LAND USE

The project area is zoned Town Center 1 (TC-1). TC-1 zone has been established to encourage a mix of retail, office, commercial, entertainment, residential, and civic uses within a compact, walkable urban form focused along Main Street or Fourth North. The purpose of this zone is to encourage large, intensive uses, in terms of scale, use and intensity of new development, into the inner core of downtown Logan. A fast food restaurant is a “permitted” land use within the TC-1 zoning district.

DESIGN REVIEW

The Land Development Code (LDC) 17.43 requires Design Review Permit approval for commercial developments to ensure high-quality design, layout compatibility and uniform compliance with Logan City regulations. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

SITE DESIGN

The TC-1 zone is intended to accommodate dense urban development patterns with minimal setbacks, high lot coverages, tall buildings, and dense residential development. Lot coverage is permitted to be up to 100%, building frontages are required to be a minimum 75% at the Fourth North and Main Street setbacks, building heights can step up to 80’ while residential densities can be built at 70 units/acre. Open space and landscaping are only required when surface parking lots are proposed or for screening purposes.

Lot Coverage

The LDC 17.10.060 establishes a maximum lot coverage of 100% (building(s) footprint) and no minimum lot coverage in the TC zone. The proposed building is 3,528 SF on a .63-acre (27,442 SF) site for a lot coverage of approximately 13%. As submitted, the proposed lot coverage complies with the maximum allowance though is substantially less than is intended for the TC zone.

Site Layout and Building Placement

The LDC 17.10.060 requires at least 75% of the overall width of the property along Main Street and Fourth North contain building mass. The front building setback is established at a range of 0' – 5', meaning that the site needs to contain significant building massing located up against the sidewalk. As stated above, the intent of the TC zone requirements is to promote compact, walkable urban form focused along Main Street and Fourth North to create urban settings that frame streets with buildings and architecture while reducing the visual prominence of parking lots.

To meet the required frontage requirements, the applicant has proposed a project design incorporating a canopy extension over the drive thru lane on the west and north sides of the building. The canopy is a structural element spanning over the drive thru lane that is attached to the 3,528 SF building and resting on concrete/brick pillars.

The dimensions of the site are approximately 174' along Main Street (north/south) and approximately 143' along 400 North (east/west). The proposed building (w/o canopy) measures 95' along and facing Main Street while the building (w/o) canopy measures 40' along and facing 400 North. With an additional 35' of canopy along the Main Street side of the building, the full structure is approximately 130' in length. And, with an additional 67' of canopy along the 400 North side of the building, the full structure along this frontage is approximately 107' in length.

The proposed building and canopy design results in the following building frontages:

Main Street Frontage: 75% (130' building/structure length fronting a 174' property length)
400 North frontage: 75% (107' building/structure length fronting a 143' property length)

In meeting the standard of building mass along the street frontages, a primary point of consideration is determining whether the proposed design and canopy is considered a "building" as defined by the Land Development Code, and therefore able to be considered in meeting the minimum massing & frontage requirements. According to Chapter 17.62 "Definitions", a building is defined as:

"Building" means a structure having a roof supported by columns or walls, for the housing or enclosure of person, animals or chattels.

The proposed building design with a main building footprint and canopy extensions are clearly a building as the entire structure contains a roof supported by both walls and columns and is being built for the purpose of persons and property.

A second point of consideration is the actual building itself. Clearly, the applicant's business model for this site is a smaller building housing food/coffee/retail that is taking advantage of a very busy intersection with a high volume of vehicular traffic, and the canopy structure emanating from the primary building footprint is to meet the numerical frontage requirements of the LDC. While the specific frontage percentages are being met, staff's perspective of the overall site & building design is that the scale, asymmetry and length of the drive-thru canopy structures are out of proportion to the building and the focus of the frontage becomes the overhead structure rather than a unified building mass or significant building presence along both streets. The specific comparison that has been discussed is the new In & Out Burger building across 400 North. Their design included covered porticos over the drive thru lanes as a way to extend the building mass out to the sidewalk and streetscape in order to meet the TC-1 frontage and massing requirements. Their design achieved this by incorporating more significant roof lines, more significant pillars, and large architectural features placed over the canopies, all of which provide a sense of building mass next to the sidewalk.

Staff recommends the Planning Commission consider utilizing some design discretion and allow a reduction in canopy length (thereby frontage length) to reduce the length of the overhead drive-thru structure in order to gain a more appropriately scaled and proportioned building along 400 North and direct the applicant to replace the deficient frontage with enhanced landscaped areas.

A third point of consideration is that the proposed site design and building layout falls short in creating a walkable urban design as specific in LDC 17.10.040 Building Form as the overall layout is more conducive to vehicles versus someone walking to, or along, the site. The overall site and building design lacks an important visual connection to the streetscape. These specific points of consideration will be further discussed below.

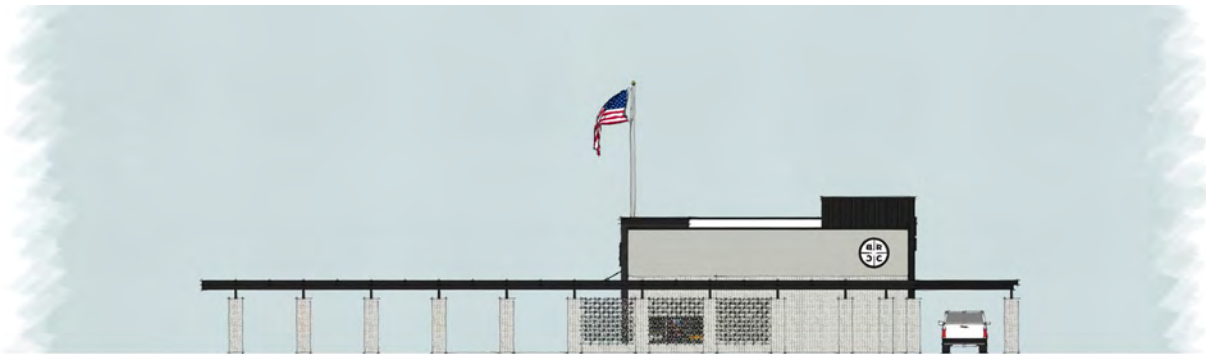


Figure 2 shows the proposed 75% building frontage as seen from 400 N.



Figure 3 shows the proposed 75% building frontage as seen from Main Street.

Commercial Building Setbacks

The setback requirements in the TC-1 zone for commercial buildings are as follows:

Front (Min/Max):	0'-5'
Corner (Min/Max):	0'-5'
Side:	0'
Rear:	5'
Parking (Front):	10'
Parking (Side/Rear):	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (Main Street):	~2.5' (columns/portico), 18' (building)
Corner (400 N.):	~5.0' (columns/portico), 40' (building)
Side (South):	~55'
Rear (East):	~90'
Parking (Main Street):	NA
Parking (400 N):	~25'

As the intent of the zone is to promote an urban form, the applicant has proposed the building along main street near the intersection. With the proposal containing a drive-thru lane and the associated functional and circulation requirements, the 0-5' setback is physically impossible. Considering this, the proposed drive-thru structure along both streets is within the setback range. All other setbacks comply as proposed.

Access & Circulation

The two existing vehicle driveways to this property from Main Street and Fourth North are proposed for closure and new access to the site will be through two shared accesses on the adjoining property to the east and the adjoining property to the south. One vehicle entrance is shown on the south side of the property with parking along the east side of the building. The drive-thru lane wraps around the perimeter of the property. Pedestrian circulation is required for commercial projects and is provided via the sidewalks along Main Street, 400 N and one new sidewalk connecting Main Street to the building across the drive-thru lane. Staff recommends an additional pedestrian crossing to connect to the building from 400 N. As conditioned with cross-access agreements from adjacent property owners and an additional pedestrian crossing, the project meets the requirements of the LDC.

Parking

The LDC requires one (1) parking stall for every 75 SF of dining room for a fast food restaurant and one (1) parking stall for every 250 SF of retail space. The proposed fast-food restaurant is shown with a dining area of approximately 950 SF and 360 SF of retail space. This building would be required to provide 16 parking stalls. The proposed project provides 26 parking stalls, meeting the LDC requirement. The back out area at the north end of the parking lot needs to meet the dimensions of 9'x20' per LDC (Figure 17.31.090.E). This will likely eliminate one parking stall. The LDC also requires a bike rack for new restaurants. As conditioned with added bike parking and modified parking lot design to accommodate sufficient space for backing vehicles, the parking requirements comply with the LDC.

Landscaping

The LDC 17.10.060 does not require landscaping unless surface parking lots are proposed, or utility areas require green screening. When surface parking lots are proposed, the LDC 17.32.070.C requires 18 SF of landscaping per every stall contained within. The parking lot landscaping can be placed on the interior or directly adjacent to the parking lot to break up the expanse of blank asphalt. With 26 stalls proposed, 728 SF of parking lot landscaping is required. The proposal includes interior planting islands and landscaping beds directly adjacent to the parking lot totaling more than 728 SF. Because of the drive-thru location, additional landscaping can be used to help screen and buffer that from public view. As conditioned with minimum parking lot landscaping and landscape buffers along the drive-thru, the project meets the landscaping standards in the LDC.

