

**Project #22-052
Quick Quack Car Wash
Located at 1960 South 1000 South**

REPORT SUMMARY...

<i>Project Name:</i>	Quick Quack Car Wash
<i>Proponent/Owner:</i>	Jeremy Weber / Lower Willow LLC
<i>Project Address:</i>	1960 South 1000 West
<i>Request:</i>	Design Review Permit
<i>Current Zoning:</i>	Commercial (COM) (Gateway Overlay Zone)
<i>Date of Hearing:</i>	September 8, 2022
<i>Type of Action:</i>	Quasi-Judicial
<i>Submitted By:</i>	Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **approve** a Design Review Permit for Project #22-052 Quick Quack Car Wash for a 4,090 SF commercial building located at 1960 South 1000 West: TIN #03-207-0001.

Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

Project Proposal

This is a proposal for a new 4,090 square foot (SF) automatic car wash building, self-serve vacuums, parking and landscaping. The 1.15-acre project site is located at the south and west side of the HWY 89/91 & 1000 West intersection in the Woodruff Neighborhood. The triangular shaped property is located within the South Gateway Overlay zone and subject to additional setbacks and regulations. The proposal also includes a new driveway approach from 1000 West near the southern tip of the property.

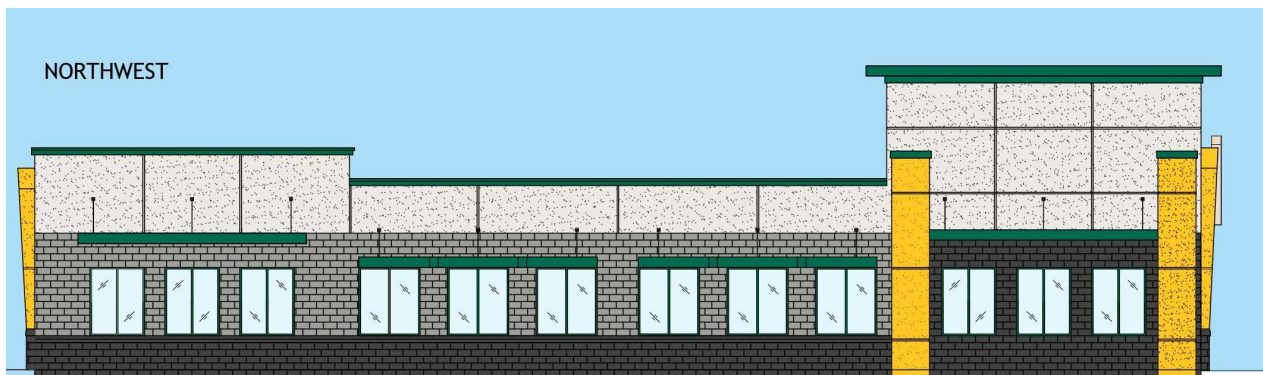


Figure 1 shows the street facing elevation along HWY 89/91

Land Use

The Land Development Code (LDC) Table 17.11.030 permits carwashes in the COM zoning district (base zone). The COM zoning designation is the City's primary economic zone and permits a wide range of commercial buildings and uses. The South Gateway Overlay Zone covers this property and regulates additional site and design standards. A list of an additional 14 land uses is strictly prohibited in the South Gateway zone, but carwashes are not on that list.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	50' (South Gateway Overlay Setback)
Side:	8'
Rear:	10'
Parking Front:	10'
Parking Side/Rear:	5'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (Northwest):	50'
Corner Side (Southwest):	31'
Side (Northeast):	50'
Rear (Southeast):	200+'
Parking (Front):	10'
Parking (Side):	6'

As proposed, the project meets minimum setback requirements of the LDC.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is approximately 1.15 acres in size. The approximate 4,090 SF building would equal 08% lot coverage and is in compliance with the maximum requirements in the LDC as proposed.

