



**Project #21-061
C. B. Robbins Subdivision
Located at 1000 North Between 200-300 East**

REPORT SUMMARY...

<i>Project Name:</i>	C. B. Robbins Subdivision
<i>Proponent / Owner:</i>	Nic Porter / Champlin Development, Inc.
<i>Project Address:</i>	1000 North between 200-300 East
<i>Request:</i>	6 Lot Subdivision
<i>Current Zoning:</i>	Neighborhood Residential (NR-6)
<i>Type of Action:</i>	Quasi-Judicial
<i>Hearing Date</i>	September 23, 2021
<i>Submitted By:</i>	Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Subdivision Permit for Project #21-061, C.B. Robbins Subdivision, in the Neighborhood Residential (NR-6) zone located on 1000 North between 200-300 East, TIN #02-020-0022.

Current Land use adjoining the subject property

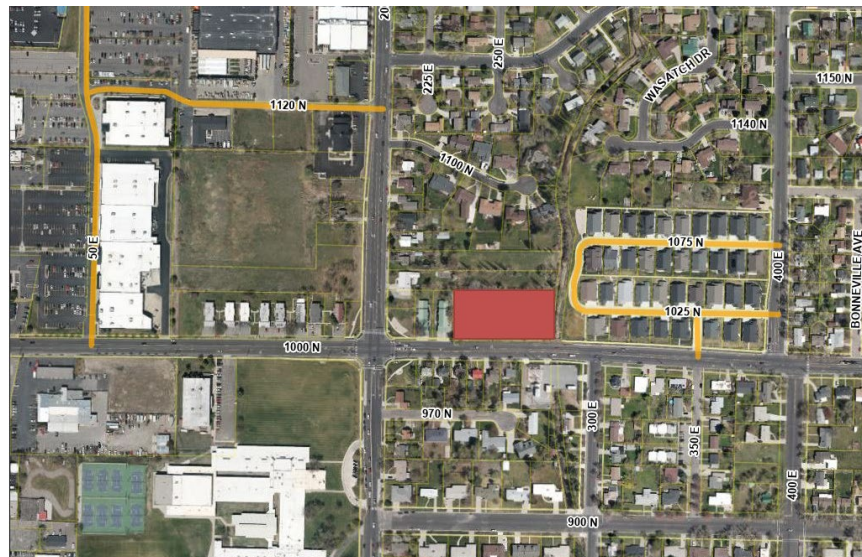
<i>North:</i>	NR-6: Residential Uses	<i>East:</i>	NR-6: Residential Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	NR-6: Residential Uses

Subdivision Proposal

This request is for a 6 lot single family residential subdivision on 1.30 acres. The lot sizes vary from 9,295 SF to 9,8072 SF, are over 50' in width and approximately 162' deep. The proposed density of the subdivision is 4.6 units per acre.

Density & Lot Size

The proposal is consistent with the Logan City General Plan as the area is designated Detached Residential which is planned for new single family residential development. The Land Development Code (LDC) permits subdivisions within the NR-6 zone at a density of six (6) units to the acre and minimum lots sizes of 6,000 SF. The LDC sets an average minimum lot width of 50 feet. As proposed, the subdivision complies with lot size, lot width and density requirements in the LDC.



Site location

Access

The proposed building lots in the subdivision will be accessed by a new private drive connected to 1000 North through one shared entrance. 1000 North is classified as a "Minor Arterial" in the Logan City Transportation Master Plan and sufficiently sized to accommodate the proposed development.

Setbacks

The LDC requirements for setbacks in the NR-6 zone are as follows (as measured from property lines):

Front:	25 feet
Side:	8 feet
Rear:	10 feet

Setbacks for buildings shall be reviewed at the time of the building permit application.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Engineering	
• Water/Cross Connection	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment has been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 9/11/21, and the Utah Public Meeting website on 9/13/21. Public notices were mailed to property owners within 300 feet of the project site on 9/8/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Subdivision Permit and are available in the Community Development Department.
2. Six (6) lots are approved with this subdivision permit.
3. Standard streetscape improvements shall be in place prior to the issuance of final occupancy for all building lots.
4. Street trees are required every thirty feet on center prior to the final Certificate of Occupancy for each home. If occupancy is desired outside of the planting periods a landscape bond for street trees may be approved.
5. Setbacks for buildings shall be reviewed and approved at the time of the building permit application.
6. Final plat shall be recorded within one (1) year of this action. If the project is to be phased, a phasing plan shall be submitted to the Planning Commission for review & approval. Each phase shall be recorded in compliance with the deadlines established in the Land Development Code.
7. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

a. Engineering - contact 716-9160

1. Provide water shares or in-lieu fee for increased water demand for indoor and outdoor usage per Land Development Code 17.29.210

