



Project #21-053
Old Ephraim Apartments
Located at approximately 655 East 400 North

REPORT SUMMARY...

Project Name: Old Ephraim Apartments
Proponent / Owner: Nathan Whittaker / GBN Enterprises LLC & KSF Prop. LLC
Project Address: 655 E. 400 N.
Request: Design Review Permit
Current Zoning: Campus Residential (CR)
Type of Action: Quasi-Judicial
Hearing Date: September 9, 2021
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #21-053, Old Ephraim Apartments, in the Campus Residential (CR) zone located at approximately 655 E. 400 N., TIN #06-058-0005; -0006; -0003; -0004.

Current Land use adjoining the subject property

<i>North:</i>	CR: Residential Uses	<i>East:</i>	CR: Residential Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	CR: Residential Uses

Project Proposal

This proposal includes the demolition of one (1) existing residential structure and the construction of two (2) new multi-family student housing structures on 0.45 acres. The proposed three-story buildings have four (4) units each positioned side-by-side in a townhome style. Each unit has a ground floor 2-car garage, a second-floor kitchen/living room and a third floor with three bedrooms. Cross-access and parking improvements are proposed for the adjoining partnering properties (KSF Prop. LLC). The proposed project will have access to both 400 North and 700 East streets.



Figure 1 shows the proposed buildings.

Land Use & Density

The Land Development Code (LDC) 17.07.110 permits both residential density at no more than 40 dwelling units per acre or no more than 240 occupants per acre with a Conditional Use Permit in the CR zone. Up to six (6) occupants per dwelling unit (no more than two (2) per bedroom) may be permitted in the CR zone. This application is pursuing standard density of 40 units per acre and not more than six (6) people per unit. Each new unit is proposed with three (3) bedrooms.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the CR zone are as follows (as measured from property lines):

Front:	10' (opposite NR zones = 25')
Side:	8'
Rear:	10'
Parking (front):	10'
Parking (side/rear):	5'

The following setbacks are proposed (as measured from property lines):

Front (south):	25'
Side (east):	55'
Side (west):	15'
Rear (north):	10'
Parking (front):	25'
Parking (side/rear):	NA (shared driveway)

As proposed, the project meets the setback requirements in the LDC.

Lot Coverage & Building Frontage

The LDC 17.7.110 establishes a maximum lot coverage of 60% (building(s) footprint in relation to overall lot size) and a minimum building frontage of 75% (percentage of building width to overall lot width at front setback) in the CR zone. The submitted project shows a lot coverage of 20%. Considering the shared right-of-way along the west side of the property and third story overhang, the building frontage equals 71%. This amount is less than 10% of the base numerical standard and within the LDC 17.43.080 approval adjustment limit for the Planning Commission. As conditioned with the Planning Commission deciding building frontage, the project meets the requirements in the LDC.

Parking Requirements

The LDC 17.07.110 requires one (1) parking stall per occupant in the CR zone. The application includes cross parking agreements with three surrounding properties, one to the north and two to the east. The application indicates that there will be 38 new beds associated with the new Old Ephraim Apartments (4 units with 6 tenants each, 1 unit with 5 tenants & 3 units with three tenants). At this occupancy and with 38 parking stalls dedicated to Old Ephraim Apartments, the number of parking stalls equals the number of occupants. Of the three off-site shared parking agreements, two of the properties will have one parking stall per every one occupant. The remaining cross-access property is a duplex at 425 North 700 East This duplex property only associates seven parking stalls with a maximum possible occupancy of 12 tenants. An occupancy restriction will need to be recorded on both Old Ephraim Apartments and the Duplex as they have the potential for more occupants than parking stalls. Bike racks are required for new multi-family developments. As conditioned with occupancy restrictions filed for Old Ephraim Apartments and the Duplex at 425 North 700 East, the proposed project meets the requirements in the LDC. See note on conditions of approval re occupancy

Building Design, Site Layout & Pedestrian Circulation

The LDC 17.09.040 requires multi-family buildings to have minimum variations, interesting façade design, a mix of materials and articulation for aesthetically pleasing projects. The code requires building orientation that creates inviting architecture from the adjacent street, surface parking lots located in subordinate locations and prominent and convenient pedestrian circulation for better walkability. The proposed project shows two new buildings along 400 North. Six of the units orient sideways on the property and two of the end units orient forward towards the street. The building materials include stone, stucco and fiber-cement board lap siding. The flat-roofed structure has modern lines and unique shapes meeting minimum articulation requirements. The site plan shows sidewalk connections to 400 North. As proposed with the end units oriented towards the street, the project meets the requirements in the LDC.



Figure 2 shows the proposed site plan.

Building Heights

The LDC allows building heights in the CR zone at 55 feet. When properties are adjacent or opposite to NR zones, height transitions are required to start at 35 feet. The proposed buildings are shown at 30'-1" tall and comply with height standards. As proposed, building height is in compliance with the LDC standards.