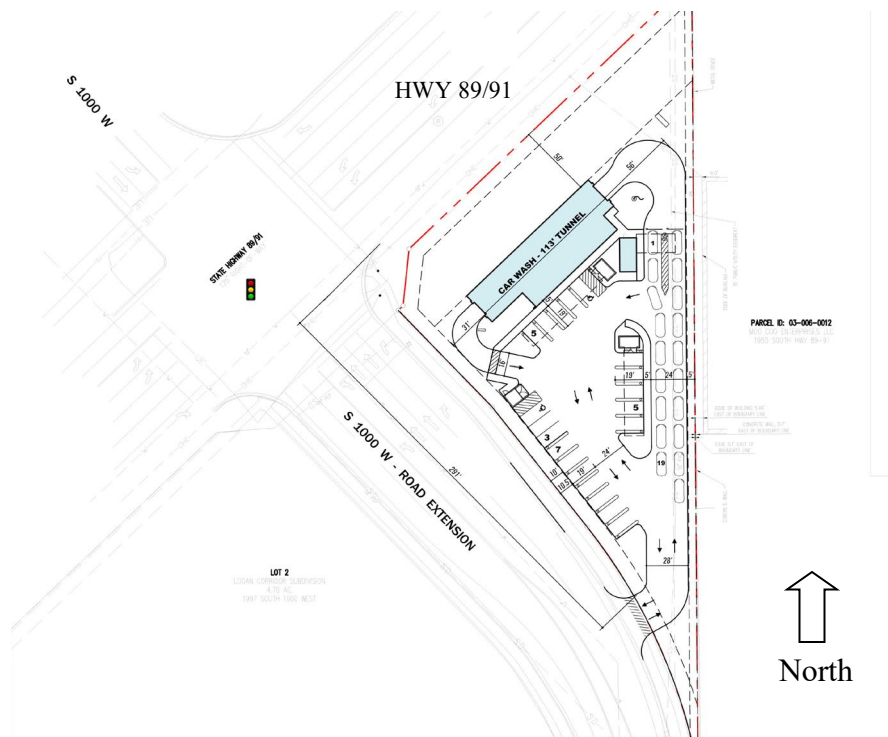


Figure 2 shows the proposed site plan

Building Design

The LDC 17.12.020 limits blank or featureless walls in the COM zone to no more than 40 linear feet with a mix of building materials conveying scale, color and texture required. 30% fenestration is required on the ground floor exposed elevations. Building heights are limited in the COM zone to 40 feet. The proposed concrete masonry unit (CMU) and stucco building is

shown with a variety of colors and textures and wall planes at close intervals for visual interest. Metal canopies and awnings are shown over windows and openings along with a variety in roof form. The building height is proposed at approximately 25 feet with most of the building set at 18 feet tall. The windows along the HWY 89 frontage equal 30%. As proposed, the building design meets LDC standards.

Pedestrian Circulation

The LDC 17.10.030 requires safe and convenient pedestrian circulation that results in sidewalks connecting streets to buildings. The site layout places the new car wash along the HWY 89 corridor. A crosswalk and sidewalk are installed along 1000 West street. The proposed site plan shows sidewalks to the south of the building, but no connections are made to 1000 West. As conditioned with sidewalk connections, the proposed project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires only drive-thru stacking for an automatic car wash. Six (6) stacking places are required and six are provided with the proposal. The proposal also includes three parking stalls and 17 vacuum stations that can function like parking stalls for additional employees or occasional incidental situations. As proposed, the project meets the parking requirements in the LDC.

Open Space

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site in the base COM zone. The South Gateway Overlay Zone as per LDC 17.21.060B.7 requires 25% percent open space. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The approximate 1.15-acre (50,094 SF) site would require 12,523 SF (25%) of open space and usable outdoor space. The South Gateway Overlay Zone requires landscaping along the HWY at the prescribed setback for visual and character purposes. The proposal shows conceptual landscaping and outdoor spaces above the 25% requirement. As conditioned with minimum open space requirements, the project complies with the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. Interior parking lot landscaping is required to reduce the appearance of large asphalt expanses and excessive heat radiation. For 1.15 acres, 23 trees and 57 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows only conceptual landscaping areas. As conditioned with a detailed landscaping plan meeting minimum plant numbers and interior parking lot landscaping, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Light and Power	• Engineering

