



**Project #21-050
Infinite Storage
1900 N 1000 W**

REPORT SUMMARY...

Project Name: Infinite Storage
Proponent / Owner: Sydnie Wilda, Skylar Hartman/Jef Hoggan
Project Address: 1900 N 1000 W
Request: Conditional Use and Design Review Permit
Current Zoning: Industrial Park (IP)
Type of Action: Quasi-Judicial
Hearing Date: October 14, 2021
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Conditional Use Permit and Design Review Permit for Project #21-050, Infinite Storage, in the Industrial Park (IP) zone located at 1900 N 1000 W, TIN #04-076-0015.

Current Land use adjoining the subject property

North:	IP: Undeveloped	East:	IP: Undeveloped
South:	Undeveloped, Not in Logan	West:	Undeveloped, Not in Logan

Project Request

The proponent is requesting a Conditional Use Permit (CUP) to construct a storage facility on a 4.43-acre vacant parcel in the Industrial Park (IP) zone. The proposal includes the construction of five (5) commercial storage buildings and one (1) management office building totaling 100,000 SF. Site development includes perimeter landscaping, vegetative screening, drive isles, one entrance, and street improvements along 1000 W. As this location is along an industrial corridor, storage units are compatible with surrounding land uses and will not interfere with adjoining properties as the surrounding area is either undeveloped or agriculture.



Site Location -1900 N 1000 W

Design Review & Conditional Use Permit

The Land Development Code (LDC) Table 17.11.030 requires a Conditional Use Permit for commercial storage units in the IP zone. Commercial storage units have additional design requirements per the LDC regarding setbacks and landscaping (17.37.020). A Design Review Permit is required for new commercial development.

Site Plan

Setbacks

The building setbacks for Commercial storage buildings are required to be increased by 100%. The LDC requirements for setbacks in the industrial zone are as follows (as measured from property lines) and the LDC 17.37.020 modifier is in parenthesis:

Building Setbacks:

Front:	20' (40' for commercial storage)
Side:	20' (40' for commercial storage)
Rear:	10' (20' for commercial storage)

Parking Setbacks:

Front	20'
Side/Rear:	15'

The following setbacks are proposed (as measured from the exterior property lines of the project site):

Building Setbacks:

Front (West):	40.6'
Side (North & South):	40.3'
Rear:	40'

Parking Setbacks:

Front	NA
Side/Rear:	10'

The building setbacks meet the increased commercial storage setback requirement. However, the parking side and rear setbacks are shown at 10' instead of the required 15'. As conditioned to increase the parking setback to 15' (Condition #2), the project meets the setback requirements in the LDC.

Access & Parking

The site has one access to 1000 West which is controlled by a lift gate. Circulation through the site is along drive aisles between the buildings and the perimeter of the property. The proposed aisles width will permit space for customers to park adjacent to their storage units and allow for vehicles to pass. With the aisle space proposed, the project meets the requirements of the LDC.

The LDC 17.31 requires one (1) parking stall per every 300 SF of office space. With a 1,180 SF office, the parking requirement is 4 stalls and the proposal provides 5 stalls. As proposed, the project meets the parking requirement.

Open Space Area

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space in the IP zone. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways. The 4.43-acre (192,970 SF) site requires 19,297 SF of both open space and usable outdoor space for a total of 38,594 SF. The proposal includes a conceptual landscaping plan that delineates 32,750 SF (17%) of landscaping around the perimeter of the site. However, with the conditioned increased parking setback to 15' around the north, east and south perimeter,

the open space increases to 39,050 SF (20.24%). As conditioned (#3), with 20% open space, the project meets the requirements of the LDC.

Landscaping

The LDC 17.32 requires minimum plant material for overall visual aesthetics, ecological reasons, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the Industrial zone. For 4.43 acres, 90 trees and 222 shrubs, flowers or ornamental plants are required.

The LDC 17.37.020 requires additional landscaping and screening for commercial storage units. Front yards are required to be landscaped and screened with a combination of deciduous and coniferous trees and shrubs to cause at least a 50% screen within 5 years. Side and rear yards have a similar requirement and must achieve a 25% screen. As conditioned, with a performance landscape plan, Condition #3, the project meets the requirements of the LDC.

Lighting

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project meets the requirements of the LDC.

Building Design

The proposed storage buildings vary in width from 25' to 50' wide and are approximately 350' long. The proposed materials for the storage units are painted stucco and painted concrete masonry units and metal siding. The office portion of the building has the appearance of a storefront with a black trimmed aluminum glazing system. As per commercial storage design requirements, the buildings are oriented so that the storage unit bays do not face the street. The rear buildings' elevations are plain, with variation in bay doors and alternating materials and paint color. The plain design of storage units is the impetus for having enhanced landscaping, screening, and setback requirements for storage units in the LDC. As the buildings and site have enhanced screening requirements, architectural development standards for the IP zone such as fenestration, material and façade variation would not apply to the storage unit buildings. As proposed, the project meets the requirements of the LDC.



