

Project #20-061
Copperwood Townhomes
Located at approximately 550 West 200 South

REPORT SUMMARY...

Project Name: Copperwood Townhomes
Proponent / Owner: Jake Thompson
Project Address: 550 West 200 South
Request: Design Review Permit / Subdivision Permit
Current Zoning: Mixed Residential Low (MR-12)
Type of Action: Quasi-Judicial
Hearing Date: December 10, 2020
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review and Subdivision Permit for Project #20-061, Copperwood Townhomes Subdivision, in the Mixed Residential Low (12) zone located at approximately 550 West 200 South, TIN #02-036-0005, 02-036-0006, 02-036-0007.

Current Land use adjoining the subject property

<i>North:</i>	CS: Commercial Services	<i>East:</i>	CS: Commercial Services
<i>South:</i>	NR-6 / MR-12: Residential Uses	<i>West:</i>	MR-12: Residential Uses

Existing Conditions

The project site consists of 3 adjoining parcels totaling 1.6 acres on the southeast corner of 200 South and 600 West. The parcels are north of Copperwood Place subdivision and east of U&I Furniture warehouse.



Figure 1 showing the location of the Copperwood Townhomes project site

Subdivision Proposal

The applicant is proposing a subdivision of 1.6 acres into 20 total lots containing four multi-family buildings (two (2) containing 5 townhome units and two (2) containing 4 townhome units totaling 18 townhomes), one (1) single-family home and a common lot containing private driveways, landscaping, open area and storm-water facilities. The single-family home fronting 200 South is existing and won't be altered.



Figure 2 showing the proposed site plan.

Land Use & Density

The Land Development Code (LDC) Table 17.07.080 allows up to 12 dwelling units per acre in the MR-12 zone. The proposed 19 units, 1 single family home and 18 attached on the 1.6-acre site yield an 11.8 unit-per-acre ratio. The proposed residential occupancy land use is permitted and the proposed density complies with the MR-12 zone.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the MR-12 zone are as follows (as measured from property lines):

Front (min-max):	10'
Corner:	10'
Side:	8'
Side (common wall)	0'
Rear:	10'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front:	12'-30'
Side:	8'-16'
Side (common wall)	0'
Rear:	1'-14'

If alterations are made to the single-family home, it will be reviewed and approved for compliance at the time of building permit submittal. As proposed, the project meets setback requirements in the LDC.

Lot Coverage

The LDC 17.07.080 establishes a maximum lot coverage of 40% (building(s) footprint) in the MR-12 zone. The proposed 5-building project (22,225 SF total footprint) on 1.6-acre has a lot coverage of approximately 32% and is in compliance the LDC.

Parking Requirements

The LDC requires 2.0 parking stalls for dwelling units in the MR-12 zone. The proposed townhomes provide a two-car garage per unit meeting the LDC requirement. As submitted, the proposed project meets the LDC residential parking requirements.

Site Layout & Circulation

The LDC 17.30.170 requires minimum street connectivity for new projects to better circulate and integrate into Logan's existing gridded block layout. For projects containing 9-20 dwelling units, two (2) street connections are required. This infill project site is unique in shape with limited street frontage and existing development surrounding rear and side boundaries. The proposal shows two street connections onto 200 South and 600 West in the only feasible locations and meet the street connection requirements in the LDC.



Figure 3 showing the proposed building design.

Building Orientation & Elevations

The LDC 17.09.040 indicates that buildings in the MR zone should be oriented towards the street in an inviting manner with primary pedestrian entrances positioned in a prominent position. When it is not feasible to orient buildings towards the street, modifications to building facades or inward orientation to drives or common open space and courtyards is appropriate. The limited corner street frontage on this site along 200 south and 600 West is shown with the five-unit building facing all front doors towards 600 West. The corner building is proposed without a doorway entrance on the 200 South façade. Multi-unit or townhome building can place the front door and porch on the end corner unit on the corner façade and gain better curb appeal for the corner side of the building. The remaining three buildings are placed on the interior of the block and do not have street frontage possibilities. As conditioned with the corner unit on the corner building orienting the front door and porch towards 200 South, the project meets the building orientation LDC code requirements.

The proposed building materials include stone veneer, vertical and horizontal lap siding. Materials and colors are designed to break up the mass into smaller sections of the façade and bring a human scale to structure. As proposed with the building materials, the project meets the requirements in the LDC.

Building Heights

The MR-12 zone allows building heights at 35'. The two-story townhome buildings are proposed at 28 feet high at the peak. As proposed, the project meets building height requirements in the LDC.

Open Space and Landscaping

The LDC 17.07.080 requires 20% open space and an additional 10% useable outdoor space in the MR-12 zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically patios, decks and other similar outdoor amenities. The 1.6-acre townhome project site would require 13,939 SF of open space and 6,969 SF of outdoor space totaling 20,908 SF of open and outdoor space. The proposal shows approximately 26,000 SF of open and outdoor space meeting the minimum space requirements. The storm-water detention facility must be located in an area away from the public streets unless it can be integrated into the landscape and open space plan.

