



**Project #22-041
Logan 1000 West Industrial
Located at 1600 South 1000 West**

REPORT SUMMARY...

<i>Project Name:</i>	Logan 1000 West Industrial
<i>Proponent / Owner:</i>	Klair Fullmer / Logan 1000 West Industrial Holdings
<i>Project Address:</i>	1600 South 1000 West
<i>Request:</i>	Design Review Permit
<i>Current Zoning:</i>	Industrial Park (IP)
<i>Type of Action:</i>	Quasi-Judicial
<i>Hearing Date</i>	July 28, 2022
<i>Submitted By:</i>	Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #22-041, Logan 1000 West Industrial, in the Industrial Park (IP) zone located at approximately 1600 South 1000 West, TIN #02-083-0008.

Current Land use adjoining the subject property

<i>North:</i>	IP: Industrial Uses	<i>East:</i>	IP: Industrial Uses
<i>South:</i>	IP: Industrial Uses	<i>West:</i>	COM: Vacant

Project Proposal

This proposal is for two (2) new industrial buildings on 12.46 acres. Building 1 contains 87,230 SF and is located on the SE corner of 1600 South & 1000 West, while Building 2 contains 98,560 SF and is located south of 1600 South and east of Hyclone Road. The 40' tall concrete tilt-up style buildings are being designed for both office space and warehousing.



Figure 1 shows existing project site location.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits a range of commercial and industrial uses in the Industrial Park (IP) zoning district. Uses are centered around manufacturing, warehousing and contractor supply services and include commercial uses such as office space, restaurant and hotel. The applicant is proposing office space and warehousing/freight movement in the proposed buildings.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the **IP** zone are as follows (as measured from the exterior property lines of the project site, at closest points):

Front:	20'
Side:	20'
Rear:	10'
Parking (Front):	20'
Parking (Side):	15'

The following setbacks are proposed for the buildings (as measured from the exterior property lines of the project site, at closest points):

Building 1

Front (west):	25'
Side (north):	20'
Side (south):	50'
Rear (east):	>120'
Parking(front):	25'
Parking (side/corner)	25'

Building 2

Front (north):	25'
Side (west):	>60'
Side (east):	50'
Rear (east):	>70'
Parking(front):	25'
Parking (side/corner)	about 10'

The west side parking setback for Building 2 appears to be short of the 15' requirement. As conditioned, with the west side parking setback showing 15', the project meets minimum setback requirements for the zone.



Figure 2 shows the proposed site plan

Lot Coverage

The LDC 17.10.130 establishes a maximum lot coverage of 50% (building(s) footprint) in the IP zone. The proposed buildings total 185,790 SF on a 12.46 AC (542,757 SF) site for a lot coverage of 34%. As submitted, the project meets the lot coverage requirements on the LDC.

Building Design

The LDC 17.12.060 requires new industrial buildings to be well-designed with high-quality materials. Blank walls exceeding 40 linear feet are prohibited and ground floor street-facing facades shall have a minimum of 30% transparency. Acceptable wall-breaks include windows, balconies, wall articulation or changes in color and materials. The proposed building materials for both buildings are tilt-up textured concrete in a variety of earth-toned colors with vertical accent composite (wood-like) sections and stout horizontal overhangs. Fenestration and transparency code has been met with between 30%-39% glazing on all street facing facades and show wall-breaks and other features at the minimum 40 linear foot increments. As proposed the building designs meets the requirements in the LDC.

Building Heights

The IP zone allows building heights up to 48'. With a Conditional Use Permit, a building's height may go up to 80 feet in height. Both buildings are proposed at 40' feet tall. As proposed, the project meets the building height requirements in the LDC.

Parking Requirements

The LDC requires one (1) parking stall per every 300 SF of office space and one (1) parking stall per every 2,000 SF for warehousing and freight movement. Between the two buildings, the applicant has indicated the approximate building space breakdown to be approximately 20% office/administration and 80% warehousing. With a total building space of 185,790 SF, and at this ratio, the parking requirement is 199 stalls (124 office & 75 warehouse). The proposal shows 234 parking stalls (114% of requirement) and as proposed, the project meets the parking requirements in the LDC.

The parking location in the IP zone, indicates placement at the side or rear. In cases where functionality and primary building use present conflicts, the Planning Commission may make exceptions to design issues as per LDC 17.43.080. The Planning Commission needs to make findings that don't compromise neighborhood character and future approvals. The neighborhood character in this part of town shows numerous parking lots positioned between the street and the building, and this proposal includes semi-truck loading docks and large truck circulation along the entire rear of the building, creating conflicts between automobile parking and semi-truck loading/unloading movements. Given the layout of the building's floorplans and context of the surrounding businesses, separating the parking lot and semi-truck loading dock should be a consideration in this situation. Future projects with similar scales and configurations would be treated with the same continuity. As conditioned with the Planning Commission determining the location of parking lots, the project meets the standards in the LDC.

