



**Project #21-011
Copperwood Townhomes
Located at approximately 550 West 200 South**

REPORT SUMMARY...

<i>Project Name:</i>	Copperwood Townhomes
<i>Proponent / Owner:</i>	Jake Thompson
<i>Project Address:</i>	550 West 200 South
<i>Request:</i>	Design Review Permit / Subdivision Permit
<i>Current Zoning:</i>	Mixed Residential Low (MR-12)
<i>Type of Action:</i>	Quasi-Judicial
<i>Hearing Date</i>	March 11, 2021
<i>Submitted By:</i>	Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review and Subdivision Permit for Project #21-011, Copperwood Townhomes Subdivision, in the Mixed Residential Low (12) zone located at approximately 550 West 200 South, TIN #02-036-0006, 02-036-0007.

Current Land use adjoining the subject property

<i>North:</i>	CS: Commercial Services	<i>East:</i>	CS: Commercial Services
<i>South:</i>	NR-6 / MR-12: Residential Uses	<i>West:</i>	MR-12: Residential Uses

Existing Conditions

The project site consists of 2 adjoining parcels totaling .78 acres on the southeast corner of 200 South and 600 West. The parcels are north of Copperwood Place subdivision and east of U&I Furniture warehouse.



Figure 1 showing the location of the Copperwood Townhomes project site

Subdivision Proposal

The applicant is proposing a subdivision of .78 acres into 10 total lots containing two multi-family buildings one (1) 4-unit townhome building and one (1) 5-unit townhome building (totaling 9 townhomes), and a common lot containing private driveways, landscaping, open area and storm-water facilities.



Figure 2 showing the proposed site plan.

Land Use & Density

The Land Development Code (LDC) Table 17.07.080 allows up to 12 dwelling units per acre in the MR-12 zone. The proposed 9 dwelling units on the .78-acre site yield an 11.5 unit-per-acre ratio. The proposed residential occupancy land use is permitted and the proposed density complies with the MR-12 zone.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the MR-12 zone are as follows (as measured from property lines):

Front:	10'
Corner:	10'
Side:	8'
Side (common wall)	0'
Rear:	10'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front:	23'
Corner:	12'
Side:	12'
Side (common wall)	0'
Rear:	10'

As proposed, the project meets setback requirements in the LDC.

Lot Coverage

The LDC 17.07.080 establishes a maximum lot coverage of 40% (building(s) footprint) in the MR-12 zone. The proposed 2-building project (11,112 SF total footprint) on .78-acre has a lot coverage of approximately 32% and is in compliance the LDC.

Parking Requirements

The LDC requires 2.0 parking stalls for each dwelling unit in the MR-12 zone. The proposed townhomes provide a two-car garage per unit meeting the LDC requirement. As submitted, the proposed project meets the LDC residential parking requirements.

Site Layout & Circulation

The LDC 17.30.170 requires minimum street connectivity for new projects to better circulate and integrate into Logan's existing gridded block layout. For projects containing 9-20 dwelling units, two (2) street connections are required. The proposal includes a street connection onto 200 South and a street connection onto 600 West. As submitted, the proposed project meets the street connection requirements in the LDC.

Building Orientation & Elevations

The LDC 17.09.040 indicates that buildings in the MR zone should be oriented towards the street in an inviting manner with primary pedestrian entrances positioned in a prominent position. When it is not feasible to orient buildings towards the street, modifications to building facades or inward orientation to drives or common open space and courtyards is appropriate. The end units of both buildings (Lots 1 and 5) face 600 West, and will be modified so these units' façade orient toward 600 West. This placement of the front door/porch on the end unit provides better curb appeal for the corner side of the building. As proposed, the project meets the building orientation LDC code requirements.

The proposed building materials include stone veneer, vertical and horizontal lap siding. Materials and colors are designed to break up the mass of the façade into smaller sections and bring a human scale to the structure. As proposed with the building materials, the project meets the requirements in the LDC.



Figure 3 showing the proposed building design.

Building Heights

The MR-12 zone allows building heights at 35'. The two-story townhome buildings are proposed at 28 feet high at the peak. As proposed, the project meets building height requirements in the LDC.

Open Space and Landscaping

The LDC 17.07.080 requires 20% open space and an additional 10% useable outdoor space in the MR-12 zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically patios, decks and other similar outdoor amenities. The .78-acre townhome project site would require 6,795 SF of open space and 3,397 SF of outdoor usable space totaling 10,192 SF of open and outdoor space. The proposal shows approximately 13,000 SF of open and outdoor space meeting the minimum space requirements.

For multi-family projects, 20 trees and 50 shrubs/grasses are required per each acre of project area. For a .78-acre multi-family project site, 16 trees and 39 shrubs, perennials and ornamental grasses are required. The project only shows conceptual open space and landscaping areas with this submittal. As conditioned with a performance landscape plan, the project meets the requirements in the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. No exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, one phone call opposing the project was received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/27/21 and the Utah Public Meeting website on 3/3/21. Public notices were mailed to all property owners within 300 feet of the project site on 2/19/21.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and Subdivision Permit and are available in the Community Development Department.
2. This permit authorizes a 10-lot subdivision with 9 multi-family townhome units, and a parcel containing all the common area facilities. The final plat shall be recorded within one year or obtain an extension as per the LDC.
3. The corner units on the west (Lot 1 and 5) shall orient its front door and porch toward 600 West, or a variation of architectural features shall be added to enhance the corner.
4. The Planning Commission approves the submitted two (2) street connections for this project.
5. Lot 10 shall be labeled as non-buildable in the building permit.
6. Covenants, conditions and restrictions (CC&Rs) for the common area development shall be approved by City staff prior to recordation.
7. Each townhome shall provide two (2) parking stalls as per the LDC requirements.
8. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 10,192 SF.
 - b) A total of 16 trees and 39 shrubs, perennials and ornamental grasses is required.
 - c) Street trees shall be provided where they currently do not exist at every 30 feet on center. The City Forester will determine tree species.
 - d) Storm-water retention facility shall be integrated into the landscaping/open space and shown as such in the landscape plan.
9. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
10. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. All fencing shall be approved and permitted by staff in accordance with the Land Development Code.
13. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire Department —contact 716-9515*
 - b. *Engineering —contact 716-9160*
 - Provide water shares or in-lieu fee for all increased demand to City system for both outdoor and indoor usage.
 - Provide storm water detention/retention per Logan City Design Standards. This includes the 90% retention onsite utilizing Low Impact Design methods.
 - As shown on proposed site plan dedicate 7' of Right of Way to City for future road expansion on 600 West.
 - Provide a development agreement and surety for all improvements in City Right of Way
 - There is an open ditch that conveys irrigation water from canal at 400 West, ensure that this is connected to new piping associated with right of way improvements. This will require a pipe to be installed under the new curb and gutter for the entire length of the frontage property on 200 South.
 - All new sidewalk shall be 5' wide.
 - Cap all existing water and sewer service connections that are not being used once development is constructed at City utility main line.
 - If in the future the developer can acquire property to the south for expansion of this development, the proposed access for this development to 600 West shall be closed and combined with an access to 600 West for the proposed and future development.

c. *Water —contact 716-9627*

- All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention.

d. *Environmental (Waste Management —contact 716-9627*

- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.
- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep.
- Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of enclosure to protect walls.
- Gates are not required, however if desired, they must be designed to stay open during the collection process.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW AND SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The Design Review and Subdivision Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
2. The conditioned project provides required off-street parking.
3. The project meets the goals and objectives of the MR-12 designation within the Logan General Plan by providing housing options in transitional areas of the City.
4. The conditioned project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. The surrounding streets are adequate in size and design to sufficiently handle infrastructure related to the land use.

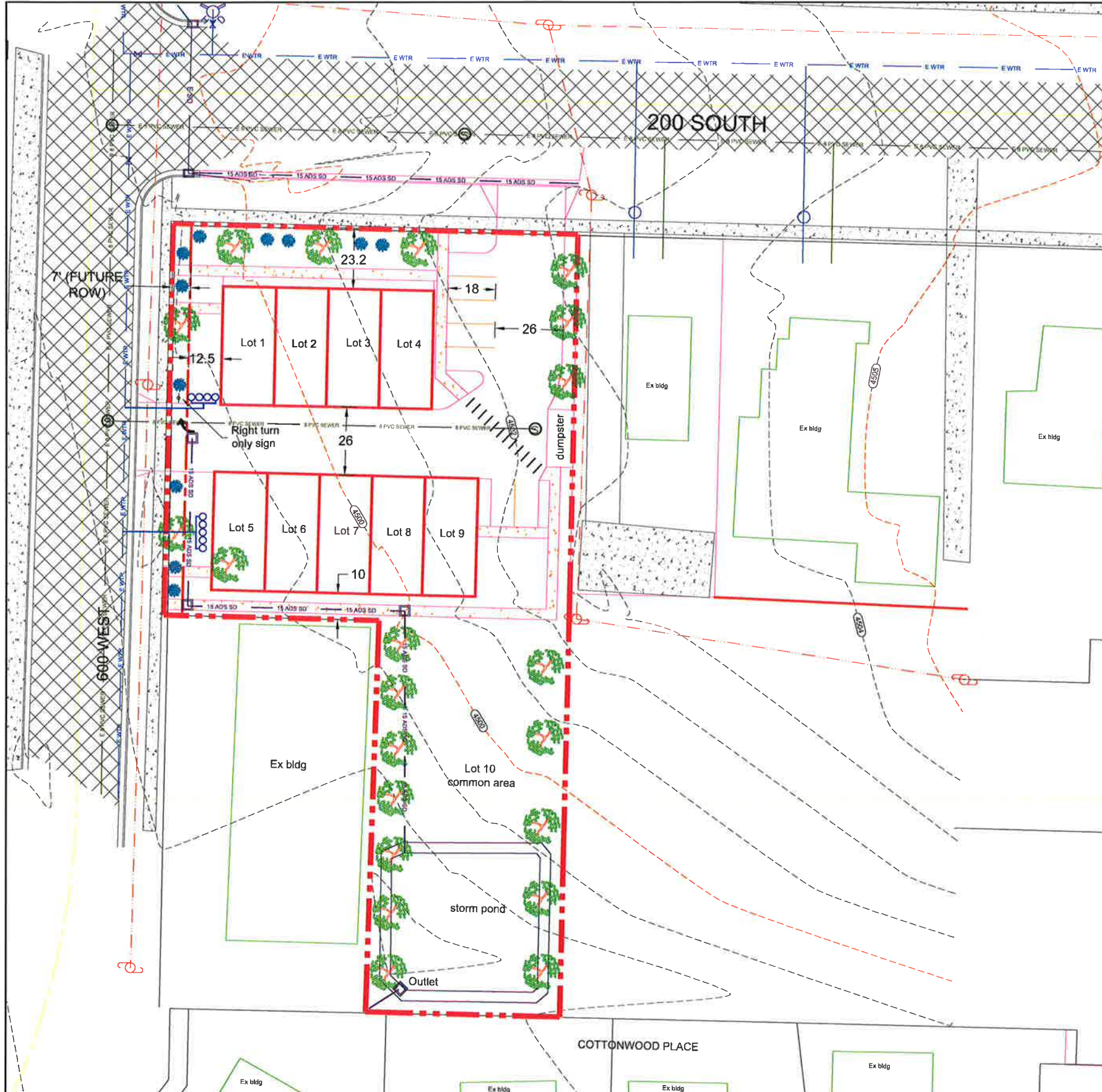
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

