

**Project #21-067
Legacy Landscape Shop
Located at 1221 W 2200 S**

REPORT SUMMARY...

Project Name: Legacy Landscape Shop
Proponent/Owner: Jared Hymas / MTSE Holdings
Project Address: 1221 W 2200 S
Request: Design Review Permit
Current Zoning: Commercial (COM)
Date of Hearing: December 9, 2021
Type of Action: Quasi-Judicial
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-067 Landscape Legacy Shop, located at 1221 West 2200 South, TIN# 03-005-0019.

Land use adjoining the subject property

<i>North:</i>	COM: Residential Uses	<i>East:</i>	COM: Residential Uses
<i>South:</i>	RC: Vacant	<i>West:</i>	COM: Residential Uses

Project Request

The proponent is requesting a Design Review Permit to construct a new 4,200 SF office/shop building on .50-acres along 2200 South. The building is oriented with the main entrance to the street, an entrance and bay doors on the back side of the building, and surface parking with a staging area on the north end of the parcel.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits offices and a wide range of sales and service in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses.

Design Review Permit

The LDC 17.43 requires Design Review Permit approvals for new commercial developments to ensure code compliant design, project layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.



Figure 1 shows the project location

Lot Coverage & Building Height and Frontage

The LDC limits lot coverage to 60% (building footprint), building heights to 40' and building frontage (a ratio of building mass to property width) over 50% in the COM zone. The project site is approximately .50 acres (21,780 SF) in size. The building is 4,200 SF creating a 19% lot coverage. The proposed building is approximately 35' tall. At 70' of building width and parcel width of 100', the building frontage totals 70%. As proposed, each of these comply with LDC requirements.

Setbacks

The LDC requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	10'
Side:	8'
Rear:	10'
Parking (side & rear)	5'

The following setbacks are proposed for the building (as measured from the property lines):

Front: (South)	25.5"
Side: (West)	28'
Side: (East)	8'
Rear: (West)	>100'
Parking (Rear)	60'
Parking (Side)	8'

As proposed, the project meets minimum setback requirements of the LDC.

Pedestrian Circulation

The LDC 17.30.160 requires pedestrian circulation within a project and connecting to adjacent public streets for better walkability. Pedestrian circulation should provide a safe, convenient and well-connected sidewalk network. The proposed project shows a sidewalk to the primary entrance in front of the building and along 2200 South. Because the rear of the property is used for parking and temporary staging and assembly of project materials, and used only by employees without public use, it is reasonable that sidewalks be limited to the building frontage. As proposed, the project meets the pedestrian circulation requirements in the LDC.

Parking Stall Requirements

The LDC requires one (1) parking stall per 2,000 SF of warehouse/shop space and one (1) parking stall per 300 SF of office space. Within the 4,200 SF building, 3,700 SF is proposed for warehouse space requiring 2 parking stalls and approximately 500 SF is proposed for office space requiring 2 stalls. Combined, four (4) stalls are required and four (4) stalls are proposed. As proposed, the project meets the minimum requirements in the LDC.

Open Space & Landscaping

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site in the COM zone. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The .50-acre (21,780 SF) site would require 2,170 SF of open space and 2,170 SF of usable outdoor space for a total of 4,356 SF of open area. The proposal shows conceptual landscaping and outdoor spaces above 20% at 4,893 SF. As conditioned with minimum open space requirements, the project complies with the LDC.

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes, and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers, and ornamental

grasses per acre of land in the COM zone. For .50 acres, 10 trees and 25 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows conceptual landscaping but as conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Outdoor Storage

Because the proposed use involves a contractor type of business, no outdoor storage is permitted in the COM zone, and no parking is allowed in undeveloped open areas (labeled as “gravel staging area” on plans). As conditioned, outdoor storage is not permitted in this area.

Building Design

The LDC 17.10.080 and 17.12.020 states that commercial buildings should be designed to promote high-quality developments with 30% transparency along street facing facades, wall articulations every 40 linear feet and inviting four-sided architectural design. Along the street facing façade, the proposed office/shop building shows window transparency of 32%, a covered entryway, and a variety of materials forming different textures and colors, all complying with code.

The building design and material distribution around the building lacks 4-sided architectural design. A maximum of 40 linear feet of blank, flat wall is permitted without architectural variation, but the proposal shows approximately 50’ of blank walls on each side elevation. As conditioned, the design standard for this proposal meets the requirements of the LDC.



Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

● Fire	● Water
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 11/27/21, posted on the City's website and the Utah Public Meeting website on 11/29/21, and mailed to property owners within 300 feet on 11/22/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. No outdoor storage shall be permitted on site.
3. No parking shall be permitted in the undeveloped gravel staging area.
4. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 20% of the project site (4,356 SF).
 - c) A total number 10 trees per acre and 25 shrubs/perennials per acre of the final project site shall be provided.
5. The east and west side façades shall have architectural breaks every 40'.
6. All dumpsters shall be visually screened or buffered from public streets by using fencing or walls and landscaping.
7. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screened with dense vegetation from adjacent public street views.
8. Rooftop mechanical and building wall mechanical equipment shall be placed out of view and screened from adjacent streets.
9. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
10. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
11. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Fire hydrants needed within 400 ft.
 - Fire alarms etc. will be determined at the time of plans submittal for building permits.
 - b. *Water—contact 716-9627*
 - The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or possible connections. Properly sized drain required to serve the backflow assemblies dump port.
 - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.

- Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
- All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction. (cooling, heating, processing, treating ect). Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

c. Environmental —contact 716-9761

- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of enclosure to protect walls.
- Gates are not required, however if desired, they must be designed to stay open during the collection process.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

d. Engineering – contact 716-9153

- Dedicate right of way along 2200 South as needed to ensure a 66' right of way.
- Extend 12" water line from 1000 West to west side of proposed development.
- Sewer can be connected to the existing Nibley sewer line, must coordinate and comply with Nibley City and meet their standards
- Provide storm water detention/retention per Logan City standards. Since lot is less than one-acre State requirements for a Storm Water Pollution Prevention Plan and NOI are not required, however, must meet City standards for a Sediment and Erosion Control plan for construction activities until site is stabilized.
- Construct curb, gutter, walk and widen road per City standards.
- Maintain all existing irrigation and storm drainage in 2200 South and through property
- Provide water shares or in-lieu fee for all proposed indoor and exterior water demand to the City system per State Sourcing requirements

e. Light and Power– contact 716-9722

- Logan City Light and Power requires 1-Line Diagram, a Logan City Load Data Sheet, a digital site plan in Auto CAD (DWG) Format and PUE's Public Utility Easement 10' easement on all property lines that face a road way, and a 5' easement on all other property lines.
- Contact Matt with Logan Light and Power for Power Location and a meet on site.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC.
5. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

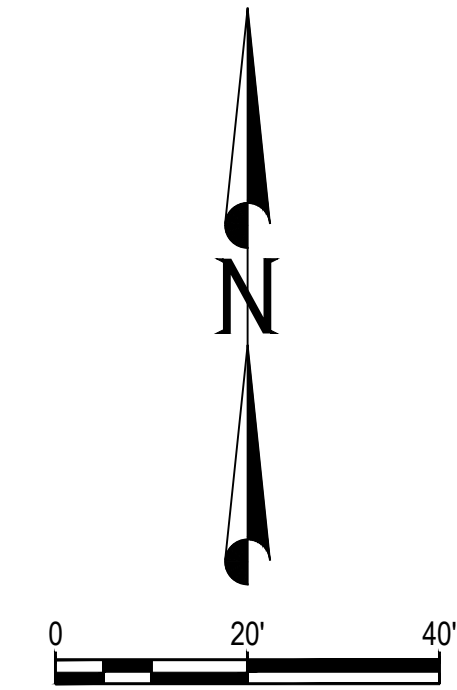


APPLICATION FOR PROJECT REVIEW

For Staff Only		<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board	<input type="checkbox"/> Administrative Review
Date Received	Received By	Scheduled Meeting Date	Zone	Application Number	
10/22/21		DEC. 9	COM	PC 21-067	
Type of Application (Check all that apply): WOODKUFF					
<input checked="" type="checkbox"/> Design Review		<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Administrative Design Review	
<input type="checkbox"/> Code Amendment		<input type="checkbox"/> Appeal	<input type="checkbox"/> Zone Change	<input type="checkbox"/> Other	
PROJECT NAME LEGACY LANDSCAPE SHOP					
PROJECT ADDRESS 1221 W 2200 S LOGAN, UT 84321				COUNTY PLAT TAX ID # 03-005-0019	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER JARED Hymas				PHONE # 435 770 5240	
MAILING ADDRESS 585 VONS Way		CITY PROVIDENCE	STATE UT	ZIP 84332	
EMAIL ADDRESS jaredprimus@msn.com					
PROPERTY OWNER OF RECORD MTSE HOLDINGS				PHONE # 435 - 792 - 6714	
MAILING ADDRESS PO Box 3408		CITY LOGAN	STATE UT	ZIP 84323-3408	
EMAIL ADDRESS drn@hickmantitle.com					
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)				Total Lot Size (acres)	
THIS PROJECT IS A 4,200 SQ FT WAREHOUSE SPACE. WE HAVE DESIGNED THE BUILDING WITH A MODERN & UPGRADED EXTERIOR WITH 3 DIFFERENT FINISHES TO STAND OUT FROM TYPICAL METAL SIDED BUILDINGS.				.50	
				Size of Proposed New Building (square feet)	
				4,200	
				Number of Proposed New Units/Lots	
				N/A	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner		

