

Project #21-062
Blue Springs Business Park Bldg. #3
Located at approximately 1200 N. 800 W.

REPORT SUMMARY...

Project Name: Blue Springs Business Park Building #3
Proponent / Owner: Gus Pacheco / Blue Springs Business Park LLC
Project Address: Approx. 1200 North 800 West
Request: Design Review Permit
Current Zoning: Industrial Park (IP)
Type of Action: Quasi-Judicial
Hearing Date: October 14, 2021
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-062, Blue Springs Business Park Building #3, in the Industrial Park (IP) zone located at approximately 1200 North 800 West, TIN #05-050-0008.

Current Land use adjoining the subject property

<i>North:</i>	IP: Vacant	<i>East:</i>	IP: Industrial Uses
<i>South:</i>	IP: Industrial Uses	<i>West:</i>	IP: Vacant

Project Proposal

This proposal is for one (1) new 48,396 SF industrial building. The 39' tall concrete tilt-up style building is shown at the southwest corner of the future intersection of 1200 North & 800 West orienting eastward towards 800 West. This proposal is the fifth building in the Blue Springs Business Park, which are buildings designed for industrial and commercial uses ranging from warehousing and storage to retail and restaurant. The building layout on the 3.99-acre site shows the building with the loading docks on the west side and parking areas on the east.

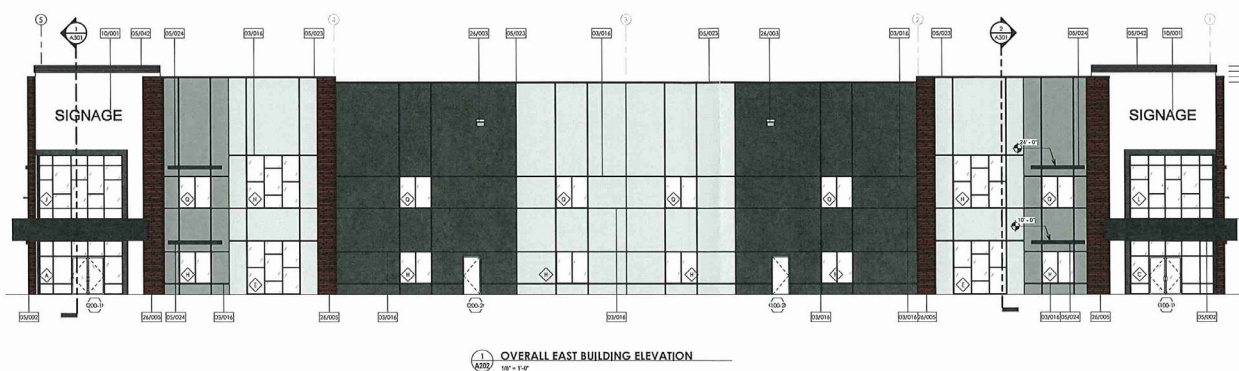


Figure 1 shows the proposed building #3 front façade facing 800 West

Land Use

The Land Development Code (LDC) Table 17.11.030 permits a range of commercial and industrial uses in the Industrial Park (IP) zoning district. Uses are centered around manufacturing, warehousing and contractor supply services and also include commercial uses such as office space, restaurant and hotel. The applicant is proposing offices, online sales, warehousing and shipping and receiving for phase one.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the **IP** zone are as follows (as measured from property lines):

Front:	20'
Side:	20'
Rear:	10'
Parking (Front):	20'
Parking (Side):	15'

The following setbacks are proposed for the buildings (as measured from the exterior property lines of the project site, at closest points):

Front (east):	105'
Corner (north):	95'
Side (south):	35'
Rear (west):	140'
Parking(front/corner):	22-32'
Parking (side)	NA (shared parking lot)

As proposed, the project meets minimum setback requirements for the zone.