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 08/27/22, posted on the City's website and the Utah Public Meeting website on 08/29/22 and mailed out to adjacent property owners within 300' on 08/22/22.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The South Gateway Overlay Zone 50-foot setback adjacent to HWY 89/91 shall not contain buildings, parking lots and any other elements as per LDC 17.21.060. Landscaping is required inside the 50-foot setback area.
3. A minimum of six (6) car stacking stalls shall be located in the drive-thru lane.
4. A sidewalk connection shall be made from 1000 West to the building and parking area.
5. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 12,523 SF (25% of final project site).
 - b) A total of 23 trees and 57 shrubs, perennials and ornamental grasses shall be provided.
 - c) Street trees shall be provided every 30 linear feet along adjacent streets and outside of sight distance triangles near intersections and driveways.
6. No open pit storm-water detention basins shall be placed in the yard between the building and the adjoining streets. If designed as landscaping with maximum 4-to-1 cross slopes, undulating shapes, and ground cover containing 75% grasses and a combination of trees and shrubbery so that it does not appear to a storm water collection area, then it may be located in the front yard area.
7. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
8. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
9. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
10. Standard streetscape improvements will be required along Main Street with driveway access being limited to the joint access agreements located to the north of this site.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.

13. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Environmental—contact 716-9760

- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of the enclosure to protect walls.
- Gates are not required, however if desired, they must be designed to stay open during the collection process.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

b. Water—contact 716-9622

- The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. (Containment-City supply protection) Properly sized drain required to serve the backflow assemblies dump port. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- This would mean the culinary water in the building (bathrooms, breakrooms) that has any possible use for human consumption must be separated from the high hazard system (carwash-chemicals). cannot be served after one common backflow assembly. meaning-separate high hazard and low hazard systems.
- Refer to Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.
- All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter. Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and all B/F assemblies must be installed and tested as per Logan City standards. Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-(1) rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention, during and after construction.

c. Engineering – contact 716-9160

- Provide water shares or an In-Lieu fee for project development equal to the amount required by Utah Administrative Code R 309-510-7 for both indoor and outdoor use.
- Provide storm water detention and/or retention ponds per Logan City Design Standards. This includes the onsite retention of the 90% storm event utilizing Low Impact Design Standards.
- Access to 1000 West shall be in accordance with Logan City Design Standards and shall also address site visibility triangle distance requirements in accordance with AASHTO Geometric Design standards. The site access shall be located a minimum 150' from the future 2000 S road alignment and Highway 89/91 and shall be subject to right-in / right-out restrictions. Restrictions may include physical barriers such as a "pork chop" or other approved condition. Any proposed deviations must be accompanied by a traffic study that is administered by the City and paid for by the developer / owner. Acceptance of any deviations shall be at the sole discretion of the City Public Works Director or his designee.
- As shown on the recorded plat, there is a 15' sewer easement along the east property line. No structures or other construction shall be built in this easement which will impact the ability of the City to access this easement.

- Site plan submitted with the application did not address connection to existing utilities. This shall be reviewed and approved with the Building Permit review and approval process.

d. Light and Power – contact 716-9722

- Logan City Light and Power; Requires 1-Line Diagram, A Logan City Load Data Sheet, A Digital Site Plan In Auto CAD (DWG) Format and PUE's Public Utility Easement 10' Easement On All Property Lines That Face A Road Way, And A 5' Easement On All Other Property Lines.
- Contact Matt with Logan Light and Power for Power Location and a meet on site.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides adequate off-street parking.
5. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high-capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. HWY 89/91 and 1000 West provides access and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

