



**Project #21-058**  
**Neighborhood Nonprofit Housing Office Expansion**  
**Located at 195 Golf Course Road**  
**TIN# 02-064-0010**

**REPORT SUMMARY...**

|                           |   |
|---------------------------|---|
| <i>Project Name:</i>      | Neighborhood Nonprofit Housing Office Expansion     |
| <i>Proponent / Owner:</i> | Josh Runhaar / Neighborhood Nonprofit Housing Corp. |
| <i>Project Address:</i>   | 195 Golf Course Road                                |
| <i>Request:</i>           | Conditional Use Permit                              |
| <i>Current Zoning:</i>    | MR-12   |
| <i>Type of Action:</i>    | Quasi-Judicial                                      |
| <i>Hearing Date</i>       | Sept. 23, 2021                                      |
| <i>Submitted By:</i>      | Russ Holley, Senior Planner                         |

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Conditional Use Permit for Project #21-058, Neighborhood Nonprofit Housing Office, in Mixed Residential Low (MR-12) zone located at 195 Golf Course Road, TIN #02-064-0010.

*Current Land use adjoining the subject property*

|               |                         |              |                         |
|---------------|-------------------------|--------------|-------------------------|
| <i>North:</i> | MR-12: Residential Uses | <i>East:</i> | COM: Commercial Uses    |
| <i>South:</i> | MR-12: Residential Uses | <i>West:</i> | MR-12: Residential Uses |

**Proposal**

Neighborhood Nonprofit Housing Corporation provides affordable housing options for people throughout the valley and state. Built in 2008, the existing 4,027 SF single-story brick office building sits at the corner of Golf Course Road and Riverwalk Parkway. This proposal includes a 6,168 SF building addition, parking lot and landscaping improvements. The two-story building addition is placed in the rear yard along the west bank of the Logan River and uses similar materials and colors.



Figure 1 shows the proposed two-story office addition to the left of the existing single-story office.

**Land Development Code**

The Land Development Code (LDC) §17.52.050 requires a Conditional Use Permit (CUP) to enlarge a legally existing nonconforming use. As per LDC 17.42.050, the Planning Commission may approve a CUP after substantiating findings based on neighborhood compatibility, character, code compliance, and infrastructure capacities.

## **Property History**

In 2005 the Logan City Planning Commission approved (PC #05-056) Design Review and Conditional Use Permit for a new 33-unit senior housing complex and a stand-alone 4,000 SF office. At the time of the approval the property was zoned Commercial Neighborhood (CN). Both the residential apartments and office building were built in 2008. In 2011, the property was rezoned to Mixed Residential (MR).

## **SITE PLAN**

The MR-12 zone allows for relatively compact residential development with ample setbacks, lot coverage and adequate open space. Lot coverage is limited to 40%, building frontages are required to be a minimum 50% at the front setback, and open space and outdoor space must total at least 30%.

### ***Setbacks***

The setback requirements in the MR-12 zone for commercial/public buildings are as follows:

|                      |     |
|----------------------|-----|
| Front (min):         | 10' |
| Side: (min)          | 8'  |
| Rear: (min)          | 10' |
| Parking (front):     | 10' |
| River (top of bank): | 25' |

The following setbacks are proposed (as measured from property lines):

|                 |  |
|-----------------|--|
| Front (south):  | 25' (existing and unchanged by proposal) |
| Side (west):    | 50'                                      |
| Rear (north):   | 20'                                      |
| Parking (west): | 22' (existing and unchanged by proposal) |
| River (east):   | 31'                                      |

As submitted, the project meets the setback requirements of the LDC.

### ***Access & Circulation***

The vehicular and pedestrian access to building addition come from both Golf Course Road and Riverwalk Parkway. The parking area is accessed via a driveway that connects to parking areas to the north associated with the senior apartments. Existing sidewalks along both streets connect to the building's south and west sides providing pedestrian access. The existing parking area along Riverwalk Parkway is shown with modifications reducing the amount of asphalt. The brick, concrete masonry unit, and stucco are similar to the existing building.

### ***Parking***

The applicant has submitted an alternative parking plan to the Director of Community Development for consideration and approval because the request reduction is less than a 15% deviation from base standards. The proposed project reduces overall parking from 72 stalls to 65 stalls. This reduction provides more parking stalls than total employees (27 employees and 29 available parking stalls) and takes advantage of underutilized parking associated with their senior housing complex on the adjacent property to the north. The plan considers alternative transportation and is attached for review. The Director of Community Development has conditionally approved the proposed plan and is attached for your review.