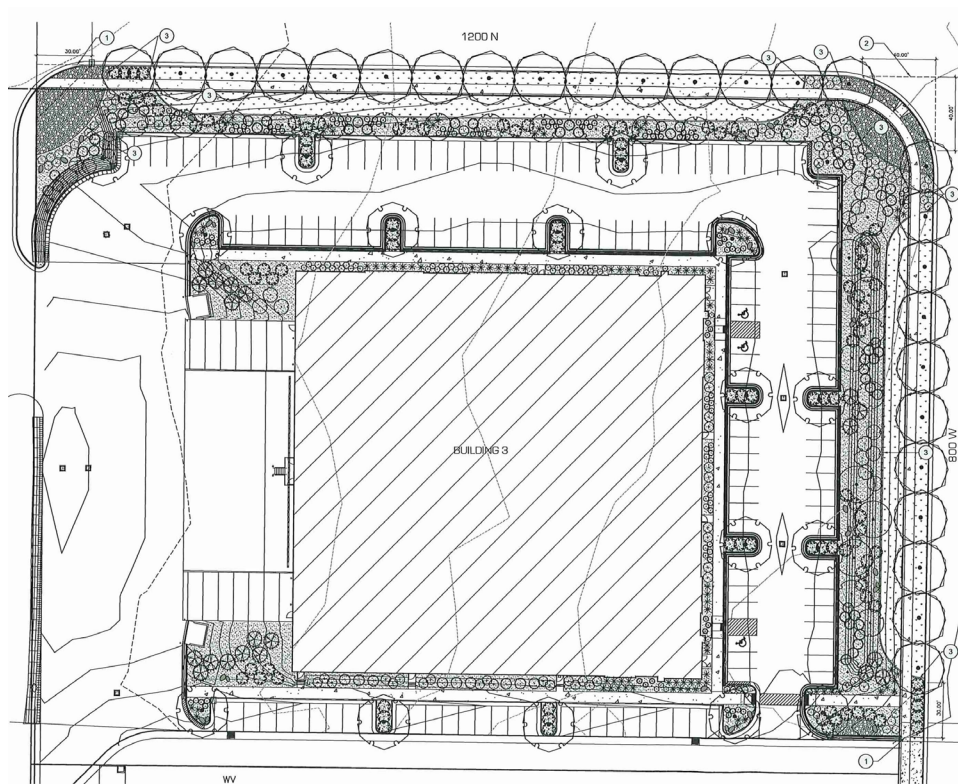


Figure 2 shows the proposed site plan

Lot Coverage

The LDC 17.10.130 establishes a maximum lot coverage of 50% (building(s) footprint) in the IP zone. The proposed 48,396 SF building on the 3.99 ac (173,804 SF) site for a lot coverage of 28%. As submitted, the project meets the lot coverage requirements on the LDC.

Building Design

The LDC 17.12.060 requires new industrial buildings to be well-designed with high-quality materials. Blank walls exceeding 40 linear feet are prohibited and ground floor street-facing facades shall have a minimum of 30% transparency. Acceptable wall-breaks include windows, balconies, wall articulation or changes in color and materials. The proposed building materials

are tilt-up textured concrete in a variety of earth-toned colors with small vertical accent composite (wood-like) sections. The 1200 North street facing façade is shown with 28% transparency and the 800 West facing façade is shown with 21% transparency, both shy of the 30% LDC standard. The other non-street facing facades show wall-breaks and other features at the minimum 40 linear foot increments. As conditioned with additional transparency and weather protection above primary pedestrian entrances, the building design meets the requirements in the LDC.

Building Heights

The IP zone allows building heights up to 48'. With a Conditional Use Permit, a building's height may go up to 80 feet in height. Both buildings are proposed at 39 feet tall. As proposed, the project meets the building height requirements in the LDC.

Parking Requirements

The LDC requires one (1) parking stall per every 300 SF of office space and one (1) parking stall per every 2000 SF for warehousing and freight movement. Manufacturing parking requirements are one (1) stall per every employee at the largest shift. The applicant has indicated that the approximate building space breakdown will be 70% warehousing and 30% office/administration. With a total building space of 48,396 SF, and at this ratio, the parking requirement is 65 stalls (48 office & 17 warehouse). The proposal provides 146 stalls, meeting the minimum requirement in the LDC.

The parking location in the IP zone, and many other zones in the city, indicates placement at the side or rear. In cases where functionality and primary building use present conflicts, the Planning Commission may make exceptions to design issues as per LDC 17.43.080. The Planning Commission needs to make findings that don't compromise neighborhood character and future approvals. The neighborhood character in this part of town shows numerous parking lots positioned between the street and the building, and this particular proposal includes semi-truck loading docks and large truck circulation along the entire rear of the building, creating conflicts between automobile parking and semi-truck loading/unloading movements. Given the layout of the building's floorplans and context of the surrounding large-scale industrial businesses, separating the parking lot and semi-truck loading dock should be a consideration in this situation. Future projects with similar scales and configurations would be treated with the same continuity. As conditioned with the Planning Commission determining the location of parking lots, the project meets the standards in the LDC.

Site Layout & Pedestrian Circulation

The LDC 17.31.090 requires commercial and industrial sites to include safe and convenient pedestrian circulation from the adjacent streets to buildings, parking areas and other outdoor gathering areas. When parking areas are proposed in areas adjacent to streets, LDC 17.32.070 requires additional landscaping/buffering to help screen asphalt parking areas. Type "B" screening, additional shrubbery and trees, is required when a parking lot is within 12'-25' of the street. This proposed shows parking area adjacent to both 800 West and 1200 North. Pedestrian circulation is shown to 800 West but not to 1200 North. As conditioned with full pedestrian circulation to both streets and Type "B" screening, the project complies with the LDC.

Open Space and Landscaping

The LDC 17.10.030 requires 10% open space and an additional 10% useable outdoor space in the IP zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas. While useable outdoor space could be additional green space, these areas are typically decks, patios and other similar outdoor amenities. The 3.99-acre site requires 17,380 SF of open space and 17,380 SF of outdoor space for a total of 34,760 SF. The proposed conceptual landscape plan shows preliminary landscaping and green space areas totaling a minimum of 20%. The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental

grasses per acre of land for industrial projects. As conditioned with minimum open space and landscaping, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 10/2/21, posted on the City's website and the Utah Public Meeting website on 10/4/21, and mailed to property owners within 300 feet on 9/27/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The Planning Commission approves parking locations as shown.
3. The Planning Commission utilizes their LDC 17.43.080 approval criteria to adjust the transparency requirement (less than 10% deviation) and approves 28% transparency for both the east and north street facing facades. This is consistent with previous Blue Springs Business Park building approvals.
4. A sidewalk connection shall be added linking the building entrance (northeast) to 1200 North street to the north.
5. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 34,760 SF.
 - b) Type "B" landscaping buffering shall be provided between the parking lots and 800 West and 1200 North.
 - c) 18 SF of interior parking lot landscaping shall be provided per parking stall.
 - d) A total of 79 trees and 199 shrubs, perennials and ornamental grasses shall be provided.
 - e) Street trees shall be provided every 30 feet along adjacent streets (provide 30' of clear space at street intersections for visibility).
6. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
7. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
8. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.

9. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
10. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
11. Surface storm-water retention and detention facilities shall not be located in front yard areas if open and should be located in areas away from public streets and buffered from view.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
 - Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
 - Place bollards in the back of the enclosure to protect walls.
 - Gates are not required, however if desired, they must be designed to stay open during the collection process.
 - Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
 - b. *Engineering —contact 716-9160*
 - If water shares for increased demand were not submitted to the City as part of subdivision recordation, provide the necessary water shares or in-lieu fee required by the development of this lot.
 - Provide onsite detention/retention per Logan City Standards, this includes the onsite retention of the 90% storm event using Low Impact Design methods.
 - Provide a 12" water line in 800 West and 1200 North along subdivision frontage.
 - Provide an 8" sewer line in 1200 North along subdivision development frontage. It is the intent of the City that this line will extend east to Cache High sewer lateral to 1000 West. New building #3 shall connect into this line to limit the number of lateral connections into the proposed 48" sewer trunk line.
 - Construct 800 West and 1200 North per City Standards and to match pavement thicknesses used in 800 West and 1000 North for Building 4 and 5 development.
 - Plat needs to be recorded prior to issuance of a Building Permit
 - c. *Fire —contact 716-9515*
 - Access, Water Supply, and Hydrants are included in submitted documents.
 - d. *Water—contact 716-9627*
 - Each unit's water main's needs to have their own RP (ASSE1013) installed and tested on the water main as it enters each unit before any branch offs or possible connections. So, each unit is independently controlled and protected. Properly sized drain required to serve dump port of B/F.
 - All landscape irrigation system's fed from Logan City water must have a high hazard backflow assembly installed and tested.
 - All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - Fire suppression systems that connect to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. LDC 17.43.080 authorizes the Planning Commission to make design adjustments not associated with numerical standards and requirements if they are consistent with surrounding areas and do not compromise future approvals.
3. The large-scale semi-truck loading docks and circulation conflict with automobile parking and warrant a design adjustment.
4. The allowance of the parking lot locations will not compromise the neighborhood character in this area for large-scale shipping and warehousing projects as similarly sized projects in the area have similar parking lot locations.
5. The proposed project provides required off-street parking.
6. The proposed project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. 1200 North and 800 West provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 9-2-21	Received By RH	Scheduled Meeting Date Oct. 14	Zone IP	Application Number 21-062
Type of Application (Check all that apply): BRIDGE				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME BLUE SPRINGS BUSINESS PARK - BUILDING #3				
PROJECT ADDRESS 1101 NORTH 800 WEST			COUNTY PLAT TAX ID # 05-050-0008	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER GUS PACHECO			PHONE # 385.246.1411	
MAILING ADDRESS 909 W. SOUTH JORDAN PARKWAY		CITY SOUTH JORDAN	STATE UTAH	ZIP 80495
EMAIL ADDRESS gus@aeurbia.com				
PROPERTY OWNER OF RECORD JASON LARSEN			PHONE # 435.760.7446	
MAILING ADDRESS 1075 N MAIN		CITY LOGAN	STATE UTAH	ZIP 84341
EMAIL ADDRESS jason@als.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Concrete tilt-up warehouse building (Core & Shell).			Total Lot Size (acres)	
			Size of Proposed New Building (square feet) 4862 sf	
			Number of Proposed New Units/Lots 2 max	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Project Representative	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner	

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

7/27/2021

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A NOTICE TO PROCEED HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF LOGAN DOES NOT AUTHORIZE THE OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A SURVEY CREW MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL VERTICAL CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A SURVEY CREW SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE VERTICAL CONTROLLING MONUMENTS. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
4. CONTRACTOR SHALL CONTACT "BLUE STATES" PRIOR TO START OF CONSTRUCTION ACTIVITIES BY CALLING 811 OR SUBMITTING AN ONLINE UTILITY LOCATION REQUEST AT WWW.BLUESTATES.ORG.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE OF UTAH AND LOGAN CITY.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE" IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMITTING AGENCY.
7. ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE LOGAN CITY STANDARDS AND SPECIFICATIONS.
8. PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF LOGAN.
9. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER.

Sheet List Table	
Sheet Number	Sheet Title
C001	COVER SHEET & LEGEND
C101	SITE, UTILITY & DIMENSION PLANS
C201	GRADING & STORMWATER PLANS
C202	STORMWATER CALCULATIONS
C401	EROSION CONTROL PLAN
C501	DETAILS
C502	DETAILS
C503	DETAILS
C504	DETAILS
C505	DETAILS
C506	DETAILS