Site Layout & Pedestrian Circulation

The LDC 17.31.090 requires commercial and industrial sites to include safe and convenient pedestrian circulation from the adjacent streets to buildings, parking areas and other outdoor gathering areas. When parking areas are proposed in areas adjacent to streets, LDC 17.32.070 requires additional landscaping/buffering to help screen asphalt parking areas. Type "B" screening, additional shrubbery, and trees is required when a parking lot is within 12'-25' of the street. This proposal shows parking areas adjacent to 1000 West and 1600 South. Pedestrian circulation is shown on the site plan connecting streets and buildings. As conditioned with Type "B" screening, the project complies with the LDC.

Open Space and Landscaping

The LDC 17.10.030 requires 10% open space and an additional 10% useable outdoor space in the IP zone. The LDC 17.35 generally describes open space as vegetation or landscaped

areas. While useable outdoor space could be additional green space, these areas are typically decks, patios and other similar outdoor amenities. The 12.46-acre site requires 54,275 SF of open space and 54,275 SF of outdoor space for a total of 108,550 SF. The proposed conceptual landscape plan shows preliminary landscaping and green space areas totaling a minimum of 22.%. The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for industrial projects. As conditioned with minimum open space and landscaping, the project complies with the LDC.

Stormwater Detention

Stormwater detention shall be engineered and designed according to the City's Stormwater Management Plan, engineering standards and the LDC. The LDC requires all open stormwater facilities to be aesthetically integrated the overall site design if the pond is in the 'front yard' of the development. Alternatively, open ponds shall be located on the side or rear yards of the development and screened from view, which would be impractical for natural drainage of this subdivision. Underground stormwater facilities may be located anywhere on site.

The proposed stormwater detention area is located in the rear yard of Building 1 and along Hyclone Road. Because the detention area is visually dominant along a public road, it shall be incorporated into the overall landscape design. A conceptual landscape plan has been provided and integrates the detention area with a common area. As conditioned, the stormwater detention location is in compliance with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 07/16/22, posted on the City's website and the Utah Public Meeting website on 07/18/22, and mailed to property owners within 300 feet on 07/11/22.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The Planning Commission approves parking locations as shown.
3. The west side parking setback for Building 2 along Hyclone Road shall be 15'.

4. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 108,550 SF.
 - b) Type "B" landscaping buffering shall be provided between the parking lots and 1000 West and 1600 South.
 - c) A total of 250 trees and 650 shrubs, perennials and ornamental grasses shall be provided.
 - d) Street trees shall be provided every 30 feet along adjacent streets (provide 30' of clear space at street intersections for visibility).
 - e) Detention area shall be incorporated into the overall landscape plan.
5. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
6. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
7. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
8. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
9. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
 - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - Place bollards in the back of the enclosure to protect walls.
 - Gates must be designed to stay open during the collection process.
 - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
 - b. *Engineering —contact 716-9160*
 - Provide water shares or In-Lieu fee for increased demand to City water system to comply with State sourcing requirements per State Administrative Code R 309-510-7.
 - Provide storm water detention or retention ponds per Logan City Storm Water Design Standards. This includes the onsite retention of the 90% storm event utilizing Low Impact Design Methods. Provide a Storm Water Pollution Prevention Plan and NOI per Utah State requirements for City review and approval. Also, provide a Storm Water Maintenance Agreement for the development.
 - There were not any Civil drawings to review with the application, therefore, all review comments will be done during the Building Permit Design review process.
 - Provide a Private Water Utility Agreement for all private water lines.
 - Access to SR-252 shall be at gridded street locations and shall require a CMAP review and approval from UDOT.
 - Accesses to Hyclone Road and 1600 North shall comply with current City Road Design Standards.
 - Where possible share existing access with adjacent properties. This is especially applicable to the northeast access to 1600 North.
 - c. *Light and Power - contact 716-9722*
 - Requires 1-Line Diagram, A Logan City Load Data Sheet, A digital site plan in Auto CAD (DWG) Format.