### ***Open Space***

The LDC 17.07.080 requires 20% open space and an additional 10% useable outdoor space in the MR-12 zone. The LDC 17.35 generally describes open space as landscaping, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 0.58-acre property would require 5,052 SF of open space and 2,526 SF of outdoor space for a combined total 5,880 SF of open area.

## Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for multi-family and commercial projects. The LDC also requires minimum perimeter and interior parking lot landscaping to reduce the visual and environmental impacts of asphalt parking lots. Being an addition, landscaping requirements will only apply to re-developed areas. Areas that are existing and undisturbed are considered legally existing. As conditioned with minimum open space areas for the property and a detailed landscaping plan for all disturbed areas with minimum plant numbers, the project complies with the LDC.



Figure 2 shows the proposed site plan

## Building Design

The LDC 17.09.040 requires buildings to have minimum variations, interesting façade design, a mix of materials and articulation for aesthetically pleasing projects. The code requires building orientation that creates inviting architecture from the adjacent street with convenient pedestrian friendly features. The proposed project shows the addition to the rear (north) of the existing building and paralleling the river corridor. The flat-roofed addition connects the existing building at an approximate 45-degree angle. As proposed with a mix of materials, wall articulations and fenestration, the project meets the building design requirements in the LDC.

## Lighting

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet, and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

## AGENCY AND CITY DEPARTMENT COMMENTS

Comments received from other City Departments are included in the conditions of approval below.

## **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

## **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 9/11/21, and the Utah Public Meeting website on 9/13/21. Public notices were mailed to property owners within 300 feet of the project site on 9/8/21.

## **RECOMMENDED CONDITIONS OF APPROVAL**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review Permit and are available in the Community Development Department.
2. The building addition shall maintain a 25-foot setback from the top bank of the Logan River.
3. If any changes occur to the parking situation, the applicant shall return for a new parking review and approval.
4. All pedestrian entrances shall have weather protection provided above.
5. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Open Space and Useable Outdoor areas shall total a minimum of 7,578 SF.
  - b) 20 trees and 50 shrubs/perennials per acre of disturbed project site shall be provided.
  - c) 18 SF of interior/perimeter parking lot landscaping shall be provided per every parking stall contained within the surface parking area.
  - d) Street trees shall be provided along streets where they currently do not exist at every 30 feet on center.
6. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
7. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
8. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
9. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
10. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
11. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. *Fire—contact 716-9515*
    - Provide fire flow analysis and fire lane – no parking signs required.
  - b. *Engineering —contact 716-9160*
    - Maintain existing stormwater pond volume. An Erosion/Sediment control plan is required and appropriate BMPs installed to provide appropriate protection of the River from construction related pollutants.
    - Provide water shares or in-lieu fee for increased demand to City system. Required water demand shall be determined per Utah Administrative Code R309-510-7.
    - No utilities were shown on the site plan, will address these drawings as part of the Building Permit Review process.

- It is unclear if additional utilities will be installed. If new waterlines are needed, the onsite utilities shall be considered private and will require a Private Water Utility Agreement to be signed and recorded at County Recorder's office.
  - All site and utility plans for Building Permit Review shall be stamped by a Licensed Professional Engineer in the State of Utah.
  - The landscape site plan shows land disturbance activities within the 100-year flood plain. Obtain Logan City Floodplain Development Permit and appropriate Section 404 from ACOE/State Engineer. Any work done in or on the bank of the Logan River will require a Stream Alteration Permit from the State
- c. *Water* —contact 716-9627
- The existing buildings water main and landscape irrigation system has approved and tested backflow assemblies. Connecting down stream of these is ok. Any new water services from the city will require additional backflow assemblies as per code. Relocation of any assembly requires it to be retested.
  - Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) backflow assembly installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
  - All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction.
  - Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

### **RECOMMENDED FINDINGS FOR APPROVAL FOR THE CONDITIONAL USE PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the mural will not interfere with the architectural design of the building.
2. The Conditional Use Permit conforms to the requirements of Title 17.42 concerning hearings, procedures, application requirements and plan preparations.
3. The project meets the Conditional Use Permit standards of approval concerning neighborhood character and compatibly.
4. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
5. The existing land use and its position being commercial to the east and multi-family to the west will have minimal impacts to the existing character of the neighborhood.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.