2. Provide storm water detention/retention in accordance with Logan City Storm Water design standards. This included the onsite retention of the 90% storm through the use of Low Impact Design methods.
3. Install public sewer along 1000 North frontage and connect sewer laterals to it.
4. Water pressures east of the City's Pressure Reducing Valve (PRV) in 1000 North can get as high as 150 psi. Connect water service laterals for Lots 1-4 to the Lower Pressure Zone (west of the City's PRV). Relocate the water meter for lot 5 to the west side of the lot and connect to the Lower Zone. Although not ideal, Lot 6 can connect to the upper zone (east of the PRV)
5. Maintain 15-ft set-back from bank of canal. Due to the proximity of the project to the canal, the plat must include canal/irrigation signature and construction drawings will be subject to canal/irrigation review and signature.
6. Add 5-ft PUE at each side of interior property boundaries.
7. Coordinate with the City to dedicate right of way needed to support a minor arterial road as called for in Transportation Master Plan. Due to current existing restrictions this will be less than the 102' called for in Street Design Standards. Necessary dedication to be determined during design review process for the subdivision.
8. The project is located in close proximity to a City Municipal well. No underground stormwater storage (Class V Injection well) is allowed within Source Protection Zones.
9. Construct park strip and 5' sidewalk in City right of way along 1000 N frontage.

b. Water/Cross Connection - contact 716-9627

1. All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter.
2. All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction.
3. Project shall comply with all current plumbing codes, Utah State Amendments and the Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed subdivision is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the subdivision meets the minimum lot sizes and maximum allowed densities for the NR-6 zone.
2. The Subdivision Permit conforms to the requirements of Title 17.48 concerning hearings, procedures, application requirements and plat preparations.
3. The project meets the goals and objectives of the Logan General Plan by providing new residential housing in areas with existing services and infrastructure.
4. 1000 North provides adequate access and utility services to the subdivision.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

