



**Project #22-040  
Homestead Commercial Building Revision  
Located at approximately 650 West 400 North**

**REPORT SUMMARY...**

*Project Name:* Homestead Commercial Building Revisions  
*Proponent / Owner:* Klair Fullmer / 200 North Land Holdings LLC  
*Project Address:* 650 West 400 North  
*Request:* Design Review  
*Current Zoning:* Mixed Use (MU)  
*Type of Action:* Quasi-Judicial  
*Hearing Date:* July 28, 2022  
*Submitted By:* Russ Holley, Senior Planner

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #22-040, Homestead Commercial Building Revisions, in the Mixed Use (MU) zone located at approximately 650 West 400 North., TIN #05-127-0003

*Current Land use adjoining the subject property*

<i>North:</i>	COM: Mobile Home Park	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	CS: Commercial Uses	<i>West:</i>	CS: Commercial Uses

***History & Project Proposal***

This property was rezoned from Commercial to Mixed Use in 2020 and a Design Review Permit was issued for 479 dwelling units and 7,900 SF of commercial space in April of 2020. The 400 North Street extension was dedicated with that project all the north side of this project. The overall Homestead project included four phases over the nearly 24-acre project site. In July of 2021, approvals were granted that changed the building layouts and configurations within the north phases of the project. The Homestead project is currently under construction and is approximately 70% completed.

This proposal includes changing the originally approved commercial building from two stories in height to one story and making adjustment to the building footprint and parking lot layout. The new 7,800 SF commercial building is still situated at the northeast corner of the overall site directly adjacent to the new 400 North Street extension. The building is designed in a way that could accommodate a single or multiple commercial tenants. At approximately 1,100 SF for each partition, up to a maximum of seven commercial tenants could occupy this building.

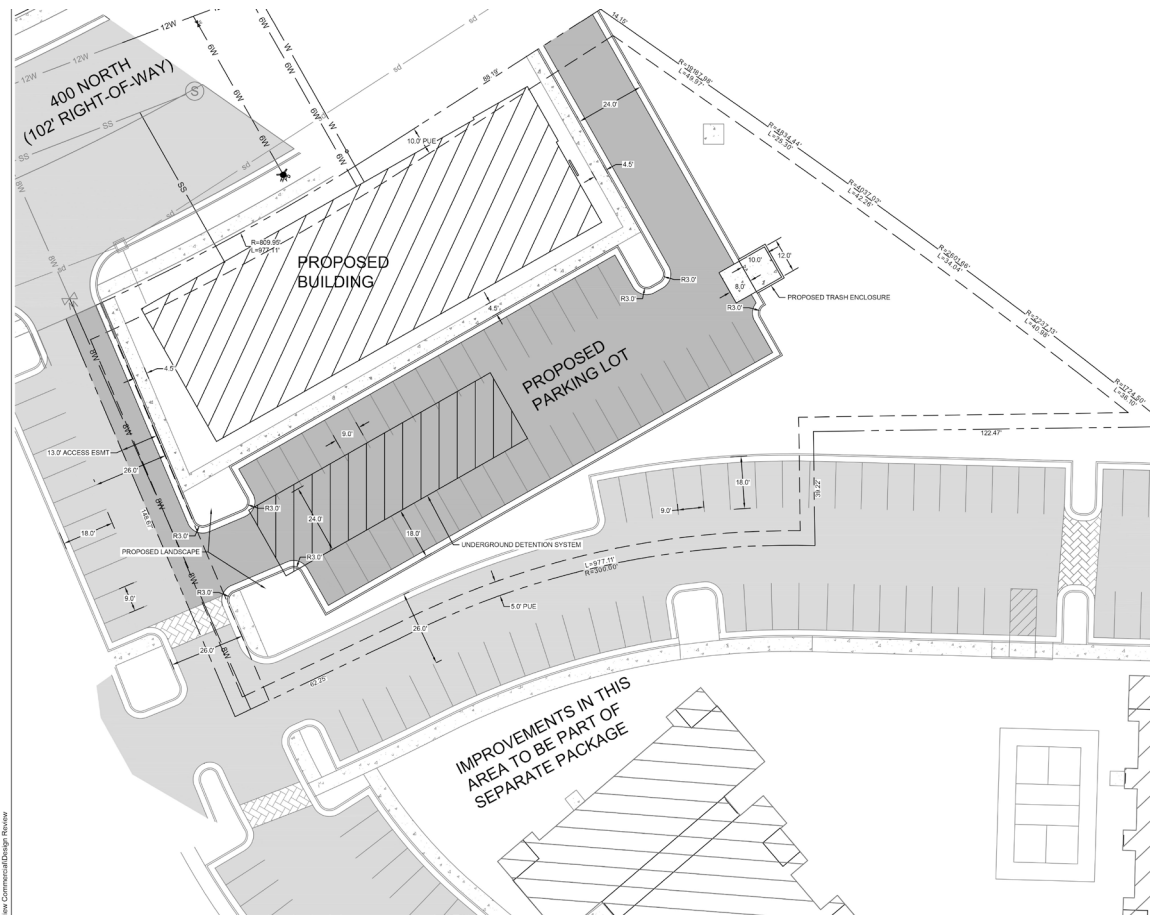


Figure 1 shows the site plan

**Setbacks**

The Land Development Code (LDC) requirements for setbacks in the **MU** zone are as follows (as measured from property lines):

- Front (min-max): 0-10'
- Side: 8'
- Rear: 10'
- Parking (front): 10'
- Parking (side/rear): 5'

The proposed building and parking area are shown at the following:

- Front (north): ~7'
- Side (east/west): 8+'
- Rear (south): 85'
- Parking (front): 70'
- Parking (side/rear): 5'

The proposed project meets all setbacks as proposed.

**Lot Coverage**

The LDC 17.10.100 establishes a maximum lot coverage of 60% (building(s) footprint) to total site in the MU zone. The proposed 7,800 SF building sits on a 1.02-acre site, equaling an 18% lot coverage. As proposed, the project complies with the maximum lot coverage in the LDC.