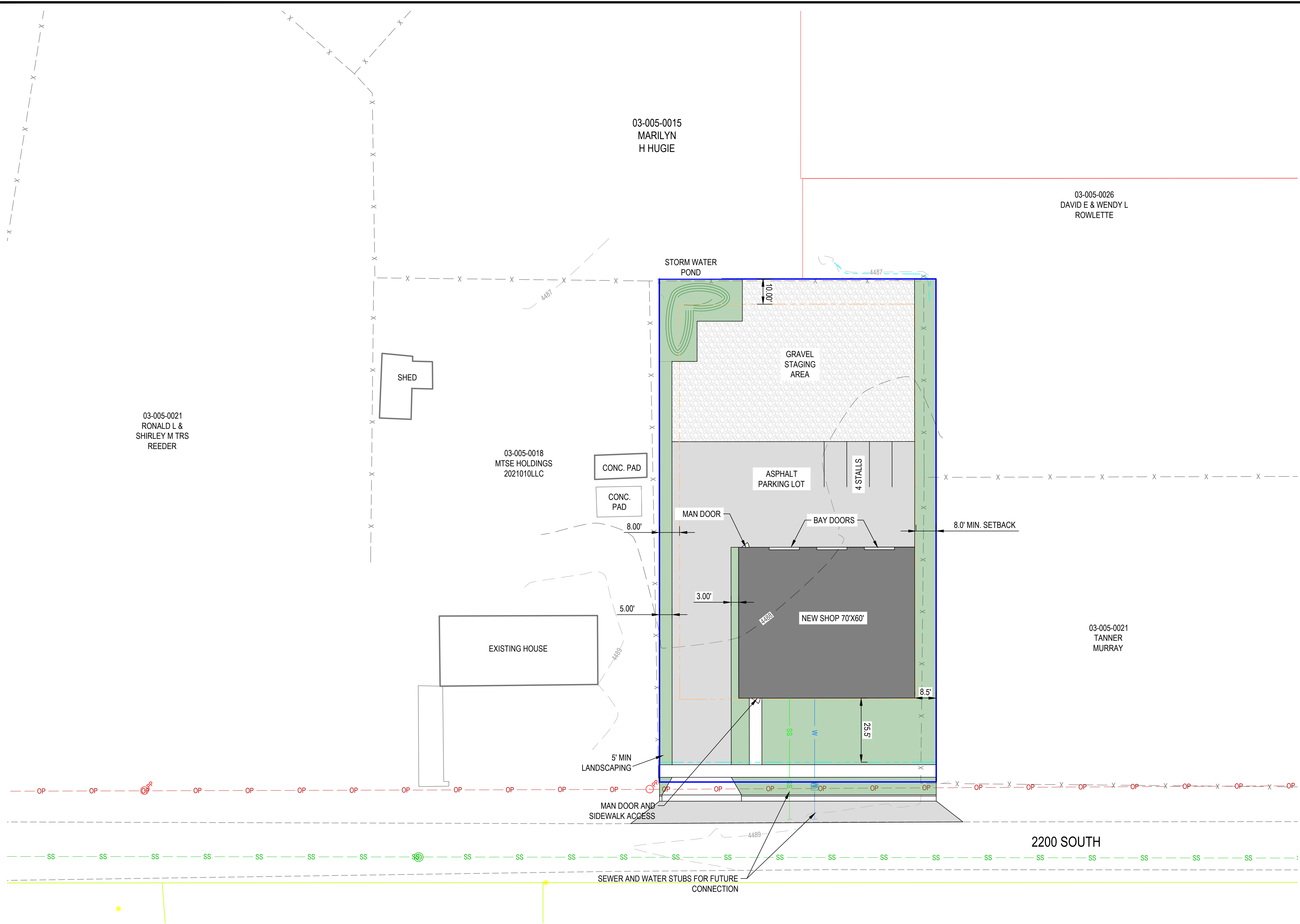
**APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -**

File Path: P:\2021-0290 Honey Badger Properties- Legacy Lawn\Drawings\REFS\ARC-SITE PLAN with property lines.dwg Nov 29, 2021 - 5:36pm



