

Project #21-060
Mural at 939 HWY 89
Located at 939 South HWY 89/91
TIN# 02-085-0007

REPORT SUMMARY...

Project Name: Mural at 939 HWY 89
Proponent / Owner: Matthew F Harris / Stronghold Assets LLC
Project Address: 939 South HWY 89/91
Request: Design Review Permit
Current Zoning: Commercial (COM)
Type of Action: Quasi-Judicial
Hearing Date: Sept. 23, 2021
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-060, Mural at 939 HWY 89, in Commercial (COM) zone located at 939 South HWY 89/91, TIN #02-085-0007.

Current Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

Existing Conditions

The existing single-story block masonry commercial storage building was built in 1974 and sits in the rear yard (west) behind the recently constructed commercial retail building along Highway 89/91. The east façade contains multiple roll-up style doors to access the storage units and the south and west facades are blank block walls.



Figure 1 shows the proposed mural design.

Land Development Code

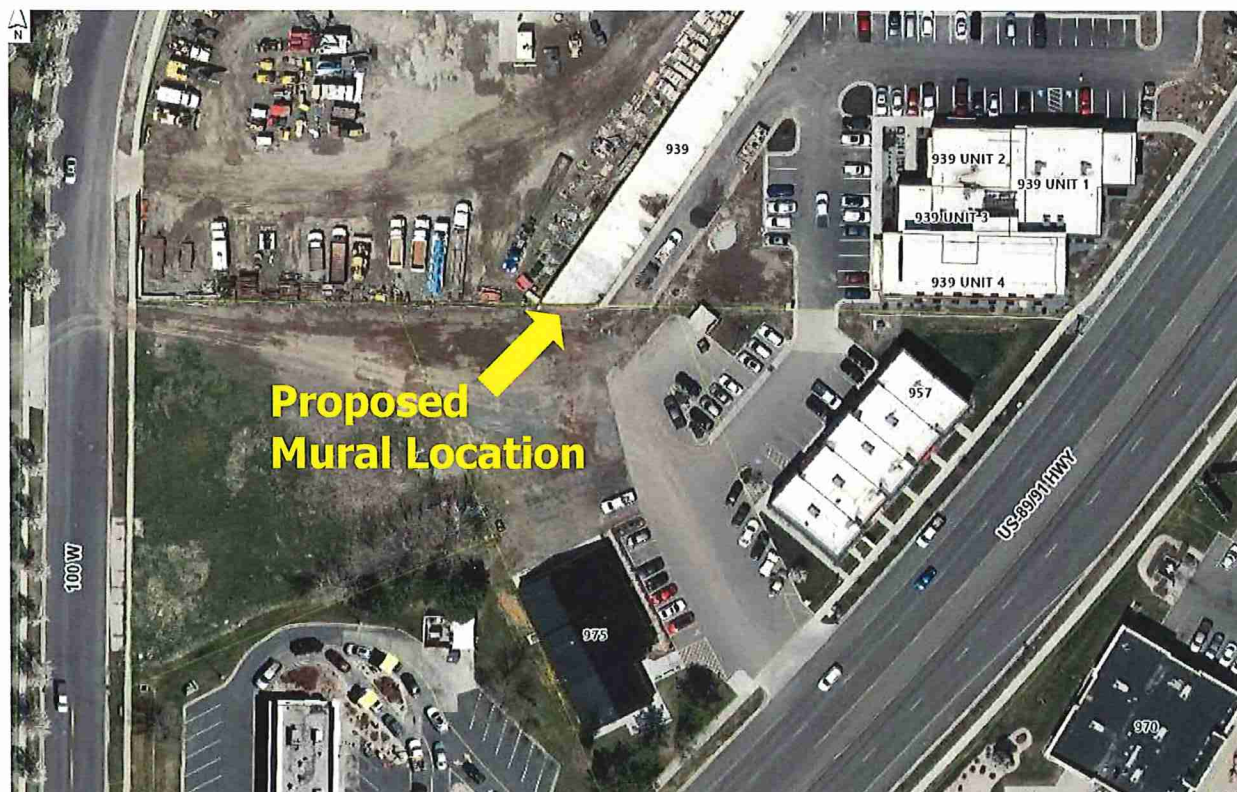
The Land Development Code (LDC) §17.43.040 requires a Design Review Permit for wall art that covers more than 10% of the first story façade area. Murals should be artistically based and shouldn't contain obvious commercial or advertising content nor should they be offensive or vulgar in nature. Commercial signage that contains advertising content can cover a maximum of 10% of the first-floor facade wall area but shall have a sign permit approved prior to installation.

