



Project #21-064
Cache County Food Pantry
Located at 359 South Main Street

REPORT SUMMARY...

Project Name: Cache County Food Pantry
Proponent/Owner: Courtney Wallace / Cache Community Food Pantry Inc.
Project Address: 359 South Main Street
Request: Design Review Permit
Current Zoning: Commercial (COM)
Date of Hearing: October 28th 2021
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-064 Cache County Food Pantry, for a new 9,240 SF building located at approximately 359 South Main Street, TIN# 02-052-0029; -0001.

Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Residential Uses
<i>South:</i>	COM: Residential Uses	<i>West:</i>	COM: Commercial Uses

Project Request

The proponent is requesting a Design Review Permit to construct a new 9,240 SF building intended to store food for the Cache County Food Pantry. Founded in 1970, in collaboration with Bear River Association of Governments (BRAG), the Cache Community Food Pantry is a local nonprofit organization committed to the mission of feeding people in need. The single-story warehouse style building is proposed in the rear of the property and will match some of the same materials and colors of their main front building along Main Street. An additional driveway and 13 new parking stalls are also proposed. Access to the new building is gained via Main Street, 300 South and a proposed new access off 400 South.

Design Review Permit

The Land Development Code (LDC) 17.43 requires Design Review Permit approvals for new commercial developments to ensure code compliant design, project layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

Lot Coverage & Building Height

The LDC 17.10.080 limits lot coverage to 60% (building(s) footprint) and building heights to 40' in the COM zone. The project site is approximately 0.54 acres (23,522 SF) in size. The proposed 9,240 SF building creates a 39% lot coverage. The proposed building is 26 feet tall. Both lot coverage and building heights comply with LDC requirements as proposed.

Building Design

The LDC 17.10.080 states that commercial buildings should be designed to promote high- quality developments with 30% transparency along street facing facades, walls breaks/articulations every 40 linear feet and inviting four-sided architectural design. The proposed metal warehouse building does not have street facing facades and does not show any wall articulations. The building does show a color break halfway up the wall around the entire building. If the color changes are deemed acceptable wall breaks, the building design complies with LDC standards as proposed.



Figure 1 shows the project site plan

Site Layout

To prioritize architecture and curb-appeal, the LDC 17.10.080 typically requires buildings placed in highly-visible primary positions with things like parking lots, drive-thru windows, utility and loading dock areas in subordinate less-visible positions. The proposed project places this subordinate building behind the existing main building along Main Street with some additional parking and a new driveway to the south connecting to 400 South.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	10'
Side:	8'
Rear:	10'
Parking (front):	10'
Parking (side & rear)	5'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front: (East)	40'
Side: (South)	45'
Side: (North)	10'
Rear: (West)	10'
Parking (side & rear)	5' & 0'

As conditioned with compliant parking setbacks, the project meets minimum setback requirements of the LDC.

Pedestrian Circulation

The LDC 17.30.160 requires pedestrian circulation within a project and connecting to adjacent public streets for better walkability. Pedestrian circulation should provide a safe, convenient and well-connected sidewalk/pedestrian network. The proposed project does not show any pedestrian circulation. As conditioned with pedestrian connections to the main building and Main Street, the project meets the pedestrian circulation requirements in the LDC.



Figure 2 shows the proposed building

Parking Stall Requirements

The LDC 17.31.040 requires one (1) parking stall per every 2000 SF of warehouse space. The proposed 9,240 SF building would require 5 parking stalls. The project shows 10 parking stalls. As submitted, the project meets parking requirements.

Open Space

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site in the COM zone. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The approximate 0.54-acre (23,522 SF) site would require 2,352 SF of open space and 2,352 SF of useable outdoor space for a total of 4,704 SF of open area. The proposal shows conceptual open space. As conditioned with minimum open space requirements, the project complies with the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For 0.54 acres, 10 trees and 27 shrubs, flowers and ornamental plants would be required as per the LDC. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

Staff Summary

The warehouse building is proposed as an accessory to the existing main building designed to store additional food supplies. Employees will mainly occupy this back building with customers and the general public continuing to utilize the main building. This proposed building will be 300 plus feet from the nearest street and behind other neighboring buildings making it minimally visible from the public right of way. Because of this low visibility, staff finds that the function and practical aspects of the building take a higher priority than form and curb appeal in this situation and application.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	• Environmental