LEGEND

- EX ASPHALT
- SS EX SEWER
- OP EX OVERHEAD POWER
- X EX FENCE
- EX PROPERTY LINE
- NEW PROPERTY LINE
- NEW PROPERTY LINE SETBACK
- SS NEW SEWER
- W NEW WATER
- 4002 EX MAJOR CONTOURS
- 4001 EX MINOR CONTOURS
- NEW GRAVEL SURFACE
- NEW LANDSCAPING
- NEW ASPHALT PAVEMENT
- NEW WATER METER



NO.	DESCRIPTION	DATE

IF THE ABOVE SCALE BAR DOES NOT MEASURE 1-INCH IN LENGTH, DO NOT USE THIS DRAWING FOR SCALING PURPOSES. DIMENSIONS AND MEASUREMENTS SPECIFIED IN THE DRAWING TAKE PRECEDENCE TO SCALED MEASUREMENTS.

THE INFORMATION CONTAINED IN THIS DRAWING IS THE PROPERTY OF CRS ENGINEERS AND IS NOT TO BE REPRODUCED, MODIFIED OR USED FOR ANY OTHER PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY AGREEMENT WITH CRS ENGINEERS.

PRINCIPAL
D. ANDERSON

PROJECT MANAGER
M. PIERCE

CHECKED BY
M. PIERCE

DRAWN BY
B. CHAMBERLAIN

DRAWING SCALE
1:20

ISSUE DATE
09/03/21

CRS ENGINEERS
Answers to Infrastructure®

4246 S Riverboat Rd, Ste 200 | Salt Lake City, UT 84123 | P: 801.359.5565 | www.crsengineers.com