**Site Layout & Pedestrian Circulation**

The LDC 17.30 require projects to provide pedestrian circulation and street connectivity. The proposed site layout and pedestrian circulation shows a new sidewalk connection from 400 North to the building entrances. The plan shows a small missing gap between the sidewalks

connecting the other Homestead residential areas and this building near the west side of the site. As conditioned with this missing sidewalk gap being installed, the project complies with the pedestrian circulation requirements in the LDC.



Figure 2 shows the proposed front and rear facades (North and South)

### **Parking Requirements**

The LDC requires a range of parking based on individual commercial land uses. Common commercial parking requirements are 1.0 parking stalls per every 300 SF of office space and 1.0 parking stalls per every 250 SF of retail/commercial services space. The LDC 17.31.040 requires bike racks for commercial land uses.

The proposed project shows 37 parking stalls in the rear parking lot south of the building. At this ratio of approximately 1 parking stall per every 210 SF, the proposed parking will likely comply with LDC parking requirements for a wide variety of business types. As each new business applies for a business license, City Staff will review the application for parking compliance prior to approvals. As conditioned with parking compliance at the time of business licensing and the installation of a bike rack, the project meets the minimum requirements of the LDC.

### **Building Orientation & Elevations**

The LDC 17.12 indicates that buildings in the MU zone shall have four-sided architecture and a mix of materials. Acceptable building materials are masonry, stucco, fiber-cement board, wood and metal. Material mixes shall wrap all four sides of buildings and blank walls exceeding 40 linear feet are prohibited. Vertical dimensions of blank wall shall not exceed 12 feet and roof forms should be varied for visual interest. Buildings should be oriented to the street with primary entrances. Alternatively, in cases where the primary entrance is not facing the street, the street facing façade shall closely mimic that of the primary entrance façade. Surface parking lots are prohibited between the street and the building (front yard areas) and required to be at the side or rear of the building. Commercial/Mixed Use buildings are required to have 50% transparency (fenestration) along ground-floor street frontages. As proposed the building design shows four-sided architecture, a mix of materials and minimal blank wall areas. Excluding the parapet, the street facing façade is shown at 50% transparency. As submitted, building designs meet the LDC requirements.

### **Open Space & Landscaping**

The LDC 17.07.090 requires 10% open space and an additional 10% useable outdoor space in the MU zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 1.02-acre (44,431 SF) project site requires 4,443 SF of open space and 4,443 SF of outdoor space totaling 8,886 SF of open and outdoor space.

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for commercial projects. At 1.02-acres, 20 trees and 50 shrubs, perennials and ornamental grasses are required as per the LDC. As conditioned with minimum open space and landscaping numbers, the project complies with the LDC.

**Lighting**

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

**AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Light and Power

**PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

**PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 7/16/22, posted on the City’s website and the Utah Public Meeting website on 7/18/22, and mailed to property owners within 300 feet on 7/11/22.

**RECOMMENDED CONDITIONS OF APPROVAL**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes a 7,800 SF of commercial building at the northeast corner of the Homestead project.
3. The commercial building shall provide 37 parking stalls and each subsequent business license application shall be reviewed and approved for parking compliance based on business type.
4. The site shall have a bike rack installed prior to occupancy.
5. The missing sidewalk gap connecting the residential areas to the south to the commercial building shall be filled so that a complete pedestrian sidewalk network connects throughout the site and to 400 North.
6. The building design and materials are approved as submitted.
7. Surface parking lots cannot contain more than 20 stalls in a row without a landscape or sidewalk break as per LDC 17.31.140 Change to reference 17.32.070 instead of 17.31.
8. Parking lot and sidewalk intersections shall have painted pedestrian crosswalks installed.
9. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Open Space and Useable Outdoor areas shall total a minimum of 8,886 SF.
  - b) 20 trees and 50 shrubs/perennials/grasses shall be provided for this project.



- c) 18 SF of interior parking lot landscaping shall be provided per parking stall contained within the surface parking area as per LDC.
  - d) Street trees shall be provided where they currently do not exist at every 30 feet on center. The City Forrester will determine tree species.
10. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
  11. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
  12. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
  13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
  14. Fencing shall be provided along the west side at six feet for safety and buffering purposes. Along the east side a decorative fence with enhance landscaping shall be installed along the railroad border.
  15. Surface storm-water retention and detention facilities shall be located at least 20 feet away from public streets and buffered from view.
  16. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
    - a. *Environmental* —contact 716-9761
      - Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
      - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
      - Place bollards in the back of enclosure to protect walls.
      - Gates are not required, however if desired, they must be designed to stay open during the collection process.
      - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
    - b. *Engineering* —contact 716-9160
      - All access from the Homestead development onto 400 North shall align with the access from the approved accesses from the lot on north side of 400 North. East proposed access to 400 North is not allowed.
      - Provide water shares or In-Lieu fee for increased demand to City water system to comply with State sourcing requirements per State Administrative Code R 309-510-7.
      - Provide storm water detention or retention ponds per Logan City Storm Water Design Standards. This includes the onsite retention of the 90% storm event utilizing Low Impact Design Methods. Provide a Storm Water Pollution Prevention Plan and NOI per Utah State requirements for City review and approval. Also, provide a Storm Water Maintenance Agreement for the development.
      - Provide a geotechnical report that addresses at a minimum the following for road and storm water design: 1) California Bearing Ratio at the proposed pavement section subgrade location, 2) the percolation rate per City Storm Water Design Standards, 3) the elevation of the historical high ground water.
      - The minimum pavement section required for all City right of way through the development shall be that for a Minor Arterial Road as shown in the Logan City Design Standards.
      - Construct all infrastructure and road/right of way improvements on 400 North.
      - Provide a Private Water Utility Agreement for all private water lines.
      - Plans call for an access to 400 North where the future road is to be constructed by the City. Provide road/right of way/utility improvements to centerline of 400 North across property frontage.