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 10/16/21, posted on the City's website and the Utah Public Meeting website on 10/18/21, and mailed to property owners within 300 feet on 10/11/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The project shall provide 5 parking stalls for the new warehouse and the Planning Commission will review and approve/deny the submitted parking plan of the Church and the Family Pick-Up stalls.
3. The proposed new driveway shall be 24 feet wide max with minimum 5-foot setbacks on both sides. Curb cuts on 400 South may be wider to accommodate large truck turning radius.
4. A solid fence (no chain link) and landscape strip 10 feet in width planted with threes and shrubs shall be installed along the west boundary adjacent to the single-family home at 47 West 400 South.
5. Landscape shall be added around the proposed building (north and west) setback area.
6. All exterior lighting shall be down-cast concealed source that only illuminates the subject property and does not cast light on neighboring properties.
7. All existing irrigation ditches and canals that are located on this site or within the project area must continue to service downstream irrigators at the same current capacities.
8. The Planning Commission considers the color changes acceptable breaks in the building design because of the location and use of the building. The street facing 30% fenestration requirement is not applicable on this portion of the site.
9. Pedestrian pathways shall be added connecting the building to the main building. The pathways can be either concrete sidewalks or painted delineated paths on the asphalt areas.
10. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center

- unless otherwise noted by the City Forrester.
- b) Open Space and Useable Outdoor areas shall total a minimum of 7,704 SF.
 - c) A total number 10 trees per acre and 27 shrubs/perennials per acre of the final project site shall be provided.
 - d) Dense trees and shrubs shall be placed in the landscape area adjacent to 400 South for the new parking area to screen the property and new building from view of 400 South.
11. All dumpsters shall be placed outside of front setbacks and visually screened or buffered from public streets by using fencing, walls and landscaping.
 12. Parking lot designs shall not have dead-end or back-out only circulation patterns
 13. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screened with dense vegetation from adjacent public street views.
 14. All streets adjacent to or within the development shall be improved to current city standards and specifications.
 15. Rooftop mechanical and building wall mechanical equipment shall be placed out of view and screened from adjacent streets.
 16. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
 17. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
 18. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
 19. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Additional fire hydrant required. Depending on review of building use, such as high piled storage further analysis for fire sprinkler, fire alarm, heat vents, etc. required.
 - b. *Water—contact 716-9627*
 - All buildings water mains must have a RP (ASSE1013) as it enters the buildings before any branch offs or connections. Separate tenants water mains with own shut offs and backflow assemblies to prevent cross contamination between tenants.
 - All fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested.
 - Any landscape irrigation connected to Logan City water must have high hazard backflow assembly installed and tested.
 - All points of use of water must comply with current IPC and Utah state amendments for backflow during and after construction.
 - c. *Environmental—contact 716-9761*
 - Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
 - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - Place bollards in the back of enclosure to protect walls.
 - Gates are not required, however if desired, they must be designed to stay open during the collection process.
 - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
 - d. *Engineering – contact 716-9153*
 - Provide water shares or in-lieu fee for all increased water demand above any existing water use (indoor and outdoor) for development.
 - Any existing water, sewer or storm water services which will not be maintained with

new development shall be capped at the City main service line.

- No utility drawings were provided with Planning Commission package for review and comment. These issues shall be addressed to meet City Standards during the Building Permit review and approval process.
- Provide storm water detention/retention per Logan City design standards.
- Provide a private utility agreement to City for review, approval and recordation for all private services other than metered water service lines and sewerlaterals.
- it appears from proposed site plan that there are numerous properties that are to be combined into a single parcel. Provide a Property Line Agreement for review and approval.
- Provide a 10' public utility easement along all street frontages and a 5' public utility easement along all interior property lines. This easement dedication shall be recorded with the Cache County Recorder's Office.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW



The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project as conditioned provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC.
5. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 9/20/21	Received By	Scheduled Meeting Date OCT. 28	Zone com	Application Number PC 21-004
Type of Application (Check all that apply): WOODRUFF				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME CACHE COUNTY FOOD PANTRY				
PROJECT ADDRESS 359 S. MAIN STREET			COUNTY PLAT TAX ID # 02-052-0029 02-052-0001	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER COURTNEY WALLACE – CARTWRIGHT AEC			PHONE # 435-512-7643	
MAILING ADDRESS 2120 N. MAIN STREET		CITY NORTH LOGAN	STATE UT	ZIP 84341
EMAIL ADDRESS courtneyw@cartwright-aec.com				
PROPERTY OWNER OF RECORD CACHE COMMUNITY FOOD PANTRY INC.			PHONE #	
MAILING ADDRESS 359 S. MAIN STREET		CITY LOGAN	STATE UT	ZIP 84341
EMAIL ADDRESS matt@cachefoodpantry.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)			Total Lot Size (acres) 0.54	
The Cache County Food Pantry propose to build a new, 9240 SQ. FT. building to the West of their current facility. This new building will be used as a food storage building. The new building will use the same materials as the existing building, consisting of metal wall panels that will match the colors of the existing facility. A new driveway access and road from 400 S. along with some additional parking on the site will also be part of the project.			Size of Proposed New Building (square feet) 9240 SQ FT	
			Number of Proposed New Units/Lots 1	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

CACHE FOOD PANTRY WAREHOUSE

LOGAN, UTAH

RTWRIGHT PROJECT #	121103
DATE:	11/10/2021
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	CW

REVISIONS	
DATE	DESCRIPTION

SITE PLAN

AS101

11/10/2021 4:13:14 PM



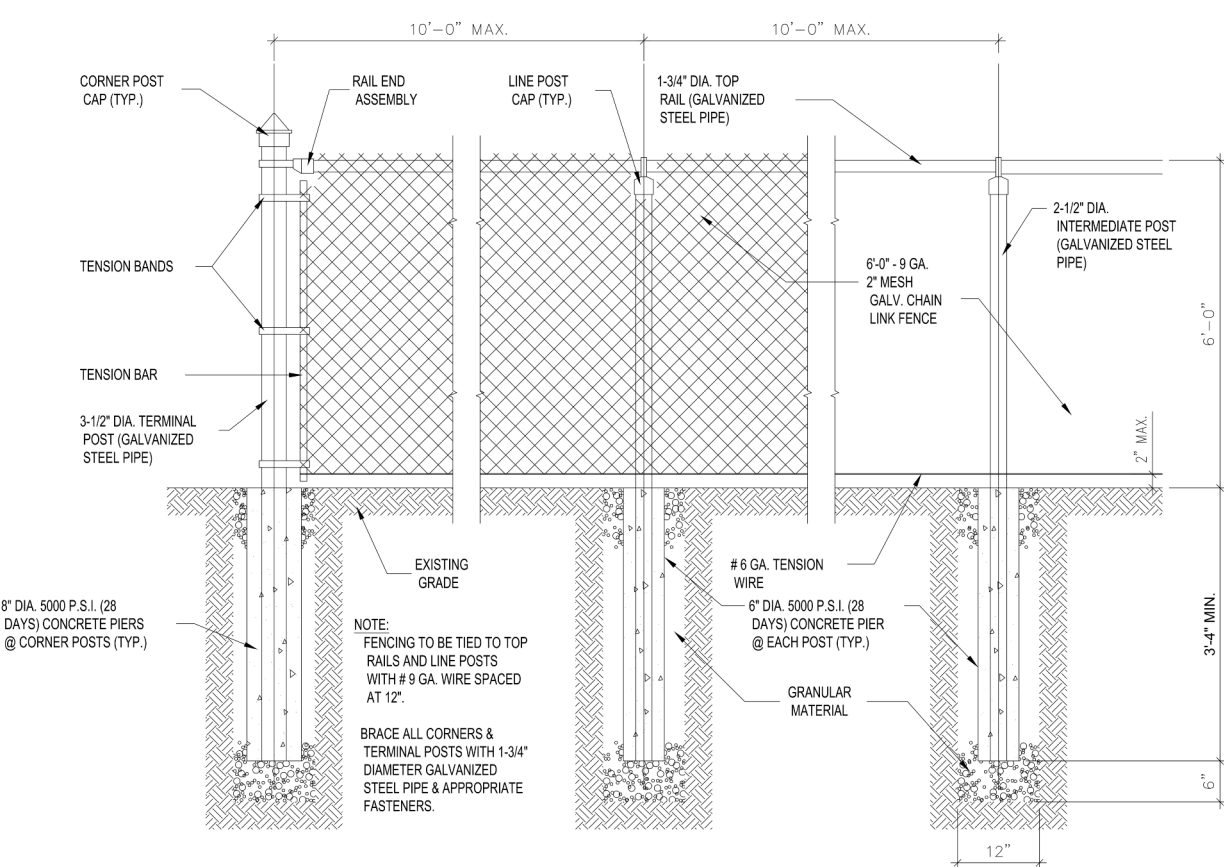
PARKING:

1. EXISTING FOOD PANTRY
A. 14 STALLS EXISTING
2. EXISTING CHURCH OF GOD
A. 20 STALLS EXISTING
3. TOTAL STALLS (SHARED PARKING)
A. 34 STALLS EXISTING

1. NEW FOOD PANTRY ADDITION
 - A. 5 STALLS REQUIRED/PROVIDED
 - B. 10 ADDITIONAL STALLS REQUESTED
 - a. FOOD PANTRY EMPLOYEES: 10
 - b. FOOD PANTRY OPEN FOR PICKUP (5) TIMES PER WEEK
 - FOOD PANTRY SERVES ON AVERAGE 165 FAMILIES PER WEEK
 - AVERAGE OF 33 FAMILIES PER PICKUP TIME
 - FAMILIES TEND TO DRIVE TO FOOD PANTRY
 - TOTAL PARKING STALLS NEEDED AT PICKUP TIMES (EMPLOYEES & FAMILIES): 43
 - TOTAL PARKING STALLS PROVIDED ON-SITE: 34
1. EXISTING CHURCH OF GOD
 - A. 20 STALLS W/ 14 SHARED STALLS AT FOOD PANTRY
 - B. TOTAL STALLS AVAILABLE ON-SITE: 34
 - C. ESTIMATED BUILDING SQUARE FOOTAGE-MAIN LEVEL: 9473-10% FOR STRUCTURE=8526
 - D. ESTIMATED BUILDING SQUARE FOOTAGE-LOWER LEVEL: 3696-10% FOR STRUCTURE=3326
 - E. ESTIMATED TOTAL SQUARE FOOTAGE: 11852
 - a. OCCUPANT LOAD-CHAPEL (A-3 ASSEMBLY): 4595/15=306
 - F. LOGAN CITY PARKING CALCULATION, CHURCH: (1) PER (4) PERSONS
 - a. TOTAL PARKING STALLS REQUIRED: 306/4=76
 - b. TOTAL PARKING STALLS PROVIDED ON SITE: 34

LANDSCAPING REQUIREMENTS

1. EXISTING SITE:
 - A. EXISTING FOOD PANTRY SITE-NEW ADDITION: 18,652 SQUARE FEET
 - B. NEW BUILDING: 9240 SQUARE FEET (50% OF SITE)
 - C. NEW XERISCAPE: 4406 SQUARE FEET (24% OF SITE)
 - D. NEW ASPHALT/CURB & GUTTER: 5006 SQUARE FEET (26% OF SITE)
2. NEW SITE (ADDITIONAL PARKING AREA):
 - A. EXISTING SITE: .26 ACRES OR 11,326 SQUARE FEET
 - B. NEW XERISCAPE: 3908 SQUARE FEET (35% OF SITE)
 - C. NEW ASPHALT/CURB & GUTTER (65% OF SITE)



LOGAN, UTAH

CARTWRIGHT PROJECT #	121103
DATE:	11/10/2021
DRAWN BY:	BFL
CHECKED BY:	
APPROVED BY:	