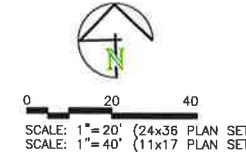
☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 2-5-21	Received By TR	Scheduled Meeting Date Mar. 11, 2021	Zone MR-12	Application Number PC 21-011
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME Copperwood Townhomes Subdivision				
PROJECT ADDRESS 550 west 200 South			COUNTY PLAT TAX ID # 02-036-0007, 02-036-0006	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Jake Thompson			MAIN PHONE # 435-764-2418	
MAILING ADDRESS Po Box 6384		CITY N. Logan	STATE UT.	ZIP 84341
EMAIL ADDRESS jk-tomp@hotmail.com				
PROPERTY OWNER OF RECORD (Must be listed) Jake Thompson			MAIN PHONE # 435-764-2418	
MAILING ADDRESS same		CITY	STATE	ZIP
EMAIL ADDRESS same				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 9 townhome subdivision - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -			Total Lot Size (acres) .78	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots 9	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	



COPPER WOOD SUBDIVISION

PART OF SECTION 4, TOWNSHIP 11 NORTH, RANGE 1 EAST,
SALT LAKE BASELINE AND MERIDIAN
LOGAN, UTAH

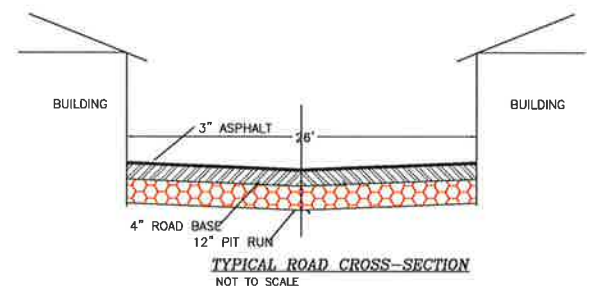
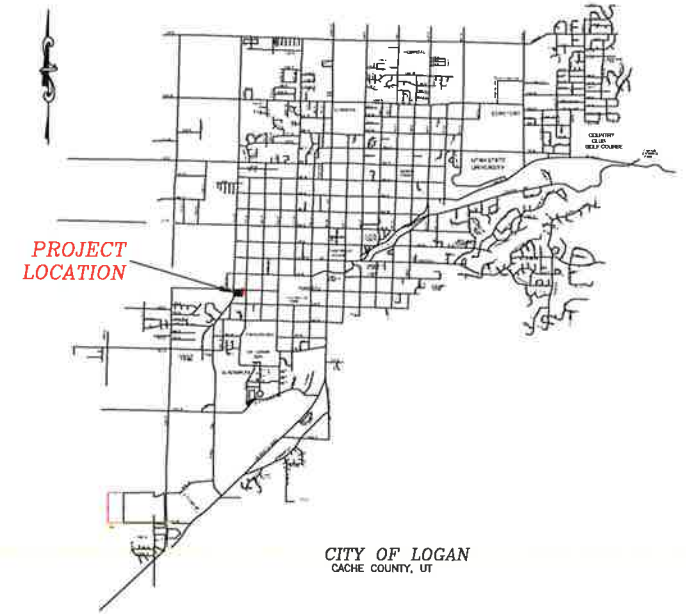


Legend:

--- BOUNDARY LINE	--- EXISTING STORM
--- EXISTING FENCE	--- PROPOSED STORM
--- 8" PVC SEWER	--- EXISTING CONCRETE
--- 8" PVC SEWER	--- EXISTING ASPHALT
--- PROPOSED SEWER	--- PROPOSED ASPHALT
--- EXISTING WATERLINE	--- MAJOR CONTOUR EXISTING (5')
--- EXISTING OVERHEAD POWER	--- MINOR CONTOUR EXISTING (1')

Notes:

- Number of Units: 9
- Acres=0.77± acres
- The overall datum for this project is the Logan City GPS Station UTLN with an Elevation of 4566.935
- The project is not located within a 100 yr flood plain.
- The project will be completed in one phase.
- All streets within this development are private.



ALLIANCE CONSULTING
ENGINEERS
150 EAST 200 NORTH SUITE P
LOGAN, UTAH 84301
(435)755-5121

DATE	
REVISIONS / SUBMISSIONS	
NO.	
REVIEWED	DATE
DRAWN	PROJECT NO.
CAD FILE	

DATE	
REVISIONS / SUBMISSIONS	
NO.	
REVIEWED	DATE
DRAWN	PROJECT NO.
CAD FILE	

PROJECT TITLE
COPPER WOOD SUBDIVISION
PART OF SECTION 4, TOWNSHIP 11 NORTH, RANGE 1 EAST,
SALT LAKE BASELINE AND MERIDIAN
LOGAN, UTAH

DATE : FEB, 2021
DRAWING No. **1**

GENERAL NOTES:

1. ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE AND STATE AND LOCAL CODES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE ANY WORK PROCEEDS.
3. FLOOR JOISTS ARE TO BE AS PER FRAMING PLAN OR COMPATIBLE. FLOOR DEFLECTION MUST BE L/480 OR BETTER.
4. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS.
5. 5/8" TYPE "X" SHEET ROCK AT GARAGE WALLS CEILING AND BEARING WALLS COMMON TO HOUSE. INSULATE HOUSE WALLS.
6. WIRE FOR TELEPHONE AND TELEVISION JACKS (UL LISTED) GENERAL CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER. ALL ELECTRICAL PARTS SHOWN ARE FOR REFERENCE ONLY. CHECK WITH OWNER FOR EXACT LOCATION.
7. CONTRACTOR SHALL VERIFY ALL BEAM, JOISTS SIZES AND SPACING (SEE STRUCTURAL DRAWINGS WHEN APPLICABLE).
8. GENERAL CONTRACTOR TO VERIFY WITH OWNER ON ALL EXTERIOR DOOR AND WINDOW TYPES AND MANUFACTURER PRIOR TO THE STARTING OF ANY FRAMING.
9. SEE FOUNDATION PLAN / ENGINEERING SHEETS FOR LOCATIONS OF FOUNDATION STRAPS.
10. ALL HEADERS & BEAMS ARE TO BE 2X10 DF #2 BTR UNLESS NOTED OTHER WISE.
11. ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE WITH A MIN. U-FACTOR OF 0.32
12. ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-13 INSULATIONS
13. ALL EXTERIOR ABOVE GRADE WALLS TO HAVE A MINIMUM OF R-20 INSULATION UNLESS NOTED OTHER WISE.
14. ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49 INSULATION UNLESS NOTED OTHER WISE.

MECHANICAL ROOM:

1. IN CLIMATE ZONES 3 THROUGH 8, WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM, ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE N1102.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET A MINIMUM OF THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION N1103. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
- EXCEPTIONS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVE COMPLYING WITH SECTIONS N1102.4.2 AND R1006
2. GAS/PROPANE FORCED AIR HEAT THRU-OUT. SUBCONTRACTOR TO SUPPLY GENERAL CONTRACTOR WITH COMPLETE SHOP DRAWINGS AND HEAT LOSS CALCULATIONS. ALL WARM AIR DUCTS AND COLD AIR RETURNS SHOWN ARE FOR REFERENCE ONLY.

GUARDRAIL NOTES:

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT A 4-INCH SPHERE CANNOT PASS THROUGH.