Open Space

The LDC 17.07.110 requires 20% open space and an additional 10% useable outdoor space in the CR zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 0.45-acre property would be required 3,920 SF of open space and 1,960 SF of outdoor space for a combined total 5,880 SF of open area. The proposed conceptual landscape plan shows approximately 10,724 SF of open space meeting the requirement in the LDC. As conditioned with final landscaping plans and minimum open space, the project meets the requirements of the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for multi-family residential projects. The LDC also requires minimum perimeter and interior parking lot landscaping to reduce the visual and environmental impacts of asphalt parking lots. At 0.45 acres, 9 trees and 22 shrubs are required on-site. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	• Environmental

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 8/28/21, posted on the City's website and the Utah Public Meeting website on 8/30/21, and mailed to property owners within 300 feet on 8/23/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes 8 new apartments with three bedrooms each.
3. The building frontage shall be 75% unless reduced by the Planning Commission in accordance with LDC 17.43.
4. Not really a condition of approval.
5. An occupancy restriction will be placed on the Old Ephraim Apartments capping total number of tenants at 38 and no more than two per bedroom. The building permit floorplans shall specify each bed (occupant) for each unit and correspond with the recorded occupancy restriction.
6. An occupancy restriction will be placed on the duplex at 425 North 700 East limiting total property occupancy to seven (7) tenants and no more than two people per bedroom.
7. Cross access and cross parking agreements shall be recorded on each affected property title in accordance with this proposal and can not be removed unless Logan City agrees to the alternative parking solution. These agreements shall be recorded prior to obtaining a building permit.
8. Parking shall be provided at one parking stall per every one occupant (tenant) and bike racks shall be provided for the new 8 units.
9. All pedestrian entrances shall have weather protection provided above.

10. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 5,80 SF.
 - b) 9 trees and 22 shrubs/perennials shall be provided.
 - c) 18 SF of interior/perimeter parking lot landscaping shall be provided per every parking stall contained within the surface parking area.
 - d) Street trees shall be provided where they currently do not exist at every 30 feet on center along 400 North.
11. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
12. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
13. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
14. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
15. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
16. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
17. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Provide fire flow analysis and fire lane – no parking signs required.
 - b. *Engineering —contact 716-9160*
 - Provide water shares or in-lieu fee for increased water demand for indoor and outdoor usage per Land Development Code 17.29.210
 - Provide storm water detention/retention for site per Logan City Storm Water design standards.
 - Due to the increased traffic developed by development UDOT may require a review of existing access to 400 North. Schedule this review with the CAMP process.
 - City policy regarding water meters for buildings with 4 units to require individual water meters to each unit.
 - Modify park strip, curb and bridge approach on 700 East to comply with drive access and parking as approved by Community Development
 - c. *Water —contact 716-9627*
 - 1-) All three story tall or taller (above finish grade) residential buildings must have a minimum DC (ASSE1015) backflow assembly installed and tested on the water main/s as it/they enters the building/s before any branch offs or possible connections.
 - 2-) All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning water into them and annually thereafter.
 - 3-) Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) backflow assembly installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - 4-) All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction. Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.
 - d. *environmental – contact 716-9760*

- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of enclosure to protect walls.
- Gates are not required, however if desired, they must be designed to stay open during the collection process.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
- Current enclosure needs to be shifted to the East so both bins are accessible straight on from driveway.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project meets the goals and objectives of the CR designation within the Logan General Plan by providing student housing near the University.
4. The proposed project complies with maximum height, density and building design, parking requirements, and open space standards and is in conformance with Title 17.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. 400 North provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.



APPLICATION FOR PROJECT REVIEW

☐ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 8/2/21		Received By MEETING DATE Sept. 9 CR - Adams		Application Number PC 21-053	
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____					
PROJECT NAME Old Ephraim Apartments					
PROJECT ADDRESS 655 E 400 N. and 675 E 400 N				COUNTY PLAT TAX ID # 06 - 058 - 0005	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Nathan Whittaker				MAIN PHONE # 435-881-4334	
MAILING ADDRESS 3414 N. 1800 E		CITY N. Logan		STATE UT	
EMAIL ADDRESS nate@whittprop.com		ZIP 84341			
PROPERTY OWNER OF RECORD (Must be listed) KSF Properties, LLC - Kent Field				MAIN PHONE # 435-757-5368	
MAILING ADDRESS 6800 Enterprises, LLC - Nathan Whittaker		CITY Logan		STATE UT	
EMAIL ADDRESS 1546 E 1425 N		ZIP 84341			
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Eight, 3 Level, 3-Bedroom townhome Units divided into Two - 4-Plexes. Alternate parking on parcels 06-058-0003 and 06-058-0004				Total Lot Size (acres) .45 Acres	
				Size of Proposed New Building (square feet) TOTAL 12,000 sq ft	
				Number of Proposed New Units/Lots 8	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -					
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 		

Old Ephraim Apartments Parking Narrative

435 N & 425 N 700 E Parking

Currently tenants of 435 N & 425 N 700 E, owned by Kent Field of KSF Properties, have an unfavorable parking situation. Each property's driveway is packed with the tenant's 12 vehicles double, triple, and even stacked 5 cars deep, extending over the parking strip. In addition, despite proximity of only 150 feet from 4th North, they do not have access to it.

The site plan resolves the 4th North access and parking congestion issues for the landlord and his tenants. In addition to the 2 parking spaces preserved in each property's driveway, a one-way lane traveling between the two homes provides access to 18 parking stalls behind the homes in a well-designed, flow promoting parking lot, hidden from the street, with a one-way exit ramp into Old Ephraim Apartment's parking lot, providing access to 4th North. Six of these stalls are dedicated to tenants of The Podium (existing triplex, 675 E 400 N). Open and green space code requirements are maintained with this concept.