REVISIONS	
DATE	DESCRIPTION

ENLARGED SITE
PLAN

AS102

D



FOOD PANTRY SITE LOOKING WEST



FOOD PANTRY SITE LOOKING SOUTHWEST



FOOD PANTRY SITE LOOKING SOUTH



FOOD PANTRY SITE LOOKING SOUTH

C



FOOD PANTRY/CHURCH OF GOD SHARED PARKING LOT LOOKING EAST



400 SOUTH LOOKING WEST



400 SOUTH LOOKING NORTH



PROPOSED PARKING AREA LOOKING SOUTHWEST

B



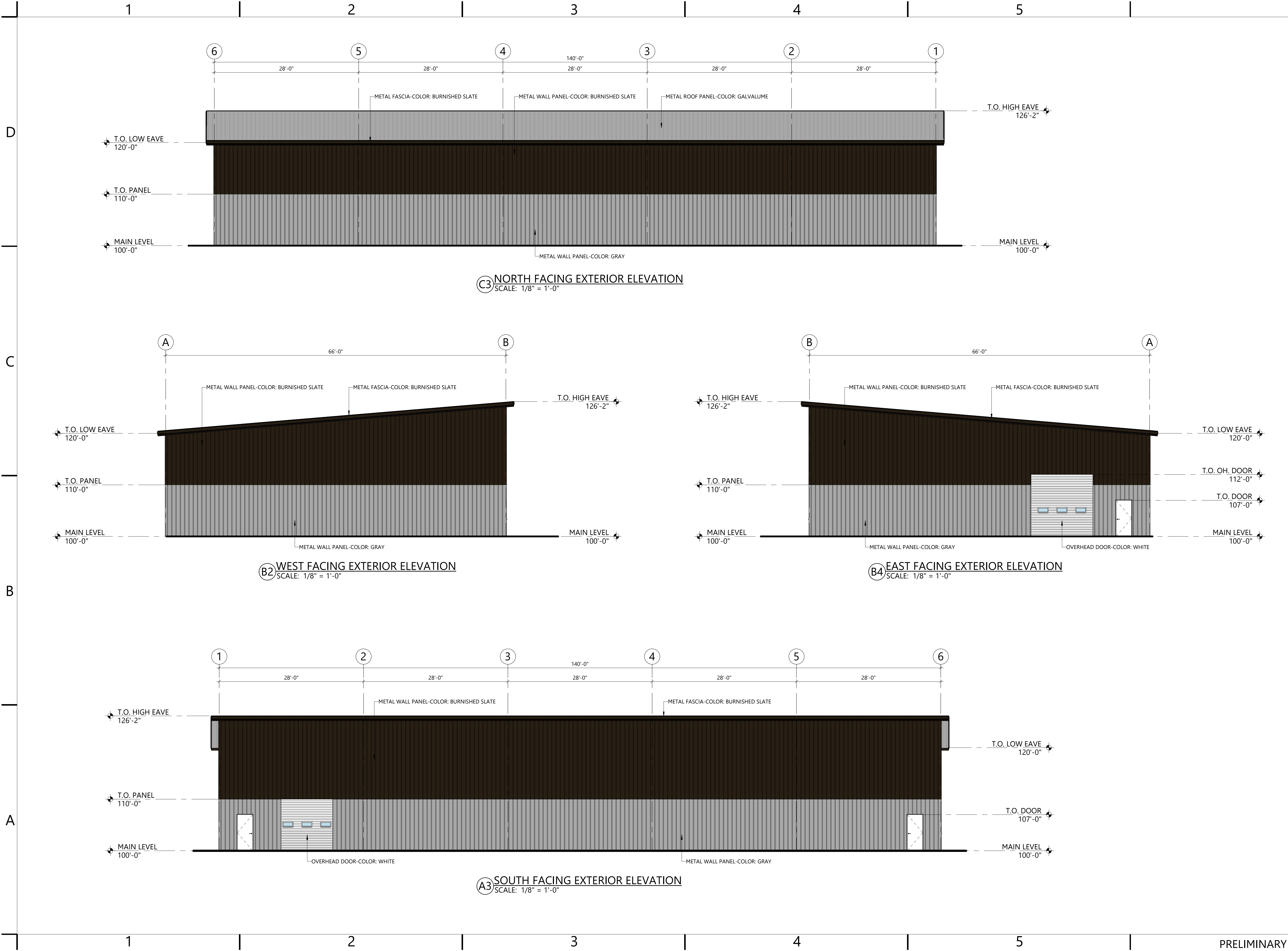
PROPOSED PARKING AREA LOOKING NORTHWEST

A

PHOTOS TAKEN ON SUNDAY, NOVEMBER 7, AT
APPROXIMATELY 10:30 a.m.