- PUE's Public Utility Easement 10' Easement on all property lines that face a roadway, and a 5' easement on all other property lines.
 - Contact Matt for power location and a meeting on site.
- d. *Water—contact 716-9627*
- Each unit's water main needs to have its own RP (ASSE1013) installed and tested on the water main as it enters each unit/ building before any branch offs or possible connections inside or outside of building. So, each unit is independently controlled and protected. Properly sized drain required to serve dump port of these backflow assemblies. Refer to Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.
 - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter.
 - Fire suppression systems that connect to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-1 rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building height and design, site layout, materials, open space, landscaping, and setbacks.
2. LDC 17.43.080 authorizes the Planning Commission to make design adjustments not associated with numerical standards and requirements if they are consistent with surrounding areas and do not compromise future approvals.
3. The large-scale semi-truck loading docks and circulation conflict with automobile parking and warrant a design adjustment.
4. The allowance of the parking lot locations will not compromise the neighborhood character in this area for large-scale shipping and warehousing projects as similarly sized projects in the area have similar parking lot locations.
5. The proposed project provides required off-street parking.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 1000 West and 1600 South provides access and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only		<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board	<input type="checkbox"/> Administrative Review
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number	
6/20/22		IP/WOODRUFF	JULY 28	PC 22-041	
Type of Application (Check all that apply):					
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use		<input type="checkbox"/> Subdivision	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal		<input type="checkbox"/> Administrative Design Review	
		<input type="checkbox"/> Zone Change		<input type="checkbox"/> Other	
PROJECT NAME					
Logan 1000 West Industrial					
PROJECT ADDRESS				COUNTY PLAT TAX ID #	
1600 S 1000 W				02-083-0008	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER				PHONE #	
Klair Fullmer				435-755-2038	
MAILING ADDRESS		CITY	STATE	ZIP	
595 S Riverwoods Prkwy Ste 150		Logan	UT	84321	
EMAIL ADDRESS					
kfullmer@netwasatch.com					
PROPERTY OWNER OF RECORD				PHONE #	
Logan 1000 West Industrial Holdings				435-232-1552	
MAILING ADDRESS		CITY	STATE	ZIP	
595 S Riverwoods Prkwy Ste 400		Logan	UT	84321	
EMAIL ADDRESS					
batkinson@netwasatch.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Proposal the erection of one 87,230sf and one 98,560sf industrial buildings.				Total Lot Size (acres)	
				12.46	
				Size of Proposed New Building (square feet)	
				Bldg 1 - 87,230sf Bldg 2 - 98,560sf	
				Number of Proposed New Units/Lots	
				1 lot 2 units	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.				Signature of Property Owner's Authorized Project Representative	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner	