For multi-family projects, 20 trees and 50 shrubs/grasses are required per each acre of project area. For 1.6 acres of multi-family project site, 32 trees and 80 shrubs, perennials and ornamental grasses are required. The project only shows conceptual open space and landscaping areas with this submittal. As conditioned with a performance landscape plan, the project meets the requirements in the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, one phone call opposing the project was received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 11/28/20 and the Utah Public Meeting website on 12/2/20. Public notices were mailed to all property owners within 300 feet of the project site on 11/20/20.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and Subdivision Permit and are available in the Community Development Department.
2. This permit authorizes a 20-lot subdivision with 19 multi-family townhome units, 1 single family home and a parcel containing all the common area facilities. The final plat shall be recorded within one year or obtain an extension as per the LDC.
3. The northwest corner unit (Lot 2) shall orient its front door and porch toward 200 South, or add a variation of architectural features to enhance the corner.

4. The Planning Commission approves the submitted two (2) street connections for this project.
5. Each townhome shall provide two (2) parking stalls as per the LDC requirements.
6. Lot 20 shall be labeled as non-buildable in the building permit.
7. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 20,908 SF.
 - b) Street trees shall be provided where they currently do not exist at every 30 feet on center. The City Forrester will determine tree species.
 - c) Storm-water retention facility shall be integrated into the landscaping/open space and shown as such in the landscape plan.
8. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view OR integrated into the landscape plan for recreational use.
10. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. All fencing shall be approved and permitted by staff in accordance with the Land Development Code.
13. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire Department —contact 716-9515*
 - Applicant shall provide an AutoCad drawing of the site with the maneuvering specifications of the largest fire apparatus.
 - Inside Turn: 17 ft, Curb to Curb 32 ft, Wall to Wall 36 ft
 - Provide "NO PARKING FIRE LANE" signs on both sides of roadway particularly in the two ends to prevent parking and obstructions in the fire apparatus turn-around areas.
 - b. *Engineering —contact 716-9160*
 - Provide water shares for all increased demand to City system. If shares (water rights) are not available developer can pay an in-lieu fee for these shares.
 - Provide a development agreement and surety for all improvements in City Right of Way
 - Provide storm water detention/retention per Logan City Standards. This includes the onsite retention of the 90% storm event through the use of Low Impact Design elements.
 - Provide Storm Water Pollution Prevention Plan for site per State Requirements, including the NOI for this document.
 - Provide City with a private water utility agreement for private water line and sewer.
 - Provide a Storm Water Utility Agreement
 - There is an open ditch that conveys irrigation water from canal at 400 West, ensure that this is connected to new piping associated with right of way improvements. This will require a pipe to be installed under the new curb and gutter for the entire length of the frontage property on 200 South.
 - All new sidewalk shall be 5' wide.
 - Cap all existing water and sewer service connections that are not being used once development is constructed at City utility main line.
 - c. *Water —contact 716-9627*

All landscape irrigation systems connected to Logan City Water must have high hazard rated backflow assembly installed and tested. Water meters must meet current Logan City standards. All backflow rules must meet the 2018 IPC and Utah Amendments and Utah Drinking Water rules as the Logan City code states.

d. Environmental (Waste Management —contact 716-9627

Garbage placement was not noted on drawings. Customer will need to designate a place for front load garbage bins. We would prefer placement to be between the 2 buildings on the south side of the property.

- Minimum inside measurement for a double enclosure is 24 ft. wide by 10 ft. deep. Minimum inside measurement for a single enclosure is 12 ft. wide by 10 ft. deep.
- Place bollards in the back of enclosure to protect walls.
- Gates are not required, however if desired, they must be designed to stay open during the collection process.
- Barrel hinges are suggested for the gates. We need the full 12 ft. clearance so gates must be designed to open completely.
- Minimum 60 ft. straight on access required. Approach must be level, no down or uphill slopes.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW AND SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The Design Review and Subdivision Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
2. The conditioned project provides required off-street parking.
3. The project meets the goals and objectives of the MR-12 designation within the Logan General Plan by providing housing options in transitional areas of the City.
4. The conditioned project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. The surrounding streets are adequate in size and design to sufficiently handle infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received	Received By	Scheduled Meeting Date Dec. 10, 2020	Zone MR-12	Application Number PG 20-061
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME Copperwood Townhomes Subdivision				
PROJECT ADDRESS 550 West 200 South			COUNTY PLAT TAX ID # - 0006 02-036-0005; - 0007	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Jake Thompson			MAIN PHONE # - 0014 435-764-2418	
MAILING ADDRESS PO Box 6384 North Logan	CITY Logan	STATE UT.	ZIP 84341	
EMAIL ADDRESS jk-tomp@hotmail.com				
PROPERTY OWNER OF RECORD (Must be listed) Jake Thompson			MAIN PHONE # 435-764-2418	
MAILING ADDRESS	CITY	STATE	ZIP	
EMAIL ADDRESS jk-tomp@hotmail.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 18 townhomes subdivision 1 - single family home			Total Lot Size (acres) 1.6 Size of Proposed New Building (square feet) Number of Proposed New Units/Lots 19	
NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.		Signature of Property Owner's Authorized Agent		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner		