Front façade along 1000 N.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water/Cross Connection
• Engineering	• Environmental

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 8/28/2021, and the Utah Public Meeting website on 8/30/2021. Public notices were mailed to all property owners within 300 feet of the project site on 8/23/2021.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

- 1) All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
- 2) The side and rear parking setback shall be 15'.
- 3) A performance landscape plan prepared in accordance with §17.32 of the LDC shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees to be provided along 1000 West at a minimum of 1 tree per 30' of frontage, species as approved by City Forester.
 - b) A minimum of 38,594 SF (20%) of open space and usable outdoor space shall be provided.
 - c) A minimum of 90 trees and 222 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
 - d) Minimum of 5 tree species are required.
 - e) Front yard setback landscaped and screened with a combination of deciduous and coniferous trees and shrubs to cause at least a 50% screen within 5 years. Trees shall be planted at 2 ½" caliper. Shrubs shall be planted with at least 5-gallon nursery stock.
 - f) Side and rear yard setback landscaped and screened with a combination of deciduous and coniferous trees and shrubs to cause at least a 25% screen within 5 years. Trees shall be planted at 1 ½" caliper. Shrubs shall be planted with at least 1-gallon nursery stock.
 - g) All landscaping area are required to be irrigated by an automatic sprinkler irrigation system.
- 4) No outdoor storage is permitted with this permit.
- 5) Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
- 6) No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
- 7) No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
- 8) Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
- 9) Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a) **Fire – contact 435-716-9515**

As project progresses to building permit discussions needed on access, fire flow, fire hydrants, fire separations, and fire sprinklers in residential space.

b) Engineering - contact 435-716-9160

- i) Provide storm water detention/retention in accordance with Logan City Storm Water design standards. This included the onsite retention of the 90% storm through the use of Low Impact Design methods.
- ii) Provide water shares or in-lieu fee for increased demand to City system. Required water demand shall be determined per Utah Administrative Code R309-510-7.
- iii) No utilities were shown on the site plan, will address these drawings as part of the Building Permit Review process.
- iv) All utilities on site shall be considered private and will require a Private Water Utility Agreement to be signed and recorded at County Recorder's office.
- v) Provide Storm Water Maintenance agreement for review and recordation at County Recorder's Office.
- vi) Access to 1000 West shall require approve from UDOT through the CAMP. Curb, gutter, and sidewalk shall be placed along 1000 West frontage per UDOT standards. Locate curb as directed by UDOT for future road expansion and pave with asphalt between existing edge of concrete pavement and toe of curb with a pavement section specified by UDOT. Any wetlands within the UDOT right of way shall be delineated and approved by the US Army Corps of Engineers and mitigated as required by the Corps of Engineers.
- vii) All site and utility plans for Building Permit Review shall be stamped by a Licensed Professional Engineer in the State of Utah.
- viii) Maintain all existing irrigation and stormwater conveyances through property. There is an existing 18" pipe from 800 West to the east for storm water and a ditch with irrigation water from the south. If this is to be piped the minimum pipe size shall be 18".

c) Environmental – contact 435-716-9761

- i) Residential can will be provided for office. Can will need to be placed on 1000 West for collection.

b) Water/Cross Connection – contact 716-9627

- i) The buildings water main needs to have a DC (ASSE1015) installed and tested on the water main as it enters the building before any branch offs or possible connections.
- ii) All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- iii) Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
- iv) All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction.
- v) Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention. All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT & CONDITIONAL USE PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed development is compatible with surrounding land uses of the IP zone and will not interfere with the use and enjoyment of adjoining or area properties because of the building design, landscaping, and setbacks are consistent with area properties.
2. The Design Review Permit and Conditional Use Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed use provides adequate off-street parking in conformance with Title 17.
4. The project, as conditioned, conforms to landscaping requirements in Title 17.
5. The project meets the goals and objectives of the Industrial Park Zoning designation within the Logan General Plan by providing for employment and production uses with related offices, services, and storage.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



AQ

APPLICATION FOR PROJECT REVIEW

For Staff Only				
<input type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 7/28/21	Received By TKR	Scheduled Meeting Date Sept. 9	Zone 1P	Application Number PC 21-050
Type of Application (Check all that apply): BRIDGE				
<input type="checkbox"/> Design Review <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME Infinite Storage				
PROJECT ADDRESS 1900 N 1000 W LOGAN UTAH			COUNTY PLAT TAX ID # 04-076-0015	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER SYDNE WILDA/SKYLAR HARTMAN			PHONE # 801-874-7096 801-899-3767	
MAILING ADDRESS 802 MCKINLEY AVE	CITY POCATELLO	STATE IDAHO	ZIP 83201	
EMAIL ADDRESS SWILDA96@GMAIL.COM HARTMANHOMESUTAH@GMAIL.COM				
PROPERTY OWNER OF RECORD Jef Hoggan			PHONE # 435-753-7458	
MAILING ADDRESS 495 NORTH 1000W	CITY LOGAN	STATE UTAH	ZIP 84341	
EMAIL ADDRESS JEFH@PRI-PLASTICS.COM				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed)			Total Lot Size (acres) 4.43	
WE WISH TO BUILD A PREMIER STORAGE FACILITY ON THE PROPERTY. WITH LOGANS GROWTH AND CURRENT POPULATION WE FEEL THIS WOULD UTILIZE THE PROPERTY TO ITS FULLEST EXTENT.			Size of Proposed New Building (square feet) 100,000	
			Number of Proposed New Units/Lots 700 - 900	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Project Representative 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner MANAGER		