There are 2 additional unclaimed parking spaces in this lot as well. One of the homes is a duplex. Campus Residential Zone compliant future occupancy between the homes and Old Ephraim may claim their use or they may be visitor stalls.

The Podium Parking (675 E 400 N)

The Podium has 14 covered parking stalls under its living space and 4 uncovered parking stalls to the west of the building. 6 additional stalls will come from the parking lot east of the building, behind the 435 N & 425 N 700 E homes.

Old Ephraim Apartments Parking (655 E 400 N)

16 covered parking spaces are provided on the ground level of the eight 3-bedroom, 2-car garage townhomes. 22 uncovered parking stalls make up the open parking lot on this site concept.

Parking

2 messages

Nathan Whittaker <natwhitt@gmail.com>
To: Russ Holley <russ.holley@loganutah.org>

Tue, Aug 31, 2021 at 3:45 PM

Hello Russ,

I spoke with Kent Field, the owner of 425 and 435 N 700 E. He will be at the meeting on the 9th. The duplex (425 E) has 3 bedrooms per unit, a total of 6. So Kent and I discussed and agreed that we will anticipate approval, conditioned upon occupancy limited by parking stalls for his as well as my units.

I plan on occupying 4 units with 6 tenants (24), 1 unit with 5 tenants (5), and 3 units with 3 tenants (9) to fill the 38 parking stalls. Thanks for your help.