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL



1000 W

1600 S

HYCLONE RD

1500

855

810

FRNT C 780

MTR B

REAR

TOWER

A15 1726

A9 965

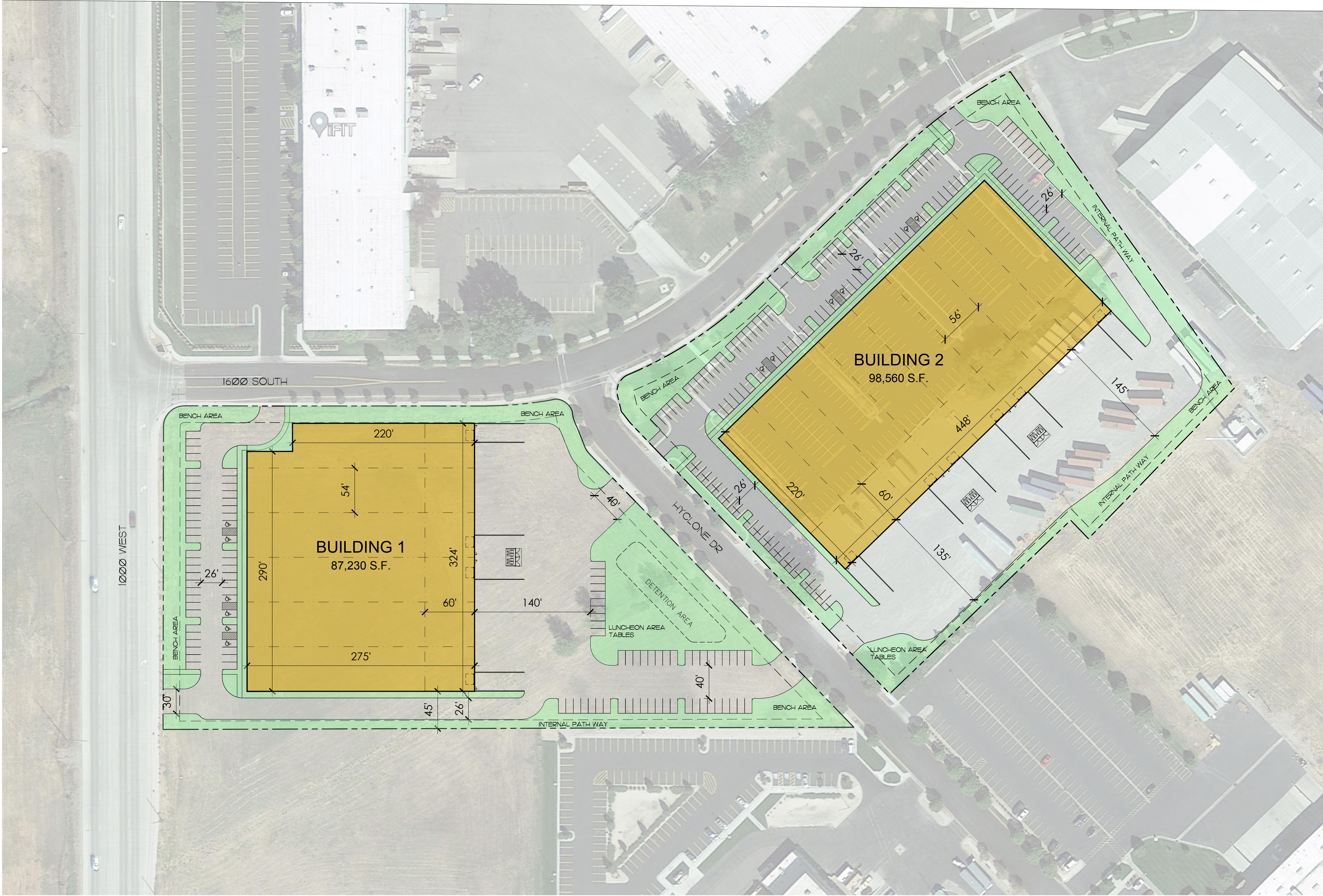
A2 1665

925

1725

A1

7/19/2022



PARKING/BUILDING DATA

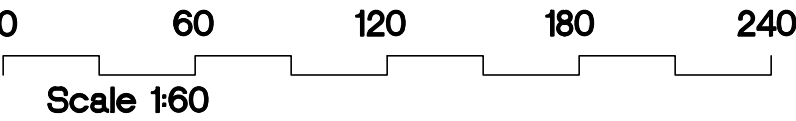
BUILDING 1		87,230 SF
TOTAL PARKING		102 SPACES
RATIO		1.17/1,000 S.F.
OFFICE	20%	17,446 SF
TOTAL PARKING		54 SPACES
RATIO		3.10 1,000 S.F.
REQUIRED RATIO		3/1,000 S.F.
WAREHOUSE		80%
PARKING REQUIRED		1/EMPLOYEE

BUILDING COVERAGE	34.45%
OPEN SPACE	16.14%
USEABLE OUTDOOR SPACE	11%
LANDSCAPING TOTAL	27.14%
LANDSCAPING REQUIRED	20%

BUILDING 2		98,560 SF
TOTAL PARKING		132 SPACES
RATIO		1.34/1,000 S.F.
OFFICE	20%	19,712 SF
TOTAL PARKING		60 SPACES
RATIO		3.04 1,000 S.F.
REQUIRED RATIO		3/1,000 S.F.
WAREHOUSE		80%
PARKING REQUIRED		1/EMPLOYEE