BUILDING DESIGN

Materials

The LDC 17.12.020 states that a mixture of building materials is required for all building elevations. Permitted materials include masonry, stucco, wood, fiber cement board, or metal. Stucco (EIFS) is permitted when sufficient detail, scoring and interest is provided to the surface. The proposed building materials include a mixture of stucco, stone, brick, wood and metal. As proposed the project meets the requirements in the LDC.

Transparency/Fenestration

According to Section 17.10.040.C, the purpose of transparency in building design is:

“to promote economic activity by creating active street walls and visual interest for pedestrians at the ground-level. They also serve to promote personal and property

safety by introducing more “eyes on the street” or natural surveillance of the public right-of-way and building interiors.”

While the canopy is open aired, it is covering a drive thru lane along with two blank walls on the west and north walls of the main building, all of which is providing a significant building presence along Main and 400 North. Transparency requirements for the TC-1 zone require ground floor frontage (street facing) commercial space to contain 60% transparency (fenestration). Considering building width and a 12 foot ground-floor code height, the north side would require 285 SF of transparency and the west side would require 685 SF of transparency (60% of ground floor wall area). The proposal does not include transparent glazing on either street frontage, and in order to further elevate and integrate the importance of the building main building with the streetscape as well as meet the 4 sides architectural test, the design needs to be modified to incorporate additional transparency on these two facades of the main building.

In addition to the building's vertical wall, these façades contain a series of columns forming an overhead canopy structure spanning the drive-thru. The west side overhead structure is shown with thirteen columns and twelve openings, and the north side is shown with twelve columns and eleven openings. The openings adjacent to the building (three on each side) are covered with laser cut metal screening intended to provide privacy to the drive-thru lane (per project architect). The screening provides some visual interest in breaking up the monotony of the uniform canopy system, and maybe the Commission would want to consider that as a type or form of fenestration thereby reducing the amounts required for the west & north walls. The Commission may want to consider enhanced landscaping along the western and north frontages as a method for softening portions of the building & canopy. As conditioned with additional transparency/fenestration, the project meets the LDC requirements.

Building Orientation

The LDC 17.12.030 states that buildings and primary entrances should be oriented toward the street. In situations where the primary entrance is not oriented towards the street, the street facing façade shall have similar façade treatments/details/style found on the façade containing the primary entrance. The orientation and primary entrance are shown towards the east (parking lot) away from the street. This façade contains double glass door entryway, windows, awnings, roof variations. For code compliance, these types of architectural features shall be added on the west and north façades. As conditioned with similar architectural features found on both the primary entrance facade and the street façades, the project meets the LDC requirements.

Building Height

Building height in the TC-1 zone are limited to 55' along any street facing property line and may be increased at a ratio of 1 vertical foot for every 2 horizontal feet up to a maximum height of 80'. This single-story fast food restaurant is shown with the tallest portion of the building at 23' and the top of the canopy currently sits at 10'-9". These heights comply with code requirements as submitted.

Lighting

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet, and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

SUMMARY

The Planning Commission has several areas of discretion to consider regarding the design of this project. Aesthetic based regulations, such as building placement, orientation, materials,

fenestration and articulation, can be substantially adjusted as per LDC 17.43.080 by the Planning Commission based on findings of compatibility with surrounding land use patterns and community design. Form based requirements, such as setbacks, open space, height, lot coverage can only be adjusted up to 10% by the Planning Commission and based on findings of neighborhood compatibility. Based on the functional and space requirements of fast-food restaurants with drive-thru lanes, design discretion will need to be taken by the Planning Commission for this project to be approved. The Commission has utilized similar discretion on other projects with design considerations, and if applied appropriately, then a consistent precedence is maintained for future projects with similar circumstances. Discretionary considerations on transparency, orientation, building design, and frontage will need to be debated and conditioned appropriately by the Planning Commission.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Engineering
• Water	

PUBLIC COMMENTS

Notices were mailed and posted. As of the time of this report, no written comment had been received.

PUBLIC NOTIFICATION

Public notices were mailed to all property owners within 300 feet of the project site on 08/22/22. Legal notices were published in the Herald Journal on 08/27/22 and the Utah Public Meeting website on 08/29/22.

RECOMMENDED CONDITIONS OF APPROVAL FOR THE DESIGN REVIEW AND CONDITIONAL USE PERMIT

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

- 1) All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
- 2) The overall frontage along 400 N may be reduced by ____ so the overhead drive-thru structure may be to better scale, symmetry and balance with the building.
- 3) Enhanced landscaping may be used along 400 N where there is discrepancy in frontage percentage.
- 4) The laser cut metal screening within the drive-thru pillars may be used toward the 60% transparency requirements along street facing facades.
- 5) The transparency of the main building along street frontages shall be increased to meet the LDC requirements.
- 6) A performance landscaping plan, prepared in accordance with §17.39 of the LDC and consistent with the proposed landscaping, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall provide dense low-growing landscaping near the drive-thru lane to buffer cars and 18 SF of parking lot landscaping per every stall contained within.
- 7) The Main Street frontage right of way design (streetscape) shall match the north and south part of the block with widened sidewalks, tree wells and smaller planting strips.
- 8) The project shall provide 16 parking stalls and a bike rack.
- 9) A pedestrian crossing shall be added connecting the site to 400 North.
- 10) Cross access easements are required to be recorded for vehicle access over adjoining properties and shall be provided at the time of building permit application.
- 11) Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.

- 12) No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
- 13) No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
- 14) Rooftop mechanical and/or building wall mechanical equipment shall be placed or screened out of view from the street.
- 15) Weather protection shall be provided above all pedestrian entrances.
- 16) Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Environmental – contact 435-716-9515

- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of enclosure to protect walls.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

b. Engineering - contact 435-716-9160

- Provide water shares or In-Lieu fee for any increased demand of existing site water demand in accordance with Utah State Administrative Code R309-510-7 for both indoor and outdoor demands.
- Any unused existing water or sewer connections to site shall be capped at the existing City utility main line.
- Existing water meter is shown on the City GIS system as a 1.5 meter. Current City standards call for a 1" or a 2" water meter. Upsize the water meter barrel, setter, and meter based on required meter size for the development. Note the service line from the City water main line shall match the required meter size unless approved otherwise by the Logan Water Department.
- Site is less than an acre and therefore shall not be required to comply with State Storm Water onsite retention requirements. Site shall provide detention/retention for the 100 year storm event per Logan City Design Standards. It also appears that this is part of a future larger site development. This could change this comment if the combined projects becomes equal to or greater than 1 acre.
- A site Sediment and Erosion control plan shall also be prepared and submitted to the City for construction activities. This could change this comment if the combined projects becomes equal to or greater than 1 acre.
- All access from site to public roads shall be required to be reviewed and approved by the UDOT CAMP process.
- All construction within Man Street and Fourth North shall be in compliance with UDOT standards.
- City will require a sewer video of sewer lateral as part of the final acceptance of the development. If the existing sewer line is not up to current City standards it will be required to repaired/replaced to meet City standards.

c. Water/Cross Connection – contact 716-9627

- The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. Properly sized drain required to serve the backflow assemblies dump port. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter. Refer to Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.

- All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards.
- Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention, during and after construction.

d. Light and Power Department – contact 716-9722

- Requires 1-Line Diagram, A Logan City Load Data Sheet, A digital site plan in Auto CAD (DWG) Format.
- PUE's Public Utility Easement 10' Easement on all property lines that face a roadway, and a 5' easement on all other property lines.
- Contact Matt for power location and a meeting on site.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides required off-street parking.
4. The project meets the goals and objectives of the TC-1 designation within the Logan General Plan by providing commercial services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. Main Street and Fourth North provide access and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only				
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number
8/1/22		TC-1 / Adams	Sept. 8	PC-22-053
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME				
Black Rifle Coffee Company				
PROJECT ADDRESS				COUNTY PLAT TAX ID #
400 North Main Street				
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER				PHONE #
Julianne McGee				682-429-6254
MAILING ADDRESS	CITY	STATE	ZIP	
355 Spencer Lane	San Antonio	TX	78201	
EMAIL ADDRESS				
julianne.mcgee@blackriflecoffee.com				
PROPERTY OWNER OF RECORD				PHONE #
Logan Main & 4th Pads, LLC				323-974-5200
MAILING ADDRESS	CITY	STATE	ZIP	
5670 Wilshire Boulevard, Suite 1250, Los Angeles, California 90036				
EMAIL ADDRESS				
stevenu@kornwasser.net				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)				Total Lot Size (acres)
This project includes a new 2,718SF ground up coffee shop with drive-thru. The design will incorporate a dining space, a merchandise display area, a coffee bar, a preparation and storage area for products, restrooms, and a combination walk-in cooler and freezer.				0.63
The drive-thru will provide adequate queue/stacking space for customers, 22 parking space (including 2 ADA spaces) and four (4) bicycle spaces, an outdoor eating area and a 300 SF dog park.				Size of Proposed New Building (square feet)
				2,718
				Number of Proposed New Units/Lots
				1
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Project Representative Black Rifle Coffee, Development Mgr.		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner Steven Urdan Managing Member		