COPPERWOOD TOWNHOMES
4 PLEX
LOGAN, UT. 84341



MASTER DOOR SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	4	1	16080	192"x96"x1 3/4"	194"x99"	D01
D02	2	1	1868 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"	D02
D03	2	1	1868 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"	D03
D04	2	1	2668 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"	D04
D05	2	1	2668 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"	D05
D06	2	1	2868 L EX	32"x80"x1 3/4" L EX	34"x83"	D06
D07	2	1	2868 R EX	32"x80"x1 3/4" R EX	34"x83"	D07
D08	2	1	3068 L EX	36"x80"x1 3/4" L EX	38"x83"	D08
D09	2	1	3068 R EX	36"x80"x1 3/4" R EX	38"x83"	D09
D10	4	1	3078	36"x92"	36"x92"	D10
D11	4	1	5468 L/R EX	(2) 32"x80"x1 3/8" L/R EX	66"x83"	D11
D12	2	2	2068 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"	D12
D13	2	2	2068 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"	D13
D14	2	2	2468 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"	D14
D15	2	2	2468 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"	D15
D16	2	2	2668 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"	D16
D17	2	2	2668 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"	D17
D18	8	2	3068 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"	D18
D19	8	2	3068 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"	D19
D20	8	2	4068 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"	D20
D21	4	2	5068 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"	D21
D22	4	2	6068 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"	D22

MASTER WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED
W02	4	1	5046RS	60"x54"RS		4
W03	2	2	1618FX	18"x18"FX		2
W04	4	2	2030DH	24"x36"DH		4
W05	4	2	3050SH	36"x60"SH	YES	4
W06	10	2	5050LS	60"x60"LS	YES	10
W07	2	2	5816	68"x18"		2
W08	2	2	5816	68"x18"		2
W09	4	1	5816	68"x18"		4

OWNER: JAY L. BAIR
PHONE: (435)770-8636
EMAIL: jay@bairdesigns.com
WEB: bairdesigns.com
336 SUNBURST LN. ©
RICHMOND, UT, 84333



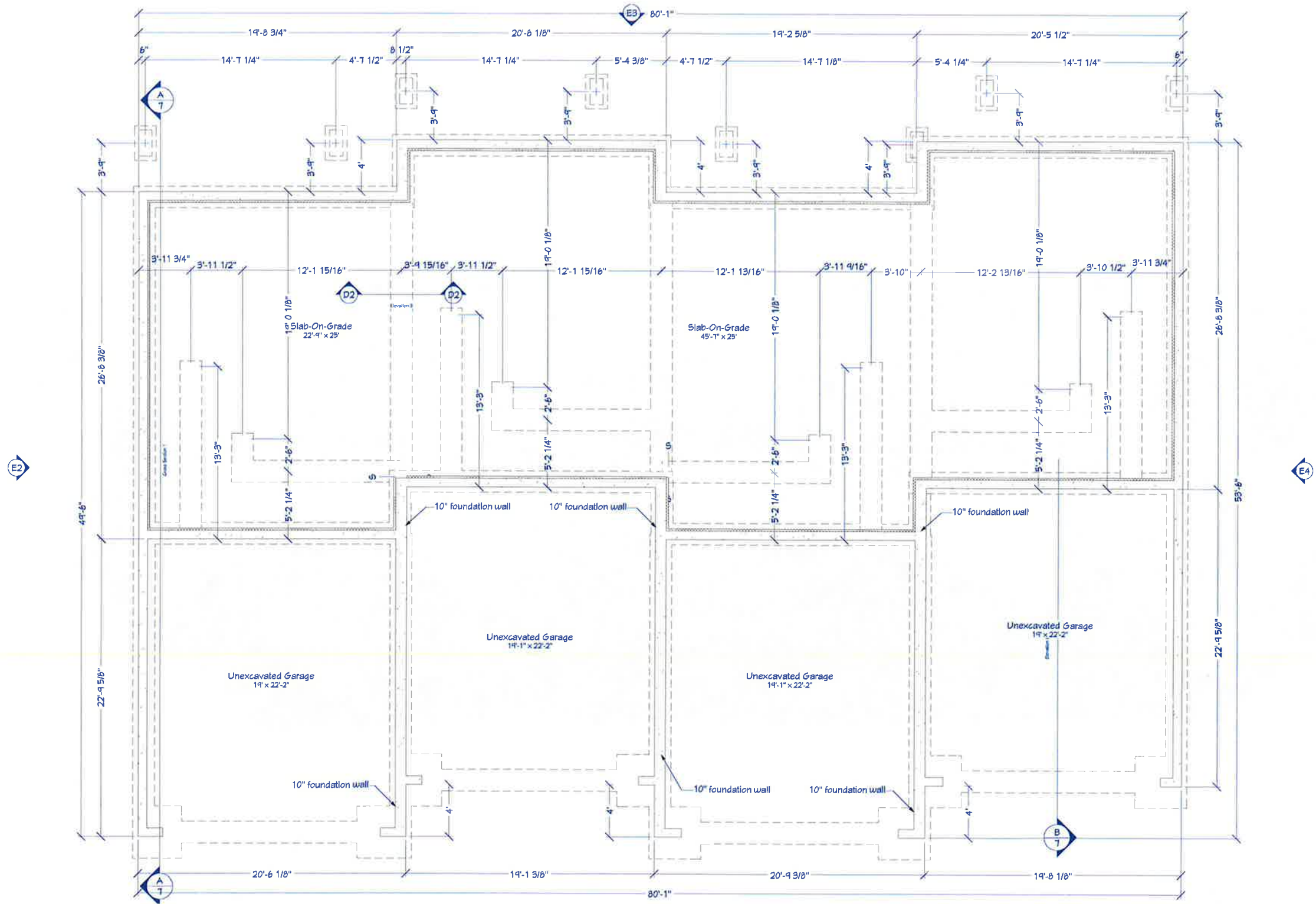
PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

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ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



FOUNDATION PLAN
SEE STRUCTURAL DRAWINGS
SHEET S1.0 FOR SPECIFICATIONS

OWNER: JAY L. BAIR
PHONE: (435)770-8636
EMAIL: jay@bairdesigns.com
WEB: bairdesigns.com
336 SUNBURST LN. ©
RICHMOND, UT, 84333



PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

TITLE:
FOUNDATION PLAN

DATE:

PAGE #
2

DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE

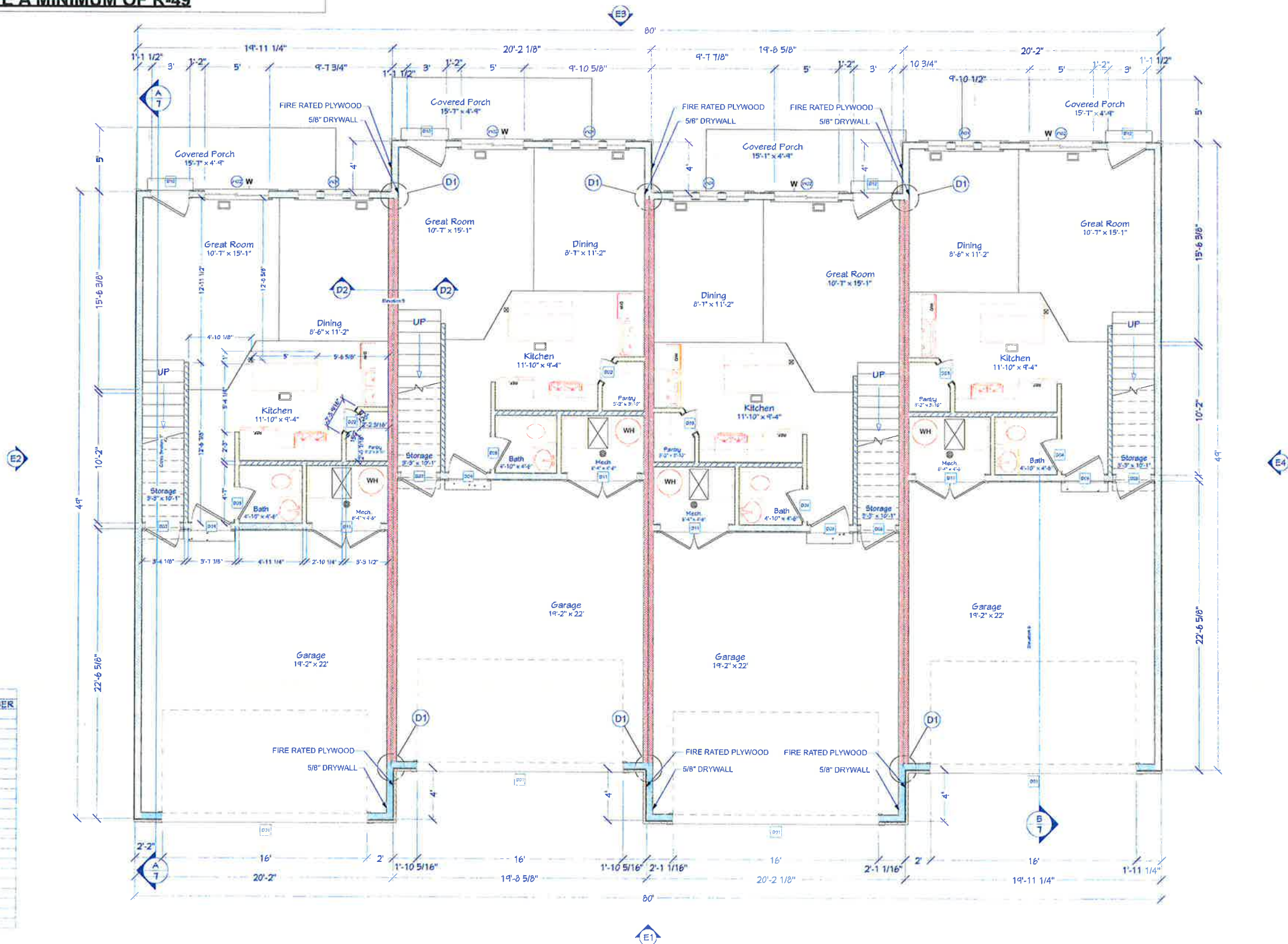
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ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

SYMBOLS:

- W WATER FAUCET
HEAT VENT
FLOOR DRAIN
BEARING WALLS

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	4	1	16080	142"X96"X1 3/4"	144"X94"
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D05	2	1	2668 R IN	30"X80"X1 3/8" R IN	32"X82 1/2"
D06	2	1	2868 L EX	32"X80"X1 3/4" L EX	34"X83"
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D09	2	1	3068 R EX	36"X80"X1 3/4" R EX	38"X83"
D10	4	1	3076	36"X92"	36"X92"
D11	4	1	5468 L/R EX	(2) 32"X80"X1 3/8" L/R EX	66"X83"
D12	2	2	2068 L IN	24"X80"X1 3/8" L IN	26"X82 1/2"
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D17	2	2	2868 R IN	32"X80"X1 3/8" R IN	34"X82 1/2"
D18	8	2	3068 L IN	36"X80"X1 3/8" L IN	38"X82 1/2"
D19	8	2	3068 R IN	36"X80"X1 3/8" R IN	38"X82 1/2"
D20	8	2	4068 L/R IN	(2) 24"X80"X1 3/8" L/R IN	50"X82 1/2"
D21	4	2	5068 L/R IN	(2) 30"X80"X1 3/8" L/R IN	62"X82 1/2"
D22	4	2	6068 L/R IN	(2) 36"X80"X1 3/8" L/R IN	74"X82 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W02	4	1	5046RS	60"X54"RS	
W03	2	2	1616FX	18"X18"FX	
W04	4	2	2030DH	24"X36"DH	
W05	4	2	3050SH	36"X60"SH	YES
W06	10	2	5050LS	60"X60"LS	YES
W07	2	2	5816	68"X18"	
W08	2	2	5616	66"X18"	
W09	4	1	5816	68"X18"	



442 SQ.FT. EACH UNIT

1,768 SQ.FT. FLOOR TOTAL
MAIN FLOOR PLAN

DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE

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PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

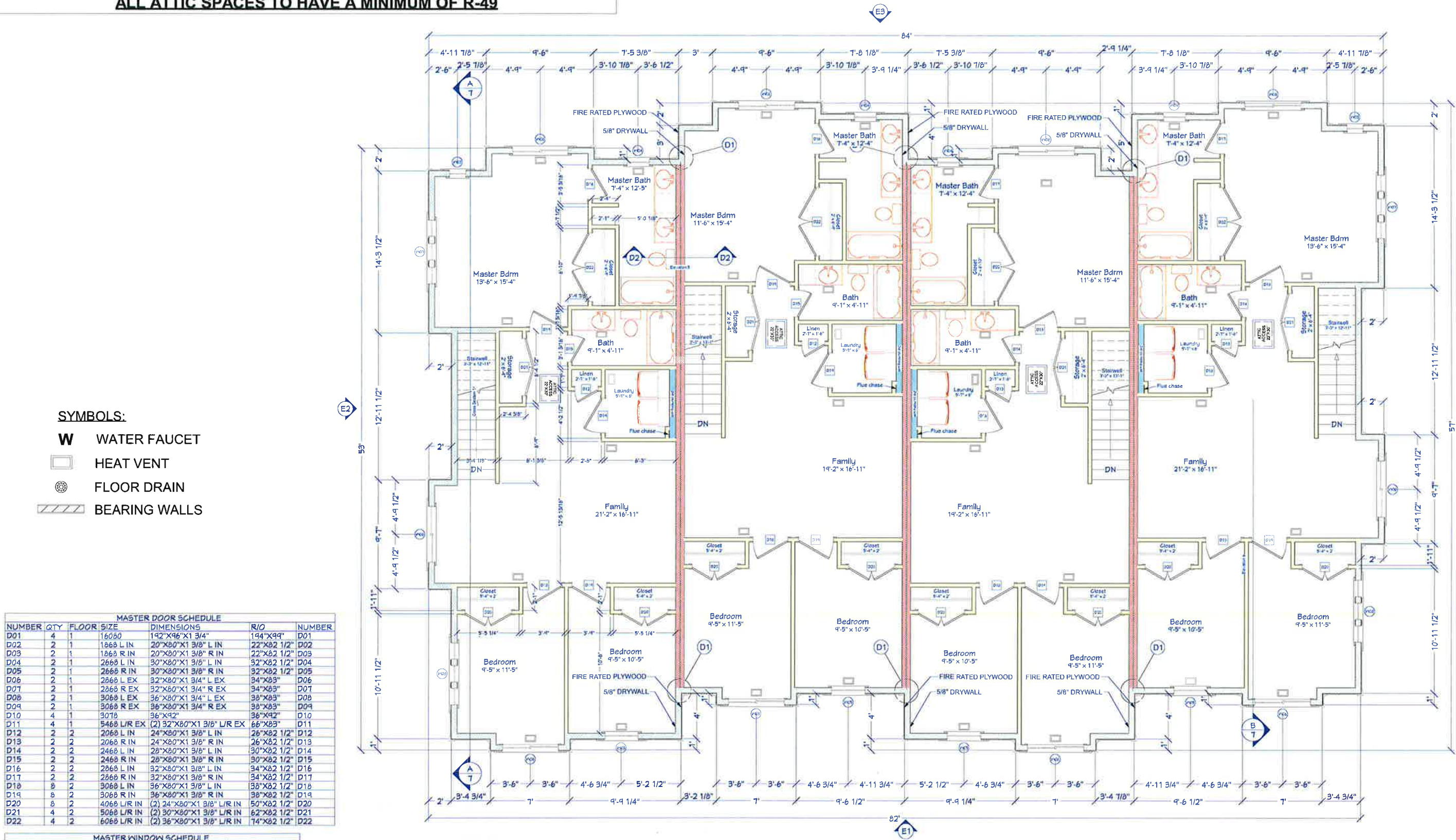
TITLE:
MAIN FLOOR PLAN

DATE:

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ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10. 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	4	1	16080	192"X96"X1 3/4"	194"X99"
D02	2	1	1868 L IN	20"X80"X1 3/8" L IN	22"X82 1/2"
D03	2	1	1868 R IN	20"X80"X1 3/8" R IN	22"X82 1/2"
D04	2	1	2668 L IN	30"X80"X1 3/8" L IN	32"X82 1/2"
D05	2	1	2668 R IN	30"X80"X1 3/8" R IN	32"X82 1/2"
D06	2	1	2868 L EX	32"X80"X1 3/4" L EX	34"X83"
D07	2	1	2868 R EX	32"X80"X1 3/4" R EX	34"X83"
D08	2	1	3068 L EX	36"X80"X1 3/4" L EX	38"X83"
D09	2	1	3068 R EX	36"X80"X1 3/4" R EX	38"X83"
D10	4	1	3078	36"X42"	36"X42"
D11	4	1	5468 L/R EX	(2) 32"X80"X1 3/8" L/R EX	66"X83"
D12	2	2	2068 L IN	24"X80"X1 3/8" L IN	26"X82 1/2"
D13	2	2	2068 R IN	24"X80"X1 3/8" R IN	26"X82 1/2"
D14	2	2	2468 L IN	28"X80"X1 3/8" L IN	30"X82 1/2"
D15	2	2	2468 R IN	28"X80"X1 3/8" R IN	30"X82 1/2"
D16	2	2	2868 L IN	32"X80"X1 3/8" L IN	34"X82 1/2"
D17	2	2	2868 R IN	32"X80"X1 3/8" R IN	34"X82 1/2"
D18	8	2	3068 L IN	36"X80"X1 3/8" L IN	38"X82 1/2"
D19	8	2	3068 R IN	36"X80"X1 3/8" R IN	38"X82 1/2"
D20	8	2	4068 L/R IN	(2) 24"X80"X1 3/8" L/R IN	50"X82 1/2"
D21	4	2	5068 L/R IN	(2) 30"X80"X1 3/8" L/R IN	62"X82 1/2"
D22	4	2	6068 L/R IN	(2) 36"X80"X1 3/8" L/R IN	74"X82 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W02	4	1	5046RS	60"X54"RS	TEMPERED
W03	2	2	1616FX	18"X18"FX	
W04	4	2	2030DH	24"X36"DH	
W05	4	2	3030SH	36"X60"SH	YES
W06	10	2	5050LS	60"X60"LS	YES
W07	2	2	5816	68"X18"	
W08	2	2	5816	68"X18"	
W09	4	1	5816	68"X18"	

1,083 SQ.FT. END UNITS

4,232 SQ.FT. FLOOR TOTAL
SECOND FLOOR PLAN

1,033 SQ.FT. MIDDLE UNITS

DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE

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PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

TITLE:
SECOND FLOOR PLAN

DATE:

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E3 FRONT ELEVATION
SCALE: 1/4" = 1'



E1 REAR ELEVATION
SCALE: 1/4" = 1'

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PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

TITLE:
FRONT & REAR ELEVATIONS

DATE:

PAGE #

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DO NOT SCALE 11"X17" PRINTS
THEY ARE NOT TO SCALE

Figure 1 shows a cross-section of a wall and foundation. The wall is constructed of brick and is divided into two equal sections, each 4 feet wide, by a central vertical line. Below the wall is a concrete foundation, labeled R-49, which features a series of vertical reinforcement bars (rebar) extending downwards. The foundation is shown in a cross-section view, with the rebar arranged in a grid pattern.