- Relocated proposed fire hydrant to the end of the proposed new 12" water line in 400 North to allow for maintenance of the 12" line until line is extended and connected to 600 West.

*c. Water—contact 716-9627*

- Each unit's water main needs to have its own RP (ASSE1013) installed and tested on the water main as it enters each unit/ building before any branch offs or possible connections inside or outside of building. So, each unit is independently controlled and protected. Properly sized drain required to serve dump port of these backflow assemblies. Refer to Utah State Amendment # 608.1.1,608.1.2,608.1.2.1 for installation criteria.
- All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter.
- Fire suppression systems that connect to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
- Project shall comply with all current Utah State plumbing codes, amendments and Utah Admin. code R 309-105-12-1 rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention, during and after construction.

*d. Light and Power—contact 716-9722*

- Logan City Light and Power; Requires 1-Line Diagram, A Logan City Load Data Sheet, A Digital Site Plan In Auto CAD (DWG) Format and PUE's Public Utility Easement 10' Easement On All Property Lines That Face A Road Way, And A 5' Easement On All Other Property Lines.

**RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The conditioned project will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The conditioned project provides required off-street parking.
4. The project meets the goals and objectives of the MU designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
5. The conditioned project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 200 North and 400 North are adequate in size and design to sufficiently handle infrastructure related to the land use.

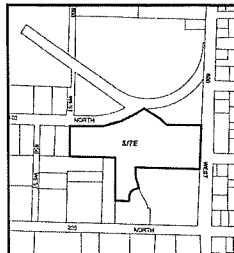
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



# APPLICATION FOR PROJECT REVIEW

For Staff Only		<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board	<input type="checkbox"/> Administrative Review
Date Received	Planner	Zone/Neighborhood	Scheduled Meeting Date	Application Number	
6/20/22		MU/ELHS	July 28	PC 22-040	
Type of Application (Check all that apply):					
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Administrative Design Review	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal	<input type="checkbox"/> Zone Change	<input type="checkbox"/> Other	
PROJECT NAME Homestead Commercial Building					
PROJECT ADDRESS Aprox 650 W. 400 N.				COUNTY-PLAT TAX ID # 05-127-0003	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Klair Fullmer - kfullmer@netwasatch.com				PHONE # 435-755-2038	
MAILING ADDRESS 595 S. Riverwoods Prkwy Ste. 150		CITY Logan	STATE UT	ZIP 84321	
EMAIL ADDRESS batkinson@netwasatch.com					
PROPERTY OWNER OF RECORD 200 North Land Holdings LLC				PHONE # 435-232-1552	
MAILING ADDRESS 595 S. Riverwoods Prkwy Ste. 400		CITY Logan	STATE UT	ZIP 84321	
EMAIL ADDRESS batkinson@netwasatch.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Approximately 7,800 square feet of commercial building				Total Lot Size (acres) 1.02 acres	
				Size of Proposed New Building (square feet) Approx. 7,800 gross sf	
				Number of Proposed New Units/Lots 1	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner		
			DocuSigned by: <i>Dell Loy Hansen</i> DB21EF75BD684DF...		

**APPLICATION MUST BE ACCURATE AND COMPLETE  
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL**



### LOGAN HOMESTEAD SUBDIVISION

LOCATED IN A PORTION OF BLOCK 36, PLAT 1, LOGAN FARM SURVEY THE NE 1/4 OF SECTION 22 & NORTH OF SECTION 21, T10N, R16E, S68M LOGAN UTAH

**NOTES:**  
1. #1 REBAR A CAP TO BE SET AT ALL LOT CORNERS.  
2. ALL EXPENSE INVOLVING THE NECESSARY IMPROVEMENTS OR EXTENSIONS FOR A CULINARY WATER SYSTEM, SANITARY SEWER SYSTEM, GAS SERVICE, ELECTRICAL SERVICE, TELEPHONE SERVICE, CABLE TELEVISION SERVICE, GRADING AND LANDSCAPING, STORM DRAINAGE SYSTEMS, CURBS AND GUTTERS, FIRE HYDRANTS, PAVEMENT, SIDEWALKS, STREET LIGHTING AND OTHER IMPROVEMENTS SHALL BE PAID FOR BY THE DEVELOPER.  
3. WETLAND AREA AGRICULTURAL RESOURCE PROTECTION SHOWN HEREON WAS PERFORMED BY CRAWFORD RICE, ENVIRONMENTAL PROFESSIONAL OF CIVIL SOLUTIONS GROUP. APPROVAL OF DELINEATION AND NATURAL RESOURCE #11 APPROVED BY U.S. ARMY CORP OF ENGINEERS ON FEBRUARY 2, 2021 (SPC-2021-02056)

**LEGEND**  
WETLAND AREA

**ADDRESS TABLE**

LOT 1	718 W 400 N
LOT 2	732 W 400 N
LOT 3	650 W 400 N

**CURVE TABLE**

CHAVE	RADIUS	DELTA	ARC LENGTH	CHORD
C1	11171.81	0°54'37"	43.17	534°57'04" E 43.17
C2	4236.44	0°11'00"	25.30	354°27'36" E 25.30
C3	4037.20	0°35'34"	42.28	354°10'27" E 42.28
C4	2921.64	0°44'07"	34.54	353°39'07" E 34.54
C5	2337.13	1°02'51"	40.83	353°09'06" E 40.83
C6	1724.50	1°14'58"	38.11	351°34'04" E 38.11
C7	1583.63	0°32'24"	24.22	352°31'06" E 24.22
C8	3000.00	2°02'47"	146.60	N77°21'04" E 146.60
C9	813.00	1°45'04"	124.44	S01°40'59" W 124.44
C10	813.00	1°45'04"	245.54	S71°22'21" W 245.54
C11	813.00	1°14'43"	159.42	N54°17'19" E 159.42