LEGACY LAWN & LANDSCAPE
LEGACEY LAWN & LANDSCAPE SHOP
SITE PLAN

2200 SOUTH

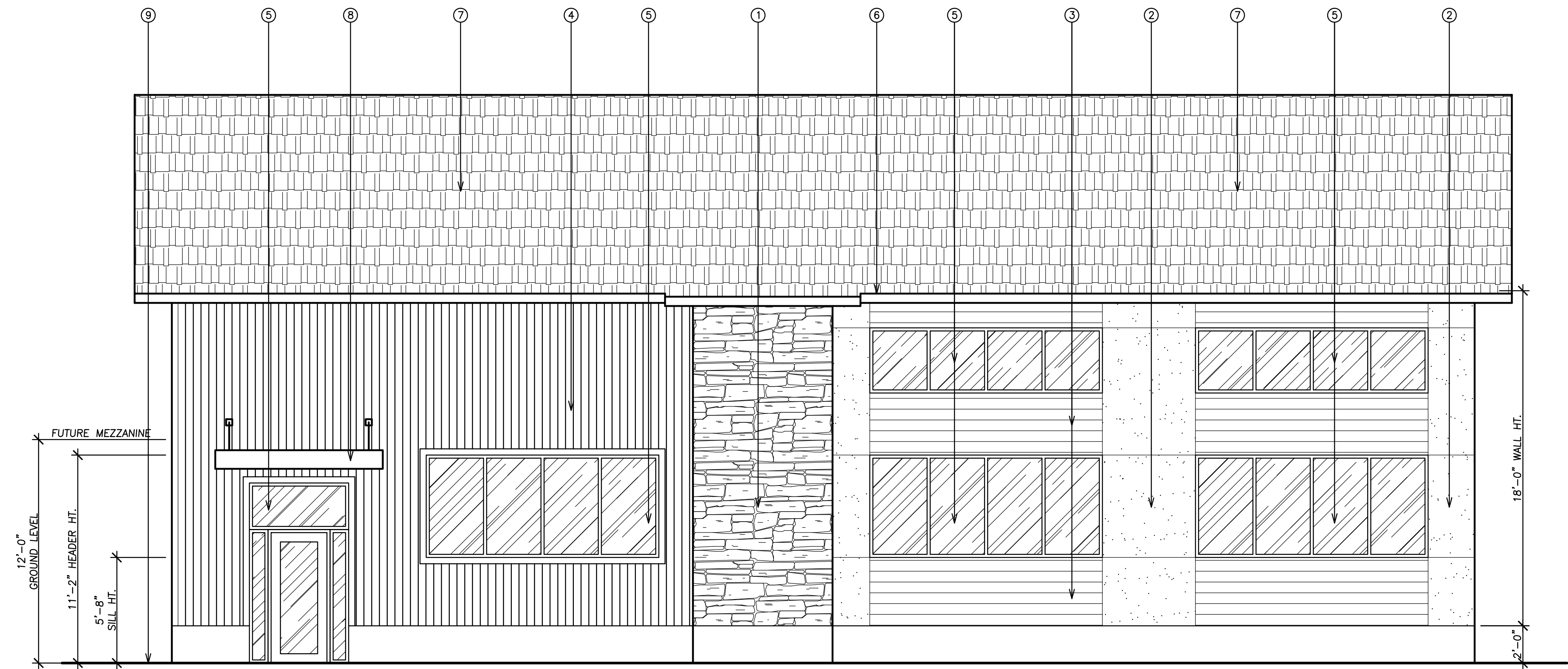
LOGAN, UT

PROJECT NUMBER 2021-0290	
SHEET 1	OF 1
SHEET NUMBER CS101	

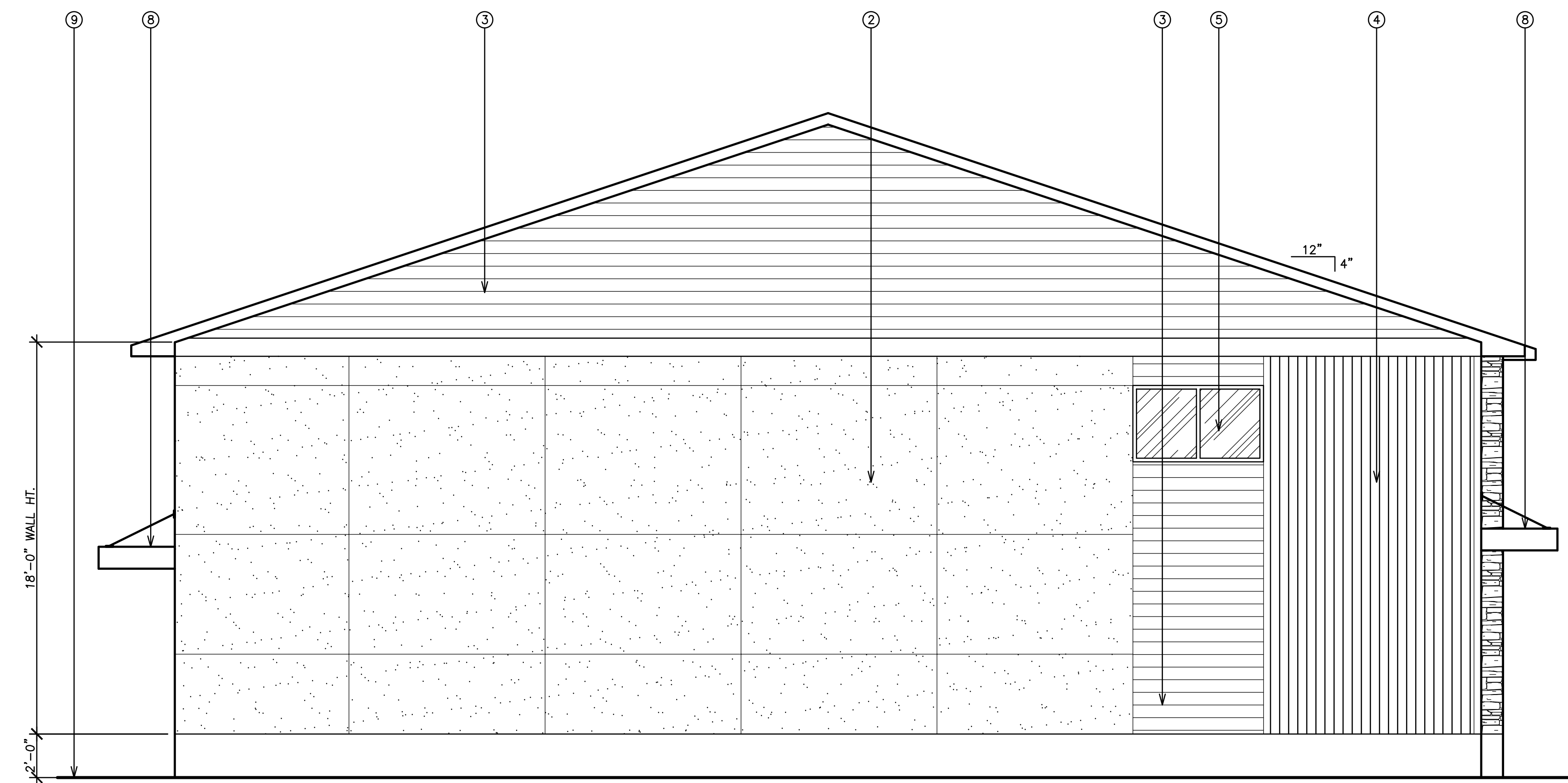
LEGEND

1. MANUFACTURED STONE VENEER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE 'D' FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE (INCLUDES TYVEK STUCCO WRAP, WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS), OVER SHEATHING PER STRUCTURAL. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT #382, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. FIBER-CEMENT BOARD, HORIZONTAL LAP SIDING. PAINT & INSTALL PER MANUFACTURER'S SPECS. COLOR A.
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5. DBL. GLAZED VINYL WINDOWS. CAULK ALL AROUND.
6. GALVANIZED FLASHING WITH DRIP EDGE.
7. 30 YR. ARCH'L GRADE ASPHALT/FIBERGLASS COMP. SHINGLES OVER 15 LB. FELT
8. ARCH'L METAL CANOPY
9. FINISH GRADE PER CIVIL DRAWINGS.