PROPERTY

Name	Area	Acres
	198,600 SF	4.56

UNIT MIX

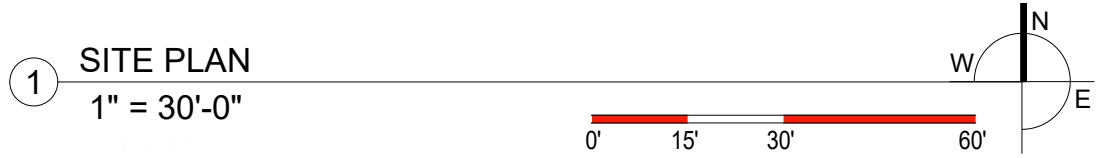
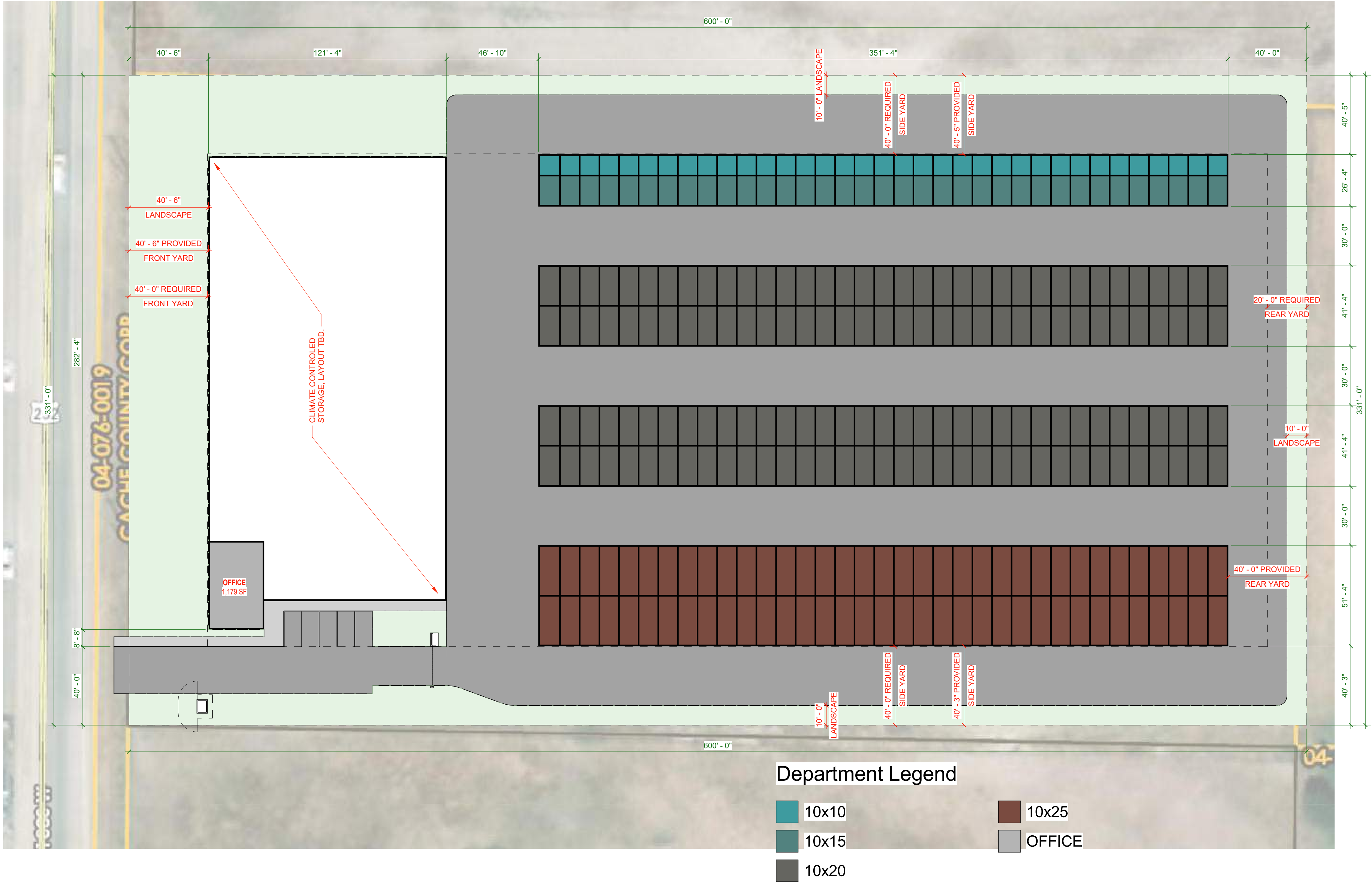
UNIT TYPE	COUNT	% BY # OF UNITS	% BY AREA	RENTABLE AREA
10x10	35	12.5%	6.3%	3,164 SF
10x15	35	12.5%	9.6%	4,801 SF
10x20	140	50.0%	51.6%	25,750 SF
10x25	70	25.0%	32.4%	16,148 SF
Grand total	280			49,864 SF