General Plan

The Logan City General Plan does not specifically address wall art or murals.

Proposal

This request is to paint a mural on the entire south wall of the storage unit building that is approximately 15' tall by 32' wide. The wall is approximately 220 feet from the edge of Highway 89/91. The mural depicts a colorful bulls head with birds sitting on his horns. Red, yellow and orange flowers and leaves are shown in front of a solid blue background color. An ear-tag is shown on the bull's right ear listing "Lux Salon Suites". This commercial message is approximately 3% of the overall wall area and in compliance with commercial wall sign regulations.



AGENCY AND CITY DEPARTMENT COMMENTS

No comments were solicited from city departments.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 9/11/21, and the Utah Public Meeting website on 9/13/21. Public notices were mailed to property owners within 300 feet of the project site on 9/8/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review Permit and are available in the Community Development Department.
2. The mural shall be limited to entire south wall of the storage unit building located at 939 South Highway 89/91.
3. The commercial message on the ear-tag of the bull shall be limited to no more than 10% of the wall.
4. The mural or wall art must be neatly maintained. Fading, rips, peeling away or cracks shall be repaired in a timely manner.
5. Because the wall placed on the southern property line, the artist shall obtain written permission from the property owner of 975 South Highway 89/91 for a temporary access easement to paint the mural.
6. No digital displays or electronic message centers are permitted for this mural or wall art.
7. The mural or wall art shall not be obscene in nature as defined in Utah State law.
8. The mural or wall art shall not be three-dimensional or project out from the façade wall.
9. Any lighting associated with this project shall be downcast and oriented inward so that only the wall is illuminated, and glare is not projected onto neighboring properties.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

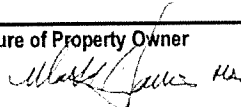
The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the mural will not interfere with the architectural design of the building.
2. The Design Review Permit conforms to the requirements of Title 17.47 concerning hearings, procedures, application requirements and plan preparations.
3. The project meets the goals and objectives of the COM zoning designations within the Logan General Plan by providing unique urban spaces.
4. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
5. The wall art is appropriately sized and proportionate to the overall building.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

For Staff Only <input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 8/16/21	Received By	Scheduled Meeting Date Sept. 23	Zone COM	Application Number PC 21-060
Type of Application (Check all that apply): <u>WOODRUFF</u>				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME Mural at 939 Highway 89				
PROJECT ADDRESS 939 Highway 89 Logan, Ut 84321			COUNTY PLAT TAX ID # 02-085-0007	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Matthew F Harris			PHONE # 4357644300	
MAILING ADDRESS 235 east 600 south hyde park, ut 84318		CITY	STATE	ZIP
EMAIL ADDRESS Mfharris8@gmail.com				
PROPERTY OWNER OF RECORD Stronghold Asselts LLC			PHONE # 4357644300	
MAILING ADDRESS 235 east 600 south hyde park ut 84318		CITY	STATE	ZIP
EMAIL ADDRESS Mfharris8@gmail.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Mural on the side of a storage unit building. Art project			Total Lot Size (acres)	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Project Representative		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		

APPLICATION MUST BE ACCURATE AND COMPLETE
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -



Fwd: Wall Mural

1 message

M Harris <mfharris8@gmail.com>

To: Russ Holley <russ.holley@loganutah.org>

Hi Russ. This is written permission from the adjacent property owner to go ahead with the mural project.

Matt H

----- Forwarded message -----

From: **Tyler Kyriopoulos** <tyler@gwpark.com>

Date: Thu, Aug 19, 2021, 12:42 PM

Subject: Re: Wall Mural


To: M Harris <mfharris8@gmail.com>

Matt,

Thanks for reaching out! I think that looks great! I'm sure it will be a valued addition to the area!

If I can help with anything, including costs, just let me know!

Thanks,
Tyler

signature_210007776

Tyler Kyriopoulos
Principal Partner/Playologist
435-760-5103 c
435-245-5055 o
805-512-7156 f
tyler@gwpark.com

www.gwpark.com
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