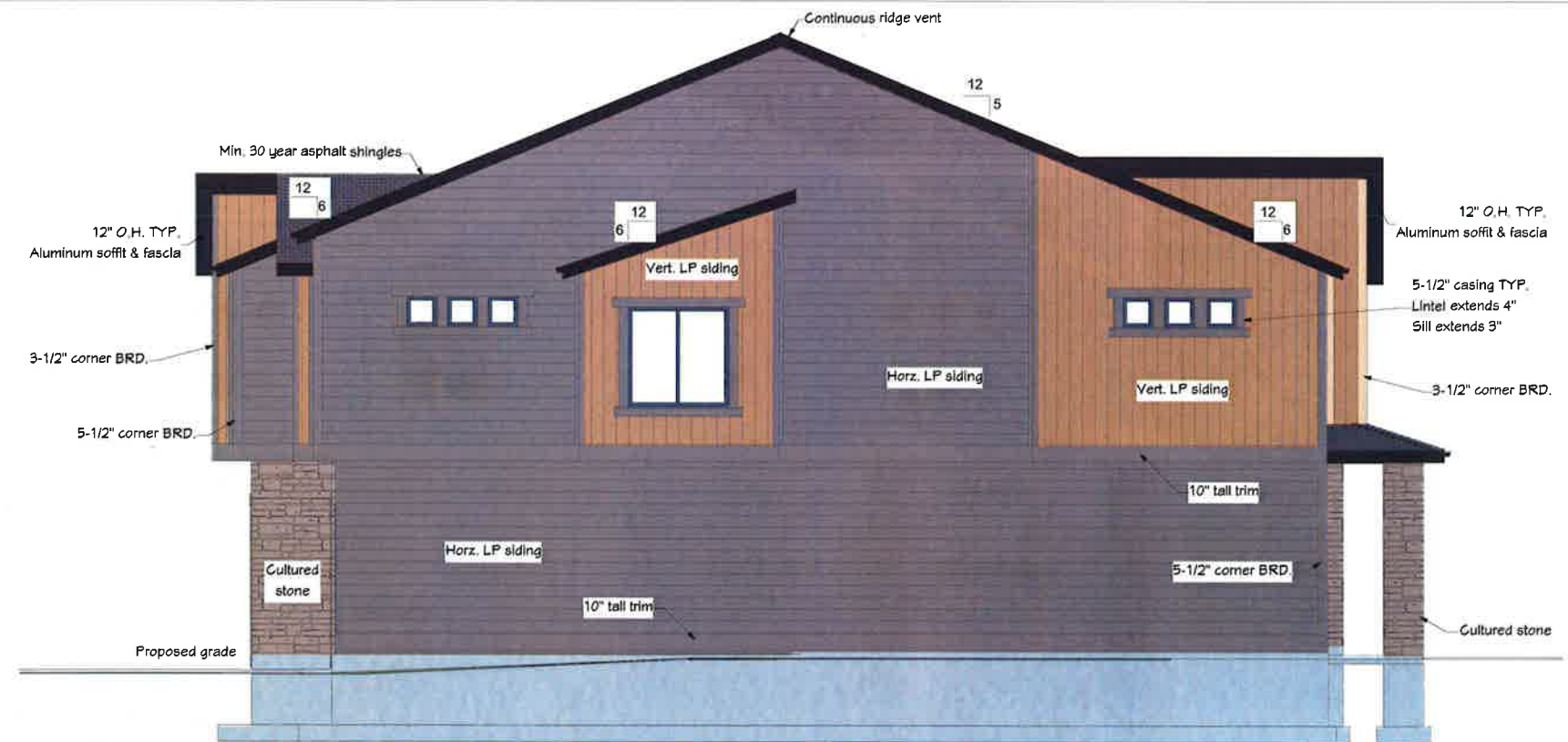
R-13

The diagram shows a double-stranded DNA molecule. The left and right portions of the molecule consist of regular base pairing (A-T, G-C). In the center, there is a region where the base pairing is disrupted, indicated by an arrow pointing to the mismatched bases. This represents a site of potential mutation or recombination.

D2 FIREWALL TO ROOF CONNECTION
NOT TO SCALE

D1 FIREWALL TO EXTERIOR CONNECTION
NOT TO SCALE

D1 FIREWALL TO EXTERIOR CONNECTION
NOT TO SCALE



E4 LEFT ELEVATION
SCALE: 1/4" = 1'



E2 RIGHT ELEVATION
SCALE: 1/4" = 1'

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BAIR DESIGN

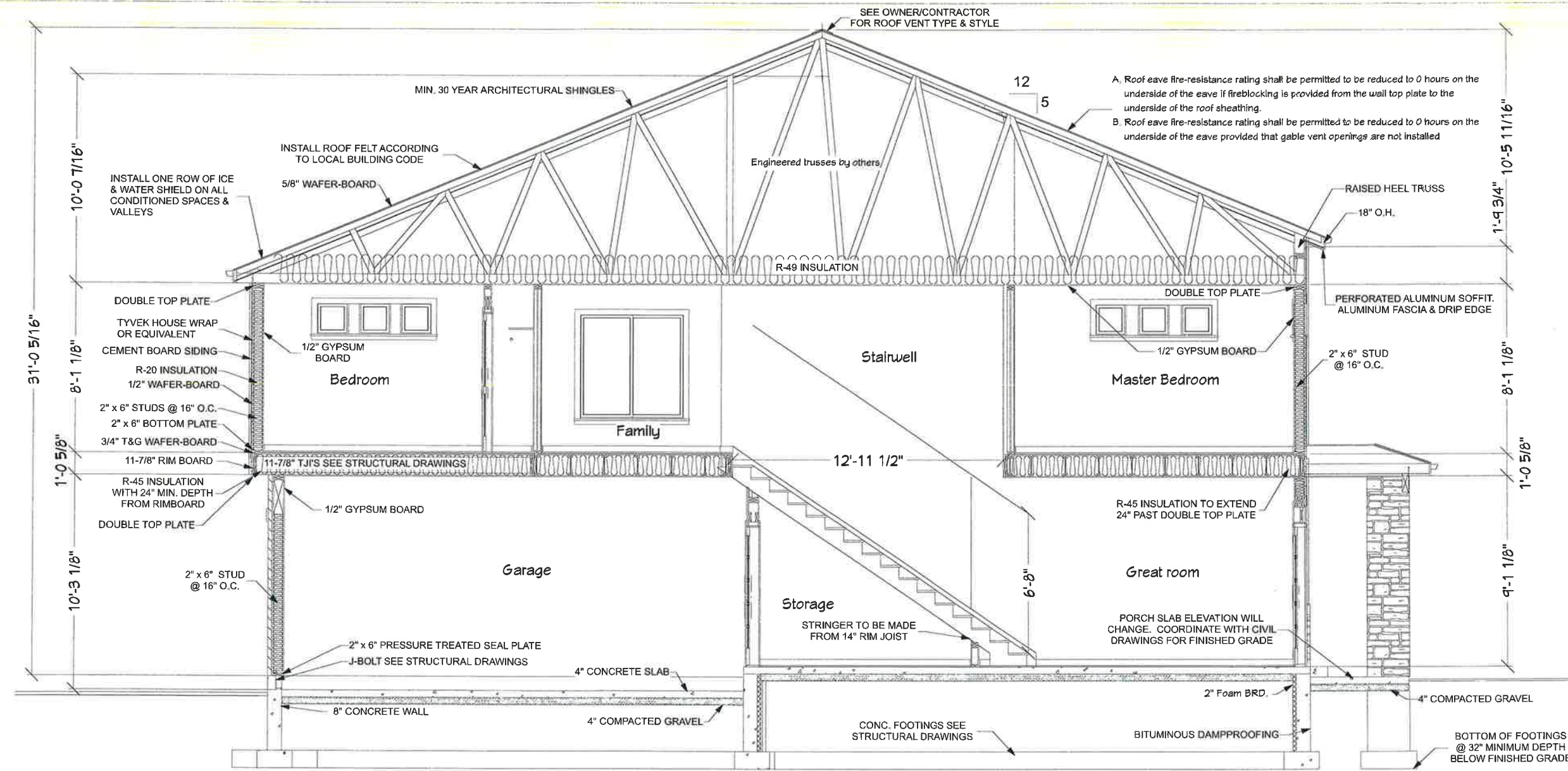
PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

TITLE:
**LEFT & RIGHT ELEVATIONS
& DETAILS**

DATE:

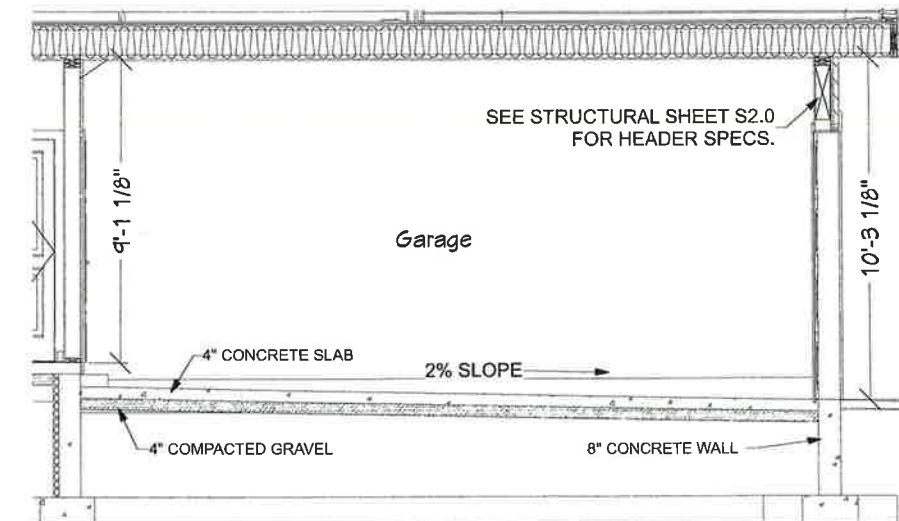
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A
7

BUILDING SECTION
SCALE: 3/8" = 1'



B
7

BUILDING SECTION
SCALE: 3/8" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

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PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

TITLE:
BUILDING SECTION

DATE:

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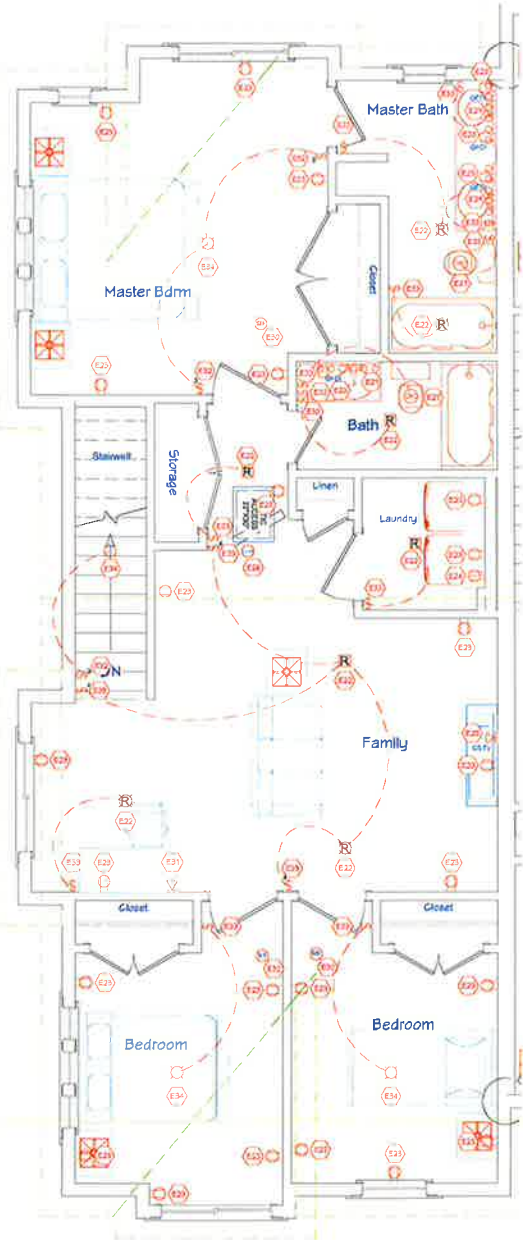
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 THEY ARE NOT TO SCALE

ELECTRICAL DIAGRAMS ARE
FOR REFERENCE ONLY. ELECTRICIAN
TO INSTALL ACCORDING TO LOCAL
ELECTRICAL CODE & STATE AMENDMENTS
FOR THE AFCI.

COORDINATE WITH OWNER THE POSSIBLE
INSTALLATION OF SECURITY SYSTEMS, INTERCOM,
CABLE TV, COMPUTER, SPEAKERS, OR OTHER
SPECIALTY ITEMS NOT INDICATED ON THE
DRAWINGS, BUT CURRENT WITH THE INDUSTRY.
ALL OUTLET SPACING IS CONCEPTUAL IN NATURE
AND WILL BE FIELD VERIFIED. ELECTRICIAN
WILL BE RESPONSIBLE FOR PROPER INSTILLATION
OF ALL EXTERIOR PENETRATIONS OF STRUCTURE.
ARC FAULT PROTECTION TO BE PROVIDED
AS PER 3802.12, AND BE COMBINATION TYPE.
TAMPER RESISTANT OUTLETS ARE TO BE
INSTALLED THROUGHOUT THE ENTIRE PROJECT.
EXTERIOR OUTLETS WILL BE REQUIRED
TO HAVE COVERS OVER THEM TO CONFORM
WITH SECTION E3902.8 THROUGH E3902.10
OUTLET SPACING MUST CONFORM TO IRC 3901.2.1

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	LIGHT FIXTURE
	RECESSED LIGHT
	EYEBALL (ROTATED)
	CEILING FAN (LIGHTS)
	CHANDELIER
	FLUORESCENT LIGHTS (SEE PLAN FOR SIZE)
	DUAL SPOTLIGHT
	EXTERIOR LIGHT
	LIGHT BAR W/MIRROR
	LIGHT HALF CONE
	BATHROOM EXHAUST FAN
	SMOKE DETECTOR
	TELEVISION
	TELEPHONE
	CAT5 w/ TV
	INTERCOM
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	110V /DUPLEX OUTLET
	110V /QUADRUPLX
	110V /FLOOR DUPLEX OUTLET
	GFCI OUTLET
	DUPLEX (WEATHERPROOF)
	220V OUTLET
	THERMOSTAT
	BREAKER PANEL

ELECTRICAL SCHEDULE			
NUMBER	QTY	FLOOR ATTACHED TO	DESCRIPTION
E01	10	1	WALL FOUR WAY
E02	1	1	WALL 220V
E03	11	1	WALL DUPLEX
E04	4	1	CEILING BARE BULB
E05	1	1	WALL CAT5 w/ TV
E06	1	1	CEILING CEILING DUPLEX
E07	1	1	CEILING CO/SMOKE DETECTOR
E08	1	1	WALL DUPLEX (WEATHERPROOF)
E09	1	1	WALL ELECTRICAL PANEL
E10	1	1	CEILING EXHAUST
E11	3	1	WALL GFCI
E12	1	1	WALL LIGHT BAR (MIRROR)
E13	7	1	CEILING RECESSED DOWN LIGHT
E14	1	1	WALL TELEPHONE JACK
E15	1	1	WALL THERMOSTAT
E16	3	1	WALL THREE WAY
E17	9	1	WALL SINGLE POLE
E18	2	1	WALL CAGED LANTERN SCONCE
E19	4	1	CEILING TRADITIONAL FLUSH DOME
E22	8	2	CEILING RECESSED DOWN LIGHT
E23	24	2	WALL DUPLEX
E24	1	2	WALL 220V
E25	1	2	WALL CAT5 w/ TV
E26	1	2	CEILING CO/SMOKE DETECTOR
E27	2	2	CEILING EXHAUST
E28	4	2	WALL GFCI
E29	3	2	WALL LIGHT BAR (MIRROR)
E30	3	2	CEILING SMOKE DETECTOR
E31	1	2	WALL TELEPHONE JACK
E32	3	2	WALL THREE WAY
E33	13	2	WALL SINGLE POLE
E34	4	2	CEILING TRADITIONAL FLUSH DOME
E35	3	2	WALL FOUR WAY



MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'

SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'

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PROJECT FOR:
COPPERWOOD TOWNHOMES (4-plex)

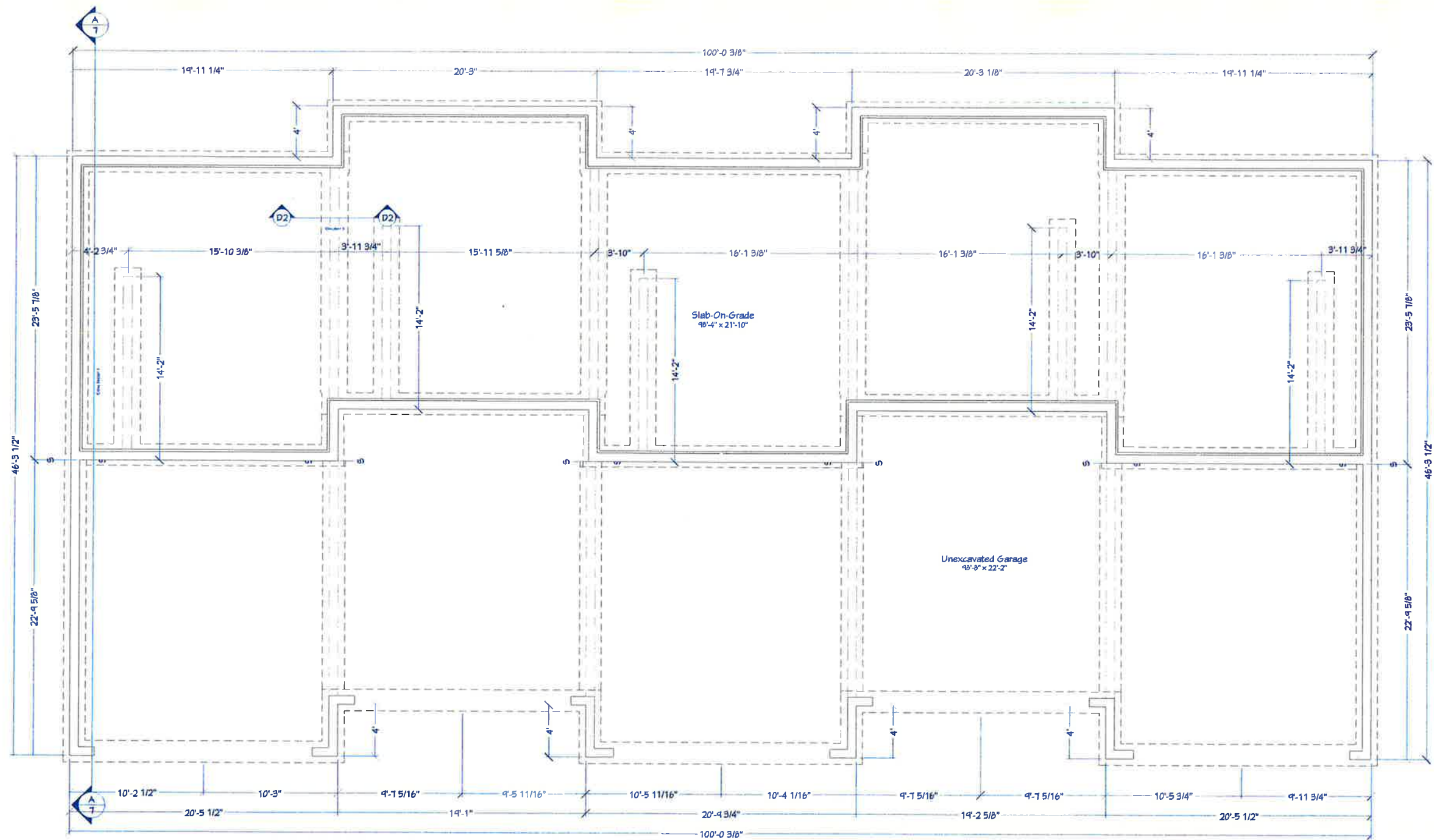
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ELECTRICAL PLANS