NOTE: TYVEK WRAP TO BE INSTALLED BEHIND ALL EXTERIOR FINISHES. (1) LAYER GRADE 'D' FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE (INCLUDES TYVEK WRAP, WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS), OVER SHEATHING PER STRUCTURAL.

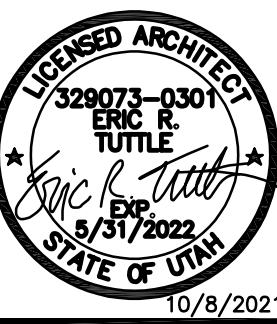


GROUND FLOOR TRANSPARENCY: 31%
A SOUTH ELEVATION
 A-201 SCALE: 1/4" = 1'-0"



B WEST ELEVATION
 A-201 SCALE: 1/4" = 1'-0"

Tuttle and Associates, Inc.
 ARCHITECTS
 4131 2004 S. WATKINS DR.
 SALT LAKE CITY, UT 84108
 PH: (801) 485-4464



LEGACY LANDSCAPE
 1231 West 2200 South
 Logan, Utah

EXTERIOR ELEVATIONS

DATE	Nov. 8, 2021
REVISION	
DRAWN BY	
DRAWING NO.	A-201

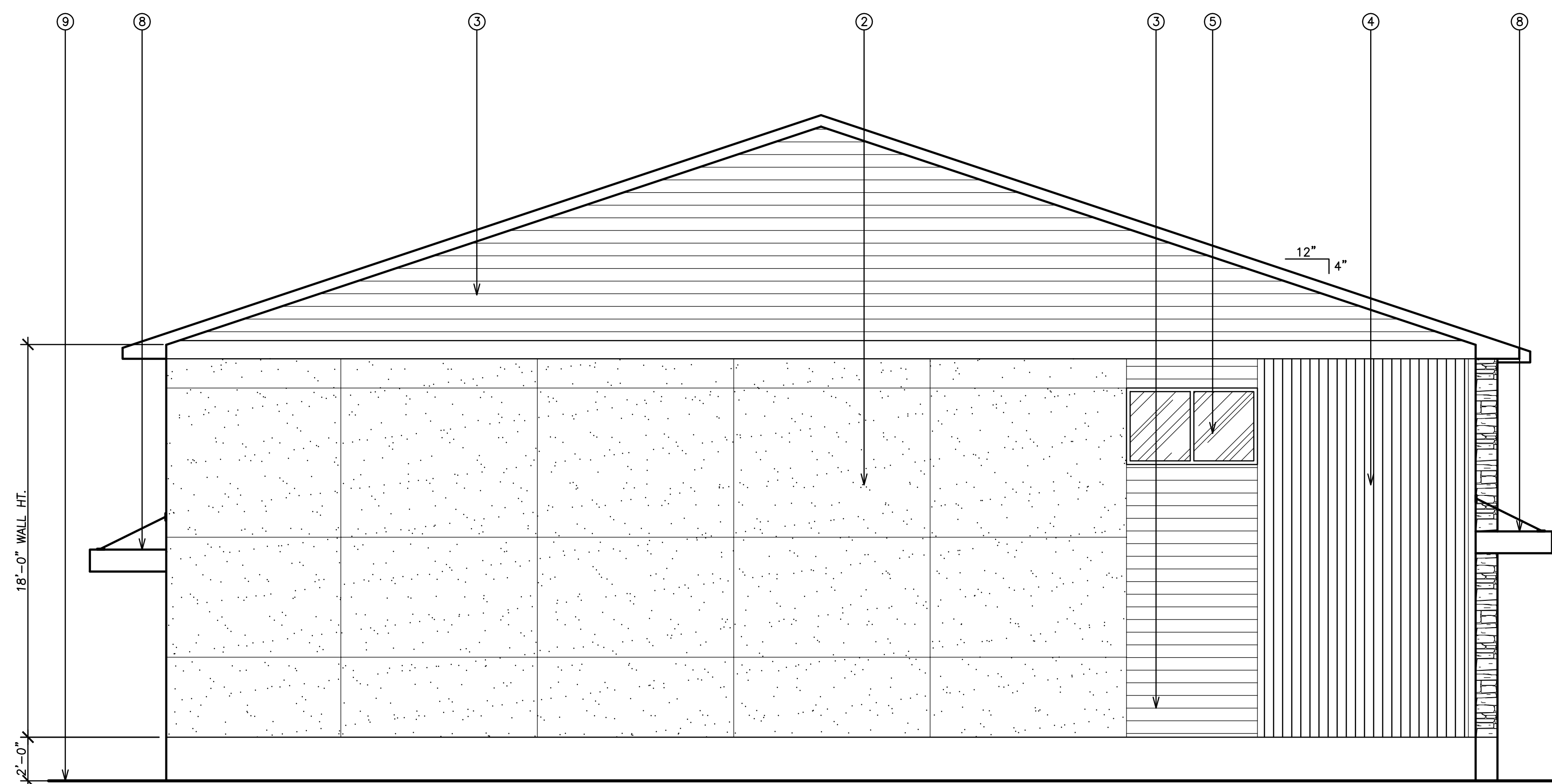
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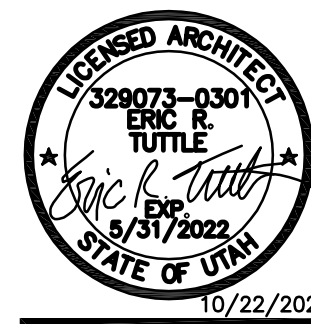