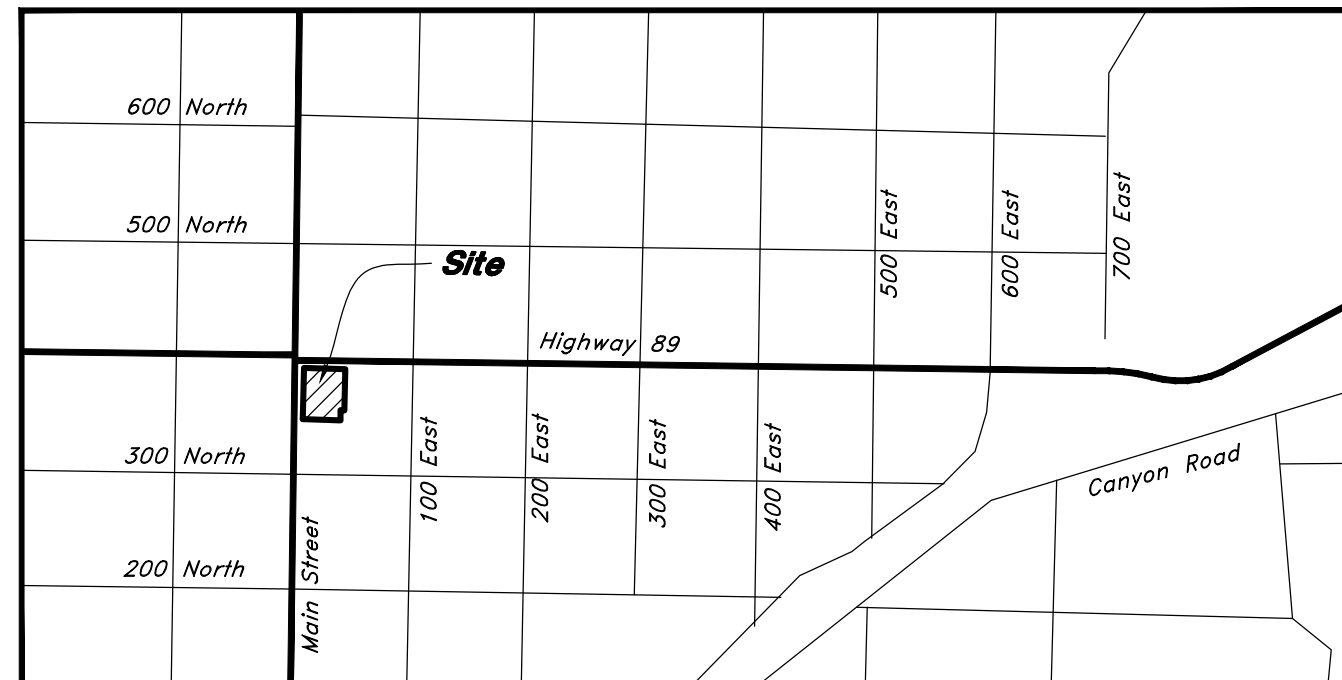
APPLICATION MUST BE ACCURATE AND COMPLETE

NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -



Black Rifle Coffee Company

400 North Main Street
Logan City, Cache County, Utah



Vicinity Map
Not to Scale

Civil Sheet Index

- C0.0 Cover Sheet
- C0.1 ALTA Survey
- C1.1 Existing Conditions and Demolition Plan
- C1.2 Overall Site Plan
- C1.2 Site Plan
- C2.1 Utility Plan
- L1.1 Landscape Plan

Abbreviations

BCR	Begin Curb Return	PT	Point of Tangency
BOL	Bollard	PVC	Polyvinyl Chloride
BRW	Finish Grade - Bottom of Retaining Wall	PVI	Point of Vertical Intersection
CATV	Cable Television Box	RCP	Reinforced Concrete Pipe
CB	Catch Basin	RD	Roof Drain
CMP	Corrugated Metal Pipe	SB	Signal Box
COB	Cleanout Box	SD	Storm Drain
COTG	Cleanout to Grade	SDMH	Storm Drain Manhole
EA	Edge of Asphalt	SMH	Sewer Manhole
EB	Electrical Box	SP	Signal Pole
EC	End of Curve	SS	Sanitary Sewer
ECR	End Curb Return	SVZ	Sight Visibility Zone
GB	Grade Break	SW	Secondary Water
GM	Gas Meter	TA	Top of Asphalt
HB	Hose Bib	TB	Telephone Box
HP	High Point	TBC	Top Back of Curb
I	Irrigation Line	TG	Top of Grate
ICB	Irrigation Control Box	TMH	Telephone Manhole
Lip	Lip of Gutter	TP	Top of Concrete
LP	Light Pole	TRW	Finish Grade - Top of Retaining Wall
MH	Manhole	TW	Top of Walk
Mon	Monument	VC	Vertical Curve
PC	Point of Curvature	VPC	Vertical Point of Curve
PCC	Point of Compound Curvature	VPT	Vertical Point of Tangency
PI	Point of Intersection	WL	Waterline
PM	Power Meter	WP	Working Point
PP	Power Pole	WV	Water Valve

Legend

Proposed Curb & Gutter	Existing Improvements	Existing Asphalt
Proposed Open Face C & G	Existing Concrete	Existing Catch Basin
Proposed Asphalt	Existing Inlet Box	Existing Manhole
Proposed Concrete	Existing Catch Basin	Existing Fire Hydrant
Proposed Truncated Domes	Existing Manhole	Existing Water Valve
Proposed Inlet Box	Existing Fire Hydrant	Existing Overhead Power Line
Proposed Catch Basin	Existing Water Valve	Existing Water
Proposed Manhole	Existing Overhead Power Line	Existing Secondary Water
Proposed Transformer	Existing Water	Existing Sewer
Proposed Meter Box	Existing Secondary Water	Existing Storm Drain
Proposed Water Meter	Existing Sewer	Existing Gas
Proposed Combo Box	Existing Storm Drain	Existing Power
Proposed Fire Hydrant	Existing Gas	Existing Telephone
Proposed Water Valve	Existing Power	Existing Fence
Proposed Water Line	Existing Telephone	Flowline
Proposed Sanitary Sewer	Existing Fence	Centerline
Proposed Storm Drain	Flowline	Existing Contour
Proposed Conduit Line	Centerline	Existing Spot
Proposed Power Line	Existing Contour	Existing Light Pole
Proposed Gas Line	Existing Spot	Existing Street Light
Proposed Fire Line	Existing Light Pole	Existing Building
Proposed Secondary Water Line	Existing Street Light	Existing Telephone Box
Proposed Roof Drain	Existing Building	Existing Power Meter
Proposed Fence	Existing Telephone Box	Existing Electrical Box
Ridge line	Existing Power Meter	Existing Electrical Cabinet
Grade Break	Existing Electrical Box	Existing Gas Meter
Proposed Contour	Existing Electrical Cabinet	Existing Water Meter
Direction of Drainage	Existing Gas Meter	Existing Irrig. Control Box
Proposed Spot	Existing Water Meter	Existing Bollard
ADA Accessible Route	Existing Irrig. Control Box	Existing Hose Bib
Property Line	Existing Bollard	Working Point
Sawcut Line	Existing Hose Bib	Existing Deciduous Tree
Proposed Light Pole	Working Point	Existing Coniferous Tree
Proposed Street Light	Existing Deciduous Tree	
Proposed Building	Existing Coniferous Tree	
Existing Power Pole		
Existing Power Pole w/ Guy		
Existing Utility Marker		
Existing Post		

Flood Zone

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Cache County, Logan and Incorporated Areas Map Number 49005C0377C dated 24 May, 2011. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Basis of Bearings

A line between Logan City GPS markers '269' and '241' was assigned the measured VRS bearing of North 89°01'04" East as the Basis of Bearings to place the survey on the State Plane Basis.

Benchmark

Cache County GPS Monument marked #269
Assigned Elevation = 4508.55 feet
June 22, 2020

Legal Description

Parcel 1:

Beginning at the Southwest Corner of Lot 4, Block 47, Plat "A", Logan City Survey, and running thence East 3 rods; thence North 7 rods and 4 feet; thence West 3 rods; thence South 7 rods and 4 feet to the place of beginning, and situate in Section 33, Township 12 North, Range 1 East of the Salt Lake Base and Meridian.

ALSO:

Beginning 3 rods East from the Southwest Corner of said Lot 4, Block 47, and running thence North 7 rods 4 feet; thence East 3 rods; thence South 7 rods 4 feet; thence West 3 rods to the place of beginning.