CENTER STREET  
ARCHITECTS

170 E. CENTER STREET  
LOGAN, UTAH 84321  
CENTERSTREETARCH.COM



MELLE DETTENMAIER 435.690.2009  
CHRISTIAN WILSON 435.232.8662

|         |   |
|---------|---|
| TITLE   | WEST AND NORTH ELEVATIONS                       |
| PROJECT | NEIGHBORHOOD HOUSING SOLUTIONS, OFFICE ADDITION |
| CLIENT  | NEIGHBORHOOD HOUSING SOLUTIONS                  |
| ADDRESS | 195 GOLF COURSE ROAD, LOGAN, UTAH 84321         |

| REVISIONS |      |             |
|-----------|------|-------------|
| NO.       | DATE | DESCRIPTION |
|           |      |             |
|           |      |             |
|           |      |             |

DATE: 04-02-2021  
JOB NO: 20113  
SCALE:  
DRAWN: MD

SHEET  
**A200**

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C1 NORTH ELEVATION  
A200 1/4" = 1'-0"



A1 WEST ELEVATION  
A200 1/4" = 1'-0"



36X24



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CHRISTIAN WILSON 435.232.8662

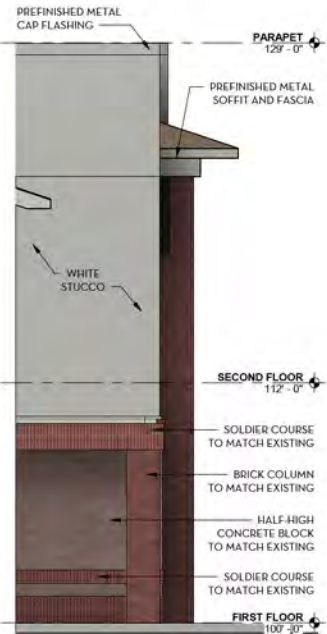
TITLE EAST AND PARTIAL SOUTH ELEVATION  
PROJECT NEIGHBORHOOD HOUSING SOLUTIONS, OFFICE ADDITION  
CLIENT NEIGHBORHOOD HOUSING SOLUTIONS  
ADDRESS 195 GOLF COURSE ROAD, LOGAN, UTAH 84321

| REVISIONS |      |             |
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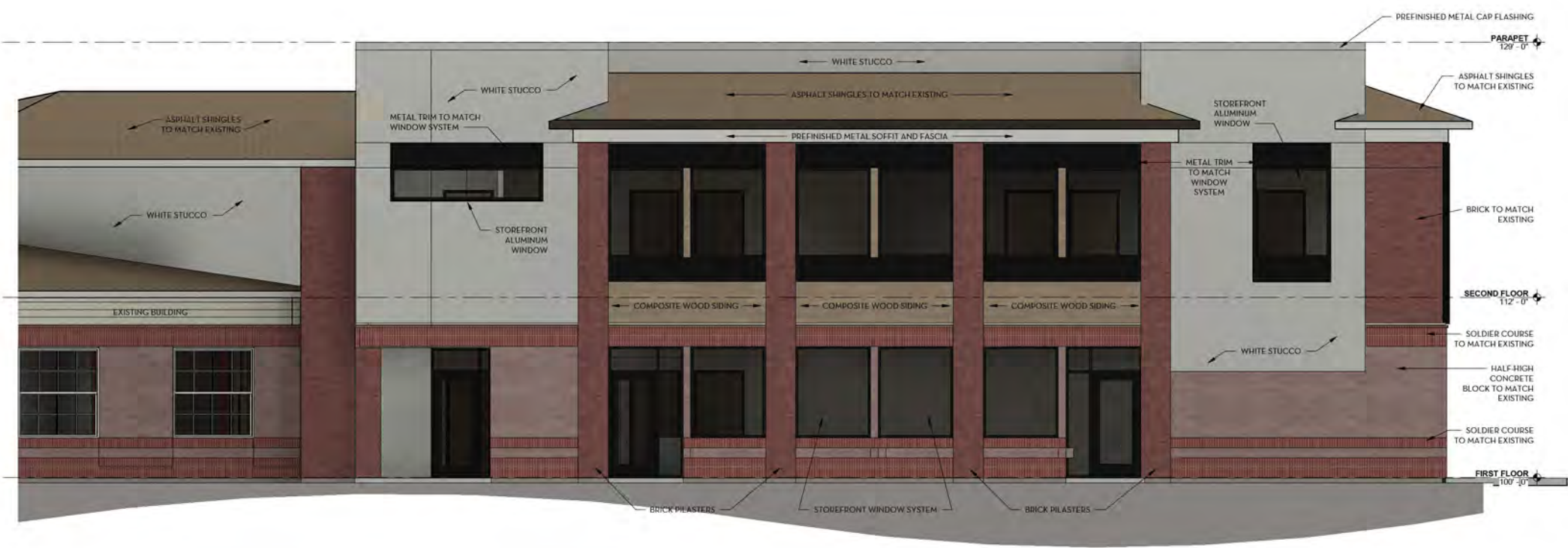
DATE: 04-02-2021  
JOB NO: 20113  
SCALE:  
DRAWN: MD