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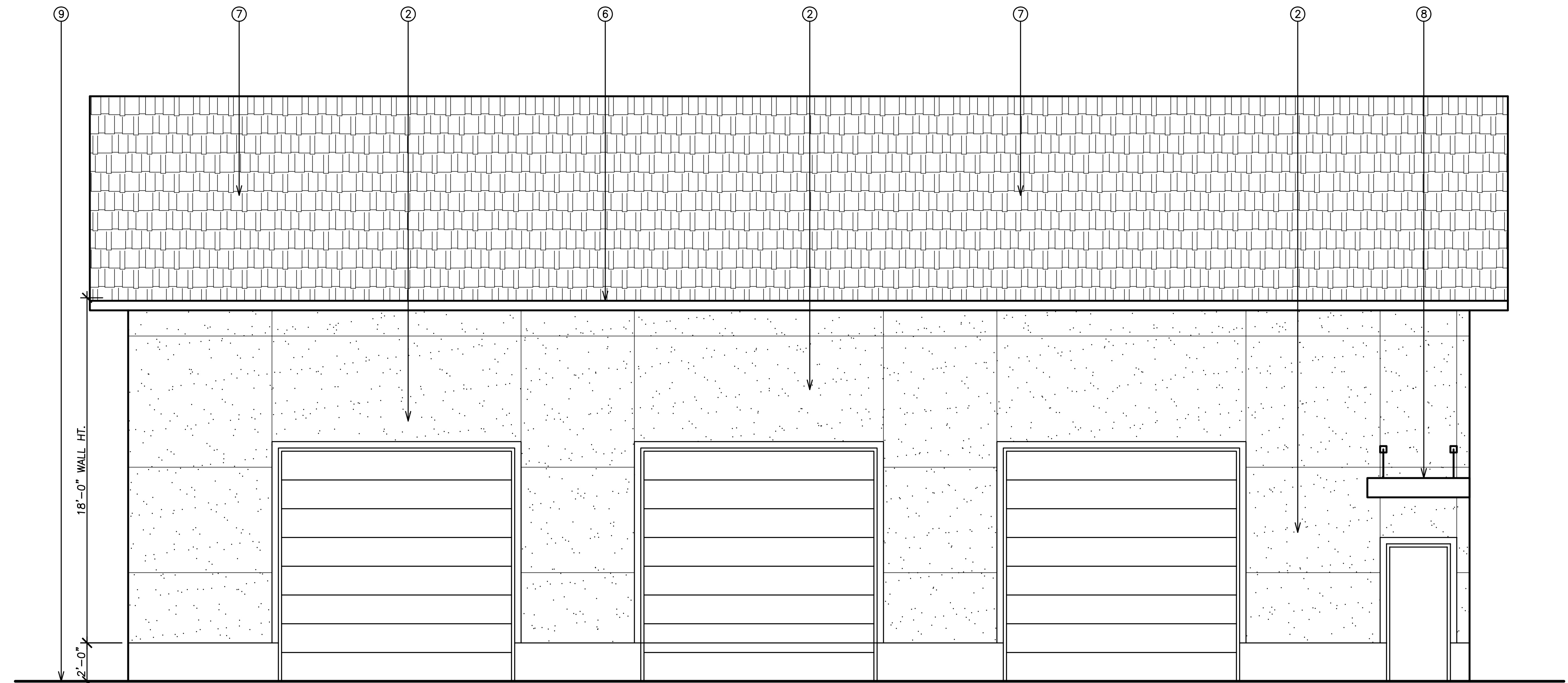
EXTERIOR ELEVATIONS