DATE:

PAGE #

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DO NOT SCALE 11"x17" PRINTS
THEY ARE NOT TO SCALE



Foundation plan
Scale: 1/4" = 1'

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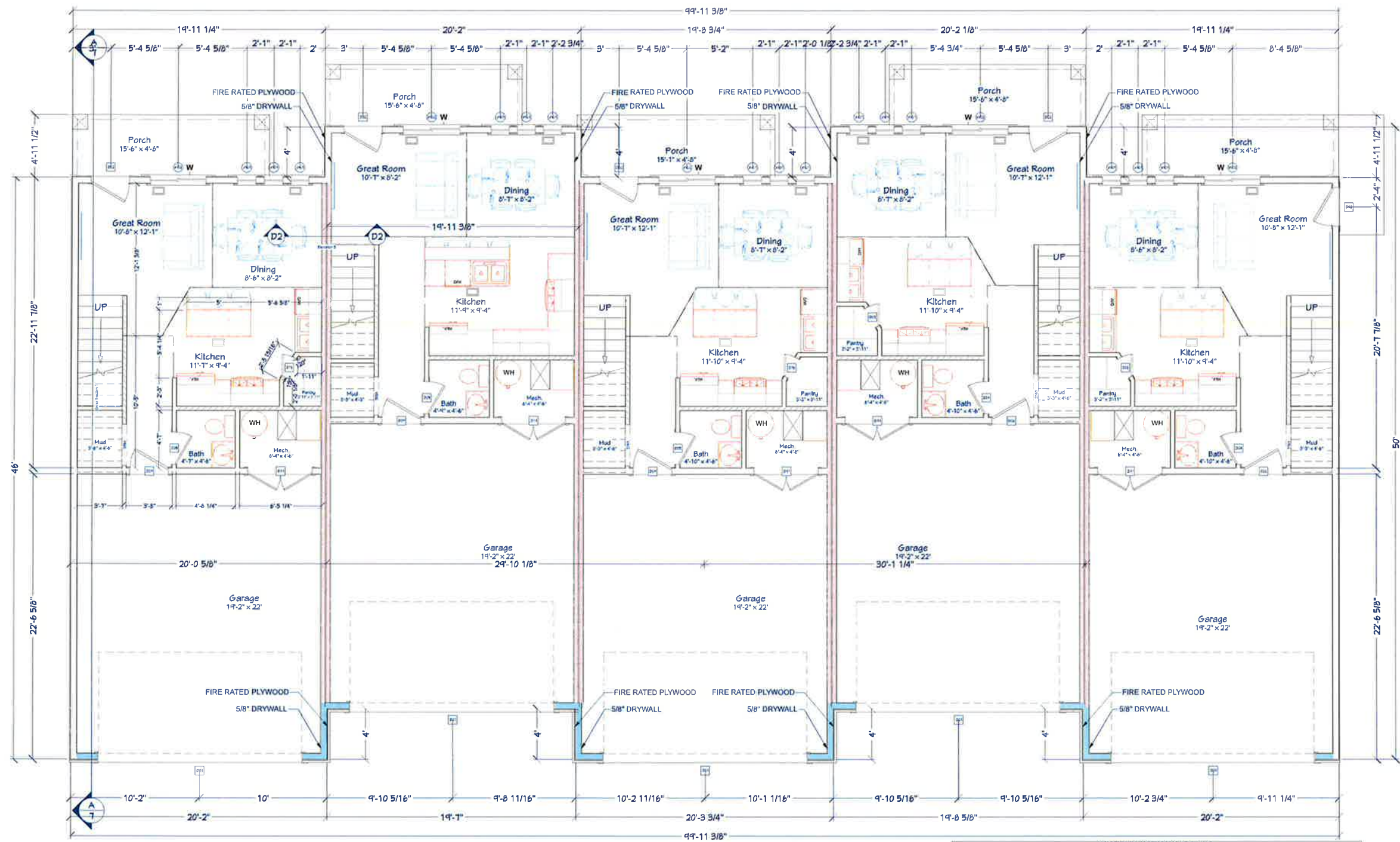
PROJECT FOR:

Copper Wood

TITLE:
 Foundation plan

DATE:
 12/14/2020

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449 sq.ft each unit

(2,245 sq. ft. main floor total)

Main floor plan

Scale: 1/4" = 1'

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	5	1	16080	142"x86"x1 3/4"	144"x99"
D02	5	1	3078	36"x42"	36"x42"
D03	2	1	1868 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"
D04	2	1	2668 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"
D05	3	1	2668 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"
D06	2	1	3068 L EX	36"x80"x1 3/4" L EX	38"x83"
D07	3	1	3068 R EX	36"x80"x1 3/4" R EX	38"x83"
D08	2	2	2868 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"
D09	5	1	5068 L/R EX	(2) 30"x80"x1 3/8" L/R EX	62"x83"
D10	3	2	2068 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"
D11	2	2	2068 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"
D12	2	2	2468 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"
D13	2	2	2468 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"
D14	2	1	1868 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"
D15	3	2	2868 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"
D16	5	2	5068 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"
D17	11	2	3068 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"
D18	4	2	3068 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"
D19	10	2	4068 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"
D20	5	2	6068 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	15	1	1616FX	18"x18"FX	TEMPERED
W02	5	1	4646LS	54"x54"LS	TEMPERED
W03	14	2	1616FX	18"x18"FX	TEMPERED
W04	5	2	2030DH	24"x36"DH	TEMPERED
W05	5	2	3050SH	36"x60"SH	TEMPERED
W06	12	2	5050LS	60"x60"LS	TEMPERED

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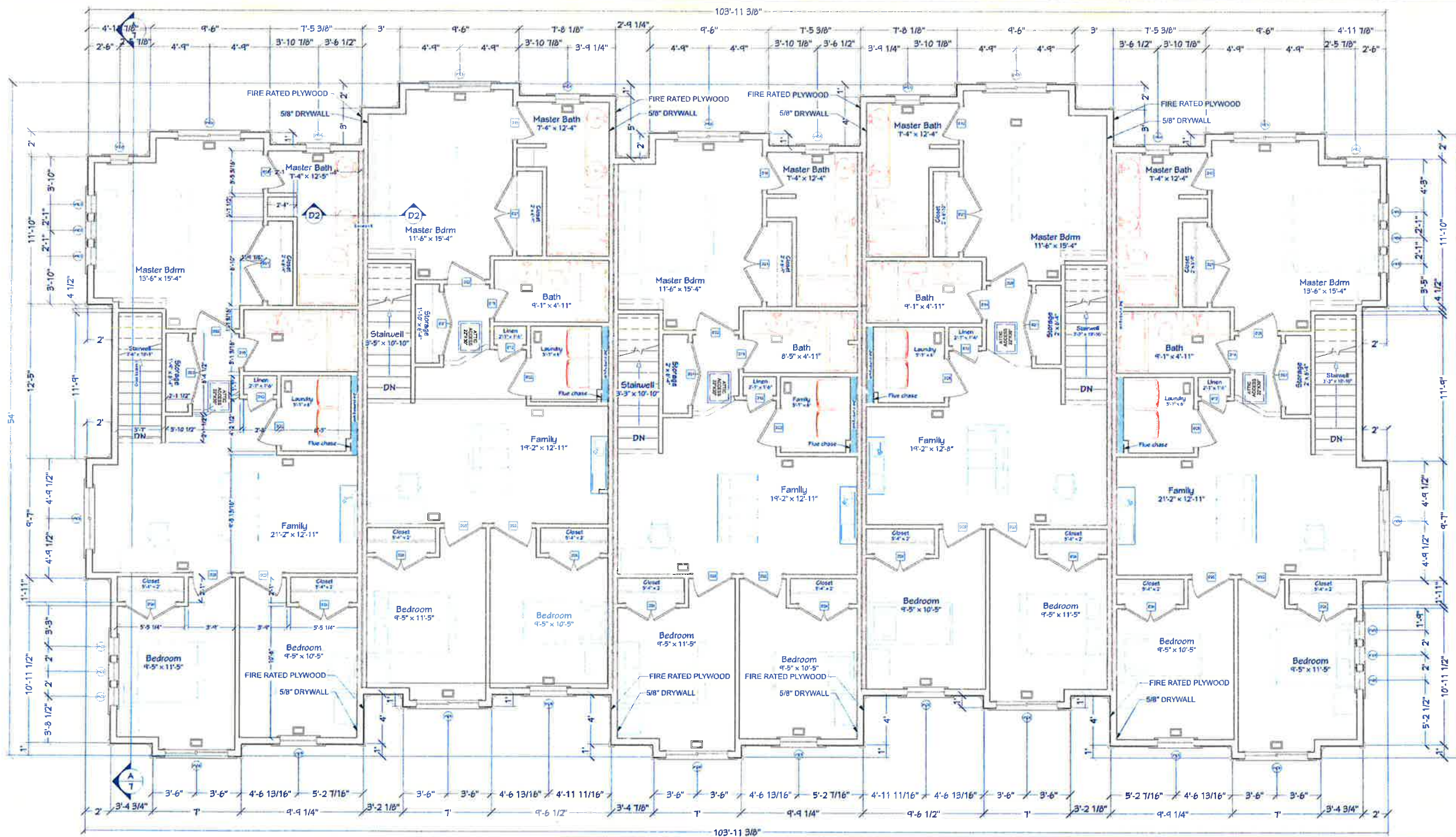
Copper Wood

TITLE:

Main floor plan

DATE:
12/14/2020

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1,084 sq.ft end units

1,032 sq.ft middle units

(5,264 sq. ft. 2nd floor total)