MICHAEL TAYLOR
498 WEST 100 SOUTH
PROVO, UT 84302
MTAYLOR@CSG.WORK
P. 435.213.3762 EXT. 2

2. SURVEYOR

DENNIS CARLISLE
669 NORTH 1060 WEST SUITE 47B
PROVO, UT 84601
DCARLISL@CSG.WORK
P. 801.874.4132 EXT. 712

3. LOGAN CITY ENGINEER

BILL YOUNG
290 N 100 W
LOGAN, UT 84321
BILL.YOUNG@LOGANUTAH.ORG
P. 435.716.9160

4. LOGAN CITY PUBLIC WORKS DIRECTOR:

PAUL LINNHARDT
290 N 100 W
LOGAN, UT 84321
PAUL.LINNHARDT@LOGANUTAH.ORG
P. 435.716.9151

5. LOGAN FIRE DEPARTMENT:

AARON WALKER
255 NORTH MAIN
LOGAN, UT 84321
P. 435.716.9516

6. LOGAN CITY LIGHT AND POWER:

MARK MONTGOMERY
290 N 100 W
LOGAN, UT 84321
MARK.MONTGOMERY@LOGANUTAH.ORG
P. 435.716.9744

7. UTAH STORM WATER FERTMAT:

UTAH DEPARTMENT OF WATER QUALITY
P.O. BOX 144870
SALT LAKE CITY, UTAH 84114-4870
P. 801.538.6146
<http://www.waterquality.utah.gov/UPDES/stormwater.htm>

8. DOMINION ENERGY:

CRISTI FIEDEL
895 WEST 600 NORTH
LOGAN, UT 84321
P. 435.752.7751

	ADJACENT PROPERTY BOUNDARY
	CULINARY WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	CONTOUR MINOR
	CONTOUR MAJOR
	ASPHALT PAVEMENT
	CATCH CURB AND GUTTER
	SPILL CURB AND GUTTER
	CONCRETE PAVEMENT
	EXISTING TO BE REMOVED
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	STORM DRAIN BOX
	STORM WATER CATCH BASIN
	ROAD SIGN
	POWER POLE
	DECIDUOUS TREE
	CONIFEROUS TREE

	PROPERTY BOUNDARY
	CULINARY WATER LINE (SIZE SHOWN ON PLAN)
	SANITARY SEWER LINE (SIZE SHOWN ON PLAN)
	STORM DRAIN LINE (SIZE SHOWN ON PLAN)
	CONTOUR MAJOR
	CONTOUR MINOR
	ASPHALT PAVEMENT
	CATCH CURB & GUTTER
	SPILL CURB & GUTTER
	CURB & GUTTER TRANSITION
	CONCRETE PAVEMENT
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	SEWER MANHOLE
	STORM DRAIN BOX
	STORM WATER CATCH BASIN
	ROAD SIGN

civilsolutionsgroup inc.



CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

BLUE SPRING BUSINESS PARK BLDG 3

JASON LARSEN
1101 NORTH 800 WEST
LOGAN, UTAH 84321

[illegible]

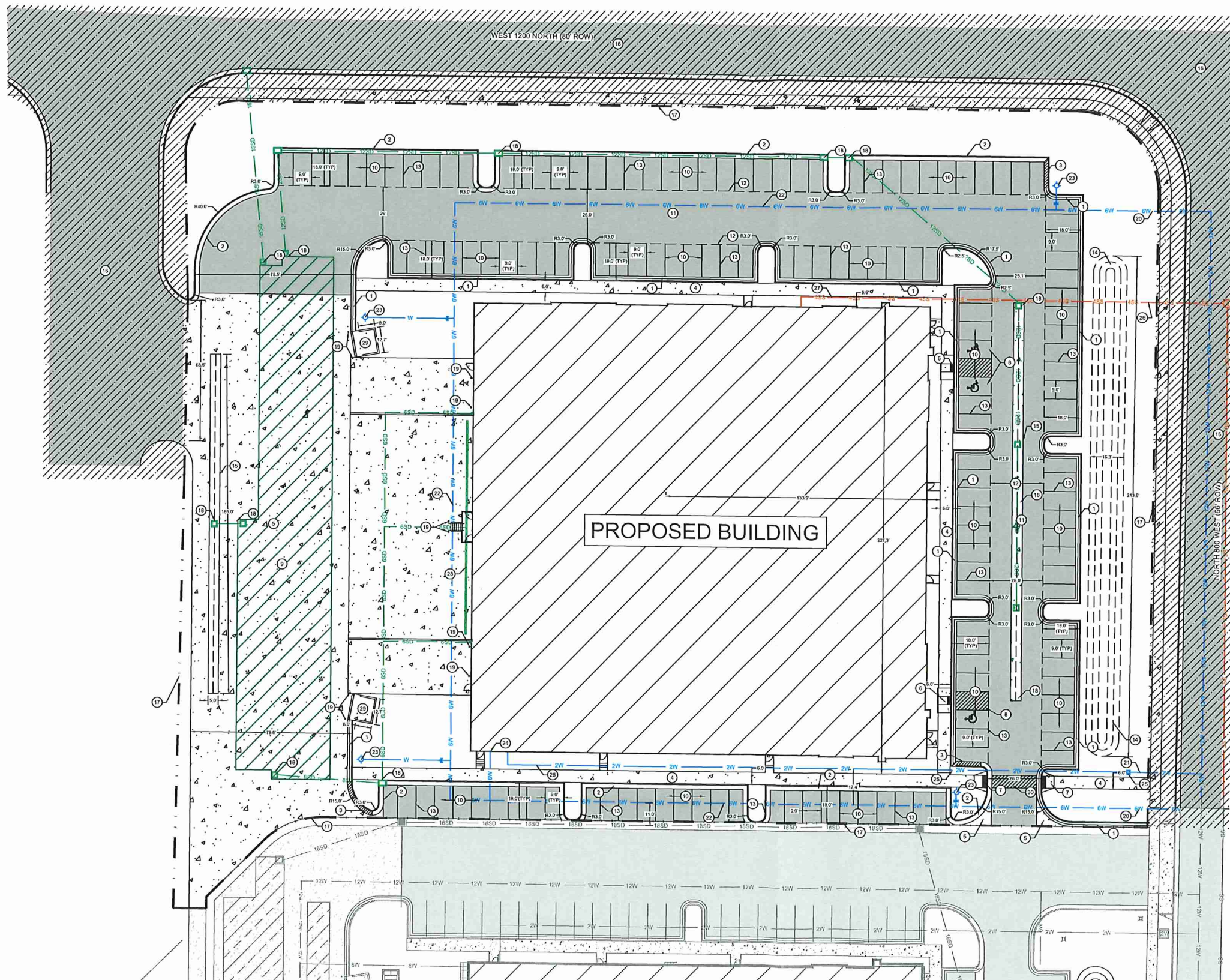
PROJECT #: 21-163
DRAWN BY: C. SCHAFFNER
PROJECT MANAGER: M. TAYLOR
ISSUED: 7/27/2021