GENERAL NOTES:

1. ALL CONSTRUCTION AND DETAILS SHALL COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE AND STATE AND LOCAL CODES.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF THE BUILDING ON THE SITE. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BEFORE ANY WORK PROCEEDS.
3. GAS/PROPANE FORCED AIR HEAT THRU-OUT. SUBCONTRACTOR TO SUPPLY GENERAL CONTRACTOR WITH COMPLETE SHOP DRAWINGS AND HEAT LOSS CALCULATIONS. ALL WARM AIR DUCTS AND COLD AIR RETURNS SHOWN ARE FOR REFERENCE ONLY.
4. FLOOR JOISTS ARE TO BE AS PER FRAMING PLAN OR COMPATIBLE. FLOOR DEFLECTION MUST BE L/480 OR BETTER.
5. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL CONSTRUCTION DETAILS.
6. 5/8" TYPE "X" SHEET ROCK AT GARAGE WALLS CEILING AND BEARING WALLS COMMON TO HOUSE. INSULATE HOUSE WALLS.
7. WIRE FOR TELEPHONE AND TELEVISION JACKS (UL LISTED) GENERAL CONTRACTOR TO COORDINATE LOCATIONS WITH OWNER. ALL ELECTRICAL PARTS SHOWN ARE FOR REFERENCE ONLY. CHECK WITH OWNER FOR EXACT LOCATION.
8. CONTRACTOR SHALL VERIFY ALL BEAM AND JOISTS SIZES AND SPACING.
9. GENERAL CONTRACTOR TO VERIFY WITH OWNER ON ALL EXTERIOR DOOR AND WINDOW TYPES AND MANUFACTURER PRIOR TO THE STARTING OF ANY FRAMING.
10. SEE FOUNDATION PLAN FOR LOCATIONS OF FOUNDATION STRAPS.
11. ALL HEADERS & BEAMS ARE TO BE 2X10 DF #2 BTR UNLESS NOTED OTHER WISE.
12. ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE
13. ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-11 INSULATIONS
14. ALL EXTERIOR ABOVE GRADE WALLS TO HAVE A MINIMUM OF R-21 INSULATION UNLESS NOTED OTHER WISE.
15. ALL ATTIC SPACES TO HAVE A MINIMUM OF R-50 INSULATION UNLESS NOTED OTHER
16. ALL DOORS SEPARATING GARAGE FROM LIVING SPACE AND FURNACE ROOM TO MEET OR EXCEED CODE R302.5.1. (20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH A SELF-CLOSING DEVICE.)
17. COMBUSTION AIR FOR FURNACE AND WATER HEATERS TO MEET OR EXCEED G2407
18. CLOTHES DRYER EXHAUST VENTS TO MEET OR EXCEED M1502 (VENTING CANNOT PENETRATE FIRE RATED CONSTRUCTION MATERIALS).
19. ARC FAULT PROTECTION TO BE PROVIDED AS PER 3802.12, AND BE COMBINATION TYPE.
20. TAMPER RESISTANT OUTLETS ARE TO BE INSTALLED THROUGHOUT THE ENTIRE PROJECT.
21. EXTERIOR OUTLETS WILL BE REQUIRED TO HAVE COVERS OVER THEM TO CONFORM WITH SECTION E3902.8 THROUGH E3902.10

MECHANICAL ROOM:

1. IN CLIMATE ZONES 3 THROUGH 8, WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL-BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR OPENING SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM, ISOLATED FROM INSIDE THE THERMAL ENVELOPE. SUCH ROOMS SHALL BE SEALED AND INSULATED IN ACCORDANCE WITH THE ENVELOPE REQUIREMENTS OF TABLE N1102.1.2, WHERE THE WALLS, FLOORS AND CEILINGS SHALL MEET A MINIMUM OF THE BASEMENT WALL R-VALUE REQUIREMENT. THE DOOR INTO THE ROOM SHALL BE FULLY GASKETED AND ANY WATER LINES AND DUCTS IN THE ROOM INSULATED IN ACCORDANCE WITH SECTION N1103. THE COMBUSTION AIR DUCT SHALL BE INSULATED WHERE IT PASSES THROUGH CONDITIONED SPACE TO A MINIMUM OF R-8.
- EXCEPTIONS:** 1. DIRECT VENT APPLIANCES W/IT BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVE COMPLYING WITH SECTIONS N1102.4.2 AND R1006
2. GAS/PROPANE FORCED AIR HEAT THRU-OUT. SUBCONTRACTOR TO SUPPLY GENERAL CONTRACTOR WITH COMPLETE SHOP DRAWINGS AND HEAT LOSS CALCULATIONS. ALL WARM AIR DUCTS AND COLD AIR RETURNS SHOWN ARE FOR REFERENCE ONLY.