Together with a Right-of-way in common with others over the following described Right-of-way, to-wit: beginning at a point 7 rods and 4 feet North of the Southwest Corner of said Block 47, and running thence North 12 feet; thence East 9 rods; thence South 12 feet; thence West 9 rods to the place of beginning.

LESS:

That portion to UDOT for widening 400 North Street as Entry No. 789963, in Book 1106, at Page 554, of Official Records, Cache County, Utah.

Parcel 2:

Beginning at the intersection of the East Line of Main Street and the South Line of 4th North Street, which intersection is also the Northwest Corner of Lot 5, Block 34, Plat "A", Logan City Survey, in the Northwest Quarter of Section 34, Township 12 North, Range 1 East of the Salt Lake Base and Meridian and running thence South 88°44'30" along the South Line of 4th North Street, 88 feet; thence South, parallel with the East Line of Main Street, 90.5 feet; thence East 60.5 feet; thence South, parallel to the East Line of Main Street, 63.75 feet, more or less, to the South Line of said Lot 5; thence West 148.5 feet, more or less, to the East Line of Main Street; thence North along the East Line of Main Street, 154.5 feet, more or less, to the point of beginning, less and excepting therefrom: that portion deeded to UDOT.

Beginning at a point 88 feet East of the Northwest Corner of Lot 5, Block 34, Plat "A", Logan City Survey, and running thence South 5.5 rods; thence East 60.5 feet; thence North 5.5 rods; thence West 60.5 feet to the place of beginning, and being situate in the Northwest Quarter of Section 34, Township 12 North, Range 1 East of the Salt Lake Base and Meridian. Subject to a 12 foot Right-of-way along the East side.

LESS:

That portion to UDOT for widening 400 North Street as Entry No.'s 997972 and 877943 of Official Records, Cache County, Utah.

Parcel 3:

Beginning at the Northwest Corner of Lot 4, Block 34, Plat "A", Logan City Survey, and running thence East 135 feet; thence South 36 feet; thence West 135 feet; thence North 36 feet to the place of beginning.

Together with a Right-of-way over the following described lands adjacent thereto, beginning at a point 36 feet South of the Northwest Corner of said Lot 4, and running thence South 6 feet; thence East 135 feet; thence North 6 feet; thence West 135 feet to the place of beginning, also, subject to a Right-of-way over the following lands: beginning at a point 30 feet south of the Northwest Corner of said Lot 4, and running thence East 135 feet; thence South 6 feet; thence West 135 feet; thence North 6 feet to the place of beginning.

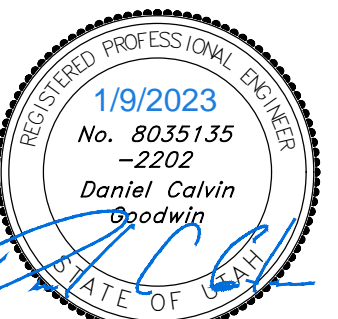
said property is also known by the street address of:
404 north main, logan, ut 84321 parcel 1 (06-042-0010)
398 north main, logan, ut 84321 parcel 2 (06-043-0017)
374 north main, logan, ut 84321 parcel 3 (06-043-0015).



Designed by: NM
Drafted by: ISL
Client Name:
The Dimensions Group
22-238CV



Cover Sheet
Black Rifle Coffee Company
400 North Main Street
Logan, Utah



09 Jan, 2023

SHEET NO.

C0.0

Preliminary not for Construction

Title Information

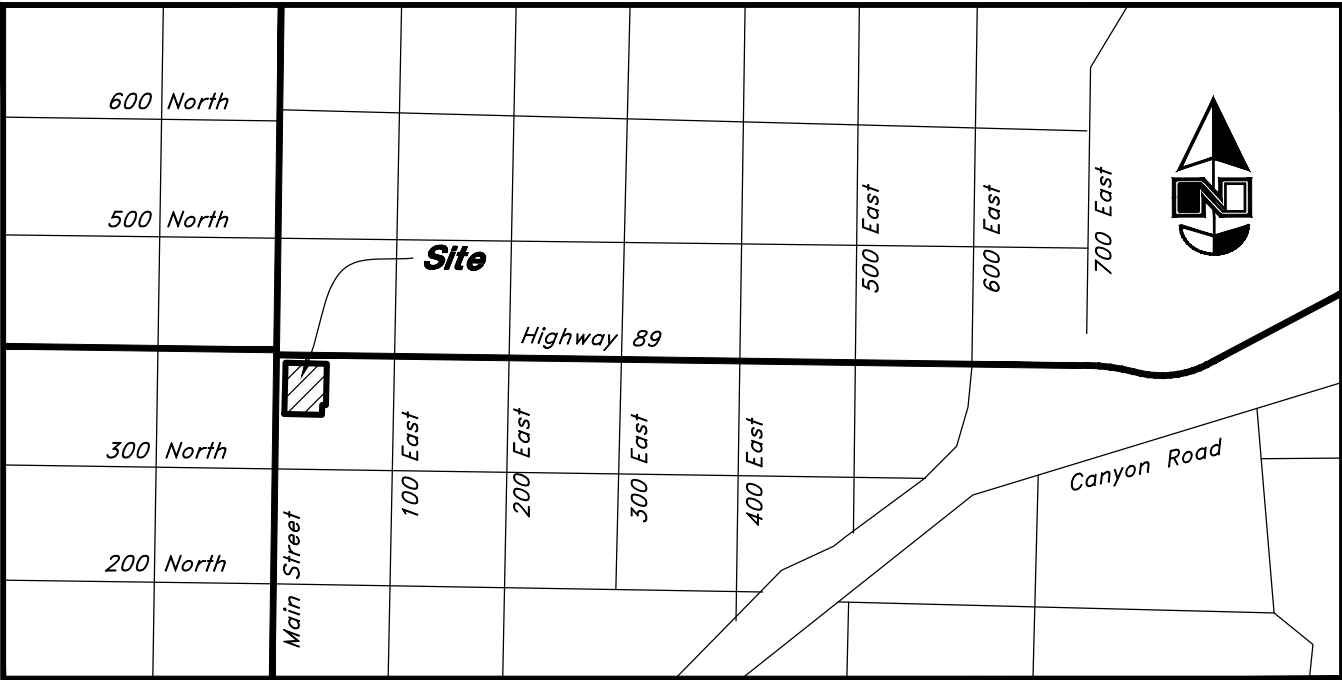
This survey was completed using Title Report File No. NCS-997402-SLC1 Revision No. 2 dated March 24, 2020 from First American Title Insurance Company National Commercial Services:

The following survey related items circled (Solid) from Schedule B - Part II of the title report are plotted on the survey:

The following survey related items circled (Dashed) from Schedule B - Part II of the title report blanket all or a portion of this site but contain nothing to plot:

The following survey related items not circled from Schedule B - Part II of the title report could not be plotted:

- 19 Right-of-way over the North 16.5 feet of Leased Property, described as part of 06-042-0011 affects Parcel 1 offsite to the North.
- 20 Declaration of Restrictions and Grant of Easements, recorded September 20, 1985, as Entry No. 481833, in Book Misc. 360, at Page 422, Cache County Recorder's Office covers a portion of Parcel 2 along with more land offsite but contains nothing to plot.
- 22 Right of Way Easement to The Mountain States Telephone and Telegraph Company, a Colorado corporation recorded September 25, 1990 as Entry No. 536983 in Book 479 at Page 791 of the Cache County Recorder's Office affects Parcel 1 offsite to the North.
- 25 Easement to Chevron U.S.A. Inc., a Pennsylvania Corporation recorded October 2, 1995 as Entry No. 627447 in Book 668 at Page 990 of the Cache County Recorder's Office blankets entire site for monitor wells but contains nothing to plot.
- 26 Certificate of Decision by the City of Logan recorded April 18 2000 as Entry No. 736838 in Book 940 at Page 655 of the Cache County Recorder's Office covers part of this site but contains nothing to plot.
- 31 Notice of Right of First Refusal by Haycock Petroleum dba Jardine Petroleum Company, a Utah limited liability company recorded July 11, 2005 as Entry No. 920700 in Book 1415 at Page 495 and Revocation of Right of First Refusal recorded April 14, 2020 as Entry No. 1243644 in Book 2137 at Page 104 of the Cache County Recorder's Office covers this site but contains nothing to plot.
- 32 Notice of Right of First Refusal to JPC Energy LC, a Utah Limited Liability Company recorded December 16, 2008 as Entry No. 985940 in Book 1544 at Page 1697 and Revocation of Right of First Refusal recorded April 14, 2020 as Entry No. 1243645 in Book 2137 at Page 106 of the Cache County Recorder's Office covers this site along with more land but contains nothing to plot.
- 34 Excepting any reference or reservation to or coverage for all minerals and mineral rights, including but not limited to oil, gas, sand, gravel, earth or rocks, together with appurtenant leases, easements, options or other instruments appertaining to mineral or mineral rights.
- 35 12' Right-of-way as evidenced by that certain Warranty Deed recorded February 05, 1987 as Entry No. 498677 in Book 396 at Page 580 of Official Records.
- 36 12' Right-of-way as evidenced by that certain Warranty Deed recorded July 06, 1987 as Entry No. 505850 in Book 408 at Page 129 of Official Records.
- 37 The fact that the legal description as contained herein does not attain a mathematical closure but does concede distances as more or less and calls to adjoining Lot and Street Lines.