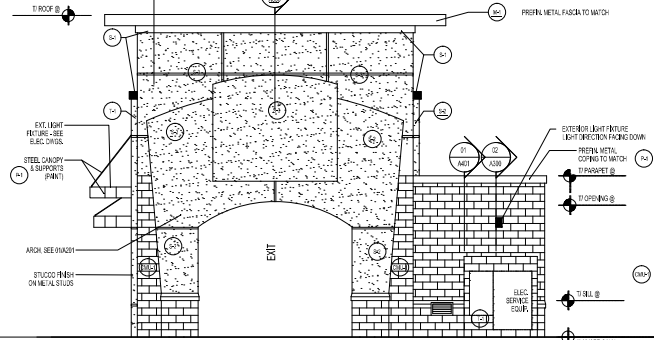


APPLICATION FOR PROJECT REVIEW

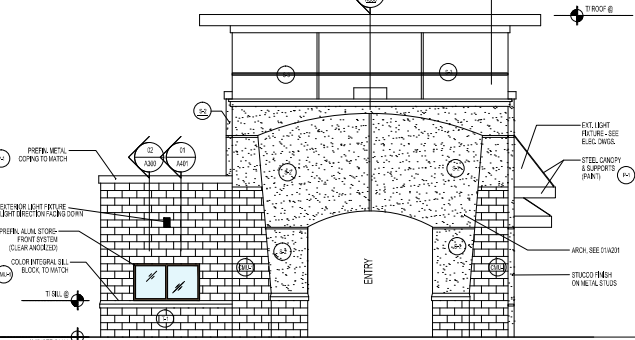
For Staff Only				
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number
8/1/22		com / woodruff	Sept. 8	PC 22-052
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME				
Quick Quack Car Wash				
PROJECT ADDRESS			COUNTY PLAT TAX ID #	
1960 S 1000 W, Logan, UT 84321			03-207-0001	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER			PHONE #	
Jeremy Weber (Evergreen Devco, Inc.)			602-451-5255	
MAILING ADDRESS		CITY	STATE	ZIP
2390 E Camelback Rd, Ste 410, Phoenix, AZ 85016				
EMAIL ADDRESS				
jweber@evgre.com				
PROPERTY OWNER OF RECORD			PHONE #	
Lower Willow, LLC				
MAILING ADDRESS		CITY	STATE	ZIP
1100 W Industrial Rd, Cedar City, UT 84721				
EMAIL ADDRESS				
jordan@jenkinsoil.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) We are requesting a Design Review Permit to construct a new 4,090 square foot express car wash located at 1960 S 1000 W in the Commercial (COM) zone and the South Gateway Overlay zone. The property is currently undeveloped, and the proposed project would include a car wash tunnel and vacuum stalls.			Total Lot Size (acres)	
			1.15 acres	
			Size of Proposed New Building (square feet)	
			4,090 SF	
			Number of Proposed New Units/Lots	
			0	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Project Representative		
		Jeremy Weber		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner		
		See Owner Letter or Authorization		

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

VISUAL VERTICAL WALL	EQUIPMENT STEP ELEVATION		ENTRY ELEVATION		EXIT ELEVATION		WINDOW STEP ELEVATION	
	FEET	PERCENT	FEET	PERCENT	FEET	PERCENT	FEET	PERCENT
STAIRS	100	14.31%	102	46.86%	770	78.78%	102	40.41%
DOOR	100	16.81%	105	18.54%	106	27.26%	102	21.00%
SPURFACE PATTERN	120	12.68%	63	7.54%	66	18.9%	153	13.99%
NETAL FASCU / AWINING	101	7.57%	64	7.46%	113	4.12%	228	1.447%
MOO	101	3.61%	101	10.00%	6	2.25%	181	15.57%
DECEAS	127	5.09%	162	19.38%	124	12.25%	0	0.00%
TOTAL	2524	100.00%	836	100.00%	770	100.00%	2524	100.00%