SHEET  
**A201**

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C5 PARTIAL SOUTH ELEVATION  
A201 1/4" = 1'-0"



A1 EAST ELEVATION  
A201 1/4" = 1'-0"



D



C1 FRONT - NORTH  
A433 NO SCALE

C



C3 FRONT - SOUTH  
A433 NO SCALE

B



A1 FRONT - STRAIGHT ON  
A433 NO SCALE

A



A3 FRONT RENDERING  
A433 NO SCALE

3

4

5



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CHRISTIAN WILSON 435.232.8662

| TITLE   | EXTERIOR RENDERINGS - FRONT                     |
|---------|---|
| PROJECT | NEIGHBORHOOD HOUSING SOLUTIONS, OFFICE ADDITION |
| CLIENT  | NEIGHBORHOOD HOUSING SOLUTIONS                  |
| ADDRESS | 195 GOLF COURSE ROAD, LOGAN, UTAH 84321         |

| REVISIONS |      |             |
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DATE: 04.02.2021  
JOB NO. 20113  
SCALE:  
DRAWN: MD

SHEET  
**A433**





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LOGAN, UTAH 84321  
CENTERSTREETARCH.COM



MELLE DETTENMAIER 435.890.2009  
CHRISTIAN WILSON 435.232.8662

|       |                            |   |  |
|-------|----------------------------|---|--|
| TITLE | EXTERIOR RENDERINGS - REAR |   |  |
|       | PROJECT                    | NEIGHBORHOOD HOUSING SOLUTIONS, OFFICE ADDITION |  |
|       | CLIENT                     | NEIGHBORHOOD HOUSING SOLUTIONS                  |  |
|       | ADDRESS                    | 195 GOLF COURSE ROAD, LOGAN, UTAH 84321         |  |

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DATE: 04.02.2021  
JOB NO. 20113  
SCALE:  
DRAWN: MD