Vicinity Map
Not to Scale

Zoning Information

Zone	=	TC (Town Center)
Building Setback Requirements	=	
Front yard	=	0'-5' commercial (0-10' residential)
Back yard	=	5' commercial (10' residential)
Side yard	=	none commercial (8' residential)
Height Restrictions	=	55' with a step up to 80' using a height transition

Flood Plain Data

This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Cache County, Logan and Incorporated Areas Map Number 49005C0377C dated 24 May, 2011. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual chance floodplain."

Benchmark

Cache County GPS Monument marked #269
Assigned Elevation = 4508.55 feet
June 22, 2020

Narrative

This Survey was requested by CCA prerequisite to development of this property.

This Survey does not include Parcel 1 of the Title Report which is in the Block North of 400 North Street

A line between Logan City GPS markers '269' and '241' was assigned the measured VRS bearing of North 89°01'04" East as the Basis of Bearings to place the survey on the State Plane Basis.

The scope of this survey does not include field measurements for the entire Block 34 - but rather projects the overages found for Block 47 Southerly across 400 North Street to approximate the overages expected in Block 34 when it does become properly prorated at a future time.

During the projection of the survey control it was discovered that the 63.75 ft more or less course in Parcel 2 is most probably in error since after prorating this line appears to only have 58.5 ft more or less to the Lot Line as pro-rated.

The Section reference to the Northwest Quarter of Section 34 is apparently wrong as the West side of Block 34 lies within the Northeast Quarter of Section 33.

All cardinal directions called in the Record Descriptions have been interpreted onto prorated block bearings as projected onto State Plane basis.

No Property Corners were placed with this Survey.

Record Descriptions

Parcel 1:

Beginning at the Southwest Corner of Lot 4, Block 47, Plat "A", Logan City Survey, and running thence East 3 Rods; thence North 7 rods and 4 feet; thence West 3 rods; thence South 7 rods and 4 feet to the place of beginning, and situate in Section 33, Township 12 North, Range 1 East of the Salt Lake Base and Meridian.

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Parcel 3:

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said property is also known by the street address of:
404 north main, logan, ut 84321 parcel 1 (06-042-0010)
398 north main, logan, ut 84321 parcel 2 (06-043-0017)
374 north main, logan, ut 84321 parcel 3 (06-043-0015),

Certification

To CCA Acquisition Company, B & N Rentals, LLC, a Utah limited liability company, First American Title Insurance Company National Commercial Services:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 5, 7(a), 8, 9 and 11 of Table A thereof. The field work was completed on April 28, 2020.

Date:

23 Jul, 2020
PROF. 362256
BRUCE D. PIMPER
PIMPER
STATE OF UTAH
Bruce D. Pimper
Utah PLS No. 362256

ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - nwaengineering.net

ALTA / NSPS Land Title Survey

CCA Logan South

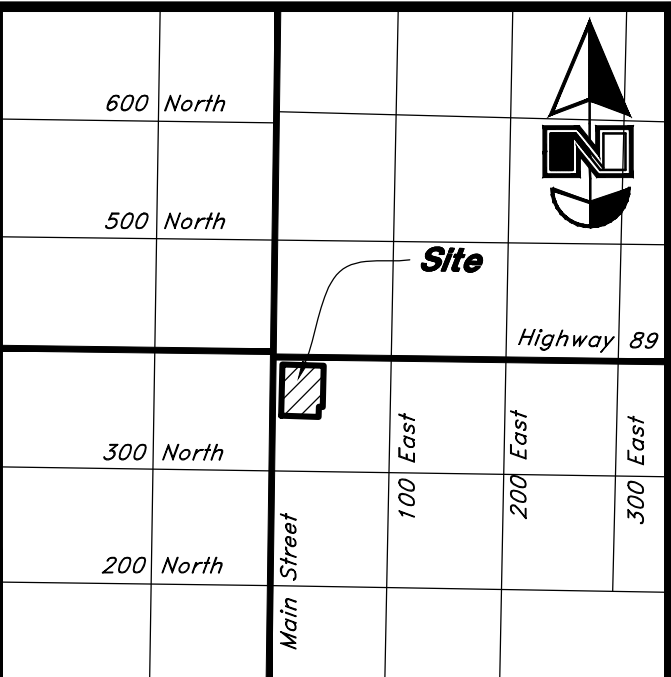
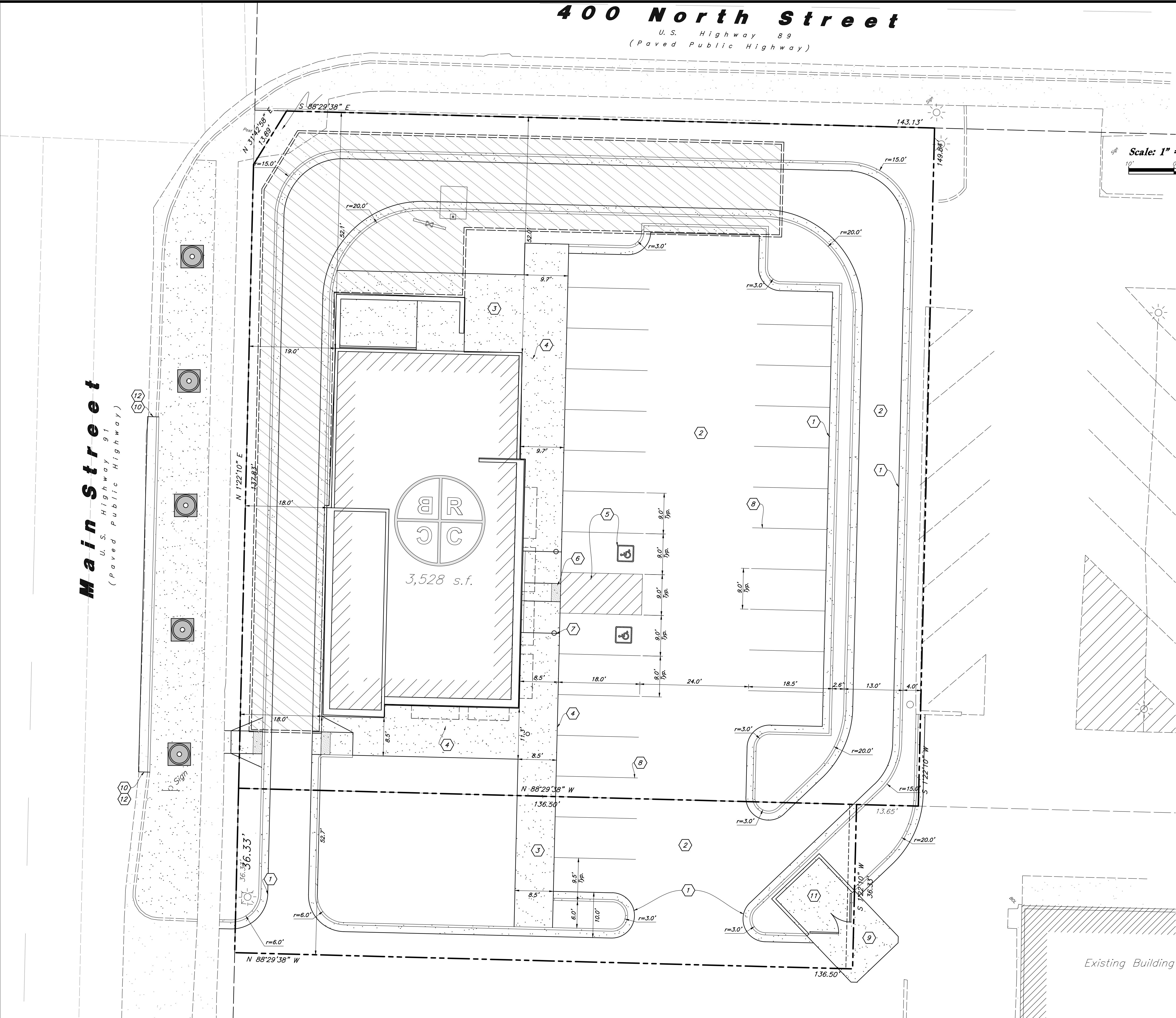
400 North Main Street,
Logan City, Cache County, Utah
A Part of the Northeast Quarter of Section 33, T12N, R1E, S16&M, U.S. Survey
Block 47, Plat 'A' Logan City Survey

23 Jul, 2020

SHEET NO.