GUARDRAIL NOTES:

1. 36" (MIN) HIGH GUARDRAILS ARE REQUIRED FOR UNENCLOSED FLOOR AND ROOF OPENINGS, OPEN AND GLAZED SIDES OF STAIRWAYS, LANDINGS, DECKS, RAMPS, AND PORCHES, WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR A FLOOR OR OTHER SURFACE BELOW.
2. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAIL SPACING OR PATTERN SUCH THAT A 4-INCH SPHERE CANNOT PASS THROUGH AND THE TRIANGULAR AREA FORMED BY TREAD, RISER AND GUARDRAIL SO THAT A 6-INCH SPHERE CANNOT PASS THROUGH.



MASTER DOOR SCHEDULE					
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O
D01	6	1	16080	192"x96"x1 3/4"	144"x99"
D02	3	1	1866 L IN	20"x80"x1 3/8" L IN	22"x82 1/2"
D03	3	1	1866 R IN	20"x80"x1 3/8" R IN	22"x82 1/2"
D04	3	1	2666 L IN	30"x80"x1 3/8" L IN	32"x82 1/2"
D05	3	1	2666 R IN	30"x80"x1 3/8" R IN	32"x82 1/2"
D06	3	1	2866 L EX	32"x80"x1 3/4" L EX	34"x83"
D07	3	1	2866 R EX	32"x80"x1 3/4" R EX	34"x83"
D08	3	1	3066 L EX	36"x80"x1 3/4" L EX	38"x83"
D09	3	1	3066 R EX	36"x80"x1 3/4" R EX	38"x83"
D10	6	1	3078	36"x42"	36"x32"
D11	6	1	5466 L/R EX	(2) 32"x80"x1 3/8" L/R EX	66"x83"
D12	3	2	2066 L IN	24"x80"x1 3/8" L IN	26"x82 1/2"
D13	3	2	2066 R IN	24"x80"x1 3/8" R IN	26"x82 1/2"
D14	3	2	2466 L IN	28"x80"x1 3/8" L IN	30"x82 1/2"
D15	3	2	2466 R IN	28"x80"x1 3/8" R IN	30"x82 1/2"
D16	3	2	2866 L IN	32"x80"x1 3/8" L IN	34"x82 1/2"
D17	3	2	2866 R IN	32"x80"x1 3/8" R IN	34"x82 1/2"
D18	12	2	3066 L IN	36"x80"x1 3/8" L IN	38"x82 1/2"
D19	12	2	3066 R IN	36"x80"x1 3/8" R IN	38"x82 1/2"
D20	12	2	4066 L/R IN	(2) 24"x80"x1 3/8" L/R IN	50"x82 1/2"
D21	6	2	5066 L/R IN	(2) 30"x80"x1 3/8" L/R IN	62"x82 1/2"
D22	6	2	6066 L/R IN	(2) 36"x80"x1 3/8" L/R IN	74"x82 1/2"

MASTER WINDOW SCHEDULE						
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED
W01	18	1	1616FX	18"x18"FX		
W02	6	1	5046RS	60"x54"RS		
W03	2	2	1616FX	18"x18"FX		
W04	6	2	2030DH	24"x36"DH		
W05	6	2	3050SH	36"x60"SH	YES	
W06	14	2	5050LS	60"x60"LS	YES	
W07	2	2	5616	66"x18"		
W08	2	2	5816	68"x18"		

OWNER: JAY L. BAIR
PHONE: (435)770-8636
EMAIL: jay@bairdesigns.com
WEB: bairdesigns.com
336 SUNBURST LN. ©
RICHMOND, UT, 84333



PROJECT FOR:

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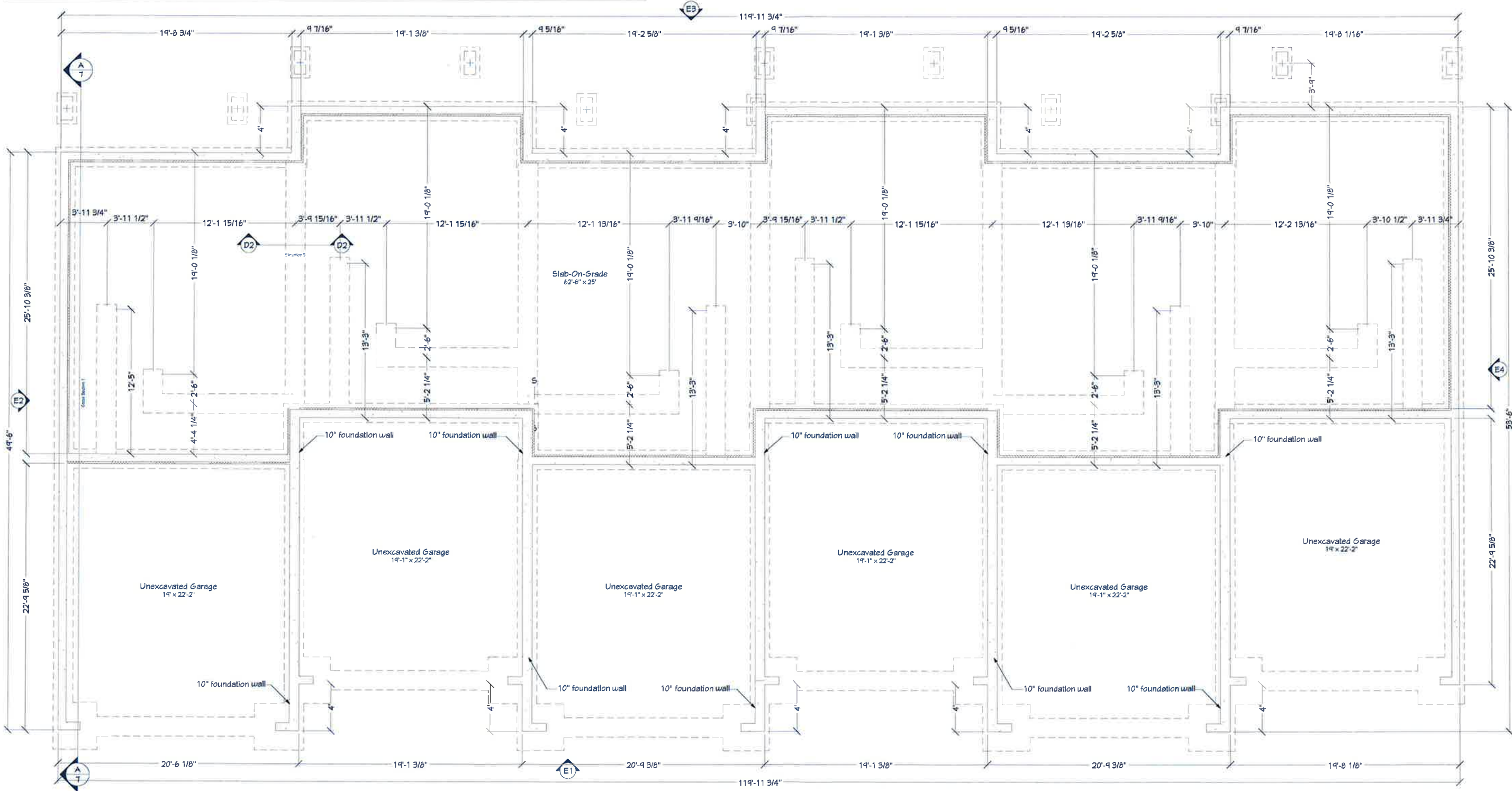
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ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49



FOUNDATION PLAN
SEE STRUCTURAL DRAWINGS
SHEET S1.0 FOR SPECIFICATIONS

PROJECT FOR:

TITLE:
FOUNDATION PLAN




DATE:
2/20/2020

PAGE #
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OWNER: JAY L. BAIR
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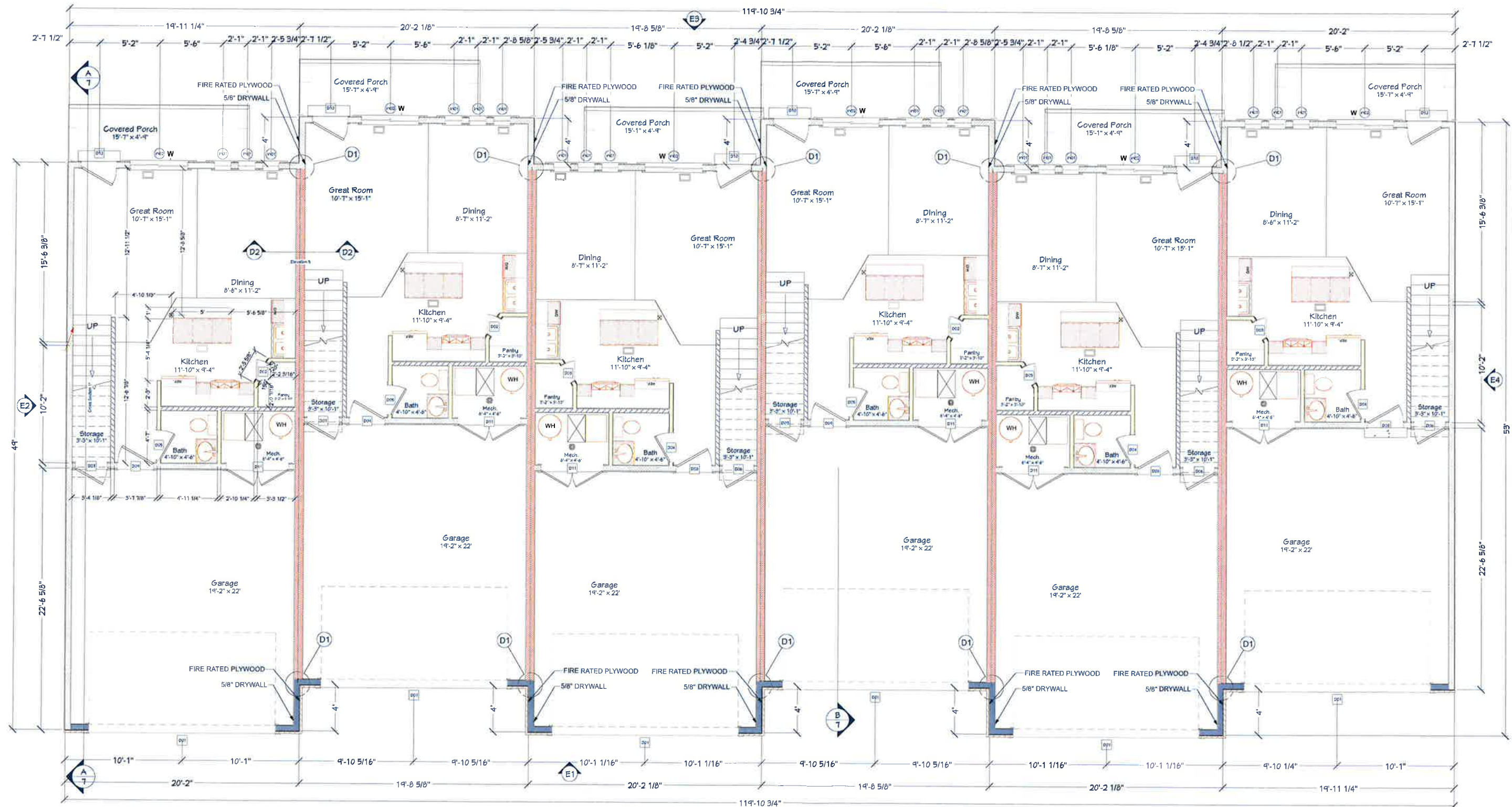