SHEET

A434



C1 REAR - SOUTH  
A434 NO SCALE

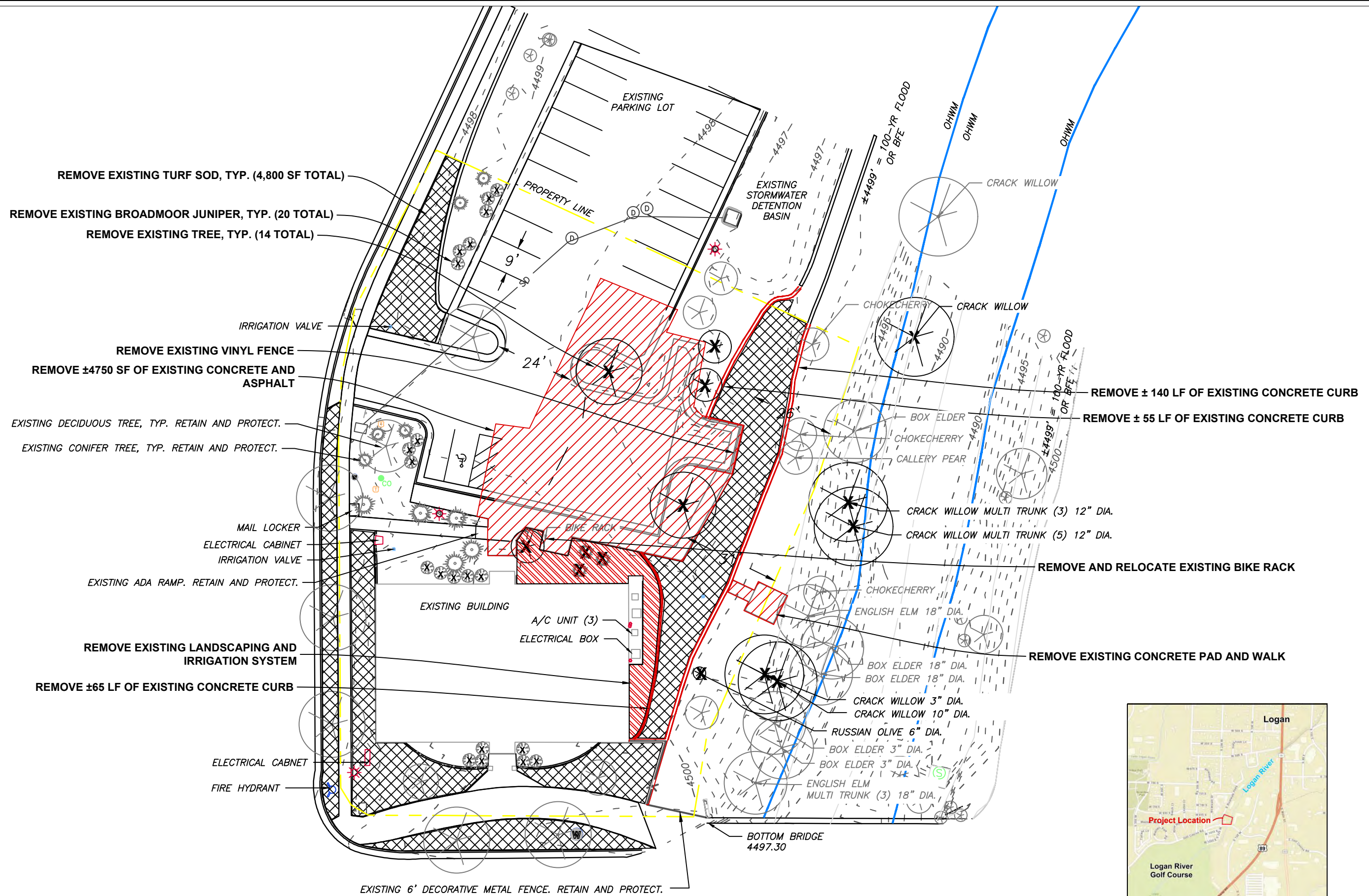


C3 REAR - STRAIGHT  
A434 NO SCALE



A3 REAR - NORTH  
A434 NO SCALE





PREPARER:  
  
1063 West 1400 North  
Logan, Utah 84321

Sandra Davenport  
Professional Engineer  
No. 6677105  
License No. 81132072  
State of Utah

NEIGHBORHOOD NONPROFIT  
195 West Golf Course Road  
Logan, Utah

PROJECT OWNER:  
**NNHC**

| REV. | DATE | DESCRIPTION |
|------|------|-------------|
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CONTRACT NO.:  
PROJECT NO.: BW#2976  
DRAWN BY: SD  
CHECKED BY: CS  
DATE: AUGUST 2021

SHEET TITLE:  
**LANDSCAPE  
DEMOLITION PLAN**

SHEET IDENTIFIER:  
  
BINDING  
ORDER

To: Mike Desimone, Community Development Director

Date: August 3, 2021

Re: Alternative Parking Plan for Neighborhood Nonprofit Housing Corp (NNHC) Office Expansion

As was discussed at our meeting with you on August 2, 2021, I am providing a written request for an alternative parking plan in relation to the expansion of our office facilities that will be forthcoming to Logan City for both Conditional Use and building permits. The present condition is that our building (Parcel #02-064-0010) functions with 4,027 square feet of office use, but the expansion is proposed to increase that to a total of ~10,195 square feet. This would require a maximum total of 34 parking stalls (1 stall per 300 square feet). It is anticipated that this additional office space will take many years to fill to capacity.

Our request is to have an alternative parking plan approved with a small reduction in the total stalls required and a shared parking agreement with the property to the north of our office, River Park Senior Housing (Parcel #02-064-0017). NNHC is the owner of River Park and has a nearly 10-year history of rental information. The property is a deed restricted, 40-unit housing development for senior and disabled very low-income individuals.

River Park Senior Housing: (current conditions reflect a similar trend over the past 10 years)

Single Occupant Units: 38

2 Occupant Units: 2

# Units requesting parking passes: 25

Projected maximum need for parking: 41 stalls (1 per unit, 1 for property management/maintenance)

The difference between the 41 stalls and the number of actual parking passes along with on-street parking provides more than sufficient visitor parking. Additionally, this facility is well served by mass transit and para-transit services through CVTD. Many residents also walk or use motorized wheelchairs to access nearby shopping.