1

of 1



Site Construction Notes

1. Const. 24" Curb & Gutter
2. Const. Asphalt Paving
3. Const. Conc. Sidewalk
4. Const. Thickened Edge Sidewalk
5. Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
6. Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
7. Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
8. Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness
9. Const. Conc. Paving
10. Sawcut; Provide Smooth Clean Edge
11. Dumpster Enclosure (See Arch. Plans)
12. Conn. & Match Existing Improvements

General Site Notes:

1. All dimensions are to back of curb unless otherwise noted.
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. Const. curb transition at all points where curb abuts sidewalk, see detail.
5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Survey Control Note:
The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS
The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

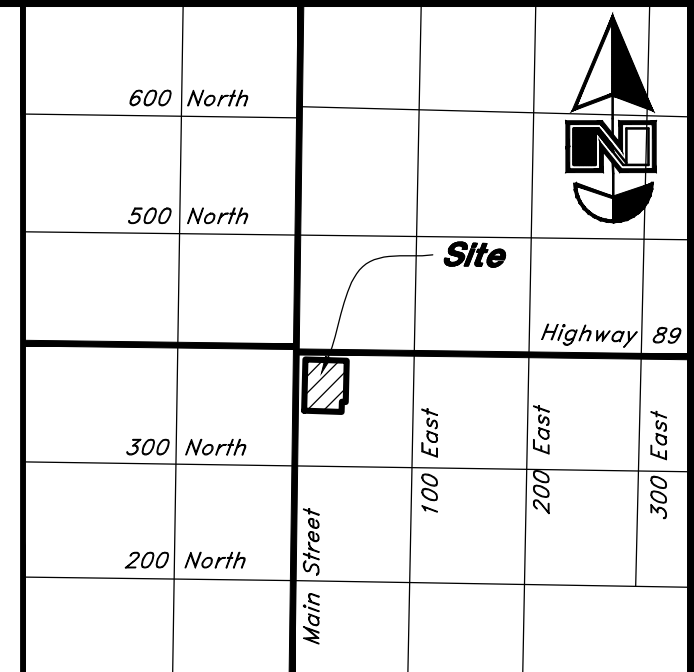
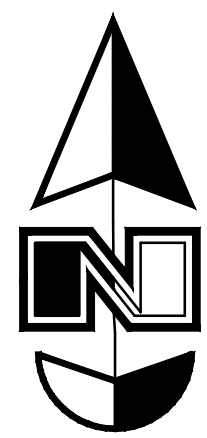
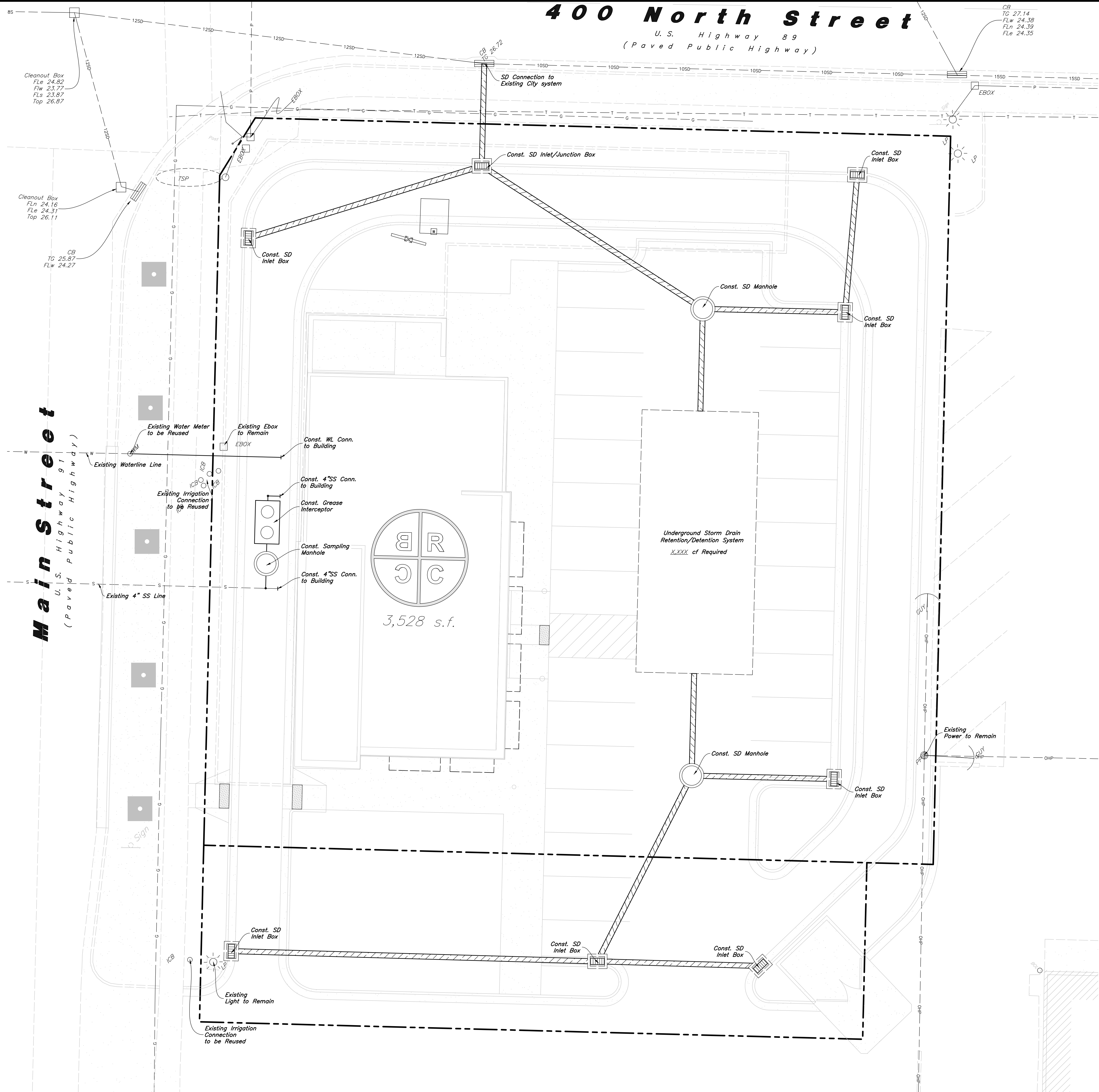
Designed by: NM
Drafted by: ISL
Client Name:
The Dimensions Group
22-238SP

2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8529 - ALTAengineering.net

Site Plan
Black Rifle Coffee Company
400 North Main Street
Logan, Utah

09 Jan, 2023
SHEET NO.
C1.1

Preliminary not for Construction



Vicinity Map
Not to Scale

Scale: 1" = 10'



General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 235

Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe
Lengths and Slopes are from
Center of Structure to Center of Structure

Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.