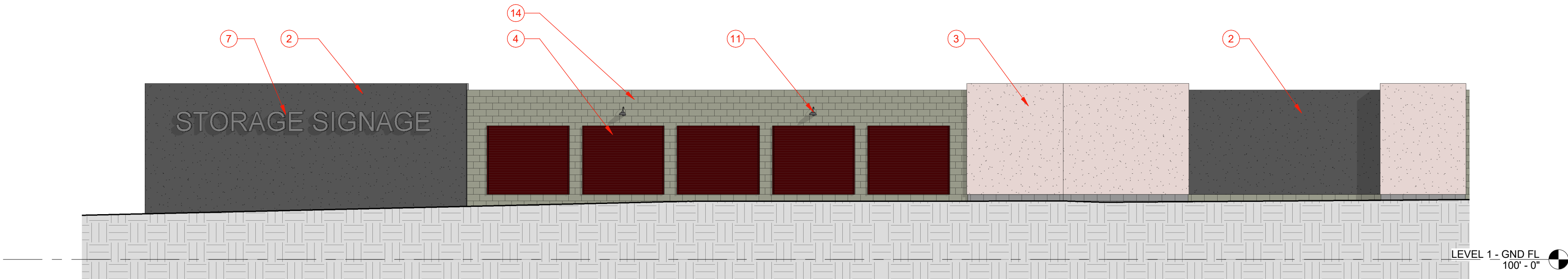
PARKING

TYPE	COUNT
9x18	5

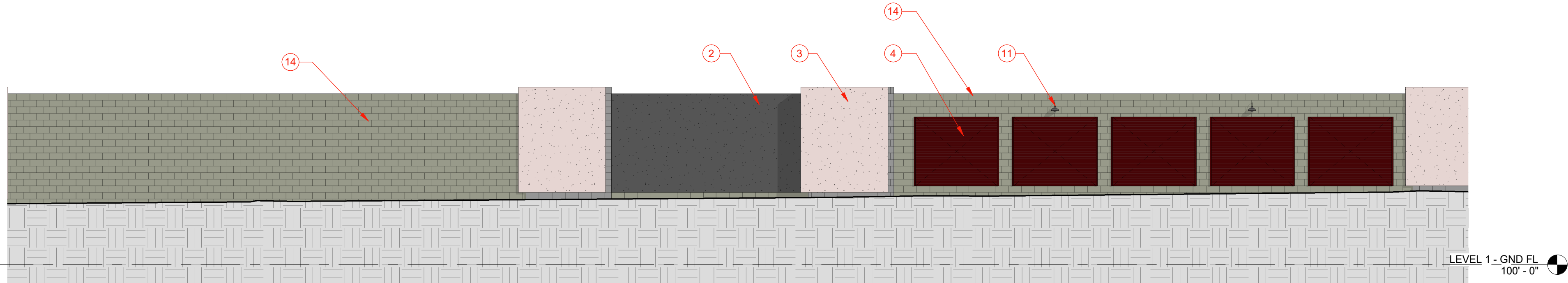
BUILDING AREA - COST...

NAME	AREA	\$/SF	COST ESTIMATE
BLDG A	27,877 SF	60	\$1,672,639.17
BLDG B	9,252 SF	60	\$555,106.67
BLDG C	14,522 SF	60	\$871,306.67
BLDG D	14,522 SF	60	\$871,306.67
BLDG E	18,035 SF	60	\$1,082,106.67
TOTAL	84,208 SF		\$5,052,465.84

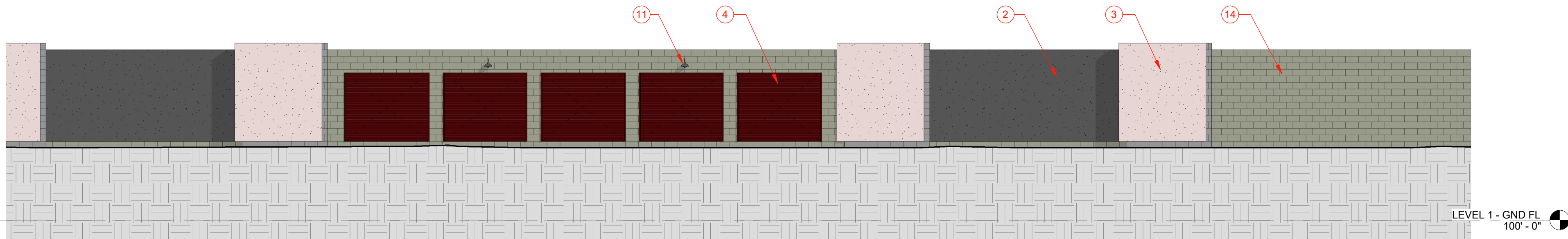




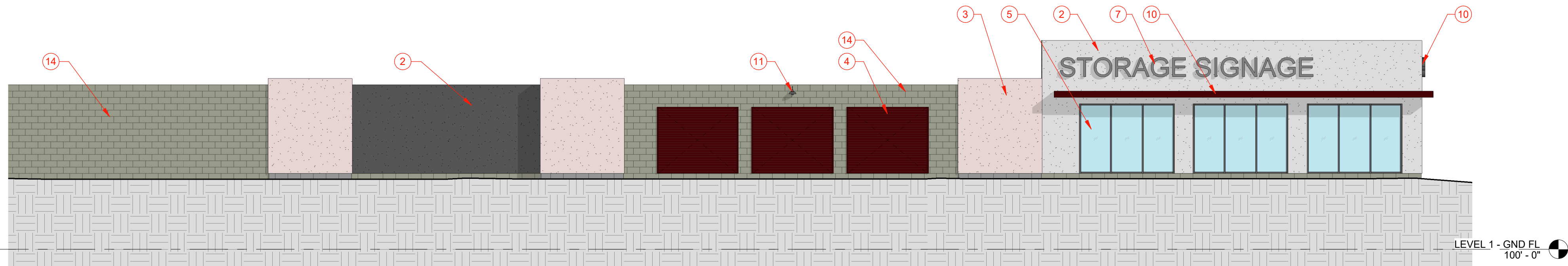
14 West Elevation - 1
1/8" = 1'-0"