2nd floor plan

Scale: 1/4" = 1'

MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	5	1	16080	142"x96"x1 3/4"	144"x98"
D02	1	1	3078	36"x92"	36"x92"
D03	1	1	1866 R IN	30"x80"x1 3/8" R IN	22"x82 1/2"
D04	1	1	1866 L IN	30"x80"x1 3/8" L IN	22"x82 1/2"
D05	1	1	2668 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"
D06	1	1	3068 L EX	36"x80"x1 3/4" L EX	38"x83"
D07	1	1	3068 R EX	36"x80"x1 3/4" R EX	38"x83"
D08	2	2	2668 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"
D09	1	1	5068 L/R EX	(2) 30"x80"x1 3/8" L/R EX	62"x83"
D10	2	2	2068 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"
D11	2	2	2068 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"
D12	2	2	2468 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"
D13	2	2	2468 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"
D14	2	2	1866 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"
D15	2	2	2668 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"
D16	2	2	3068 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"
D17	2	2	3068 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"
D18	2	2	3068 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"
D19	2	2	4068 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"
D20	2	2	6068 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"

MASTER WINDOW SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS
W01	15	1	1616FX	16"x18"FX	
W02	5	1	4646L5	54"x54"L5	
W03	14	2	1616FX	16"x18"FX	
W04	5	2	2030DH	24"x36"DH	
W05	5	2	3050SH	36"x60"SH	YES
W06	12	2	5050L5	60"x60"L5	YES

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PROJECT FOR:

Copper Wood

TITLE:

2nd floor plan

DATE:
12/14/2020

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Front elevation
Scale: 1/4" = 1'



Rear elevation
Scale: 1/4" = 1'

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PROJECT FOR:

Copper Wood

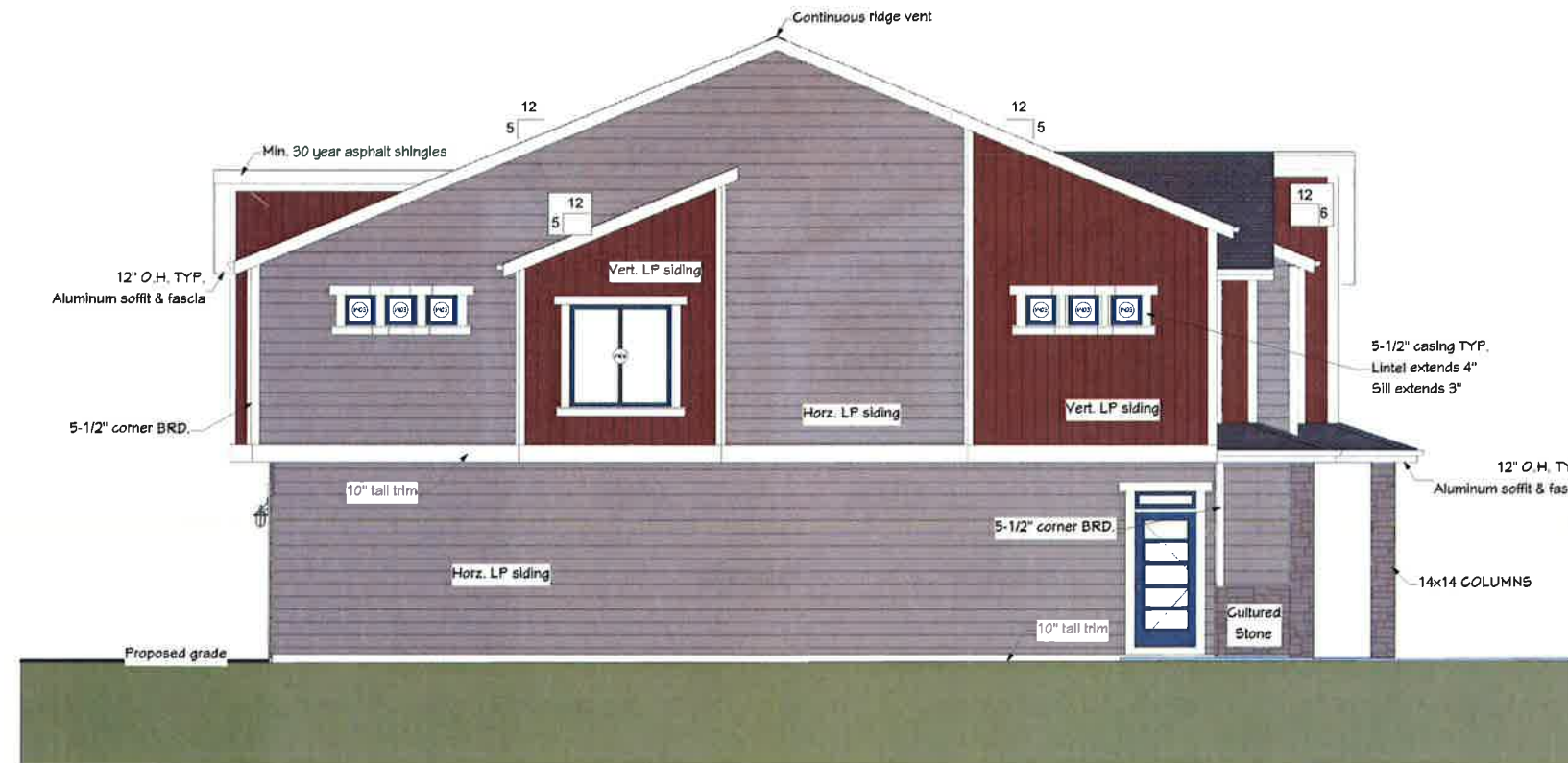
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Elevations

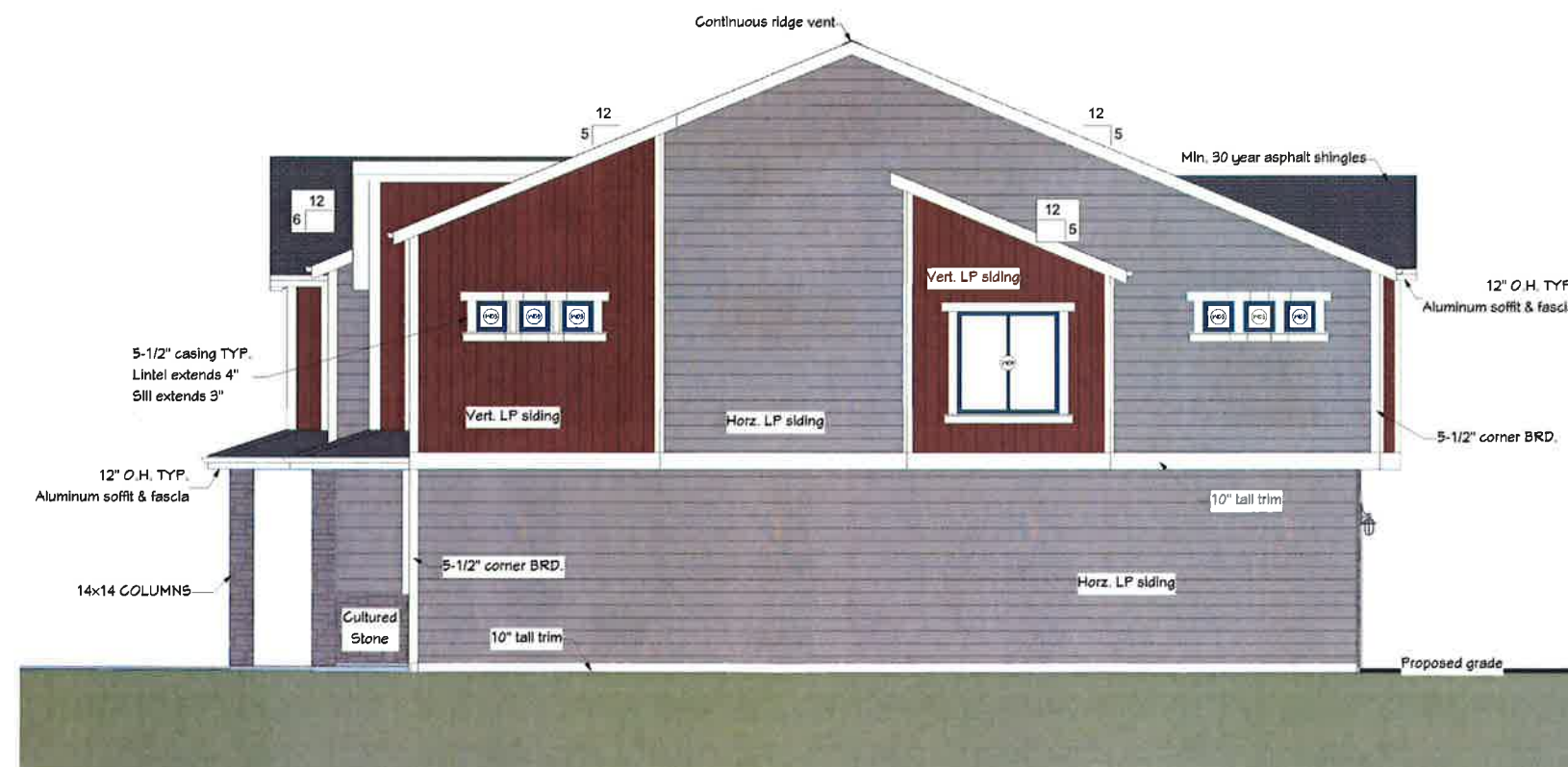
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 12/14/2020

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DO NOT SCALE 11"X17" PRINTS
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Left elevation
Scale: 1/4" = 1'



Right elevation
Scale: 1/4" = 1'

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PROJECT FOR:

Copper Wood

TITLE:

Elevations

DATE:
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