Designed by: NM
Drafted by: ISL
Client Name:
The Dimensions Group
22-238UT



Utility Plan
Black Rifle Coffee Company
400 North Main Street
Logan, Utah



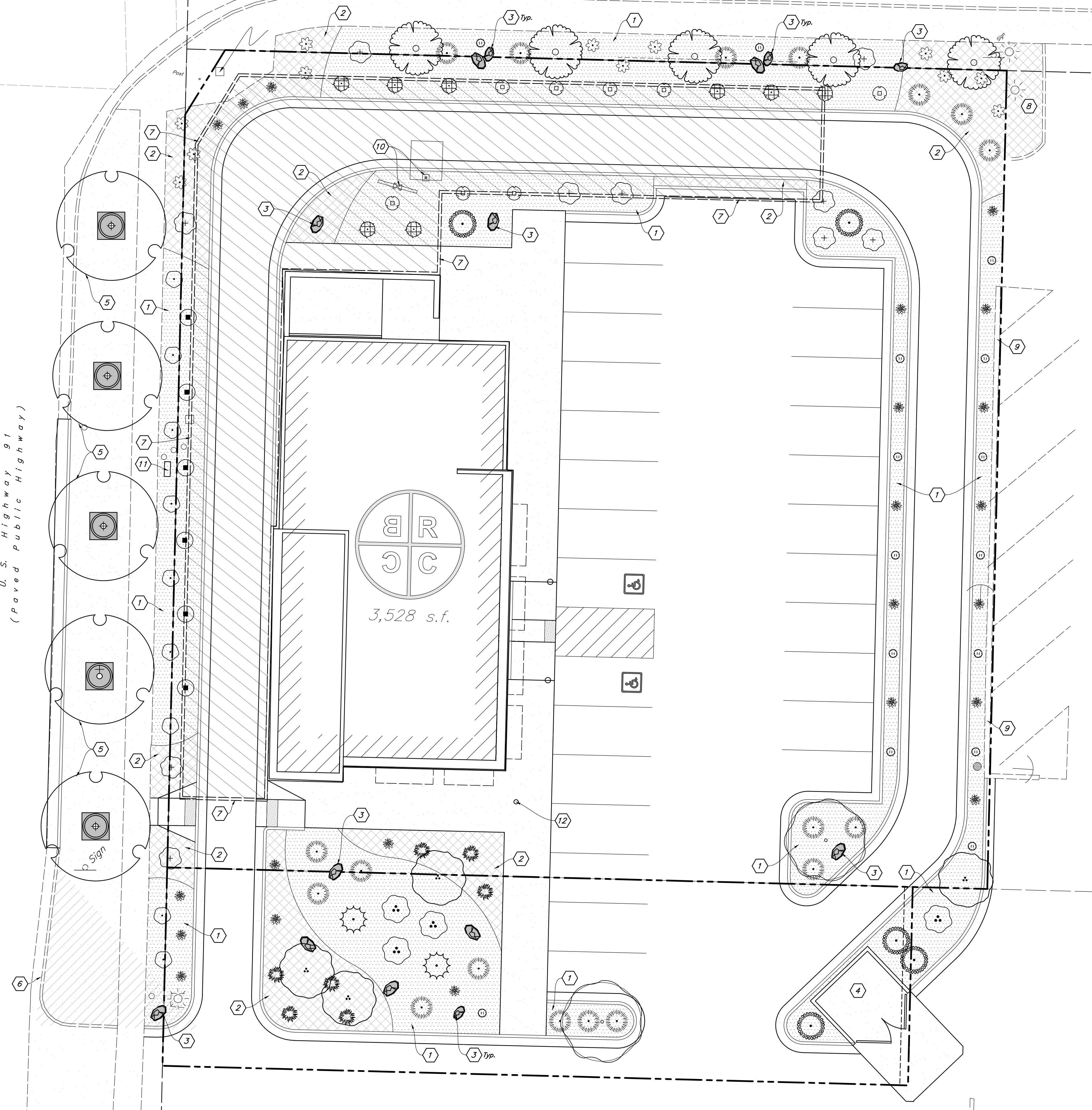
09 Jan, 2023
SHEET NO.
C2.1

Preliminary not for construction

Main Street
U. S. Highway 91
(Paved Public Highway)

400 North Street

U. S. Highway 89
(Paved Public Highway)



Landscape Data

Zone: Town Center - 1 (TC-1)

Site Area = 27,414 s.f. (0.63 ac.)

Landscape Area (Open Space) Required = 5,483 s.f. (20%)

Landscape Area (Open Space) Provided = 5,511 s.f. (20%)

New Shrub Areas = 5,511 s.f.

Offsite Landscape Area = 1,634 s.f.

Site Trees Required = 13 Trees (2 or More Species) (13 Provided) *

Site Shrubs Required = 32 Shrubs (32+ Provided)

25% of Plant Material Shall be Evergreen:

Evergreen Trees Provided = 7/23 Trees (30%)

Evergreen Shrubs Provided = 32/119 Shrubs (27%)

Main Street LS Frontage = 162 Lf. (1 Tree per 30 Lf.) **

Main Street Trees Required = 5 Trees (5 Provided)

400 North LS Frontage = 140 Lf. (1 Tree per 30 Lf.) **

400 North Trees Required = 5 Trees (5 Provided)

Parking Stalls Provided = 26 Stalls (18 s.f. per Stall)

Parking Landscape Required = 468 s.f.

Parking Landscape Provided = 566 s.f.

Parking Lot Landscape Shall Have 50% Plant Coverage at Maturity

Site Landscape Shall Have 30% Plant Coverage at Maturity

* Tree Quantity Doesn't Include Street Trees out in the ROW

** Linear Frontage Doesn't Include Driveways or Walkway; Tree Along 400 North are Columnar Due to the Overhanging Roof to Avoid Conflicts with Future Tree Growth

Landscape Notes:

- All New Landscape Shall be Watered by an Automatic Irrigation System. Point Source Drip Irrigation Shall be Used for Shrub Areas. See Sheet L2.1 for Layout and L3.1 for Details.
- See Sheet L3.1 for Landscape Details.
- All Areas that Are Disturbed by Construction that is Not Building and Hardscape Shall be Landscaped. Contact Landscape Architect for Areas in Question.
- Adjust Landscape as Needed to Accommodate New and Existing Utilities. Provide Easy Access to Utilities.
- Different Stone Colors and Sizes Shall Not be Separated by Edging but Shall Have a Defined, Distinct, Straight Edge.
- Prior to Planting Trees in the Park Strip, Obtain a Permit From the City Forester.
- All Trees and Plant Material are Suitable to the Logan's Climate and Soil Conditions. Imported Topsoil Shall be Used for Shrub Areas and Amended per Soil Report.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	2	Acer grandidentatum 'Schmidt' / Rocky Mountain Glow Maple	2" Caliper
	4	Prunus cerasifera 'Purple Pony' / Purple Pony Purple-leaf Plum	2" Caliper
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	2	Picea glauca pendula / Weeping White Spruce	6' Min. Ht.
	5	Picea pungens 'Blue Totem' / Blue Totem Colorado Spruce	6' Min. Ht.
STREET TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	5	Gleditsia triacanthos 'Imperial' / Imperial Honeylocust	2" Caliper
	5	Quercus robur x alba 'Crimschmidt' / Crimson Spire Oak	2" Caliper
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	12	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry	2 gal
	8	Cornus sericea 'Kelsey' / Kelsey Dogwood	2 gal
	4	Hydrangea paniculata 'Hpopr013' / Lavalamp Candelabra Panicle Hydrangea	3 gal
	10	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	2 gal
	7	Rosa Meidiland series 'Red' / Red Meidiland Rose	5 gal
	9	Spiraea x bumalda 'Goldmound' / Gold Mound Spiraea	2 gal
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	8	Buxus x 'Green Mound' / Green Mound Boxwood	5 gal
	18	Juniperus sabina 'Buffalo' / Buffalo Juniper	5 gal
	6	Juniperus squamata 'Blue Star' / Blue Star Juniper	5 gal
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	SIZE
	22	Calamagrostis x acutiflora 'Karl Foerster' / Karl Forester Grass	1 gal
PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	15	Hemerocallis x 'Alabama Jubilee' / Alabama Jubilee Daylily	1 gal

MATERIAL SCHEDULE

- Decorative Stone #1 - Install a Six (6) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Specified Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 3-5" Diameter Crushed Stone From Staker Parsons Maguire Pit (385-239-0804); Provide Photo or Sample for Approval
- Decorative Stone #2 - Install a Three (3) inch depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Specified Shrub Areas and Washed Prior to Installation; Remove all Soil From Weed Barrier Prior to Laying Stone; Stone Shall be 1 1/2" Diameter Crushed Gray Stone From a Local Source; Provide Photo or Sample for Approval
- Landscape Boulders - Boulders Shall be 2-3' in Diameter, Angular, and Match Proposed Stone; Boulders Shall be Recessed into the Stone Two (2) Inches and Not Set on Top of Stone; No Boulder Shall be Placed Adjacent to a Curb Where a Car Could Potential Hit With Bumper



Know what's below.
Call before you dig.

Scale: 1" = 10'



Landscape Keynotes

- Install Shrub Area with Decorative Stone #1 Over Weed Barrier
- Install Shrub Area with Decorative Stone #2 Over Weed Barrier
- Install Landscape Boulder
- Trash Enclosure with Evergreen Tree Plant Screening
- Street Tree with Tree Grate; Install with Weed Barrier and Decorative Stone #2; Tree Grate Shall Grates Used Along Main Street
- 30' Sight Triangle - Nothing Over 3' in Height Shall be in Sight Triangle; Trees Shall be Limbed up to 8'
- Existing Overhead Drive-Thru Structure; Verify that New Trees Planted Adjacent to Structure are Planted Away From Roof Lines so That Trees Don't Grow into Underside of Roof
- Extend Stone into Adjacent Planter with Weed Barrier; Area Shall not Receive Plant Material; Irrigation Shall not be Installed in this Area
- Existing Wall
- Order Board - Keep Area Clear of Plant Material
- Install Irrigation RPB Backflow Enclosure in Shrub Planter Between Plant Material; Backflow Shall be Tested Within 10 Days of Turning Water on and Annually Thereafter; See Irrigation Plan for More Detail
- Flag Pole - See Arch. Plans

Landscape Plan

Black Rifle Coffee Company

400 North Main Street
Logan, Utah



09 Jan, 2023

SHEET NO.