**LINE TABLE**

LINE #	BEARING	DISTANCE
L1	S71°22'21" W	100.33
L2	S11°30'19" W	101.15
L3	N77°33'59" W	20.60
L4	N10°50'10" E	118.94
L5	N74°32'31" E	85.69
L6	N47°44'31" W	13.95
L7	N39°51'31" W	60.10
L8	S11°30'21" W	11.33
L9	S41°31'31" E	23.03
L10	N47°44'31" W	26.77
L11	S41°31'31" E	745.74
L12	N45°58'43" W	33.81
L13	N41°17'14" W	69.33
L14	S18°49'49" E	21.87

**PLANNING COMMISSION APPROVAL**  
THIS SUBDIVISION EXTENDED INTO CITY RECORDS AS PLANNING COMMISSION DOCKET # 21-015. BEFORE THE COMMISSION IN A PUBLIC HEARING ON 5/11/22 DAY OF MAY. A PUBLIC HEARING WAS HELD AND THE COMMISSION APPROVED THE SUBDIVISION WITH THE REQUIREMENTS AND RECOMMENDATIONS THEREON.  
DATE: 5/11/22  
COMMUNITY DEVELOPMENT DIRECTOR

**LOGAN CITY ENGINEER'S APPROVAL**  
I CERTIFY THAT I HAVE EXAMINED THIS PLAN AND FIND IT TO BE CORRECT AND IN ACCORDANCE WITH THE INFORMATION CONTAINED THEREON.  
DATE: 5/12/22  
CITY ENGINEER: William Young

**IRRIGATION COMPANY APPROVAL**  
PRESENTED TO RICHARD A. BARNARD FOR APPROVAL AND ACCEPTED. DATE: 5/12/22  
RICHARD A. BARNARD  
IRRIGATION COMPANY REPRESENTATIVE

**LOGAN CITY UTILITIES**  
WATER: [Signature]  
WASTEWATER COLLECTION: [Signature]  
WASTEWATER TREATMENT: [Signature]  
SOLID WASTE: [Signature]  
LIGHT & POWER: [Signature]

**MAYOR APPROVAL**  
PRESENTED TO THE LOGAN CITY MAYOR THIS 12th DAY OF May 2022, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.  
DATE: 5-12-22  
MAYOR: [Signature]

**civilsolutionsgroup inc.**  
CACHA VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3102  
UTAH VALLEY | P: 801.874.1432  
Info@civilsolutionsgroup.net

**UTILITY COMPANIES**  
THE UTILITY EASEMENTS SHOWN ON THIS PLAN HAVE BEEN REVIEWED AND ARE APPROVED.  
DOMINION ENERGY - DATE: 5/12/22  
CENTURYLINK COMMUNICATIONS - DATE: 5/12/22  
DOMINION ENERGY APPROVES THIS PLAN SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAN CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE AFFIRMATION OR WAIVER OF ANY EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR CONTRACT. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THIS PLAN, INCLUDING THOSE SET IN THE OWNERS DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-866-366-4552.

**LOGAN CITY UTILITIES**  
WATER: [Signature] DATE: 5-12-22  
WASTEWATER COLLECTION: [Signature] DATE: 5-12-22  
WASTEWATER TREATMENT: [Signature] DATE: 5/12/22  
SOLID WASTE: [Signature] DATE: 5/12/22  
LIGHT & POWER: [Signature] DATE: 5/12/22

**MAYOR APPROVAL**  
PRESENTED TO THE LOGAN CITY MAYOR THIS 12th DAY OF May 2022, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.  
DATE: 5-12-22  
MAYOR: [Signature]

**LOGAN CITY RECORDER**  
RECORDED IN 1320718  
DATE: 5/24/22 TIME: 8:59:44 AM BOOK: 2022 PAGE 3618  
FEE: 56.50

**SURVEYOR'S CERTIFICATE**  
I, DENNIS P. CARLISLE, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 172475 IN ACCORDANCE WITH TITLE 18, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE COMMISSION THAT I HAVE CONDUCTED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAN IN ACCORDANCE WITH SECTION 17-23-17 OF SAID CODE, AND HAVE ALSO ESTABLISHED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS, AND THE SAME HAS, OR WILL BE, CORRECTLY SURVEYED, STAKED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAN, AND THAT THIS PLAN IS TRUE AND CORRECT.  
Dennis P. Carlisle  
DENNIS P. CARLISLE  
PROFESSIONAL LAND SURVEYOR  
CERTIFICATE NO. 172475  
MAY 6 2022 DATE