25 West Elevation - 2
1/8" = 1'-0"



35 West Elevation - 3
1/8" = 1'-0"



45 West Elevation - 4
1/8" = 1'-0"

EXT. ELEVATION NOTES

1. THESE ELEVATIONS WHEN PRINTED IN COLOR ARE INTENDED TO REPRESENT THE FINISH COLORS OF SIDING AND TRIM TO ILLUSTRATE DESIGN INTENT. NOT ALL TRIM ON THE PROJECT IS SHOWN. IF CONFLICTS BETWEEN THE COLORS SHOWN AND THE DRAWING INSTRUCTIONS, THE ARCHITECT IS TO BE NOTIFIED SO THAT A CLARIFICATION CAN BE ISSUED.
2. ALL FIXTURES MOUNTED TO EXTERIOR WALL TO BE ALIGNED VERTICALLY WHERE APPLICABLE
3. FINISH SCHEDULE ON THIS SHEET IS A SELECTION OF FINISHES FROM THE FINISH SCHEDULE ON SHEET **A600** FOR CONVENIENCE IN IDENTIFYING FINISHES SHOWN ON THE ELEVATIONS
4. FINISH KEY ON SHEET **A600** LISTS ALL FINISH DEFINITIONS

EXTERIOR FINISH COLOR INSTRUCTION U.N.O.

1.

EXTERIOR FINISH COLOR INSTRUCTIONS U.N.O.

1. EXPOSED TRIMS AND/OR FLASHINGS TO MATCH PAINT COLOR OF ADJACENT SIDING. IF ADJACENT TO TWO OR MORE COLORS AND NO FURTHER DIRECTION IS GIVEN, THE ARCHITECT IS TO BE NOTIFIED SO THAT A CLARIFICATION CAN BE ISSUED.
2. HOLLOW METAL MAN DOORS AND FRAMES PAINT TO MATCH ADJACENT SIDING
3. HORIZONTAL FLASHING TRIM SHALL BE COLOR OF SIDING BELOW
4. WINDOW SURROUND TRIMS AND FLASHING TO MATCH ADJACENT SIDING, WHERE THE METAL PANEL COLOR IS MIXED TRIM SHALL BE COLOR
5. METAL OUTSIDE CORNER TRIM IS TO MATCH ADJACENT SIDING. WHERE THE METAL PANEL COLOR IS MIXED, TRIM SHALL BE COLOR
6. METAL INSIDE CORNER TRIM IS TO MATCH ADJACENT SIDING. WHERE THE METAL PANEL COLOR IS MIXED TRIM SHALL BE COLOR. SEE DETAIL
7. PARAPET CAP, ROOF CAP, GUTTERS AND DOWNSPOUTS TO BE COLOR
8. PAINTED CMU TO MATCH CORRESPONDING METAL COLOR AS SHOWN

A1 ← FINISH TAG, SEE FINISH SCHEDULE

KEYNOTES

- 2 STUCCO - COLOR 1 - DARK GRAY
- 3 STUCCO - COLOR 2 - RED TO MATCH ADJACENT INDUSTRIAL PROPERTY
- 4 FAUX DOOR
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM - BLACK FRAME
- 7 ILLUMINATED BUILDING SIGNAGE - DESIGN TBD
- 10 EYEBROW - COLOR PER MANAGEMENT COMPANY
- 11 LIGHTS - SEE ELECTRICAL DRAWINGS
- 14 CMU WALL, PAINTED - WARM GRAY

No.	Date	Description
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PROFESSIONAL SEAL

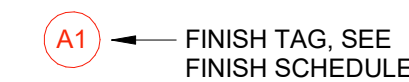
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PROJECT ADDRESS:	STREET ADDRESS CITY, ST ZIP
ARCH PROJECT #:	
A.C.B.I.:	JDH
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	10 March, 2021
SHEET SCALE:	1/8" = 1'-0"
SHEET NAME:	