Entire Site Pre-Office Expansion

72 Parking Stalls

6 Handicap Stalls (4 for River Park, 2 for NNHC)

Entire Site Post Construction

65 Parking Stalls

5 Handicap Stalls (4 for River Park, 1 for NNHC)

**Shared Parking Proposal:**

River Park will maintain 41 parking stalls for their sole use. All of these stalls are currently numbered and will continue to be assigned out per unit basis. This is not a change in any way to how this facility has been operating for 10 years.



NNHC will use the remaining 29 stalls, including 10 of the covered stalls on the south side of River Park. This is a reduction of 5 stalls (14.7%) from the maximum required. This reduction is requested based on the following:

- 1) CVTD bus stop is located ~600' from our building near the corner of 300 West and Golf Course Road. §17.31.090(E)(1)
- 2) Even with every single existing and proposed work space filled in the expansion, only 27 stalls would be required to accommodate our employees and/or any leased space. This is an unlikely occurrence due to some of our staff working outside of the office during the day and our flex schedules for employees, with start times from 7-9am daily and 3 weekly shift options (4x 10s, 4x 8s, and 9x 80s). Our business also has very few visitors, and those that do come are typically by appointment only. Much of our client interaction is handled via zoom or other online means.
- 3) Our highest visitor parking demands would potentially happen during Board meetings (up to 8 vehicles) which occurs once every other month (which may require some on-street parking) and self-help group meetings (6-10 vehicles) which would always occur during evening or weekend hours.

It is proposed that a shared parking agreement will be recorded upon issuance of the CUP to make the arrangement permanent.

A handwritten signature in blue ink, appearing to read 'Josh Runhaar', with a long horizontal flourish extending to the right.

Josh Runhaar, AICP

Executive Director





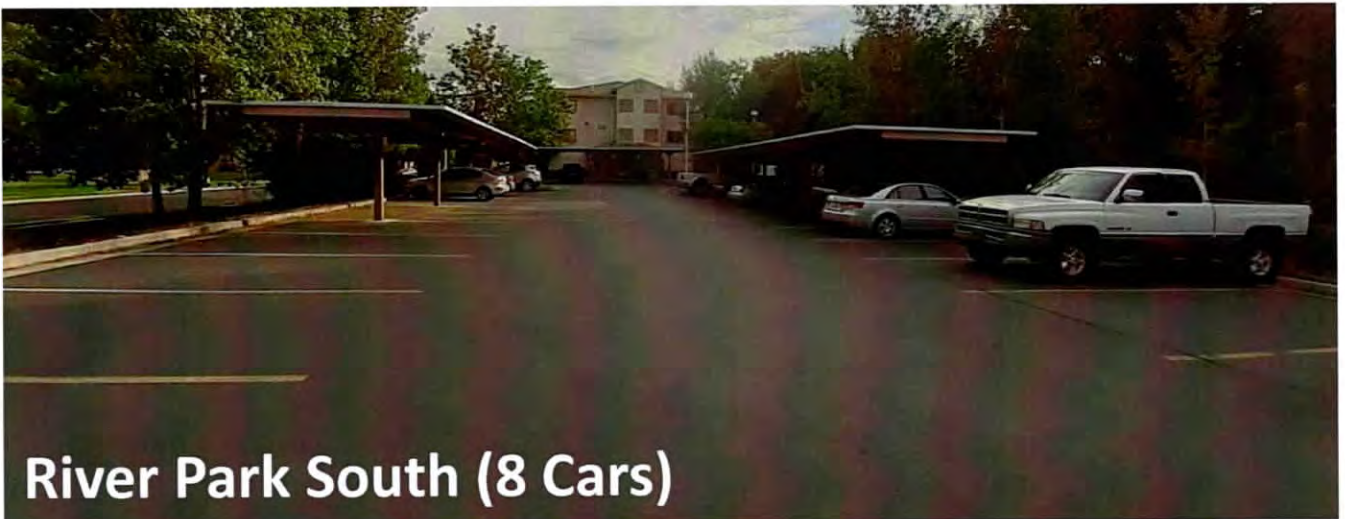
23 Parking Stalls  
2 Handicap Stalls

35 Parking Stalls  
2 Handicap Stalls

14 Parking Stalls  
2 Handicap Stalls

Post Expansion  
7 Parking Stalls  
1 Handicap Stalls





Pictures taken at 8:30 in the morning on a work day. Most cars for River Park remain in the parking lot throughout the day as there is not much parking difference in the residential need between day and night. At present, River Park allows Carl Inoway Senior Housing to use 4 parking stalls in the north lot as there is so much spare capacity. This will likely continue even with the new parking arrangement.