**BOUNDARY DESCRIPTION**  
All of that Real Property described as Parcel 3 in Deed Book 2155 Page 1745 of the Official Records of Cache County located in Block 36, Logan Farm Survey, more particularly described as follows:  
Beginning at a point located N31°31'04" W 41.80 feet along the line between Logan City GIS Monument No. 278, No. 391 and No. 3648 East and N10°12'46" E 51.11 feet from Logan City GIS Monument No. 278, thence N19°24'41" W 53.91 feet, thence S07°37'21" W 17.60 feet, thence along the arc of a 211.30 foot radius curve to the left 72.36 feet through a central angle of 17°27'24" (chord S41°21'17" E 72.36 feet, chord S17°00'48" E 96.66 feet, thence S70°39'59" W 43.03 feet, thence along the arc of an 113.50 foot radius curve to the left 104.84 feet through a central angle of 71°04'44" (chord S37°59'17" W 104.84 feet, chord S10°17'17" W 43.02 feet, thence along the arc of a 590.00 foot radius curve to the left 54.64 feet through a central angle of 0°00'00" (chord S49°31'31" W 7.03 feet, thence N10°24'41" W 147.78 feet, thence N19°24'41" W 176.00 feet, thence N19°24'41" W 176.00 feet, thence N19°24'41" W 176.00 feet, thence along the arc of a 400 North Street as dedicated and described on as part of WICKIY LOGAN DEDICATION Subdivision, according to the Official Plat thereof on file in the Office of the Cache County Recorder, thence along said subdivision line and extension thereof, thence S10°17'17" W 43.02 feet and thence S55°07'12" E 193.30 feet, thence along the arc of an 113.00 foot radius curve to the left 84.84 feet through a central angle of 34°22'57" (chord S10°35'37" E 84.84 feet, chord S27°24'24" E 84.84 feet, thence S54°55'52" E 116.16 feet, thence S19°24'41" W 176.00 feet, thence along the arc of a 191.18 feet radius curve to the right 49.97 feet through a central angle of 0°48'37" (chord S45°07'06" E 49.97 feet, thence along the arc of a 434.44 foot radius curve to the right 23.30 feet through a central angle of 0°18'00" (chord S54°45'36" E 23.30 feet, thence along the arc of a 449.00 foot radius curve to the right 42.26 feet through a central angle of 0°13'39" (chord S54°37'43" E 42.26 feet, thence along the arc of a 60.00 foot radius curve to the right 34.54 feet through a central angle of 0°44'57" (chord S33°30'07" E 34.54 feet, thence along the arc of a 220.13 foot radius curve to the right 40.84 feet through a central angle of 1°02'51" (chord S32°07'06" E 40.84 feet, thence along the arc of a 1274.00 foot radius curve to the right 14.11 feet through a central angle of 1°14'58" (chord S31°34'04" E 14.11 feet, thence along the arc of a 1354.00 foot radius curve to the right 142.22 feet through a central angle of 0°17'30" (chord S32°31'31" E 24.22 feet, thence S18°49'49" E 33.13 feet, thence S21°36'14" E 31.23 feet to the point of beginning.  
Director: 11631-0008

**OWNER'S DEDICATION**  
KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE DIVIDED INTO LOTS TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREINAFTER SHOWN AS:  
**LOGAN HOMESTEAD SUBDIVISION**  
AND DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ANY EASEMENTS SHOWN ON THIS PLAN AS RESERVED FOR PUBLIC USE. THE UNDERSIGNED DO HEREBY OFFER AND CONSENT TO ALL PUBLIC UTILITY AGENCIES AND THEIR SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT AND RIGHT-OF-WAY AS SHOWN BY THE AREAS HARBOR COMMON AREA, HEREON, FOR THE CONSTRUCTION AND MAINTENANCE OF SUBSTANTIAL ELECTRICAL, TELEPHONE, NATURAL GAS, SEWER, AND WATER LINES AND OTHER GENERAL UTILITIES, APPURTENANCES, TOGETHER WITH THE RIGHT OF ACCESS THEREON.  
Dennis P. Carlisle (SIGNATURE)  
BY: Darryl Harner (PRINTED NAME) BY: Kipha S. Slayton (PRINTED NAME)  
ITS: Manager ITS: Manager

**LIMITED LIABILITY ACKNOWLEDGMENT**  
ON THIS 12th DAY OF May 2022, PERSONALLY APPEARED BEFORE ME RICHARD A. BARNARD, NOTARY PUBLIC IN GOOD AND SOLEMN FAITH, WHO, AFTER BEING DULY SWORN, DID ACKNOWLEDGE TO ME THAT HE/SHE IS THE MANAGER OF 200 NORTH LAND HOLDINGS LLC, A LIMITED LIABILITY COMPANY, AND THAT HE/SHE HAS READ AND UNDERSTANDS THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.  
MY COMMISSION EXPIRES: 11/28/22  
NOTARY PUBLIC (SIGNATURE) RICHARD A. BARNARD  
RESIDING IN: CACHE COUNTY

**LIMITED LIABILITY ACKNOWLEDGMENT**  
ON THIS 12th DAY OF May 2022, PERSONALLY APPEARED BEFORE ME RICHARD A. BARNARD, NOTARY PUBLIC IN GOOD AND SOLEMN FAITH, WHO, AFTER BEING DULY SWORN, DID ACKNOWLEDGE TO ME THAT HE/SHE IS THE MANAGER OF WASATCH AFFORDABLE HOUSING LLC, A LIMITED LIABILITY COMPANY, AND THAT HE/SHE HAS READ AND UNDERSTANDS THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREIN MENTIONED.  
MY COMMISSION EXPIRES: 11/28/22  
NOTARY PUBLIC (SIGNATURE) RICHARD A. BARNARD  
RESIDING IN: CACHE COUNTY

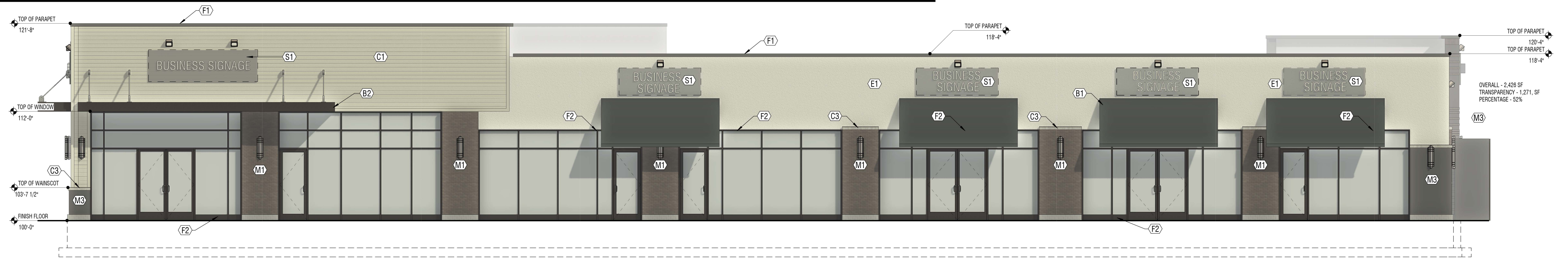
**LOGAN HOMESTEAD SUBDIVISION**  
LOCATED IN A PORTION OF BLOCK 36, PLAT 1, LOGAN FARM SURVEY THE NE 1/4 OF SECTION 22 & NORTH OF SECTION 21, T10N, R16E, S68M LOGAN UTAH  
RECORDED IN 1320718  
DATE: 5/24/22 TIME: 8:59:44 AM BOOK: 2022 PAGE 3618  
FEE: 56.50