BUILDING COVERAGE	34.45%
OPEN SPACE	11.27%
USEABLE OUTDOOR SPACE	11%
LANDSCAPING TOTAL	22.27%
LANDSCAPING REQUIRED	20%

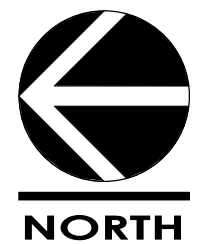
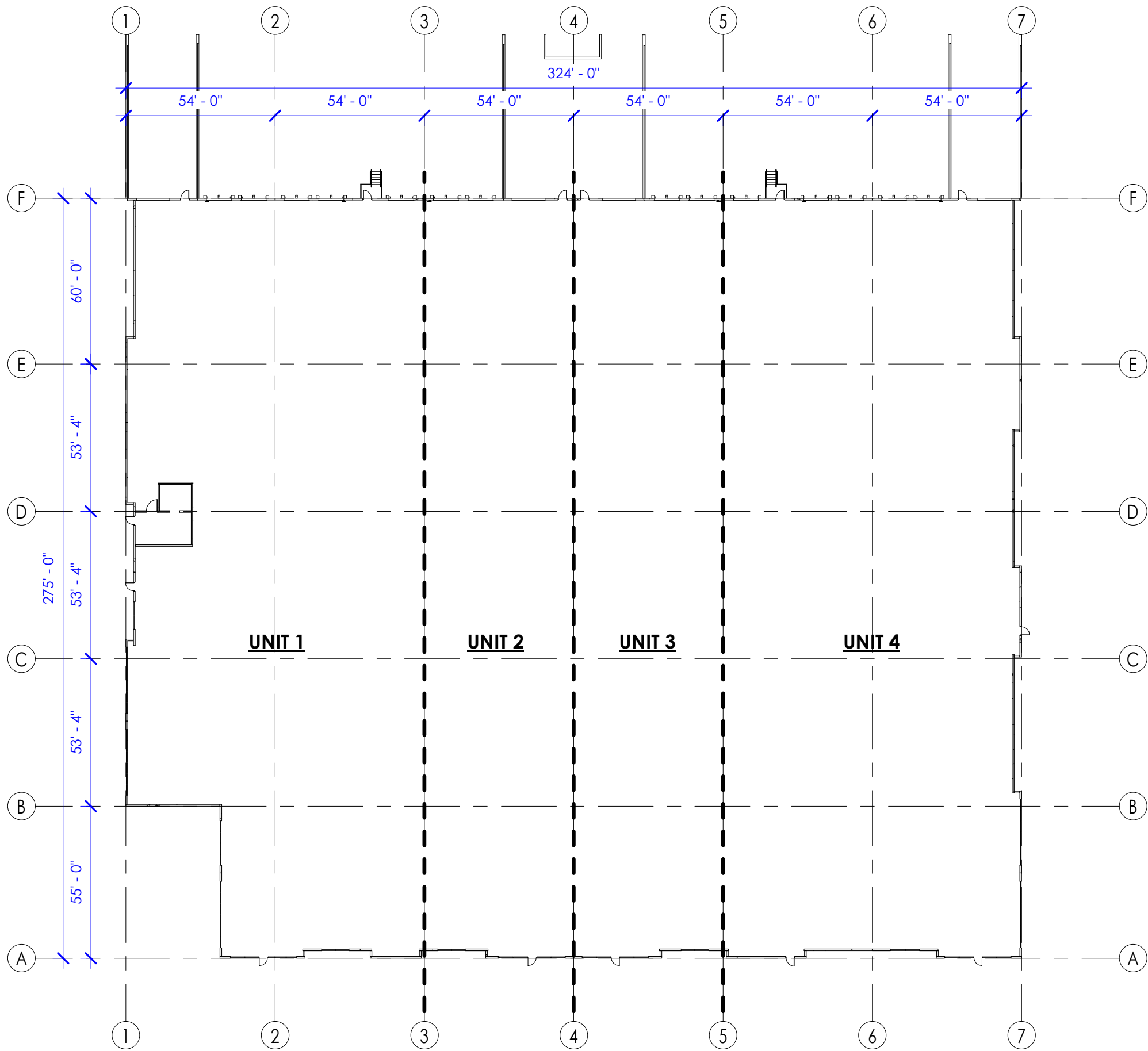
CONCEPTUAL SITE PLAN
THIS SITE PLAN IS FOR CONCEPTUAL PLANNING.
THE SITE WILL NEED TO BE SURVEYED TO
ACCURATELY DEFINE ALL BOUNDARIES,
EASEMENTS, UTILITY EASEMENTS, RIGHT-OF-WAYS,
CONFIRM ACCESS LOCATIONS, AND WETLANDS.



BUILDING #1



C:\Users\afennel\Documents\BLACK CLIFF - 1600 S 10th - LOGAN BUILDING 1.rvt aaronL3TLM.rvt 6/20/2022 4:48:26 PM