EXTERIOR ELEVATIONS

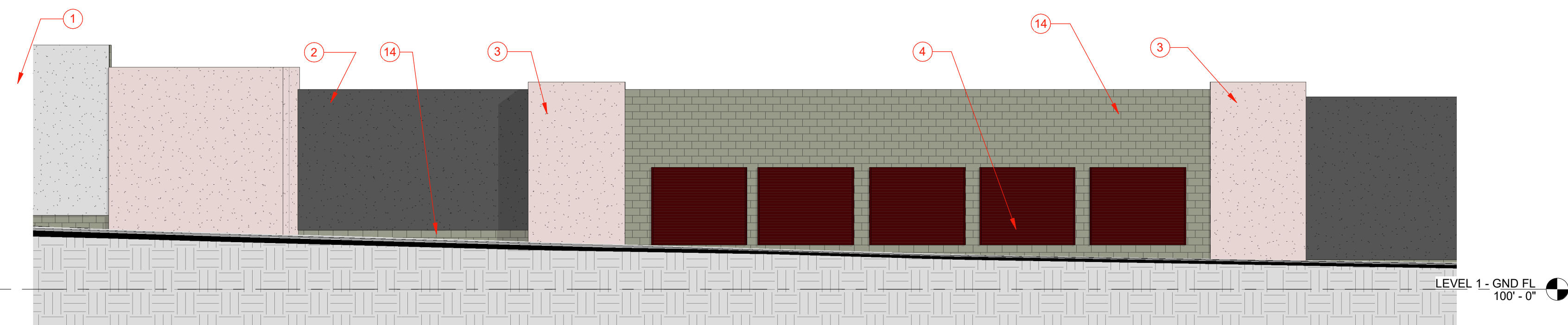


1. THESE ELEVATIONS WHEN PRINTED IN COLOR ARE INTENDED TO REPRESENT THE FINISH COLORS OF SIDING AND TRIM TO ILLUSTRATE DESIGN INTENT. NOT ALL TRIM ON THE ELEVATIONS IS SHOWN. IF CONFLICTS BETWEEN THE COLORS SHOWN AND THE DRAWING OR TRIM TYPE, THE ARCHITECT IS TO BE NOTIFIED SO THAT A CLARIFICATION CAN BE ISSUED.
2. ALL FIXTURES MOUNTED TO EXTERIOR WALL TO BE ALIGNED VERTICALLY WHERE POSSIBLE
3. FINISH SCHEDULE ON THIS SHEET IS A SELECTION OF FINISHES FROM THE FINISH SCHEDULE ON SHEET **A600** FOR CONVENIENCE IN IDENTIFYING FINISHES SHOWN ON THESE ELEVATIONS
4. FINISH KEY ON SHEET **A600** LISTS ALL FINISH DEFINITIONS

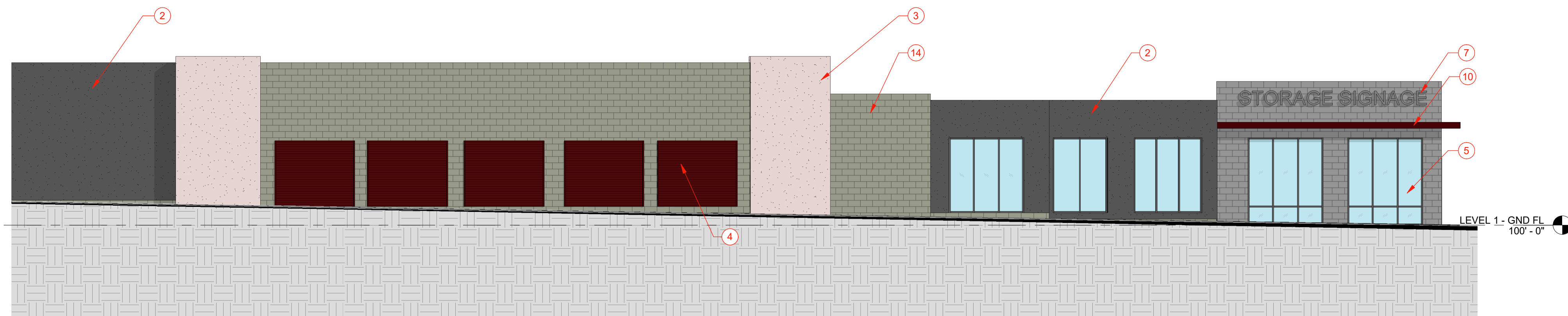
1. EXPOSED TRIMS AND/OR FLASHINGS TO MATCH PAINT COLOR OF ADJACENT SIDING.
2. FLASHING ADJACENT TO TWO OR MORE COLORS AND NO FURTHER DIRECTION GIVEN, THE ARCHITECT IS TO BE NOTICED SO THAT A CLARIFICATION CAN BE ISSUED.
3. HOLLOW METAL MAN DOORS AND FRAMES PAINT TO MATCH ADJACENT SIDING.
4. HOLLOW METAL WINDOW TRIMS AND FRAMES TO MATCH ADJACENT SIDING.
5. WINDOW SURROUND TRIMS AND FLASHING TO MATCH ADJACENT SIDING, WHERE THE METAL PANEL COLOR IS MIXED TRIM SHALL BE COLOR
6. METAL OUTSIDE CORNER TRIM TO MATCH ADJACENT SIDING, WHERE THE METAL PANEL COLOR IS MIXED, TRIM SHALL BE COLOR
7. METAL INSIDE CORNER TRIM IS TO MATCH ADJACENT SIDING, WHERE THE METAL PANEL COLOR IS MIXED TRIM SHALL BE COLOR SEE DETAIL
8. METAL CROWN CAP, GUTTERS AND DOWNS TO MATCH TRIM FITS TO MATCH
9. PAINTED CMU TO MATCH CORRESPONDING METAL COLOR AS SHOWN