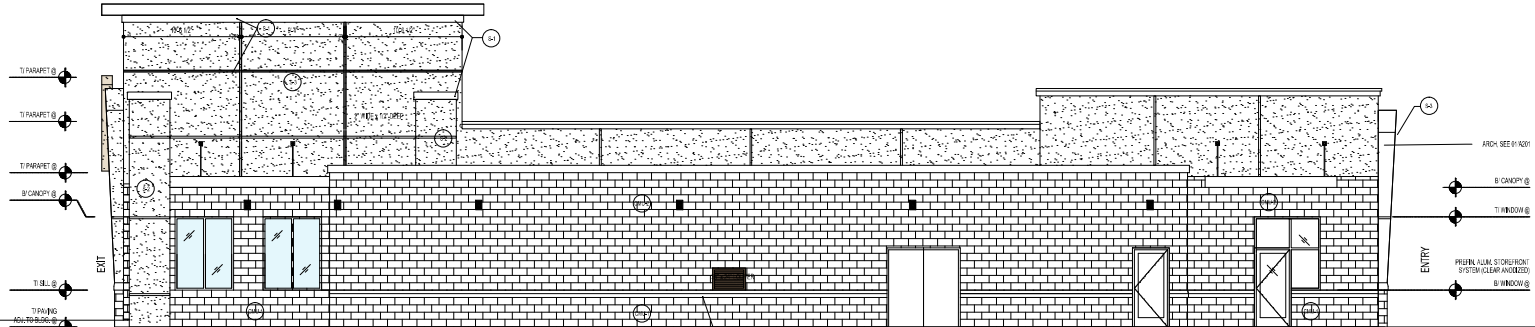


EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 04

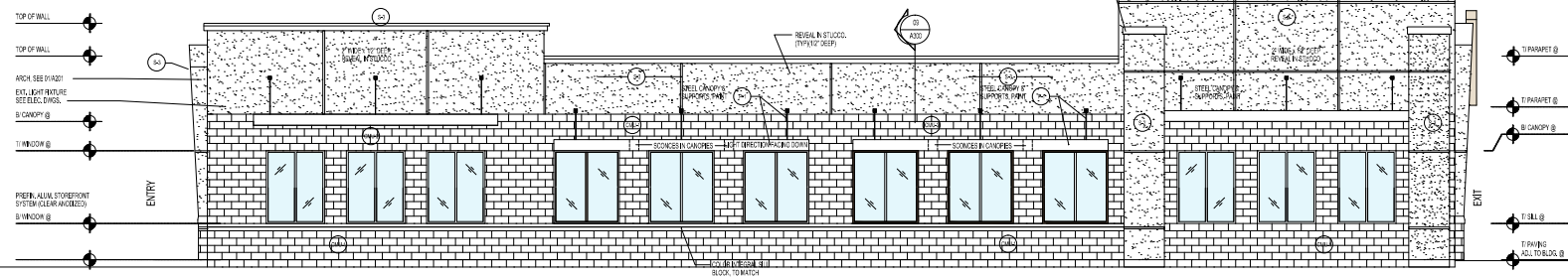


EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 03

ALL LIGHTS TO BE DOWNWARD FACING




EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 02



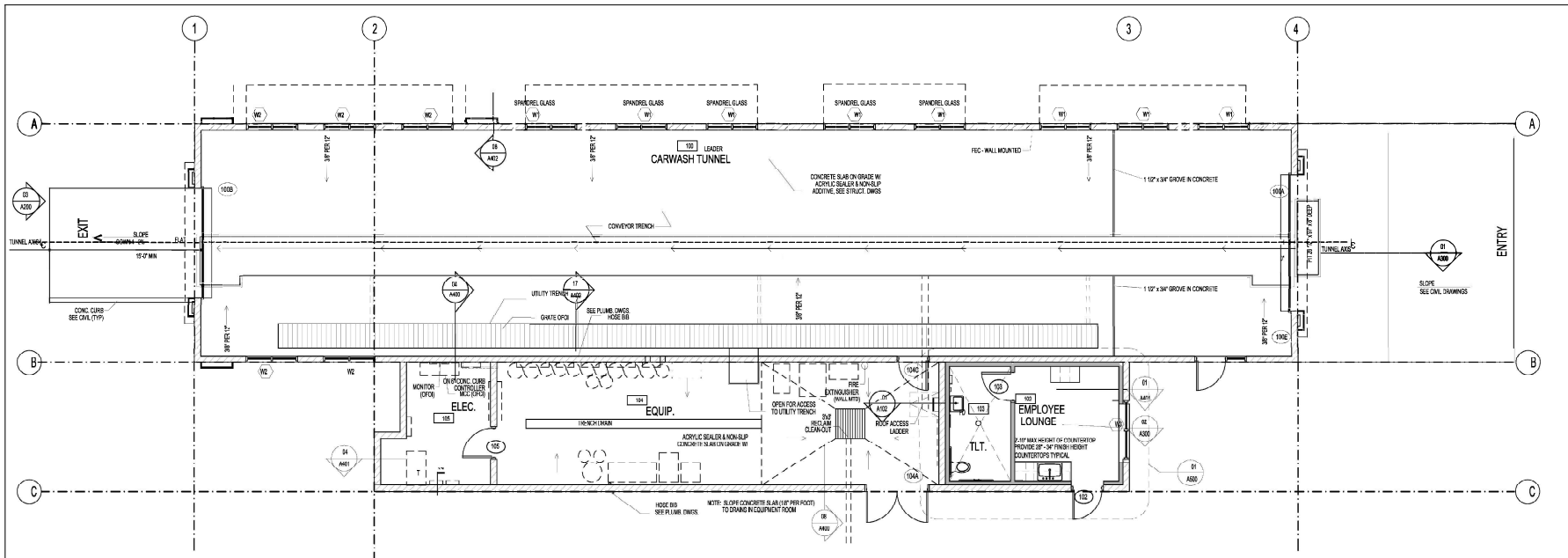
EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 01