01
PR101 **LEVEL 01 FLOOR PLAN**
1" = 40'-0"



BUILDING #1 - 1600 S. 10th - LOGAN, UT

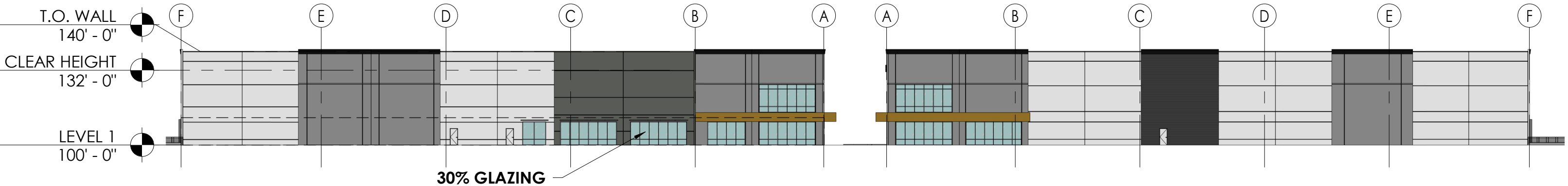
Presentation Floor Plan

2022.212
6/20/22
PR101



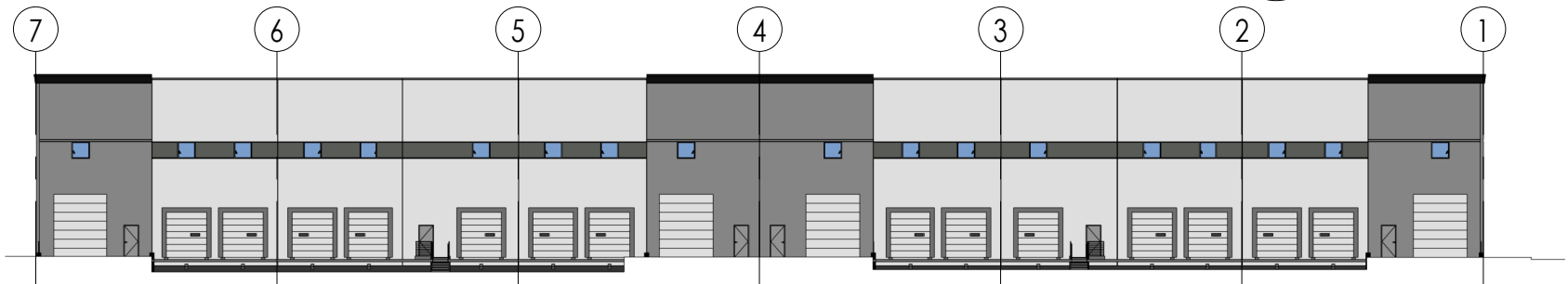
EXTERIOR ELEVATIONS LEGEND		
	CONCRETE TILT PANEL PAINTED - PASSIVE - SW 7064	= 40% TOTAL AREA
	CONCRETE TILT PANEL PAINTED - CITYSCAPE - SW 7067	= 27% TOTAL AREA
	CONCRETE TILT PANEL PAINTED - GRIZZLE GRAY - SW 7068	= 9% TOTAL AREA
	CONCRETE TILT PANEL PAINTED - PEPPERCORN - SW 7674	= 15% TOTAL AREA
	LIGHT CHERRY - FASTPLANK ALUMINUM PLANK SIDING	= 2% TOTAL AREA
	GLAZING	= 5,249 SF