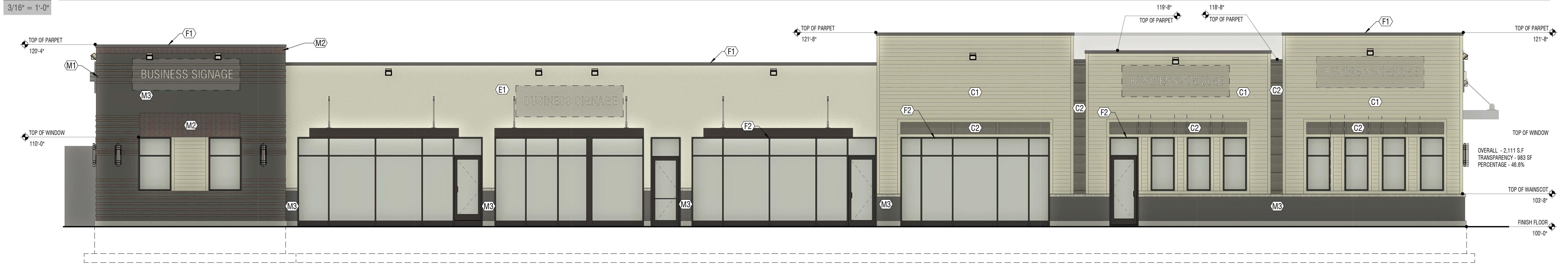


# WASATCH - HOMESTEAD CORE & SHELL BUILDING



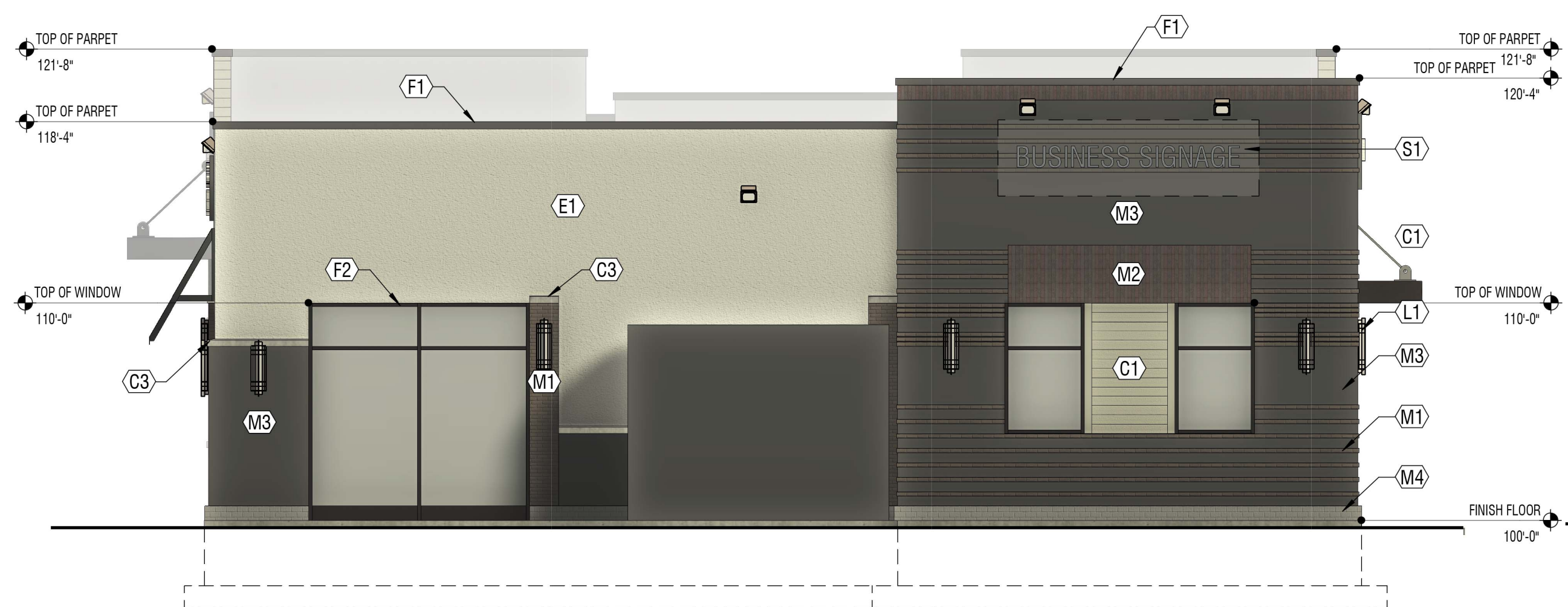
**D1** SOUTH ELEVATION

3/16" = 1'-0"