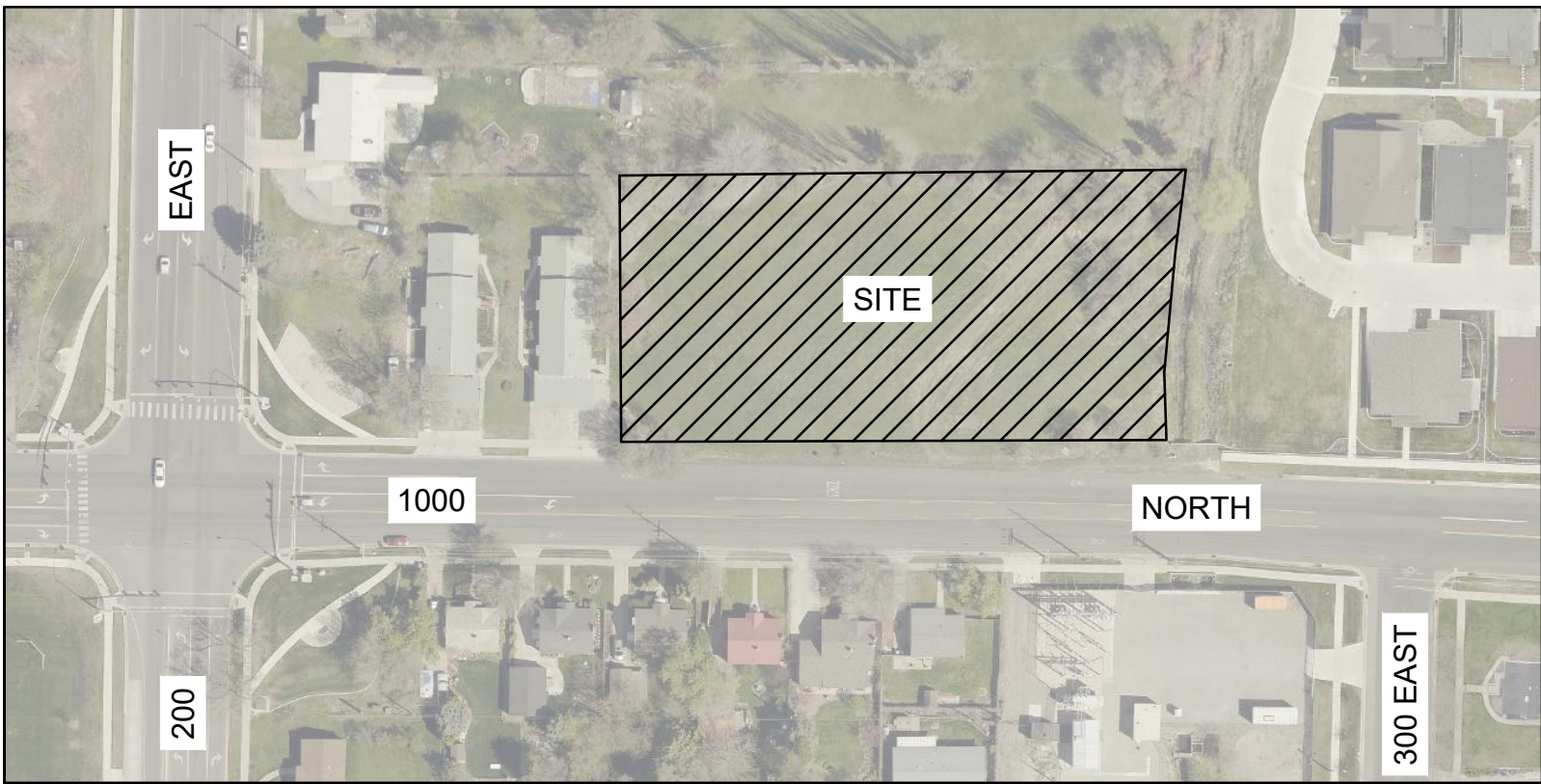
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

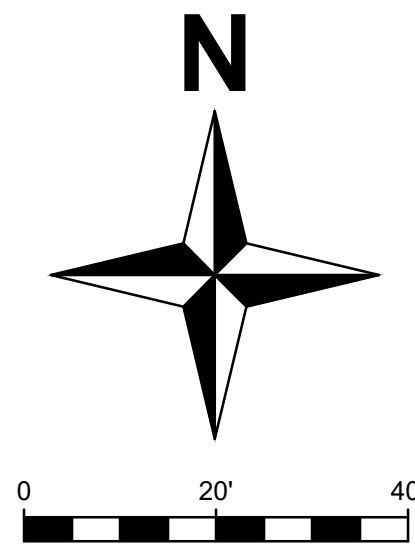
For Staff Only				
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 8/16/21	Received By	Scheduled Meeting Date Sept. 23	Zone NR-6	Application Number PC 21-061
Type of Application (Check all that apply): <i>ADMIN</i> <input type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME C. B. Robbins Subdivision				
PROJECT ADDRESS 1000 North between 200 & 300 east			COUNTY PLAT TAX ID # 05-020-0022	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Nic Porter			PHONE # 435-535-1137	
MAILING ADDRESS PO Box 4362 Logan UT 84323		CITY	STATE	ZIP
EMAIL ADDRESS nic@marleeandcompany.com				
PROPERTY OWNER OF RECORD Champlin Development Inc.			PHONE #	
MAILING ADDRESS		CITY	STATE	ZIP
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)			Total Lot Size (acres) 1.29	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots 6	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Project Representative <i>Nicholas Porter</i>		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner		

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -



VICINITY MAP
N.T.S

PRELIMINARY PLAT
OF
CB ROBBINS SUBDIVISION
LOCATED IN A PART OF BLOCK 1/2 OR 11/4 PLAT "D", LOGAN FARM SURVEY
THE SW1/4 OF SECTION 27, T12N, R1E, SLB&M
LOGAN, UTAH



BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED NORTH 01°25'11" EAST, A DISTANCE OF 189.78 FEET AND SOUTH 89°37'33" EAST A DISTANCE OF 214.54 FEET FROM THE SOUTHWEST CORNER OF SAID BLOCK 1/2 OR 11/4 (11.5 RODS NORTH AND 14 RODS EAST BY RECORD), SAID POINT ALSO BEING LOCATED NORTH 88°23'38" EAST 1415.52 FEET AND NORTH 01°25'11" EAST 189.78 FEET AND SOUTH 89°37'33" EAST A DISTANCE OF 214.54 FEET FROM LOGAN CITY GIS MONUMENT #259 FROM WHICH MONUMENT THE LOGAN CITY GIS MONUMENT #335 BEARS SOUTH 05°01'19" WEST 1266.67 FEET; THENCE, SOUTH 89°37'33" EAST, A DISTANCE OF 353.90 FEET TO THE WEST BANK OF THE LOGAN-HYDE PARK CANAL; THENCE SOUTHERLY ALONG SAID WEST BANK THE FOLLOWING THREE (3) COURSES:
(1) SOUTH 08°46'46" WEST, A DISTANCE OF 52.66 FEET;
(2) SOUTH 04°30'25" WEST, A DISTANCE OF 35.90 FEET;
(3) SOUTH 03°02'44" WEST, A DISTANCE OF 74.73 FEET TO THE NORTH LINE OF 1000 NORTH STREET;

THENCE, ALONG SAID NORTH LINE NORTH 89°37'33" WEST, A DISTANCE OF 343.10 FEET; THENCE NORTH 01°25'11" EAST A DISTANCE OF 162.58 FEET TO THE POINT OF BEGINNING.

CONTAINING: 1.29 ACRES

GENERAL NOTES

- PUES:
 - 10-ft ALONG STREET
 - 5-ft ALONG REAR
 - 5-ft ALONG SIDES
- ZONE: NR-6
- SETBACKS:
 - FRONT: 25-ft or 10-ft FROM PRIVATE DRIVE.
 - (CORNER: 20-ft)
 - SIDE: 5-ft
 - REAR: 10-ft
 - CANAL: 15-ft
- STORM WATER:
 - THE 80TH-PERCENTILE STORM RUNOFF FROM THE LOTS
 - WILL RETAINED IN A SWALE THE PARK STRIP

CONTACT INFORMATION

- SUBDIVIDER:
MARLEE & COMPANY
P: 435-535-1137
E: NIC@MARLEEANDCOMPANY.COM
- OWNER OF RECORD:
CHAMPLIN DEVELOPMENT, INC
PO BOX 6221
NORTH LOGAN, UT 84341
P: 435-244-0861
- CIVIL ENGINEER:
MICHAEL E. TAYLOR, PE
CIVIL SOLUTIONS GROUP, INC.
498 W 100 S
PROVIDENCE, UT 84332
P: 435.213.3762
E: MTAYLOR@CIVILSOLUTIONSGROUP.NET
- LAND SURVEYOR:
JEFF NIELSEN, PLS
FORESIGHT LAND SURVEYING, INC.
2005 N 600 W
LOGAN, UT 84321
P: 435-7531910
E: JEFF@FORESIGHTSURVEY.COM