COVER SHEET
& LEGEND

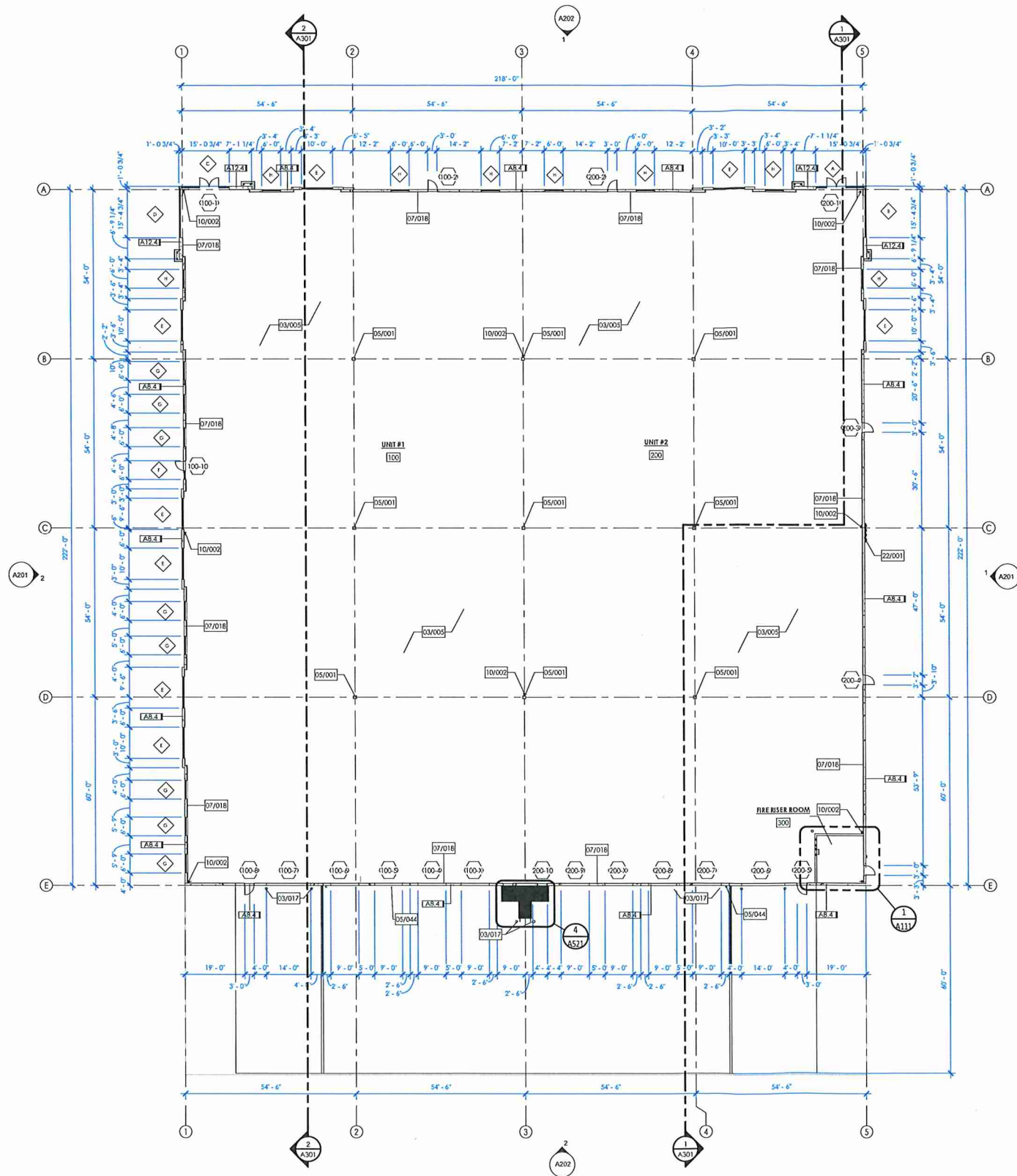
C001



THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF CIVIL SOLUTIONS GROUP, INC. AND SHALL NOT BE PHOTOCOPIED, RE-DRAWN, OR USED ON ANY OTHER PROJECT. OTHER THAN THE PROJECT SPECIFICALLY DESIGNED FOR, WITHOUT WRITTEN PERMISSION, THE OWNERS AND ENGINEERS OF CIVIL SOLUTIONS GROUP, INC. DISCLAIM ANY LIABILITY FOR ANY CHANGES OR MODIFICATIONS MADE TO THESE PLANS OR THE DESIGN THEREON WITHOUT THEIR CONSENT. THESE PLANS ARE DRAWN TO SCALE WHEN PLOTTED ON A 30" X 42" SHEET OF PAPER. THESE PLANS REPRODUCED BY PLLOT OR LAMINATED SHOULD BE CUTTER AS SHOWN.