Mike Desimone <mike.desimone@loganutah.org>

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## Alternative Parking Plan - NNHC

1 message

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Mike Desimone <mike.desimone@loganutah.org>

Mon, Aug 16, 2021 at 10:04 AM

To: Josh Runhaar <josh@neighborhoodhousing.net>, Russ Holley <russ.holley@loganutah.org>

Hi Josh

I have reviewed your Alternative Parking Plan submitted pursuant to Section 17.31.050 of Logan City's Land Development Code and give my preliminary approval of your alternative parking plan pending final CUP & Design Review approval from the Planning Commission. If there are no changes to the site layout, project composition or parking demands, then this approval will become final. If there are any changes made to the site or project, then you will need to submit an updated parking plan reflecting those changes. Any deviations above 15% will require approval from the Planning Commission. This approval is also predicated upon you recording a shared parking agreement between the two parcels (02-064-0010 & 02-064-0017) upon completion of the CUP process. This is required prior to pulling a building permit for the proposed addition.

I will also include this information with your project submission.

Any questions, let me know.

thanks

--

Michael A. DeSimone, AICP  
Community Development Director  
Logan City  
290 North 100 West  
Logan, Utah 84321  
(435) 716-9022

[mike.desimone@loganutah.org](mailto:mike.desimone@loganutah.org)







# APPLICATION FOR PROJECT REVIEW

|  |                   |  |  |  |
|--|-------------------|--|--|--|
| For Staff Only   |                   |  |  |  |
| <input checked="" type="checkbox"/> Planning Commission  |                   | <input type="checkbox"/> Land Use Appeal Board |  | <input type="checkbox"/> Administrative Review |
| Date Received<br>8/12/21   | Received By<br>RH | Scheduled Meeting Date<br>Sept. 23             | Zone<br>MR-12  | Application Number<br>21-058                   |
| Type of Application (Check all that apply): <u>Woodruff</u><br><input type="checkbox"/> Design Review <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review<br><input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other  |                   |  |  |  |
| PROJECT NAME<br>Neighborhood Nonprofit Housing Office Expansion  |                   |  |  |  |
| PROJECT ADDRESS<br>195 Golf Course Road  |                   |  | COUNTY PLAT TAX ID #<br>0264-0010<br><u>02-0641-0010</u>                             |  |
| AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER<br>Josh Runhaar  |                   |  | PHONE #<br>(435)757-2399   |  |
| MAILING ADDRESS<br>195 Golf Course Road  |                   | CITY<br>Logan                                  | STATE<br>UT  | ZIP<br>84321                                   |
| EMAIL ADDRESS<br>Josh@NNHC.net   |                   |  |  |  |
| PROPERTY OWNER OF RECORD<br>Neighborhood Nonprofit Housing Corp  |                   |  | PHONE #<br>Same  |  |
| MAILING ADDRESS<br>Same  |                   | CITY   | STATE  | ZIP  |
| EMAIL ADDRESS<br>Same  |                   |  |  |  |
| DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED<br>(Include as much detail as possible - attach a separate sheet if needed)  |                   |  | Total Lot Size (acres)<br>0.58   |  |
| Expansion of the existing office building to include a new two-story wing joining the existing building on the north east corner and running parallel to the river. Will include a new entry/lobby area, break room, a large conference room, a small conference room, bathrooms, and 12 new offices. Improvements will also be made along the river frontage including the removal of invasive species (Crack Willow), landscape improvements on the entire site, and a patio/deck area facing the Logan River. Cross access parking easements will be in place with River Park Senior Housing to the north, which is also owned by NNHC. |                   |  | Size of Proposed New Building (square feet)<br>10,195 (4027 Existing, 6168 Addition) |  |
|  |                   |  | Number of Proposed New Units/Lots<br>NA  |  |
| I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.  |                   |  | Signature of Property Owner's Authorized Project Representative                      |  |
| I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.  |                   |  | Signature of Property Owner  |  |