CARTWRIGHT PROJECT #		121103
DATE:		11/10/2021
DRAWN BY:		CW
CHECKED BY:		CW
APPROVED BY:		CW

REVISIONS	
DATE	DESCRIPTION



CARTWRIGHT
ARCHITECTS & ENGINEERS

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CACHE FOOD PANTRY WAREHOUSE

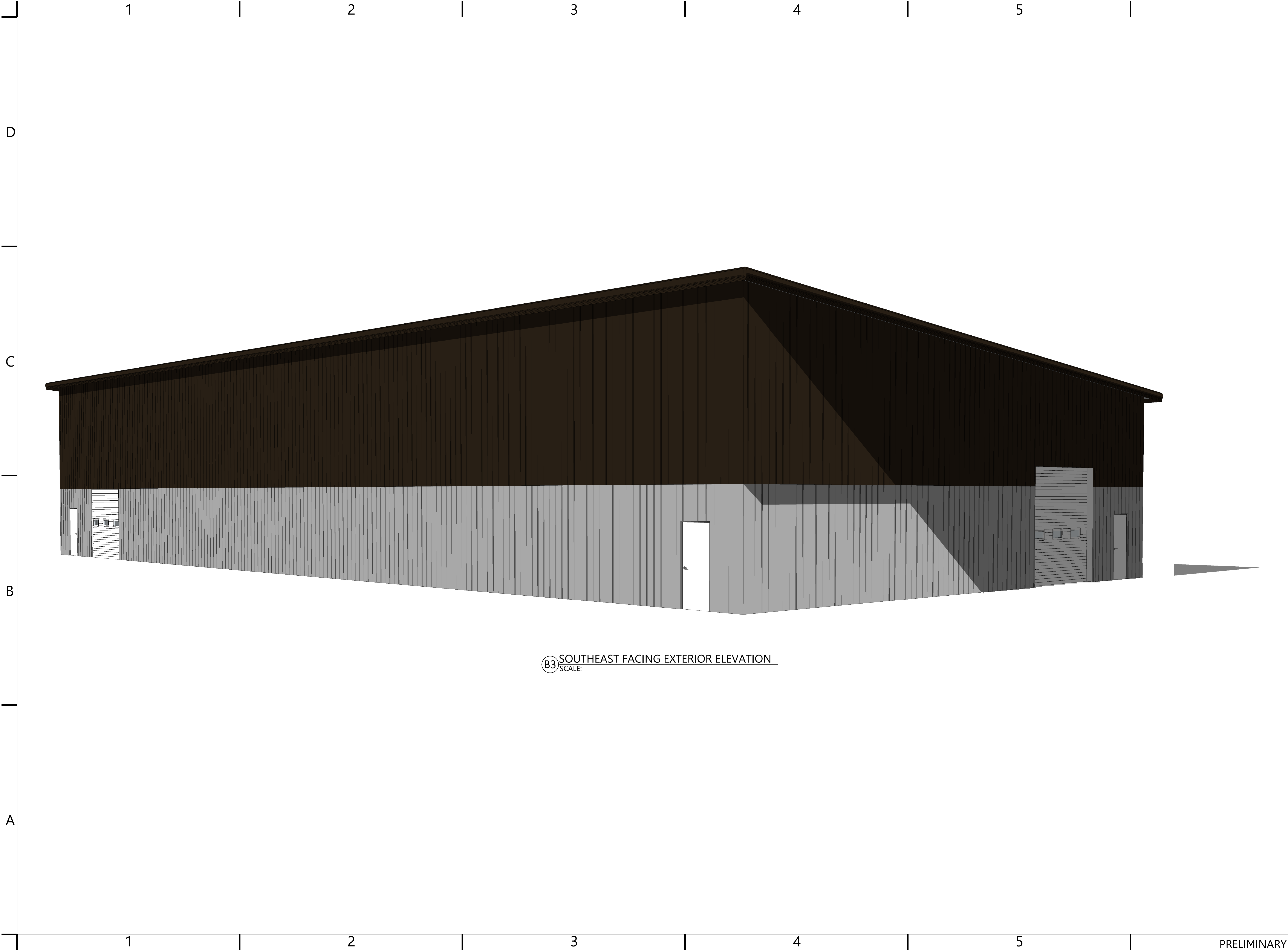
CARTWRIGHT PROJECT #	121103
DATE:	07-16-21
DRAWN BY:	CW
CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION

ARCHITECTURAL
ELEVATIONS
A201

PRELIMINARY

9/14/2021 5:59:04 PM



B3 SOUTHEAST FACING EXTERIOR ELEVATION
SCALE:

CARTWRIGHT
ARCHITECTS & ENGINEERS

2120 NORTH MAIN STREET
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CACHE FOOD PANTRY WAREHOUSE

CARTWRIGHT PROJECT #	121103
DATE:	07-16-21
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CHECKED BY:	CW
APPROVED BY:	JC

REVISIONS	
DATE	DESCRIPTION

PERSPECTIVE
ELEVATIONS

A202

PRELIMINARY

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