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1 OVERALL MAIN LEVEL FLOOR PLAN
A101 1/16" = 1'-0"



KEYNOTE LEGEND	
03/005	CONCRETE FLOOR TO BE SEALED, ALL CONTROL JOINTS TO BE EPOXY FILLED AND LEVELED FLUSH WITH FINISHED FLOOR.
03/017	PRECAST CONCRETE BOLLARD, SEE DETAIL 8/A001
05/001	STRUCTURAL STEEL COLUMN - SEE STRUCTURAL FOR SIZES AND DETAILS
05/044	OVERFLOW COW TONGUE
07/018	RIGID INSULATION, TYPICAL AT ALL EXTERIOR PERIMETER WALLS - SEE G002 FOR DETAILS.
10/002	FIRE EXTINGUISHER, STANDARD. FIRE MARSHAL TO APPROVE ALL FINAL LOCATIONS
22/001	GAS METER, SEE MECHANICAL

WALL TYPE LEGEND	
[Symbol]	W101 - 12" CONCRETE TILT-UP PANEL
[Symbol]	W102 - 8" CONCRETE TILT-UP PANEL
[Symbol]	W103 - 6" METAL STUD WALL
[Symbol]	W104 - EXTERIOR 6" METAL STUD

NOTE: SEE S-SETS G004 AND A511 FOR ADDITIONAL WALL TYPE AND FRAMING INFORMATION.

LEGEND

[Symbol]	= DOOR TAGS	[Symbol]	= DETAILS CALL-OUTS TAGS
[Symbol]	= STOREFRONT WALL TAGS	[Symbol]	= SECTION CUTS TAGS
[Symbol]	= KEYNOTE TAGS		
[Symbol]	= ROOM NUMBER		
[Symbol]	= WALL TYPE TAGS: SEE WALL TYPES ON G006		
[Symbol]	'C' = WALL TYPE		
[Symbol]	'S' = STUD SIZE		

GENERAL NOTES

- INTERIOR DIMENSION AT FACE OF STUD. EXTERIOR DIMENSIONS AT FACE OF TILT-UP PANEL.
- PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS.
- INSTALL ALL MATERIALS PER MANUFACTURER'S RECOMMENDATION.
- ALL GYP. BOARD SURFACES TO BE TAPE, SANDED, AND PRIMED.
- SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
- COORDINATE ALL WINDOWS HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
- FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
- FIRE EXTINGUISHERS, SMOKE DETECTORS, OTHER EMERGENCY DEVICE LOCATIONS, AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
- FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT THE PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FURNISHINGS, ARTWORK, ETC.
- DOORS SHALL BE LOCATED 6" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE.
- CONTRACTOR IS TO PROVIDE SUBMITTALS AND SHOP DRAWINGS ON ALL KEYNOTED ITEMS FOR APPROVAL FROM OWNER/ARCHITECT.
- PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY ALL COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
- ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE G003 AND G004. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.

Revision Schedule	Revision Data
DATE	DESCRIPTION

GENERAL NOTES

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12. PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY ALL COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
13. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE G03 AND G04. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.

EXTERIOR ELEVATIONS LEGEND

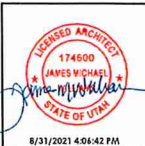
- CONCRETE TILT-UP PANEL PAINTED SW 7757 HIGH REFLECTIVE WHITE - 7.8 % TOTAL AREA
- CONCRETE TILT-UP PANEL PAINTED SW 6259 SPATIAL WHITE - 34.13 % TOTAL AREA
- CONCRETE TILT-UP PANEL PAINTED SW 7670 GRAY SINGLES - 7.18 % TOTAL AREA
- CONCRETE TILT-UP PANEL PAINTED SW 7059 IRON ORE - 31.80 % TOTAL AREA
- ACM PANEL - ALFOLUC MATERIALS CNC CHARCOAL - 0.72 % TOTAL AREA
- ACM PANEL - ALFOLUC MATERIALS KNOTWOOD CHESTNUT - 6.24 % TOTAL AREA
- GLAZING

- NOTES:
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
 2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
 3. SEE DETAILS ON A504 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
 4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
 5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
 6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.