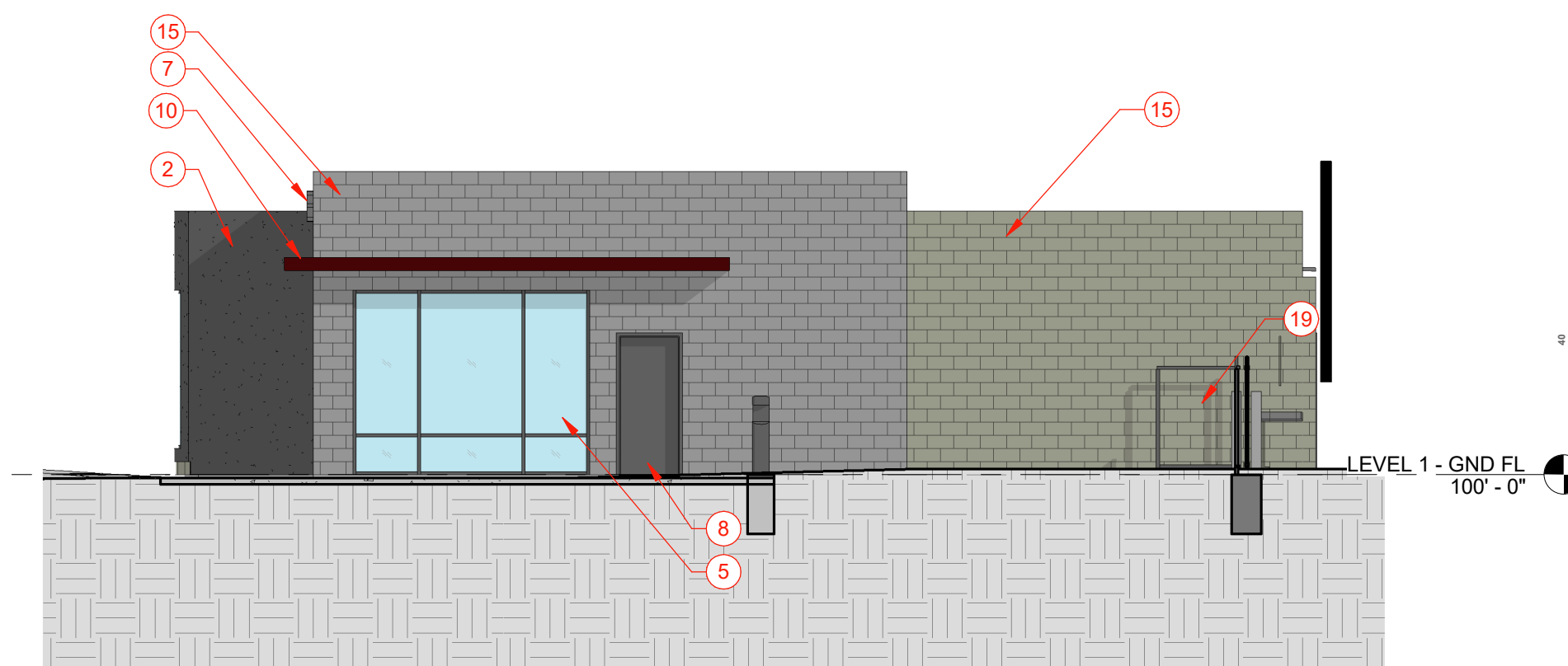
- 1 STUCCO - COLOR 3 - LIGHT GRAY
- 2 STUCCO - COLOR 1 - DARK GRAY
- 3 STUCCO - COLOR 2 - RED TO MATCH ADJACENT INDUSTRIAL
PROPERTY
- 4 ALUX DOOR
- 5 ALUMINUM STOREFRONT GLAZING SYSTEM - BLACK FRAME
- 7 ILLUMINATED BUILDING SIGNAGE - DESIGN TBD
- 8 HOLLOW METAL DOOR & FRAME
- 10 EYEBROW - COLOR PER MANAGEMENT COMPANY
- 14 CMU WALL, PAINTED - WARM GRAY
- 15 CMU WALL, PAINTED - GRAY
- 19 METAL FENCE - DARK GRAY



25 South Elevation - 1'
1/8" = 1'-0"



35 South Elevation - 2
1/8" = 1'-0"



43 South Office Elevation - 2
1/8" = 1'-0"

STORAGE

No.	Date	Description
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PROFESSIONAL SEAL

OWNER:	
PROJECT ADDRESS:	STREET ADDRESS CITY, ST ZIP
ARCH PROJECT #:	19-3
A.O.R.:	JD
PHASE:	SCHEMATIC DESIGN
PUBLISH DATE:	10 March, 202
SHEET SCALE:	1/8" = 1'-0"

EXTERIOR ELEVATIONS

SHEET NUMBER:

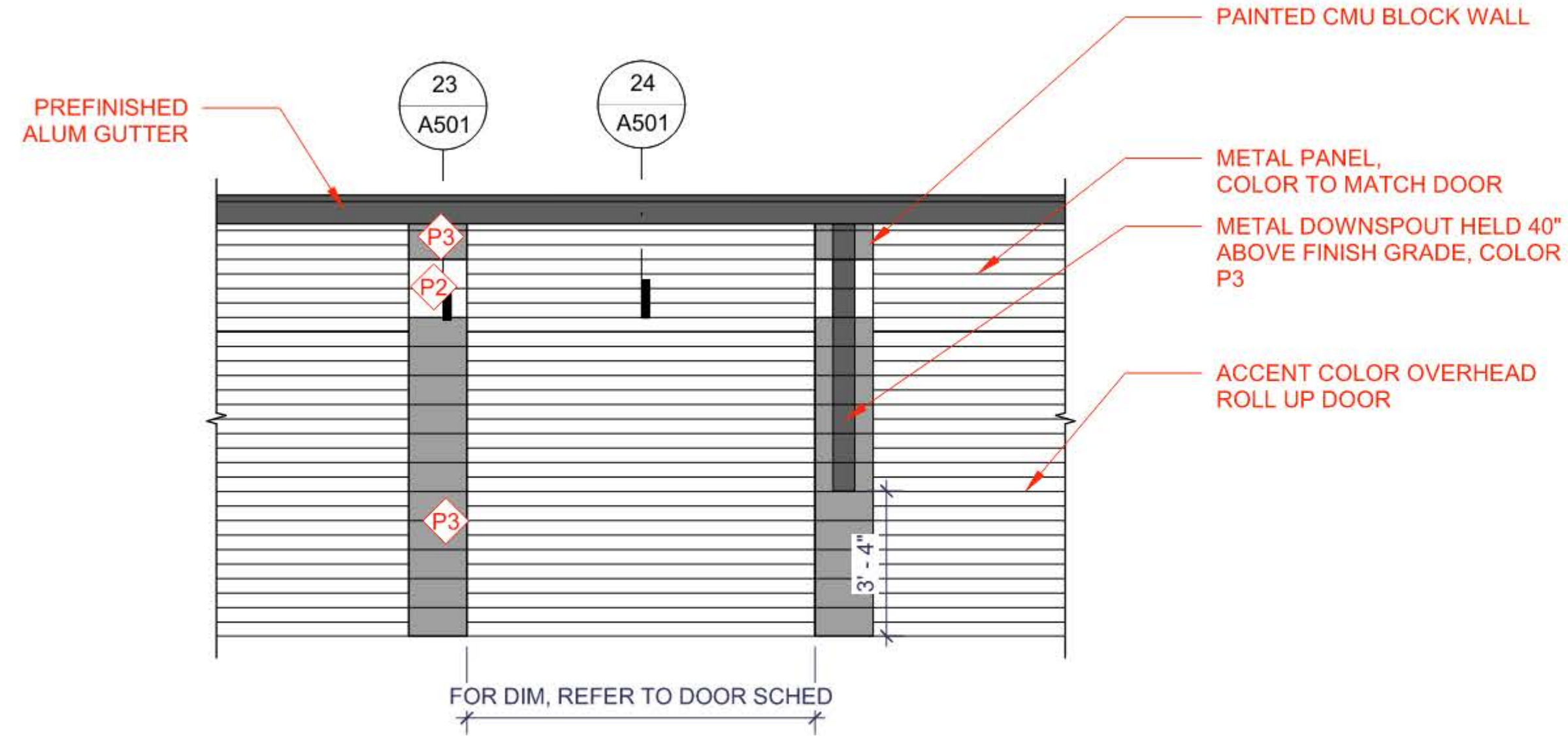
A201

DIVELEPT DESIGN LLC © 2020

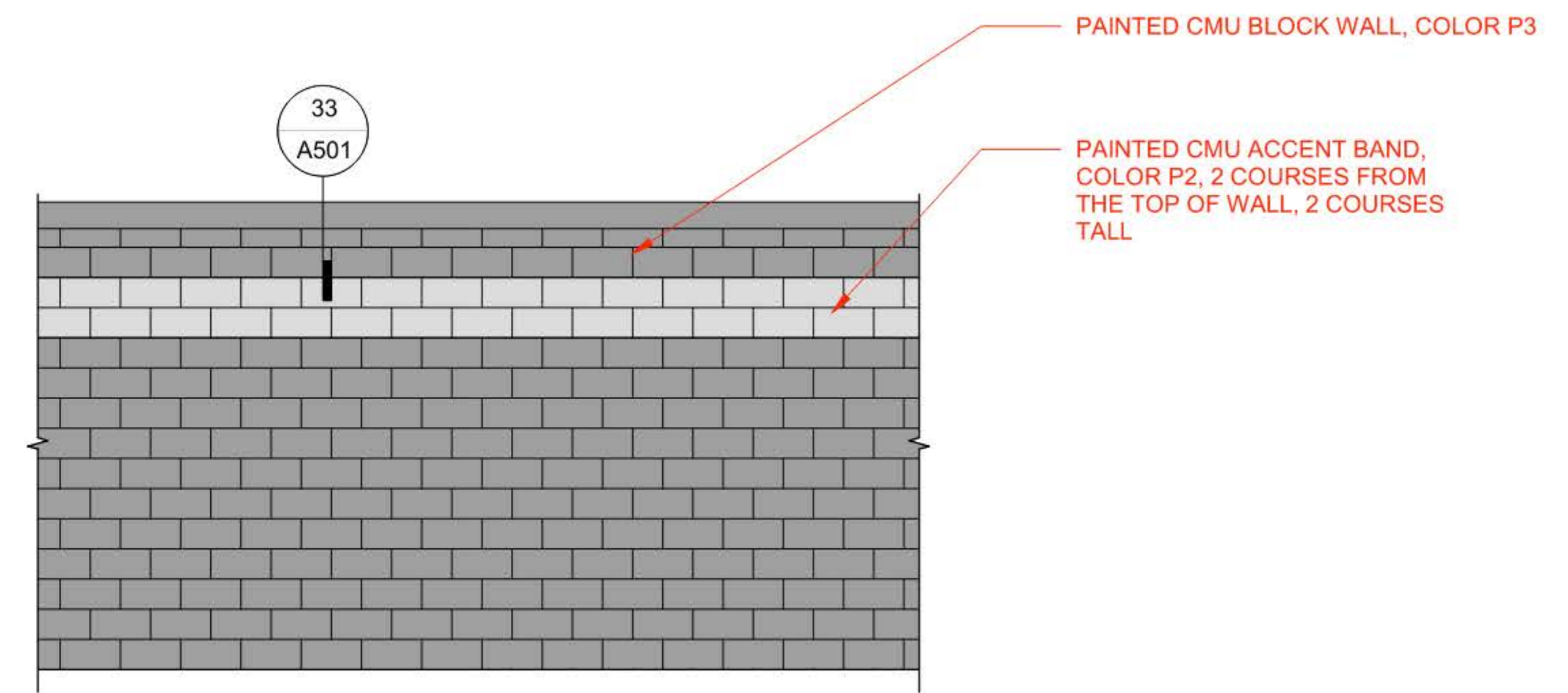
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35 TYP. STORAGE DOOR ELEVATION
1/4" = 1'-0"



33 TYP. CMU ELEVATION
1/4" = 1'-0"