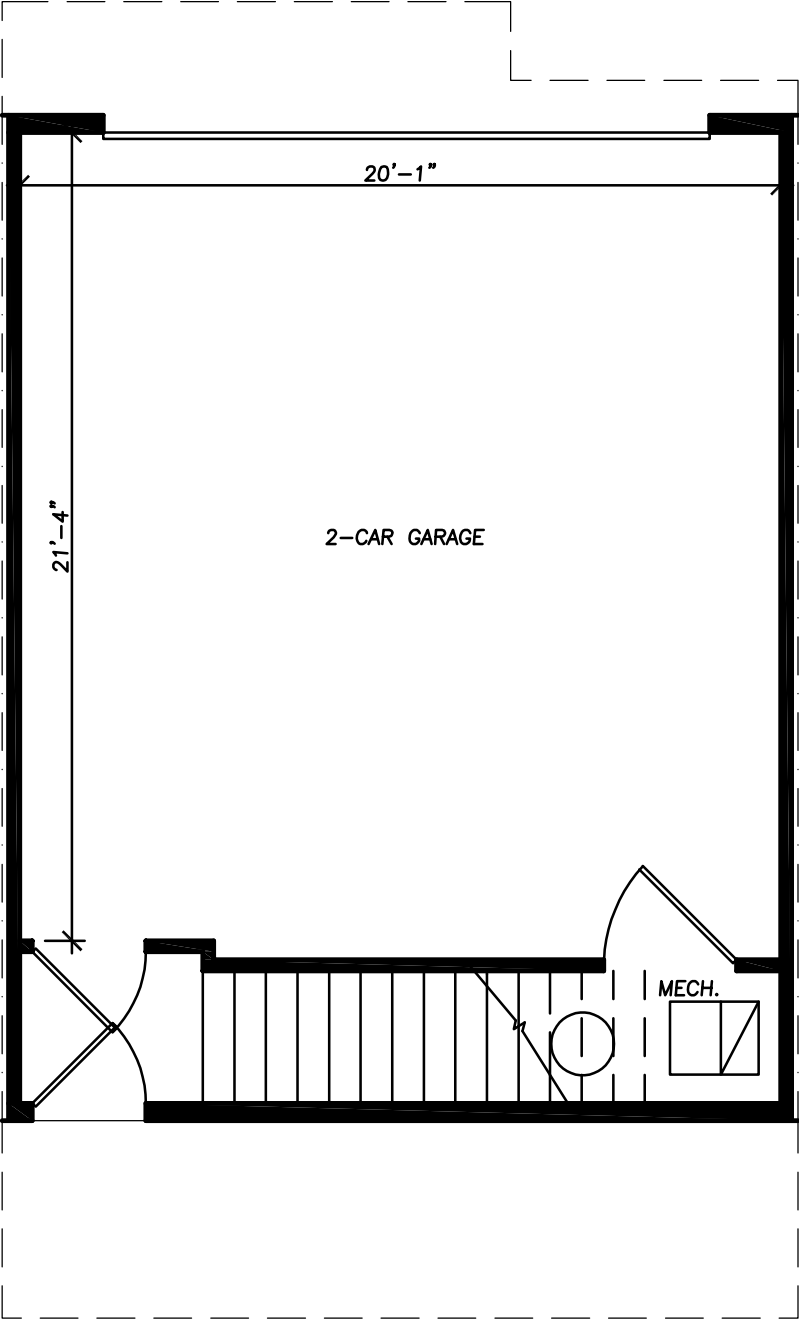
--

Nathan Whittaker
435-881-4334



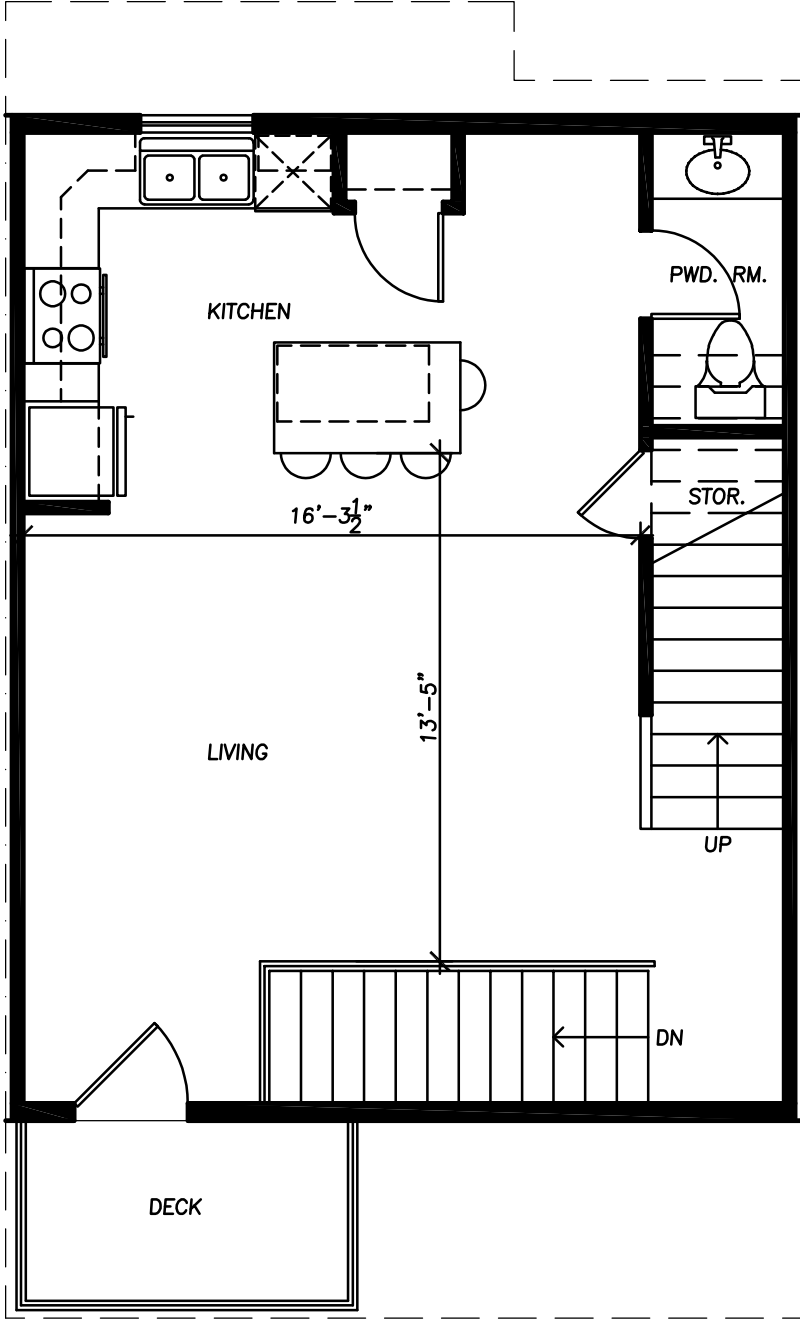
Russ Holley <russ.holley@loganutah.org>
To: Nathan Whittaker <natwhitt@gmail.com>