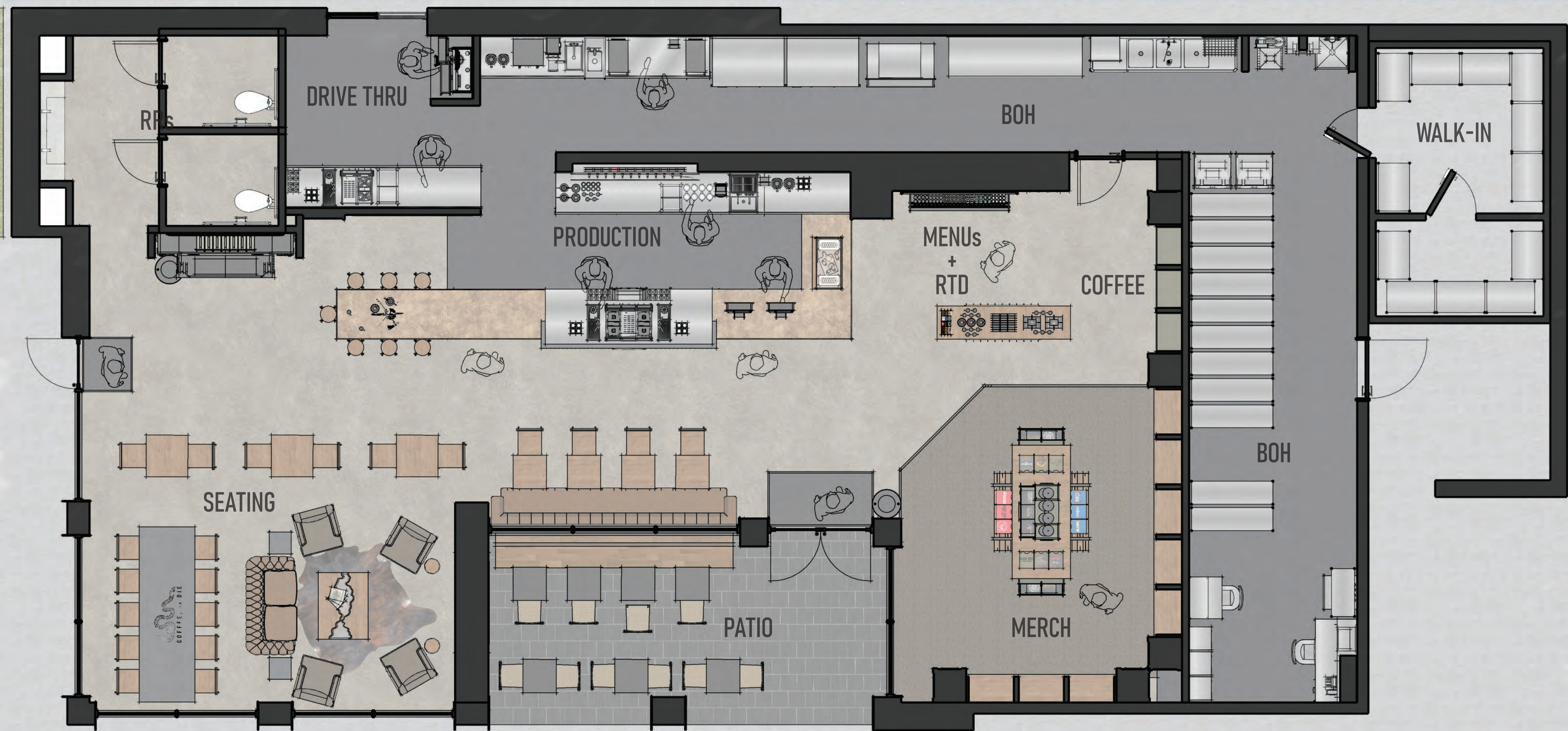
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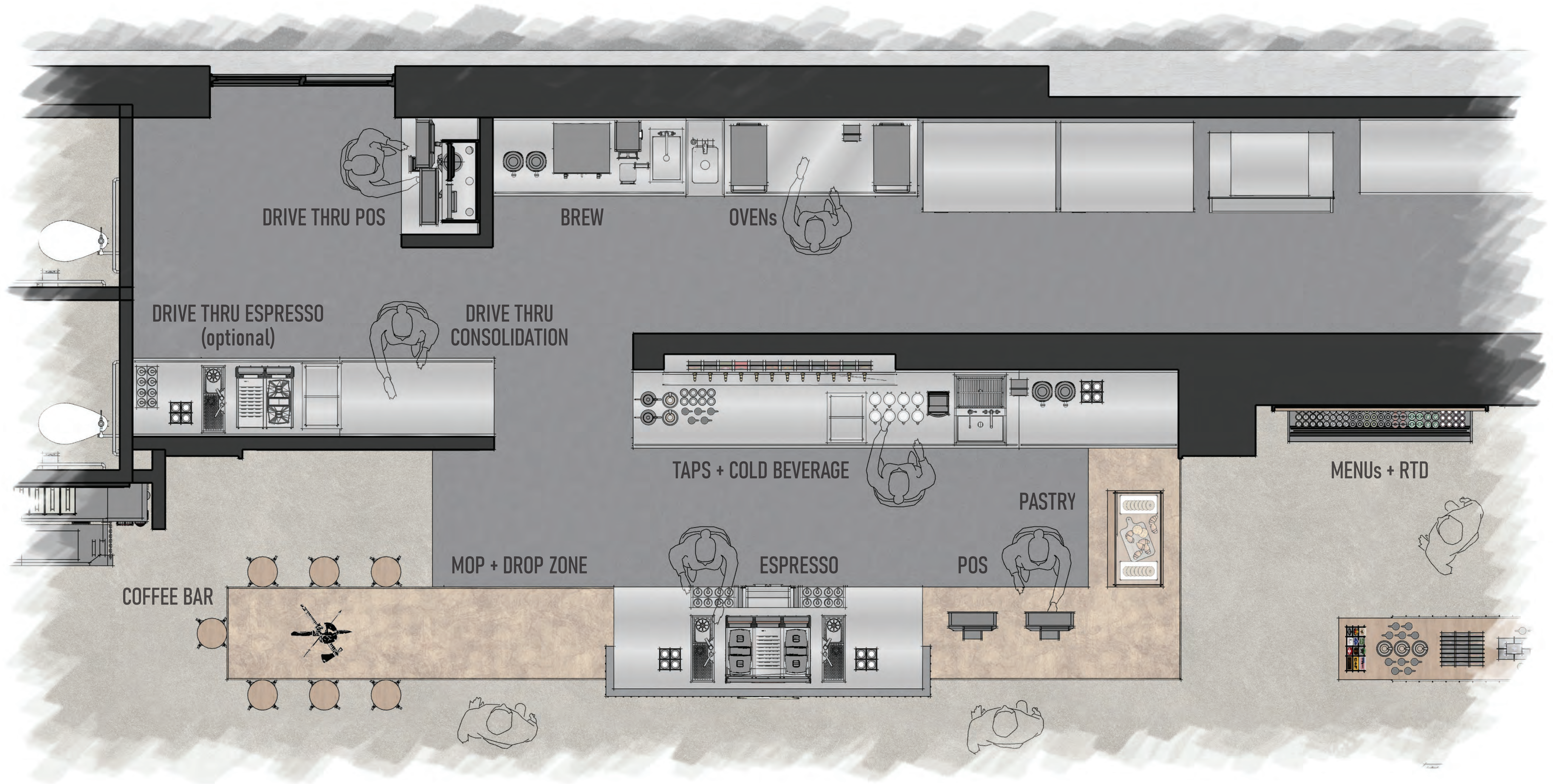


2010 North Redwood Road, Salt Lake City, Utah 84116
(801) 521-8629 - AWWengineering.net

Designed by: NM
Drafted by: ISL
Client Name:
The Dimensions Group
22-238LS

Preliminary not for Construction







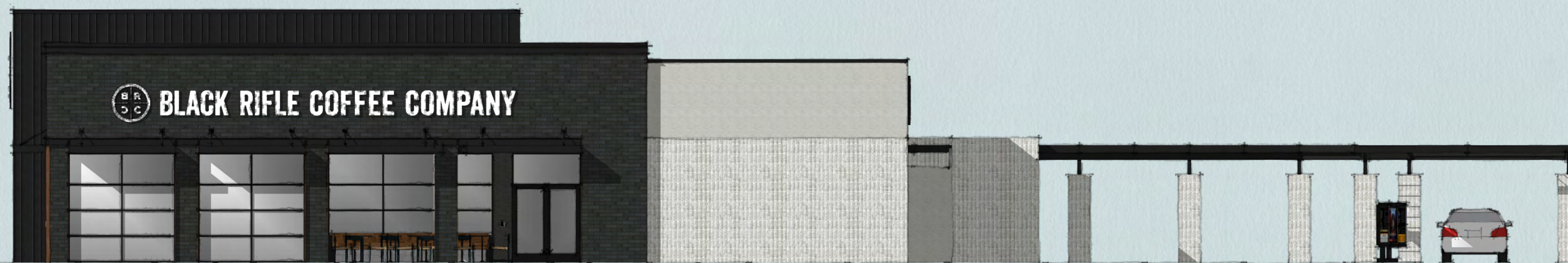
PROPOSED SOUTHWEST FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED SOUTHEAST FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED NORTHEAST FACING FACADE AT DRIVE THRU
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED EAST FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED SOUTH FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED WEST FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321



PROPOSED NORTH FACING FACADE
400 N. MAIN ST, LOGAN, UT 84321