04
PR201
WEST ELEVATION
1" = 40'-0"



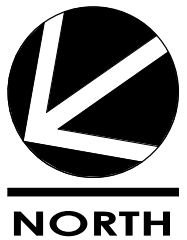
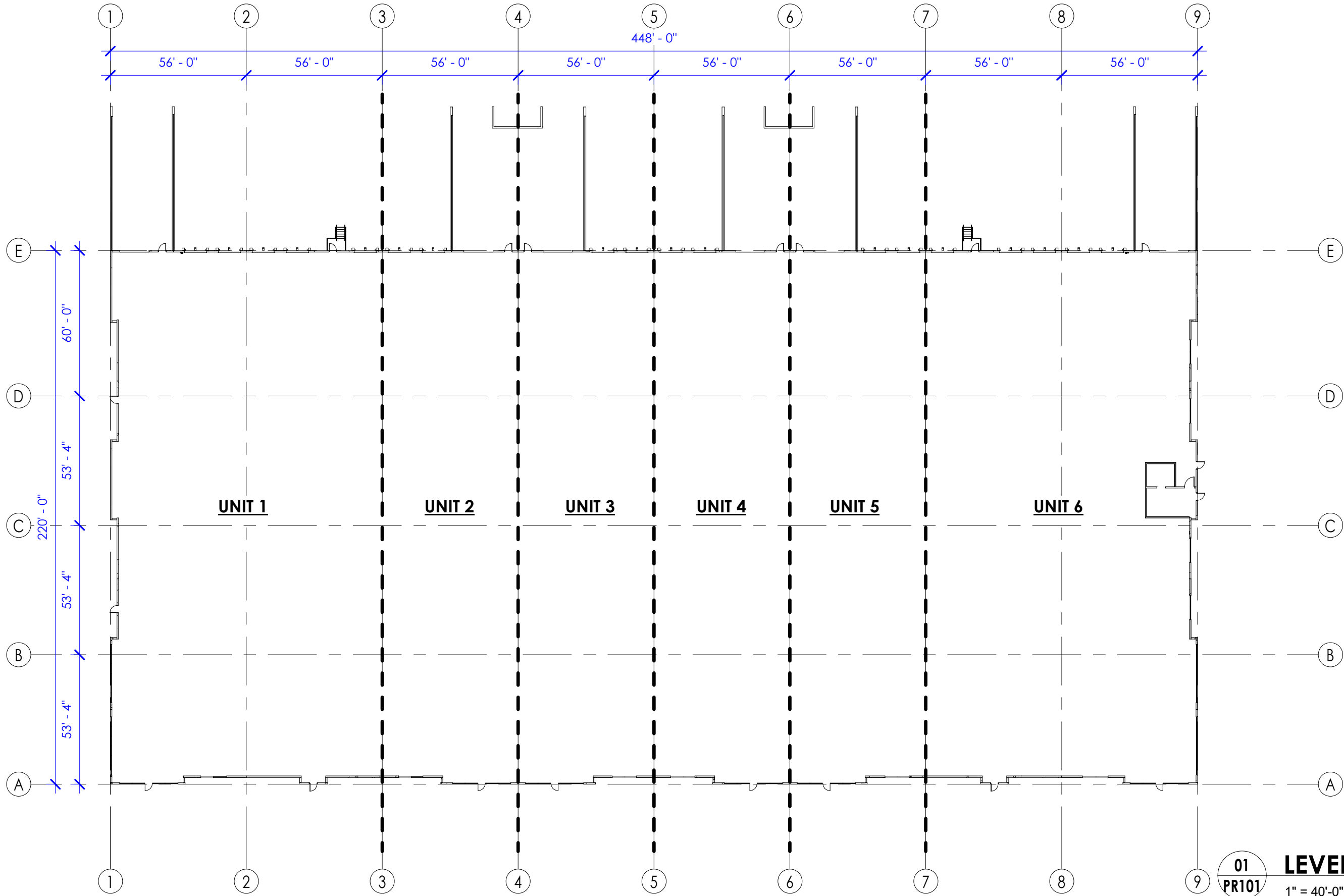
02
PR201
NORTH ELEVATION
1" = 40'-0"

03
PR201
SOUTH ELEVATION
1" = 40'-0"



BUILDING #2

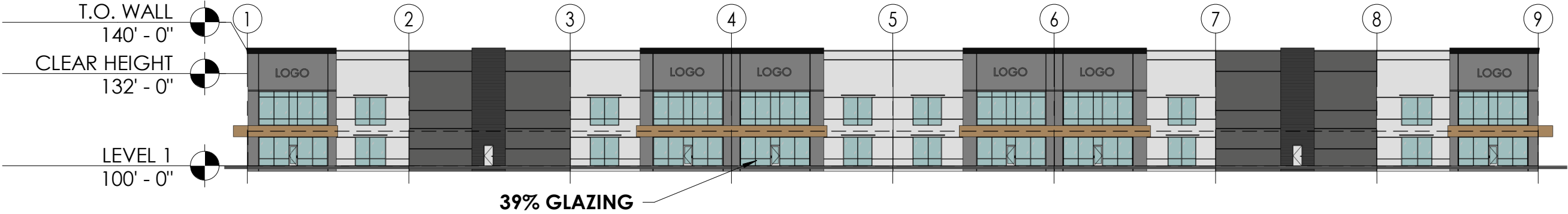




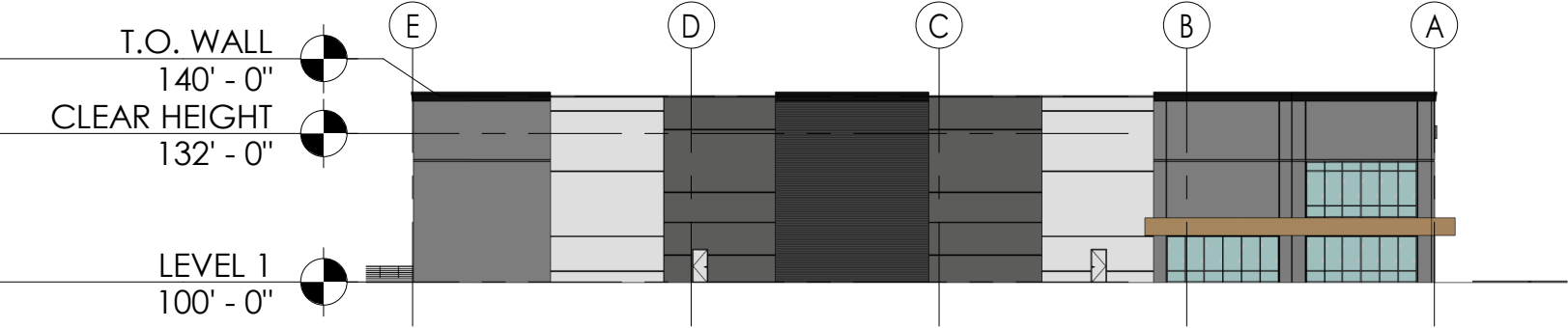
01
PR101 **LEVEL 01 FLOOR PLAN**
1" = 40'-0"