Tue, Aug 31, 2021 at 4:53 PM



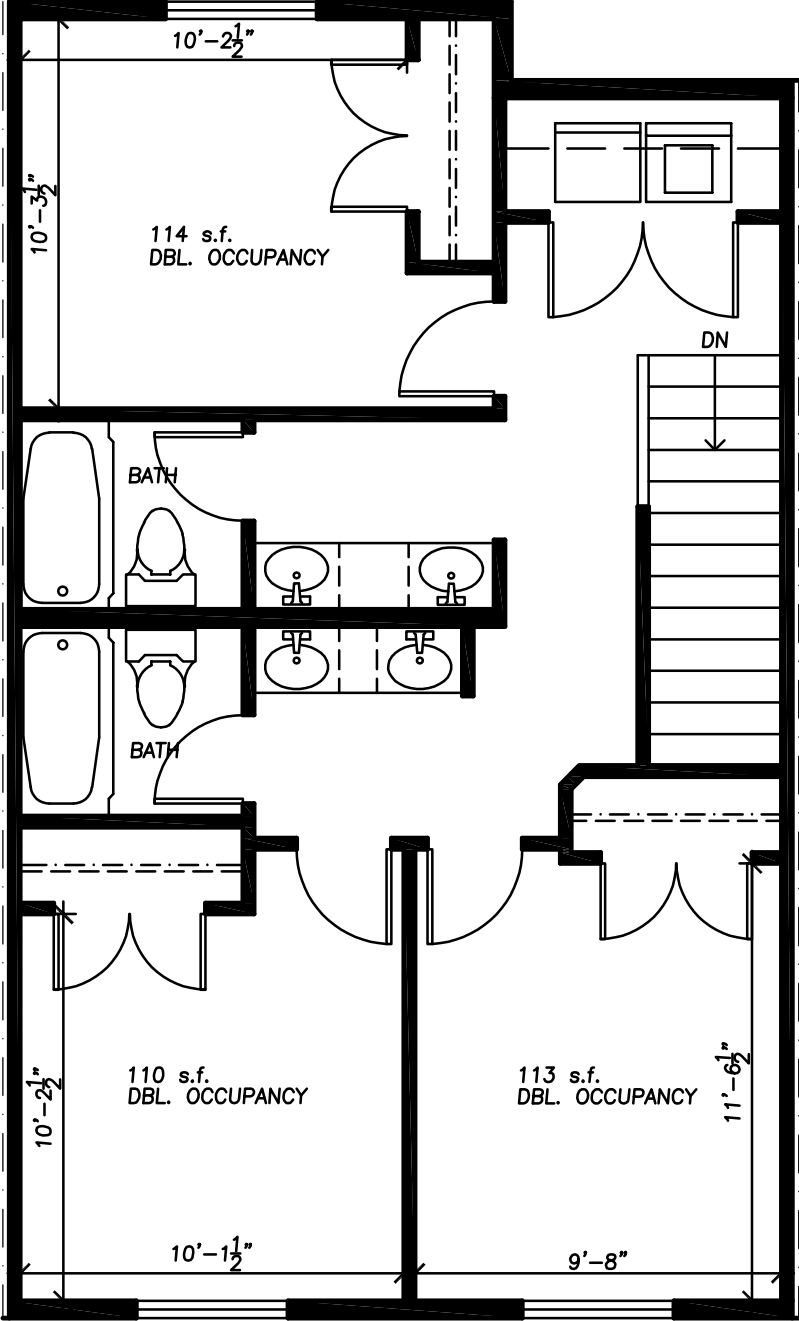
LEVEL 1 FLOOR PLAN

JULY 26, 2021



LEVEL 2 FLOOR PLAN

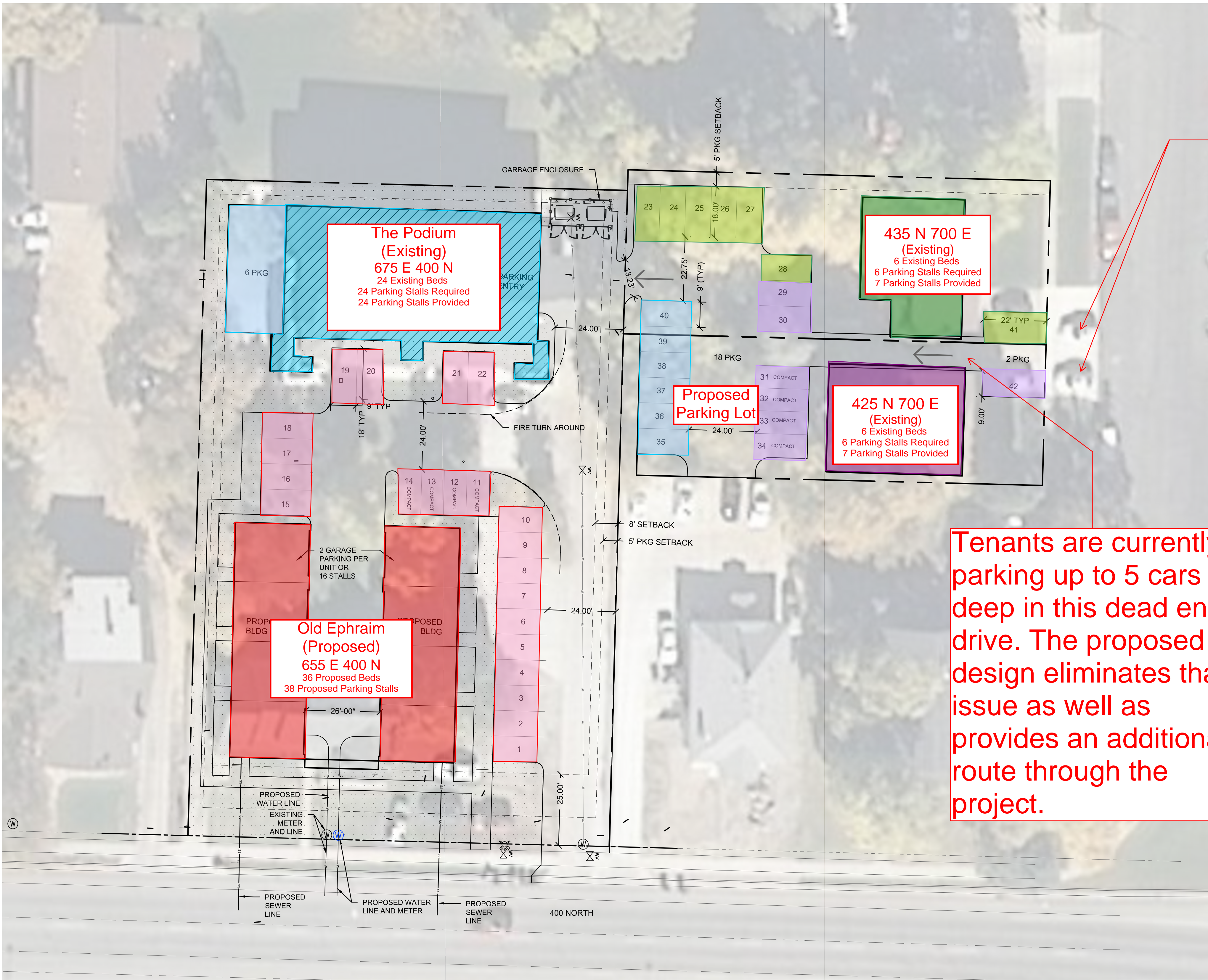
JULY 26, 2021



LEVEL 3 FLOOR PLAN

JULY 26, 2021

MIN. 70 S.F. PER SINGLE OCCUPANT BEDROOM
MIN. 110 S.F. PER DOUBLE OCCUPANT BEDROOM

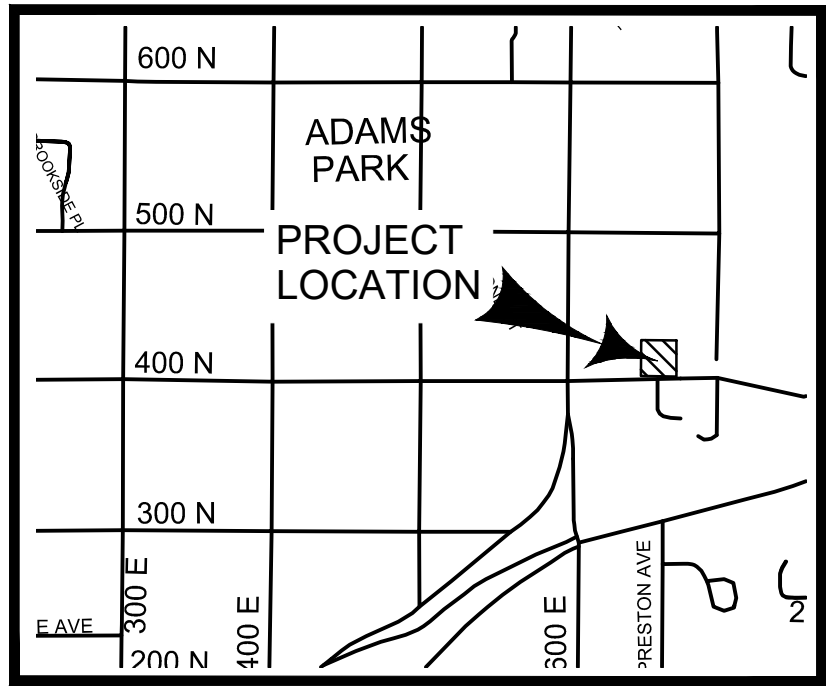


Eliminate existing stalls in mow strip.

DESIGN STATS

PARCEL # 06-058-0006 & 0005
TOTAL AREA: ±.79 AC
CURRENT ZONE: CAMPUS RESIDENTIAL (CR)
SETBACKS:
FRONT - 10' MIN
OPPOSITE NR ZONES - 25'
SIDE - 0' COMMON WALL
- 25' ADJACENT NR
- 8'
REAR - 10'
- 25' ADJACENT NR
OPEN SPACE:
30% TOTAL (USEABLE 10%) OR .237 AC/10,324 SF
SHOWN: 10,724 SF/31%
PARKING REQUIREMENTS:
1 STALL PER OCCUPANT
PARKING SETBACKS:
REAR OR SIDE - 5'
FRONT - 10'
EXISTING PARKING - 23
NEW PARKING - 35
PARKING ADJACENT PARCELS - 20 (8 AVAILABLE FOR NEW BLDG)
TOTAL PARKING SHOWN: 78

OPEN SPACE/USEABLE SPACE HATCH



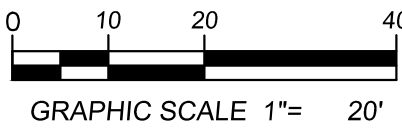
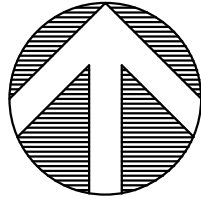
VICINITY MAP



Tenants are currently parking up to 5 cars deep in this dead end drive. The proposed design eliminates that issue as well as provides an additional route through the project.

SITE PLAN

SCALE: 1" = 20'



SITE PLAN

SHEET DESCRIPTION

400 NORTH LOGAN TOWNHOMES

PROJECT TITLE



Cache • Landmark
Engineers
Surveyors
Planners

95 Golf Course Rd.
Suite 101
Logan, UT 84321
435.713.0099

DATE:
02 AUGUST 2021

SCALE:
1" = 20'