KEYNOTE LEGEND

03/016	CONCRETE WALL REVEAL, TYP.
03/017	PRECAST CONCRETE BOLLARD, SEE DETAIL 8/A001
05/002	DARK BRONZE VERTICAL SEAM METAL PANEL W/ METAL FRAMING - PROVIDE SUBMITTAL FOR APPROVAL
05/023	METAL PARAPET WALL CAP - SEE DETAIL 4/A541
05/024	PRE-FABRICATED METAL CANOPY, SEE OWNER FOR APPROVAL
05/042	METAL CAP FACIA, SEE DETAIL 1/A541
05/044	OVERFLOW COW TONGUE
21/002	FIRE DEPARTMENT KNOX KEY BOX
22/001	GAS METER, SEE MECHANICAL
26/003	EXTERIOR WALL LIGHT FIXTURE, SEE ELECTRICAL
26/005	LIGHT FIXTURE, SEE ELECTRICAL

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BLUE SPRING BUSINESS PARK - BUILDING 3
JASON LARSEN
1101 NORTH 800 WEST LOGAN, UT 84321

Revision Schedule	DESCRIPTION	Revision Date
NAME		

AE201.255
NORTH & SOUTH ELEVATIONS

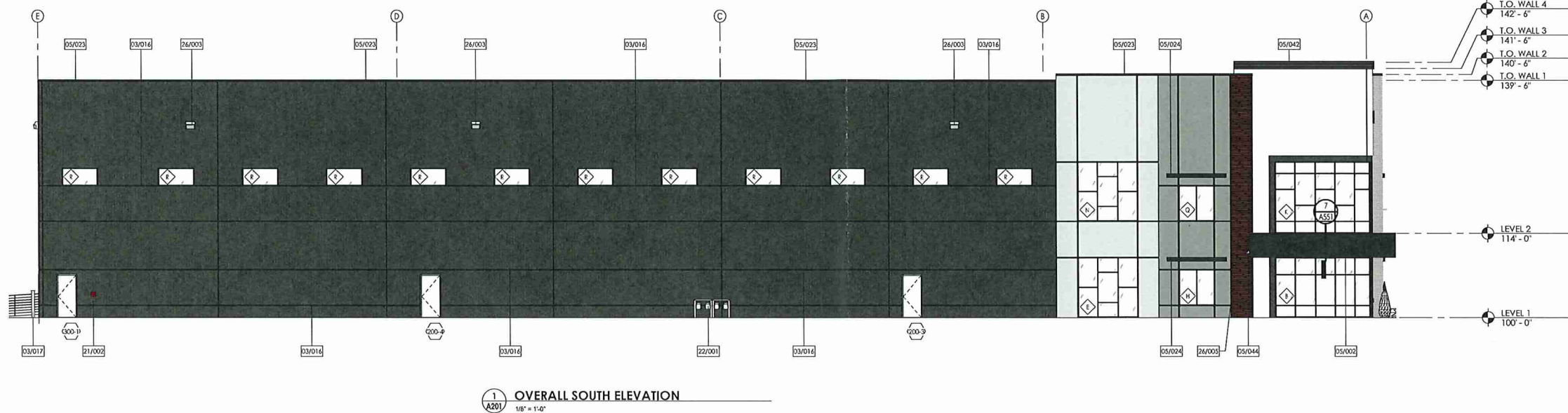
DATE: JULY 30, 2021

SHEET #:

A201

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1 OVERALL SOUTH ELEVATION
1/8" = 1'-0"



2 OVERALL NORTH ELEVATION
1/8" = 1'-0"

GENERAL NOTES

1. INTERIOR DIMENSIONS AT FACE OF STUD. EXTERIOR DIMENSIONS AT FACE OF TILT-UP PANEL.
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO VERIFY ALL COLORS AND MATERIALS.
3. INSTALL ALL MATERIALS PER MANUFACTURERS RECOMMENDATION.
4. ALL GYP. BOARD SURFACES TO BE TAPED, Sanded, AND PRIMED.
5. SEE STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL STRUCTURAL REQUIREMENTS.
6. COORDINATE ALL WINDOWS HEAD HEIGHTS AND SIZES WITH ELEVATIONS AND SCHEDULES.
7. FIRE RATED ASSEMBLIES SHALL BE CONTINUOUS BOTH HORIZONTALLY AND VERTICALLY AND SHALL EXTEND FROM RATED ASSEMBLY TO RATED ASSEMBLY. FIRE CAULK ALL PENETRATIONS.
8. RRE EXTINGUISHERS, SMOKE DETECTORS, OTHER EMERGENCY DEVICE LOCATIONS, AND RATINGS SHALL BE APPROVED BY FIRE MARSHAL PRIOR TO INSTALLATION.
9. FRAMING CONTRACTOR SHALL PROVIDE ADDITIONAL BLOCKING THROUGHOUT THE PROJECT AS REQUIRED TO ACCOMMODATE WALL-MOUNTED FURNISHINGS, ARTWORK, ETC.
10. DOORS SHALL BE LOCATED 6" OFF OF ADJACENT WALL UNLESS NOTED OTHERWISE.
11. CONTRACTOR IS TO PROVIDE SUBMITTALS AND SHOP DRAWINGS ON ALL KEYNOTED ITEMS FOR APPROVAL FROM OWNER/ARCHITECT.
12. PRIOR TO ORDERING ANY EXTERIOR FINISHES, THE CONTRACTOR IS TO VERIFY ALL COLORS AND TYPES OF MATERIALS WITH OWNER/ARCHITECT.
13. ALL ASPECTS OF THIS PROJECT SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT AND THE ASSOCIATED DETAILS - SEE 0003 AND 0004. IF CONFLICTS OCCUR WHICH MAKE COMPLIANCE WITH THE ADA IMPOSSIBLE, NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUING THE WORK.