EXTERIOR ELEVATIONS LEGEND

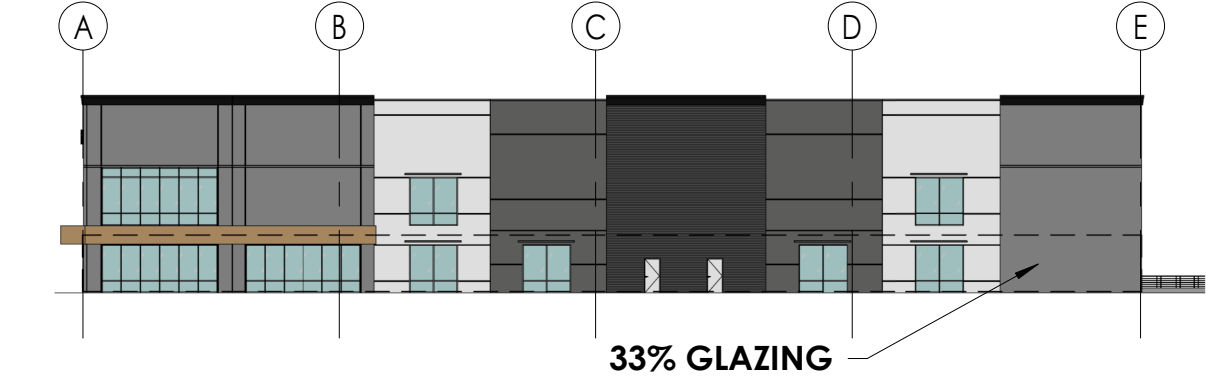
<div></div>	CONCRETE TILT PANEL PAINTED - PASSIVE - SW 7064	= 31% TOTAL AREA
<div></div>	CONCRETE TILT PANEL PAINTED - CITYSCAPE - SW 7067	= 27% TOTAL AREA
<div></div>	CONCRETE TILT PANEL PAINTED - GRIZZLE GRAY - SW 7068	= 13% TOTAL AREA
<div></div>	CONCRETE TILT PANEL PAINTED - PEPPERCORN - SW 7674	= 6% TOTAL AREA
<div></div>	LIGHT CHERRY - FASTPLANK ALUMINUM PLANK SIDING	= 2% TOTAL AREA
<div></div>	GLAZING	= 6,931 SF



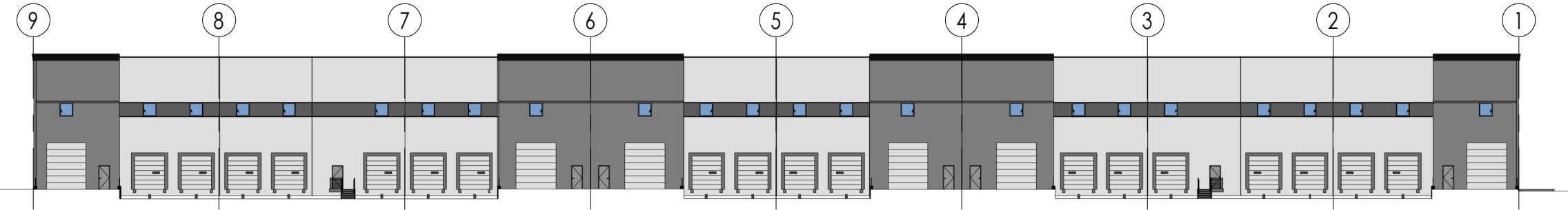
04
PR201
SOUTH ELEVATION
1" = 40'-0"



02
PR201
WEST ELEVATION
1" = 40'-0"



03
PR201
EAST ELEVATION
1" = 40'-0"



01
PR201
NORTH ELEVATION
1" = 40'-0"