DESIGNER
J. MAUGHAN

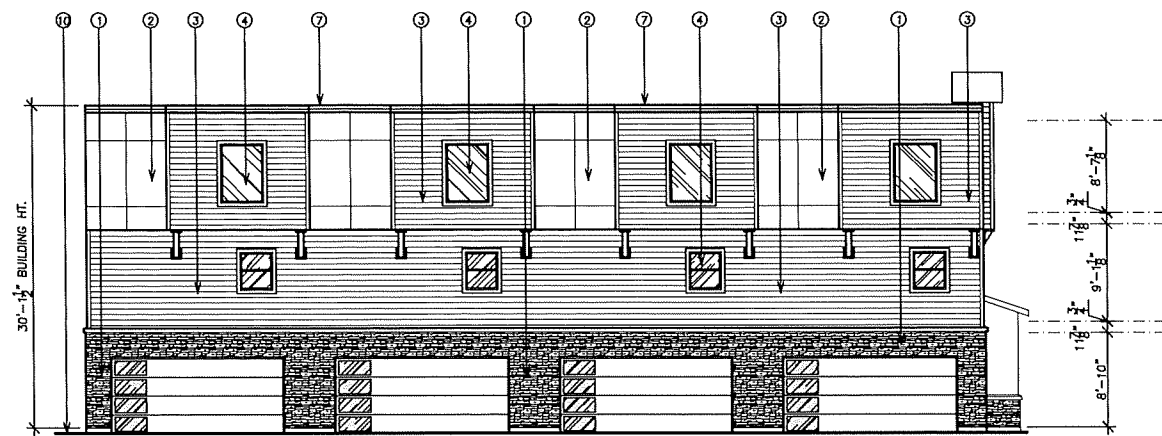
CHECKED BY:
L. ANDERSON

APPROVED BY:
L. ANDERSON

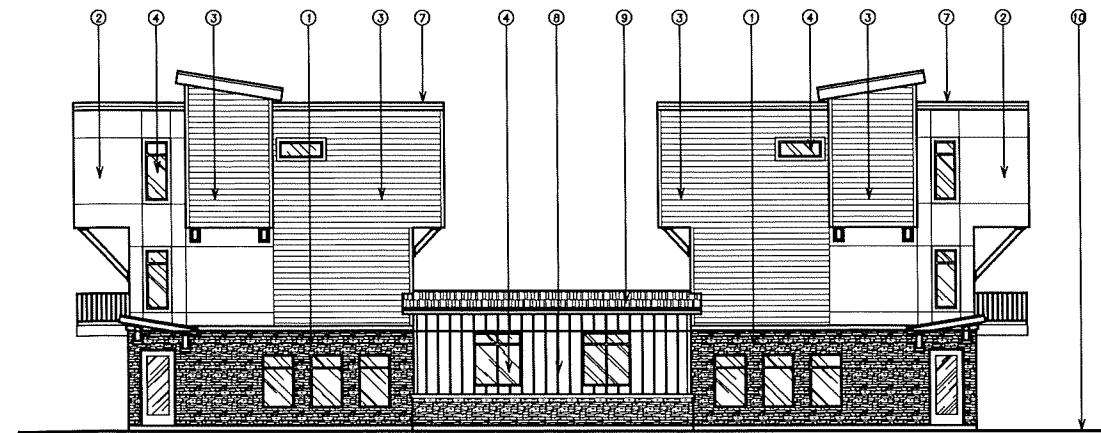
PROJECT NUMBER:
21009WTK

SHEET:

DR-1



G EAST WING WEST ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"



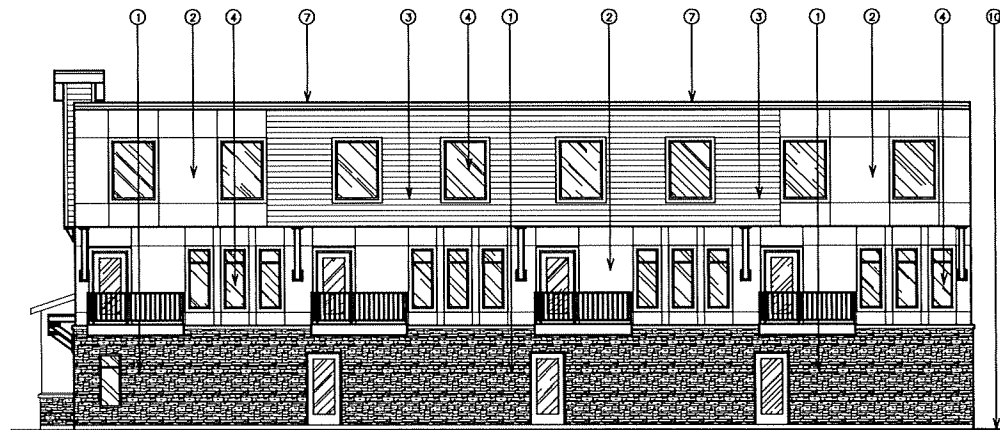
GROUND LEVEL FACADE TOTAL AREA: 701 sq. ft.
GROUND LEVEL FACADE TRANSPARENCY AREA: 177 sq. ft.
TRANSPARENCY PERCENTAGE REQUIRED: 25%
TRANSPARENCY PERCENTAGE PROVIDED: 25.23%

A SOUTH STREET FACING ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"