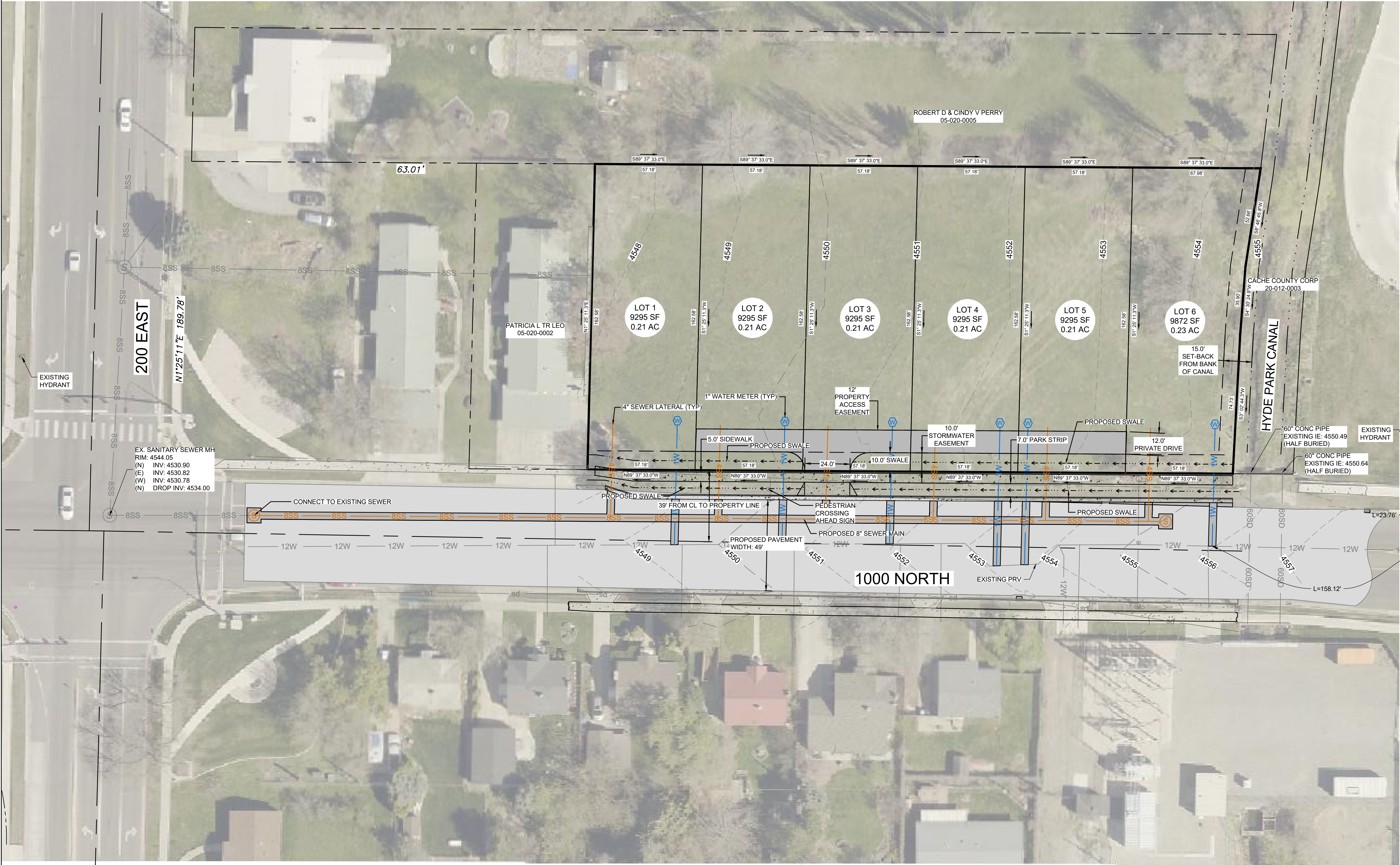
LEGEND

- 12W — EXISTING 12" WATER LINE
- 8SS — EXISTING 8" SEWER LINE
- SD — SD — SD — EXISTING STORM DRAIN LINE
- - - - - EXISTING CONTOUR
- [Symbol] EXISTING SIDEWALK
- [Symbol] EXISTING CURB
- [Symbol] PROPOSED SIDEWALK
- [Symbol] PROPOSED CURB
- 8SS — PROPOSED 8" SEWER MAIN
- 4SS — PROPOSED 4" SEWER LATERAL
- (S) PROPOSED SEWER MANHOLE
- 1W — PROPOSED 1" WATER METER LATERAL
- [Symbol] PROPOSED WATER METER

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civilsolutionsgroup inc.

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info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

CB ROBBINS SUBDIVISION
PRELIMINARY PLAT
LOGAN, UT

MARK:	DATE:	DESCRIPTION:

PROJECT #: 21-242
DRAWN BY: D. OLSEN
PROJECT MANAGER: M. TAYLOR
ISSUED: 9/8/2021



PRELIMINARY
PLAT

SHEET 1 OF 1