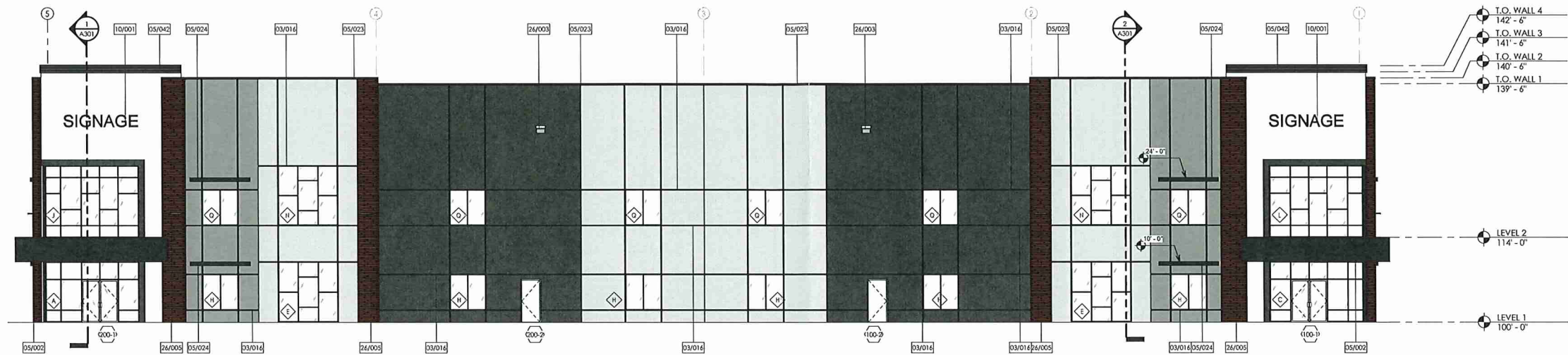
EXTERIOR ELEVATIONS LEGEND

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- NOTES:
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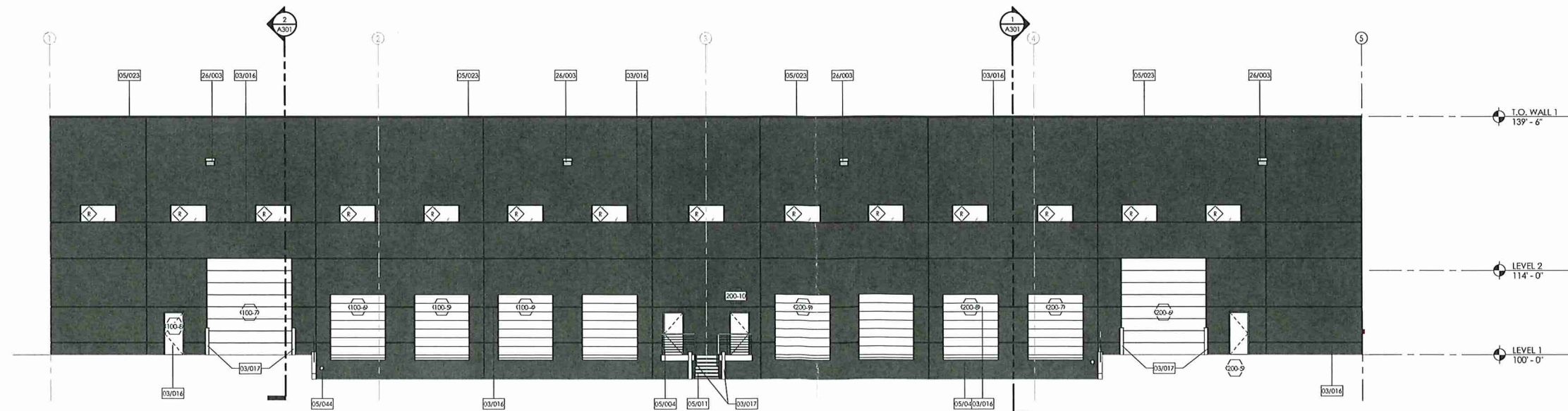
KEYNOTE LEGEND

03/016	CONCRETE WALL REVEAL, TYP.
03/017	PRECAST CONCRETE BOLLARD, SEE DETAIL 8/A001
05/002	DARK BRONZE VERTICAL SEAM METAL PANEL W/ METAL FRAMING - PROVIDE SUBMITTAL FOR APPROVAL
05/004	42" GUARD RAILING GALVANIZED - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
05/011	METAL PAN STAIR PAINTED SAME AS HANDRAIL - PROVIDE SUBMITTAL FOR APPROVAL PRIOR TO FABRICATION
05/023	METAL PARAPET WALL CAP- SEE DETAIL 4/A541
05/024	PRE-FABRICATED METAL CANOPY, SEE OWNER FOR APPROVAL
05/042	METAL CAP FACIA, SEE DETAIL 1/A541
05/044	OVERFLOW COW TONGUE
10/001	FUTURE SIGNAGE PROVIDED BY TENANT. SIGNAGE PERMIT TO BE SEPARATE FROM BUILDING PERMIT.
26/003	EXTERIOR WALL LIGHT FIXTURE, SEE ELECTRICAL
26/005	LIGHT FIXTURE, SEE ELECTRICAL



1 OVERALL EAST BUILDING ELEVATION

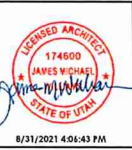
1/8" = 1'-0"



2 OVERALL WEST BUILDING ELEVATION

1/8" = 1'-0"

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JASON LARSEN
1101 NORTH 800 WEST LOGAN, UT 84321

Revision Schedule	Revision Data
NAME	
DESCRIPTION	

AE2021.255
EAST & WEST BUILDING ELEVATIONS

DATE: JULY 30, 2021

SHEET #:

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