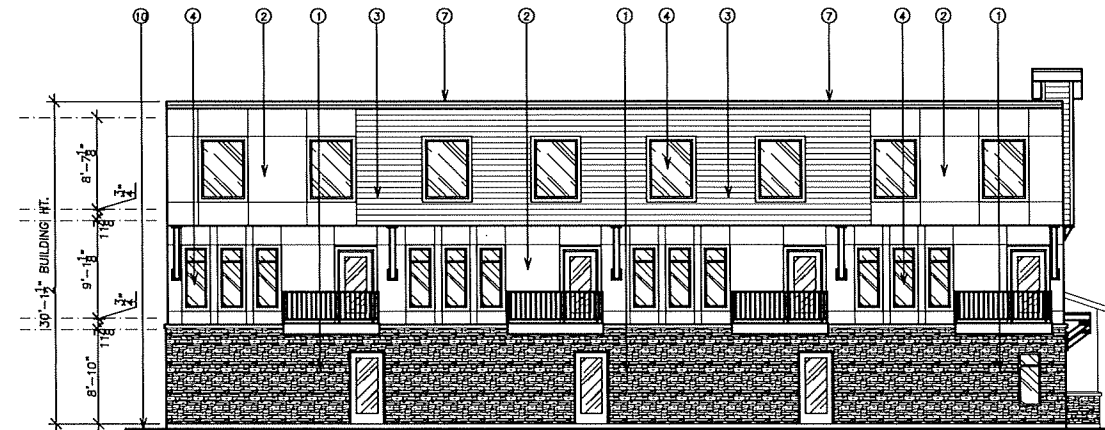
LEGEND

1. MANUFACTURED STONE VENEER. INSTALL PER MANUFACTURER'S SPECS.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE "D" FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE (INCLUDES TYVEK STUCCO WRAP, WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS), OVER SHEATHING PER STRUCTURAL. STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT #362, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & INSTALL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING, COLOR A
3. FIBER-CEMENT BOARD SIDING. PAINT & INSTALL PER MANUFACTURER'S SPECS. HORIZONTAL LAP PER ELEVATIONS
4. DBL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS. SEE DETAIL B/A-301.1. CAULK ALL AROUND.
5. 42" TALL POWDER COATED RAILINGS
6. GALVANIZED FLASHING WITH DRIP EDGE.
7. GALVANIZED SLOPED METAL CAP FLASHING WITH DRIP EDGE.
8. FIBER-CEMENT BOARD, BOARD AND BATTEN SIDING. PAINT & INSTALL PER MANUFACTURER'S SPECS.
9. 30 YR. ARCH'L. GRADE ASPHALT/FIBERGLASS COMP. SHINGLES OVER 15 LB. FELT.
10. FINISH GRADE PER CML DRAWINGS.

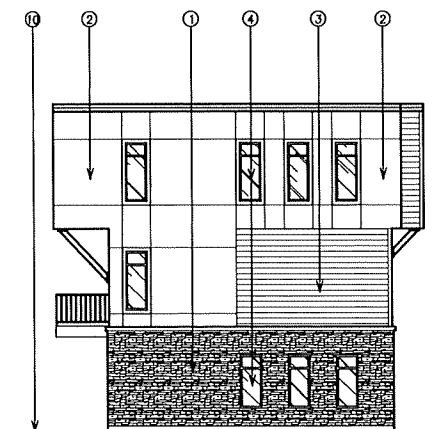
NOTE: TYVEK WRAP TO BE INSTALLED BEHIND ALL EXTERIOR FINISHES.
(1) LAYER GRADE "D" FELT OVER APPLIED SHINGLE STYLE. FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE (INCLUDES TYVEK WRAP, WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS), OVER SHEATHING PER STRUCTURAL.



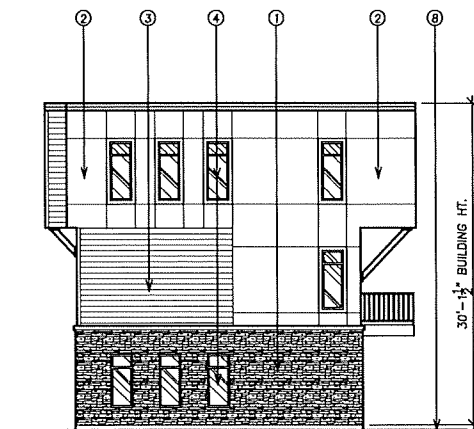
F EAST WING EAST ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"



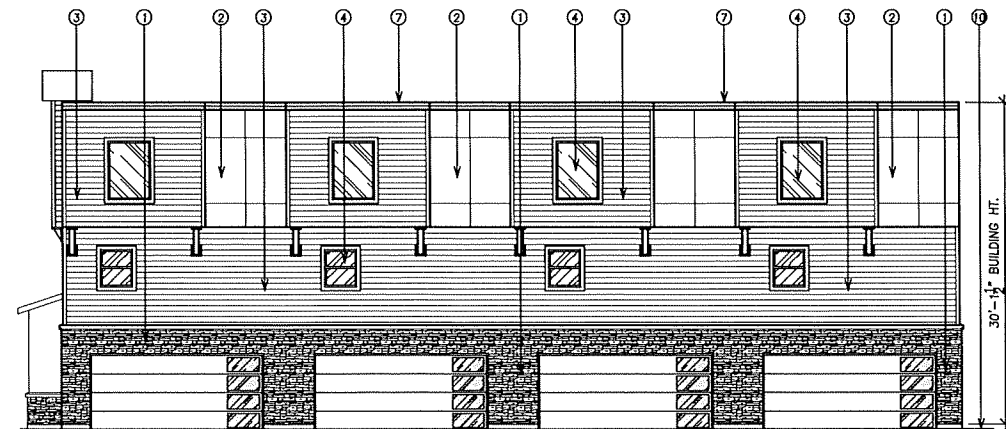
B WEST WING WEST ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"



E EAST WING NORTH ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"



D WEST WING NORTH ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"



C WEST WING EAST ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"

0' 1" 5' 10' 15'

400 N LOGAN TOWN HOMES

Logan, UT

EXTERIOR ELEVATIONS

DATE: Aug. 19, 2021
REV: 00

DRAWN BY:

CHECKED BY:

A-201.1

Tuttle and Associates, Inc.

ARCHITECTS
1175 W. 1400 S.
SALT LAKE CITY, UT 84119
Tel: (801) 485-6664



8/19/2021