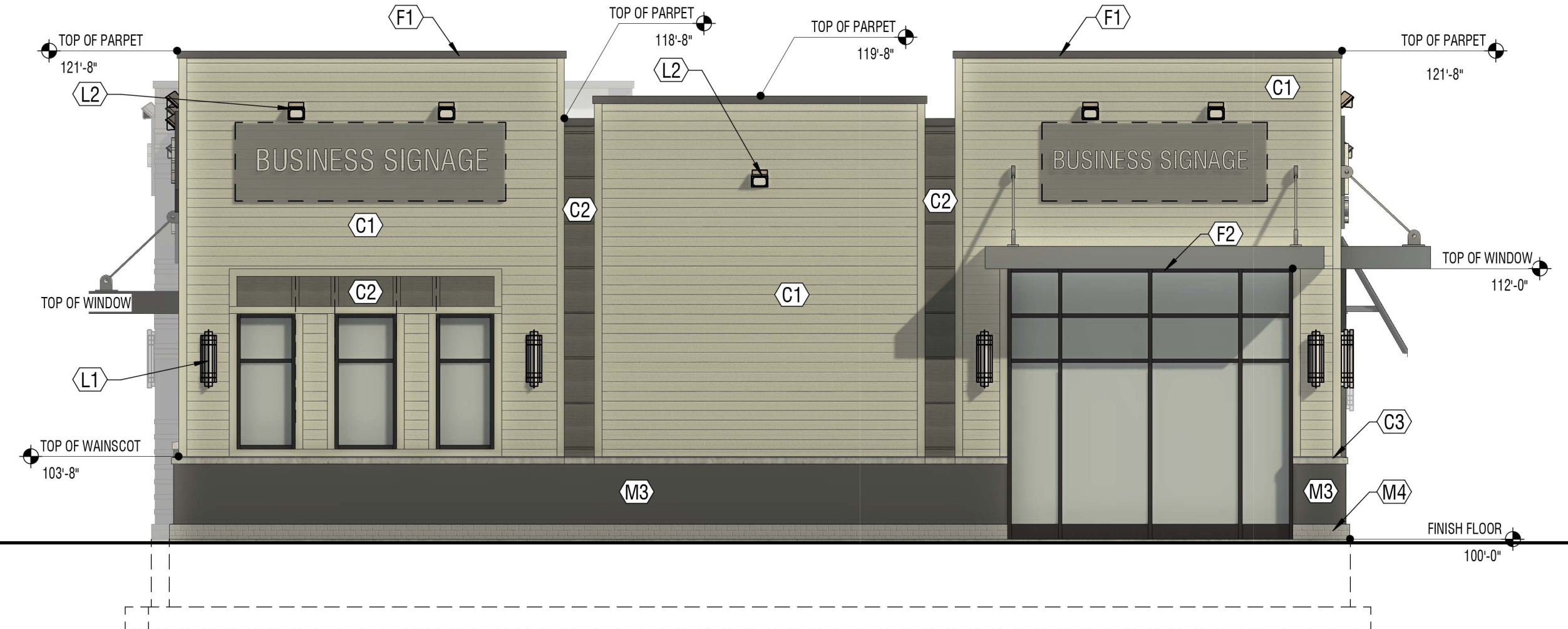
**C1** NORTH ELEVATION

3/16" = 1'-0"



**A1** EAST ELEVATION

3/16" = 1'-0"



**A3** WEST ELEVATION

3/16" = 1'-0"

## EXTERIOR FINISHES

Number	Description
S1	FABRIC CANOPY, DARK BRONZE
B2	PAINTED STEEL CANOPY, DARK BRONZE
C1	6" HORIZONTAL CEMENTITIOUS LAP SIDING, COLOR: COBBLESTONE
C2	BOARD & BATTEN CEMENTITIOUS PANEL, COLOR: PEWTER
C3	PRECAST CONCRETE SILL
E1	EIFS SYSTEM, COLOR: BENJAMIN MOORE-CC-40 CLOUD WHITE
F1	PRE-FINISHED METAL COPING & FLASHING SYSTEM
F2	DARK BROWN ANODIZED ALUMINUM STOREFRONT SYSTEM
L1	DARK BRONZE EXTERIOR WALL SCONCE
L2	DARK BRONZE EXTERIOR WALL PACK
M1	FACE BRICK RUNNING BOND, COLOR: IRONSTONE
M2	FACE BRICK SOLDIER COURSE, COLOR: IRONSTONE CLEAR TEXTURE
M3	FACE BRICK RUNNING BOND, COLOR: BLACK OPAL CLEAR TEXTURE
M4	CONCRETE MASONRY VENEER, 4", RUNNING BOND, COLOR: NATURAL GRAY
S1	POTENTIAL BUILDING SIGNAGE AND LIGHTING





Ent 1299647 Bk 2287 Pg 377  
Date: 23-Sep-2021 11:24 AM Fee \$0.00  
Cache County, UT  
Devron Andersen, Rec. - Filed By SE  
For LOGAN CITY

290 North 100 West, Logan, Utah 84321  
(435) 716-9021

# DESIGN REVIEW & SUBDIVISION PERMIT

At the July 8, 2021 meeting the Logan City Planning Commission conditionally approved **PC 21-035 Homestead Changes** for a 4-lot subdivision and changes in the previously approved phase 3 & 4 of the mixed-use Homestead project located at 695 West 200 North in the Mixed Use (MU) zone; TIN 05-062-0031. (Ellis Neighborhood)

These conditions are binding on the property owner and any subsequent purchaser of the property. If the property is rented or leased to another party, the recorded owner is still responsible for compliance with the conditions.

## **CONDITIONS OF APPROVAL**

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes 250 residential dwelling units and 7,500 SF of commercial space in nine buildings within the phasing plan of phases 3, 4, 5, & 6.
3. This permit authorizes a subdivision of four new lots. Each lot shall comply with setbacks and contain the minimum amount of open space and parking stalls to support the buildings, density and land uses within for each lot created or adjusted.
4. Each phase and building shall provide 1.5 parking stalls per studio/one-bedroom units and 2.0 parking stalls per every two-bedroom or larger unit. Bike racks shall be provided for multi-family residential buildings at one slot per every two bedrooms.
5. The commercial building shall provide 28 parking stalls unless the approved land uses is something other than retail and office.
6. The Planning Commission, for the 55 plex along 200 North, allows 58% frontage and a maximum front setback of 11 feet.
7. All buildings in phases 4, 5, & 6 shall meet the minimum 60% building frontage and a maximum front yard setback of 10 feet.
8. The commercial building in phase 4 shall have a minimum 50% transparency and 12-foot-tall ground floor height.
9. Surface parking lots cannot contain more than 20 stalls in a row without a landscape or sidewalk break as per LDC 17.31.140 Change to reference 17.32.070 instead of 17.31.
10. Parking lot intersections shall have four-way pedestrian crosswalks with adequate parking stall setbacks for visibility safety.
11. Sidewalk connections shall be made from all areas of the project to 200 North and 400 North for neighborhood walkability.
12. The project construction sequence and phasing shall follow the approved plans with the commercial space being provided in phase four.