DATE	Oct. 22, 2021
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DRAWING NO.	A-201

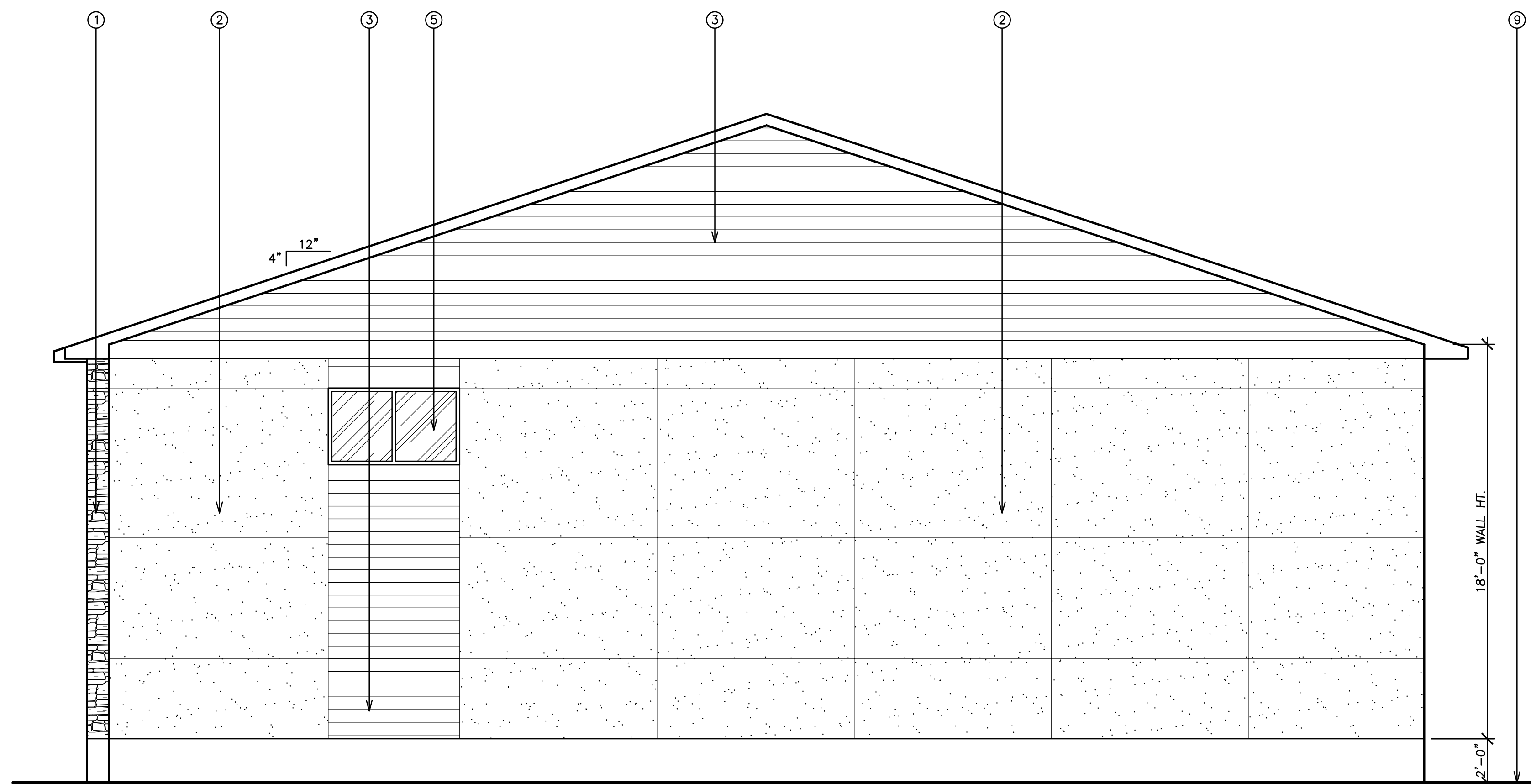
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A NORTH ELEVATION
A-202 SCALE: 1/4" = 1'-0"



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A-202 SCALE: 1/4" = 1'-0"

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LEGACY LANDSCAPE
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Logan, Utah

EXTERIOR ELEVATIONS

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CHECKED BY	
DRAWING NO.	A-202