PROJECT TITLE
Quick Quack Car Wash

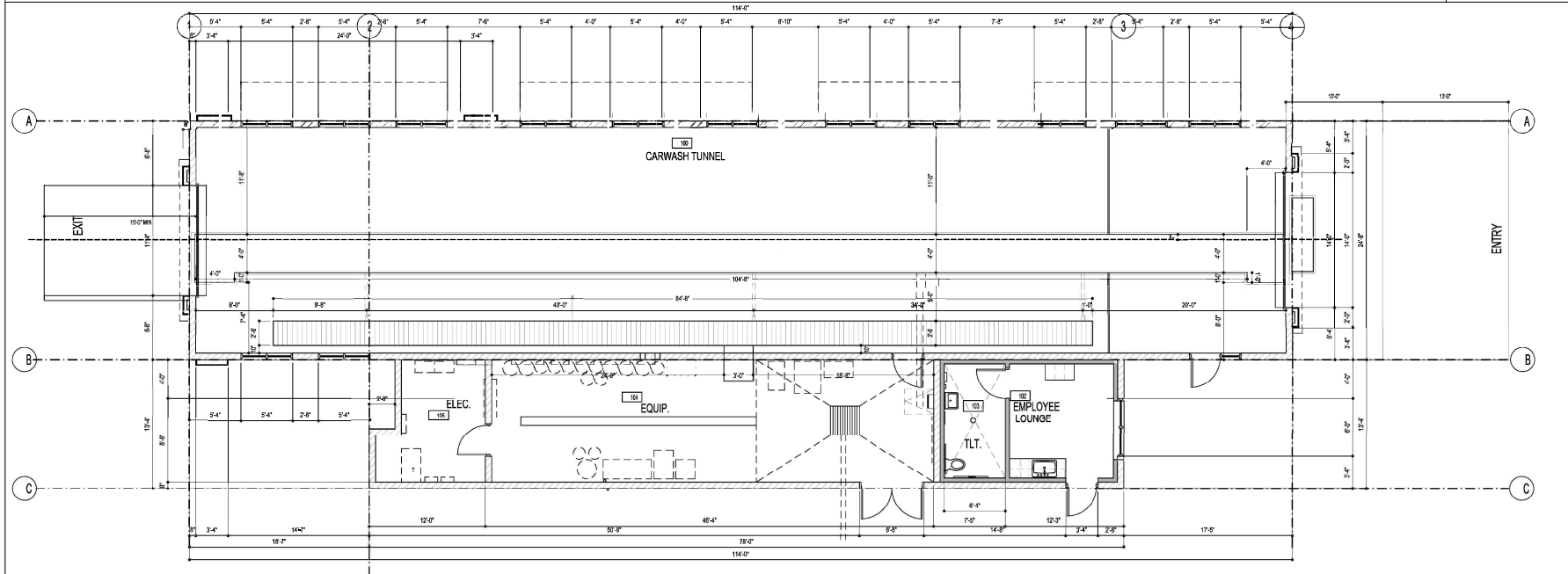


DATE:	
REVISIONS:	

A200



ANNOTATION FLOOR PLAN SCALE: 3/16" = 1'-0" 02



DIMENSION FLOOR PLAN SCALE: 3/16" = 1'-0" 01

PROJECT NOTES

ALL EXTERIOR WALL TO BE FILLED WITH PERLITE INSULATION

Service counters 36 maximum height. Also areas used for check writing must have an area that is no more than 34 inches maximum in height. Work service counters 28-34 inches maximum in height ANSI 904.4.2 & 904.4.3 (Front Reception Counters and Breakroom)

PROJECT TITLE
Quick Quack Car Wash



DATE:
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