13. Open space shall be designed to take advantage of the native wetland areas as an overall project amenity. Stormwater basins in these areas should be designed to blend in seamlessly and become part of the amenity.
14. Open space shall be completed proportionately per each phase while the landscape design and the site's long-term maintenance shall have continuity throughout all phases with similar plant palates and amenities for overall project continuity.
15. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Open Space and Useable Outdoor areas shall total a minimum of 120,225 SF.
  - b) 276 trees and 690 shrubs/perennials/grasses shall be provided for this project.
  - c) 18 SF of interior parking lot landscaping shall be provided per parking stall contained within the surface parking area as per LDC.
  - d) The landscaping plan shall include long-term maintenance programs that brings continuity to all four phases
  - e) Street trees shall be provided where they currently do not exist at every 30 feet on center. The City Forrester will determine tree species.
16. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
17. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
18. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
19. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
20. Fencing shall be provided along the west side at six feet for safety and buffering purposes. Along the east side a decorative fence with enhance landscaping shall be installed along the railroad border.
21. Surface storm-water retention and detention facilities shall be located at least 20 feet away from public streets and buffered from view.
22. The City, UDOT and Railroad officials will work together for better intersection design and pedestrian connectivity across 600 West to core destinations in the Ellis Neighborhood.
23. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. Environmental —contact 716-9761**
    - Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
    - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
    - Place bollards in the back of enclosure to protect walls.
    - Gates are not required, however if desired, they must be designed to stay open during the collection process.
    - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
  - b. Engineering —contact 716-9160**
    - Provide water shares or in-leu fee for water shares
    - Provide storm water detention/retention of storm water per Logan City storm water design standards. This shall include the onsite retention of the 90% storm event utilizing Low Impact Design Methods. This includes all necessary permits from the State and City and a storm water maintenance agreement.
    - Provide a Army Corps approved Wetland Delineation and mitigation plan for all right of way to owned by Logan City prior to any road construction activities

- The west access to 400 North from the south is not acceptable as shown. This needs to align with 800 West from the north or be shifted approximately 200 feet further to the east.
- The accesses from the north and south developments to 400 North shall align with each other at 400 North.
- Provide private water utility agreement for all interior water main lines and sewer lines.
- Provide City with UDOT/CAMP approval for new access onto 200 North (SR-30)
- There are 3 underground water rights shown by the Utah Division of Water rights within the proposed construction of 800 West. Two of these rights are owned by Logan City and the other by the Church of Jesus Christ of Latter-day Saints. Coordinate with each of these entities to cap and divert these rights prior to road construction.
- Based on the recent transfer of property and property line modifications, there may need to be property line adjustments made prior to the issuance of building permits. Developer to address this issue.
- Provide a geotechnical report for soils in 400 North. This report shall at a minimum address historical high ground water depth and a CBR at subgrade elevation of proposed road pavement section and potential collapsible soils. The minimum pavement section for 400 North shall be 6" asphalt, 8" untreated base course, and 12' granular borrow. If subgrade CBR is 5 or less or if ground water will impact minimum pavement section, the geotechnical engineer shall provide an engineered pavement section that will support anticipated equivalent axle loads for design life of the pavement section. These same requirements apply to 800 West except the minimum pavement section shall be 5" asphalt, 4" untreated base course, and 12" granular borrow.
- Townhome driveway on 800 West nearest to the 400 N. intersection the City reserves the right to make a right in right out only.
- Maintain all existing irrigation and storm water drainage paths through new development.
- Provide public utility easements (5' each side of interior property lines and 10' on all frontages) for subdivision

**c. Water —contact 716-9627**

- All commercial buildings water mains need to have their own RP (ASSE1013) backflow assembly installed and tested on the water main as it enters the building before any branch offs or possible connections. Properly sized drain required. Residential water services or (mains) must be totally separated from any commercial water mains. If residential buildings are three levels above finish grade or higher, their water mains must have backflow assemblies on the water mains also. Separate residential and commercial water systems (services). Pool and spa will need to have a RP (ASSE 1013) on water makeup line if an air gap is not used.
- All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter.
- Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) backflow assembly installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
- All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction.
- Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

**FINDINGS FOR APPROVAL**

1. The conditioned project will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review and Subdivision Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The conditioned project provides required off-street parking.
4. The project meets the goals and objectives of the MU designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
5. The conditioned project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 200 North and 400 North are adequate in size and design to sufficiently handle infrastructure related to the land use.

The Planning Commission's decision came on a motion by Commissioner Lucero with a second by Commissioner Guth. The motion passed by a vote of 5-1.

This action will expire **one year** from the date of **July 8, 2021** if all conditions have not been met. An extension of time must be requested in writing and received by the Community Development Department prior to the expiration date.

**The City does not send *reminder* notices or other notification of the pending expiration date. The action to request an extension is the responsibility of the proponent.**

We have reviewed the decision of the Planning Commission and agree to the conditions and requirements. We understand this project expires one year from the date of the Commission's action unless the final plat has been recorded, or the Department of Community Development has issued a building permit. If an extension of time is required, we must submit our written request prior to the expiration date of the Planning Commission's action. The length of an extension of time is established in the Logan Land Development Code (LDC) Chapter 17.58.

**Accepted and agreed by:  
Homestead Changes**

Signed: \_\_\_\_\_

Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Date: \_\_\_\_\_



KORY SMITH

595 S. RIVERWOODS PKWY #400

LOGAN, VT 84321

7/19/21