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INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

- SYMBOLS:**
- W** WATER FAUCET
 -  HEAT VENT
 -  FLOOR DRAIN
 -  BEARING WALLS

MASTER DOOR SCHEDULE				
NUMBER	QTY	FLOOR SIZE	DIMENSIONS	R/O
D01	6	1	16050	142 X 56 X 1 3/4"
D02	3	1	16660	160 X 56 X 1 3/4"
D03	3	1	16660	160 X 56 X 1 3/4"
D04	3	1	26660	260 X 56 X 1 3/4"
D05	3	1	26660	260 X 56 X 1 3/4"
D06	3	1	26660	260 X 56 X 1 3/4"
D07	3	1	26660	260 X 56 X 1 3/4"
D08	3	1	30660	300 X 56 X 1 3/4"
D09	3	1	30660	300 X 56 X 1 3/4"
D10	3	1	30660	300 X 56 X 1 3/4"
D11	6	1	54660	540 X 56 X 1 3/4"
D12	3	2	20660	200 X 56 X 1 3/4"
D13	3	2	20660	200 X 56 X 1 3/4"
D14	3	2	24660	240 X 56 X 1 3/4"
D15	3	2	24660	240 X 56 X 1 3/4"
D16	3	2	24660	240 X 56 X 1 3/4"
D17	3	2	24660	240 X 56 X 1 3/4"
D18	12	2	30660	300 X 56 X 1 3/4"
D19	12	2	30660	300 X 56 X 1 3/4"
D20	12	2	40660	400 X 56 X 1 3/4"
D21	6	2	50660	500 X 56 X 1 3/4"
D22	6	2	60660	600 X 56 X 1 3/4"

MASTER WINDOW SCHEDULE				
NUMBER	QTY	FLOOR SIZE	DIMENSIONS	EGRESS
W01	16	1	1616FX	16" X 16" FX
W02	6	1	5048RS	60" X 54" RS
W03	2	2	1616FX	16" X 16" FX
W04	6	2	2030DH	24" X 30" DH
W05	6	2	3050SH	36" X 50" SH
W06	14	2	5050LS	60" X 50" LS
W07	2	2	5616	66" X 16"
W08	2	2	5616	66" X 16"



442 SQ.FT. EACH UNIT

2,652 SQ.FT. FLOOR TOTAL

MAIN FLOOR PLAN

SCALE 1/4" = 1'

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 EMAIL: jay@bairdesigns.com
 WEB: bairdesigns.com
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 RICHMOND, UT, 84333



PROJECT FOR:

MAIN FLOOR PLAN

TITLE:

DATE:
2/20/2020

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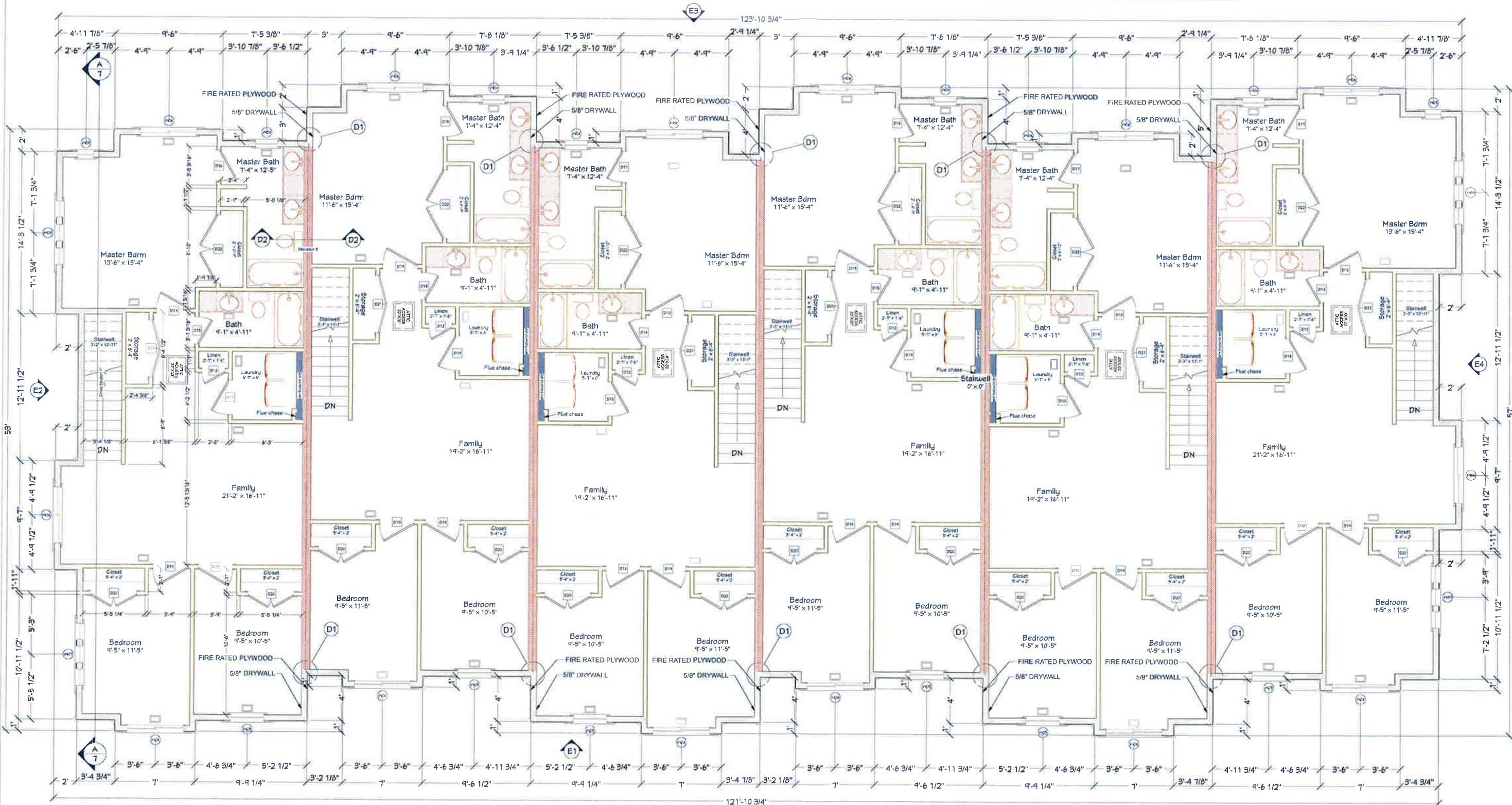
DO NOT SCALE 11"X17" PRINTS

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

- SYMBOLS:
- W WATER FAUCET
 - HEAT VENT
 - FLOOR DRAIN
 - BEARING WALLS

MASTER DOOR SCHEDULE			
NUMBER	QTY	FLOOR SIZE	DIMENSIONS
D01	6	1	1650
D02	3	1	1850
D03	3	1	1850
D04	3	1	2050
D05	3	1	2050
D06	3	1	2050
D07	3	1	2050
D08	3	1	2050
D09	3	1	2050
D10	3	1	2050
D11	3	1	2050
D12	3	1	2050
D13	3	1	2050
D14	3	1	2050
D15	3	1	2050
D16	3	1	2050
D17	3	1	2050
D18	3	1	2050
D19	3	1	2050
D20	3	1	2050
D21	3	1	2050
D22	3	1	2050

MASTER WINDOW SCHEDULE			
NUMBER	QTY	FLOOR SIZE	DIMENSIONS
W01	18	1	1816
W02	6	1	5046
W03	2	2	1616
W04	6	2	2050
W05	6	2	2050
W06	14	2	5050
W07	2	2	5816
W08	2	2	5816



1,083 SQ.FT. END UNITS

6,298 SQ.FT. FLOOR TOTAL
SECOND FLOOR PLAN
SCALE: 1/4" = 1'

1,033 SQ.FT. MIDDLE UNITS

DO NOT SCALE 11"x17" PRINTS

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SECOND FLOOR PLAN

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E3 FRONT ELEVATION
SCALE: 3/16" = 1'

NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	R/O	NUMBER
D01	6	1	16000	142"X46"X1 3/4"	194"X46"	D01
D02	3	1	16665	L IN 20"X20"X1 3/8" L IN	22"X62 1/2"	D02
D03	3	1	16665	R IN 20"X20"X1 3/8" R IN	22"X62 1/2"	D03
D04	3	1	26665	L IN 30"X20"X1 3/8" L IN	32"X62 1/2"	D04
D05	3	1	26665	R IN 30"X20"X1 3/8" R IN	32"X62 1/2"	D05
D06	3	1	26665	L EX 32"X20"X1 3/4" L EX	34"X63"	D06
D07	3	1	26665	R EX 32"X20"X1 3/4" R EX	34"X63"	D07
D08	3	1	30665	L EX 36"X20"X1 3/4" L EX	38"X63"	D08
D09	3	1	30665	R EX 36"X20"X1 3/4" R EX	38"X63"	D09
D10	6	1	30715	36"X42"	36"X42"	D10
D11	6	1	54665	L/R EX (2) 32"X20"X1 3/8" L/R EX	66"X63"	D11
D12	3	2	20665	L IN 24"X20"X1 3/8" L IN	26"X62 1/2"	D12
D13	3	2	20665	R IN 24"X20"X1 3/8" R IN	26"X62 1/2"	D13
D14	3	2	24665	L IN 28"X20"X1 3/8" L IN	30"X62 1/2"	D14
D15	3	2	24665	R IN 28"X20"X1 3/8" R IN	30"X62 1/2"	D15
D16	3	2	28665	L IN 32"X20"X1 3/8" L IN	34"X62 1/2"	D16
D17	3	2	28665	R IN 32"X20"X1 3/8" R IN	34"X62 1/2"	D17
D18	12	2	30665	L IN 36"X20"X1 3/8" L IN	38"X62 1/2"	D18
D19	12	2	30665	R IN 36"X20"X1 3/8" R IN	38"X62 1/2"	D19
D20	12	2	40665	L/R IN (2) 24"X20"X1 3/8" L/R IN	50"X62 1/2"	D20
D21	6	2	50665	L/R IN (2) 30"X20"X1 3/8" L/R IN	62"X62 1/2"	D21
D22	6	2	60665	L/R IN (2) 36"X20"X1 3/8" L/R IN	74"X62 1/2"	D22

NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	EGRESS	TEMPERED	QTY
W01	18	1	1616FX	19"X18"FX			18
W02	6	1	5046RS	60"X54"RS			6
W03	2	2	1616FX	19"X18"FX			2
W04	6	2	2050DH	24"X36"DH			6
W05	6	2	3050SH	36"X42"SH	YES		6
W06	14	2	5050LS	60"X40"LS	YES		14
W07	2	2	5816	68"X18"			2
W08	2	2	5816	68"X18"			2



E1 REAR ELEVATION
SCALE: 3/16" = 1'

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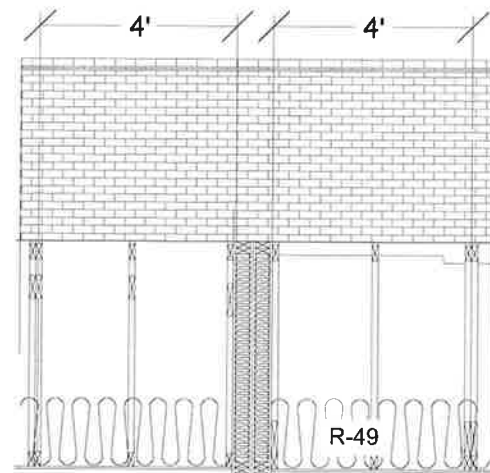
TITLE:
FRONT & REAR ELEVATIONS

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DO NOT SCALE 11"X17" PRINTS

5'8" FIRE RATED PLYWOOD INSTALLED
4' FROM EDGE OF FIRE WALL
EACH DIRECTION



1 HOUR
RATED WALL

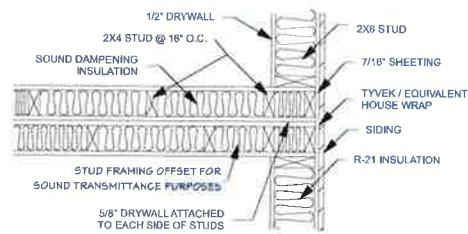
5/8" TYPE "X" DRYWALL
CONTINUE TO UNDERNEATH
SIDE OF ROOF DECK

R-13

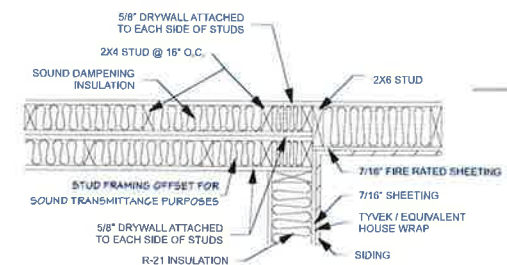
OPTIONAL INSULATION

FIRE/SEPARATION WALLS TO
HAVE 5/8" TYPE "X" DRYWALL
ON EACH SIDE OF FRAMING
(SEE DETAIL D1)

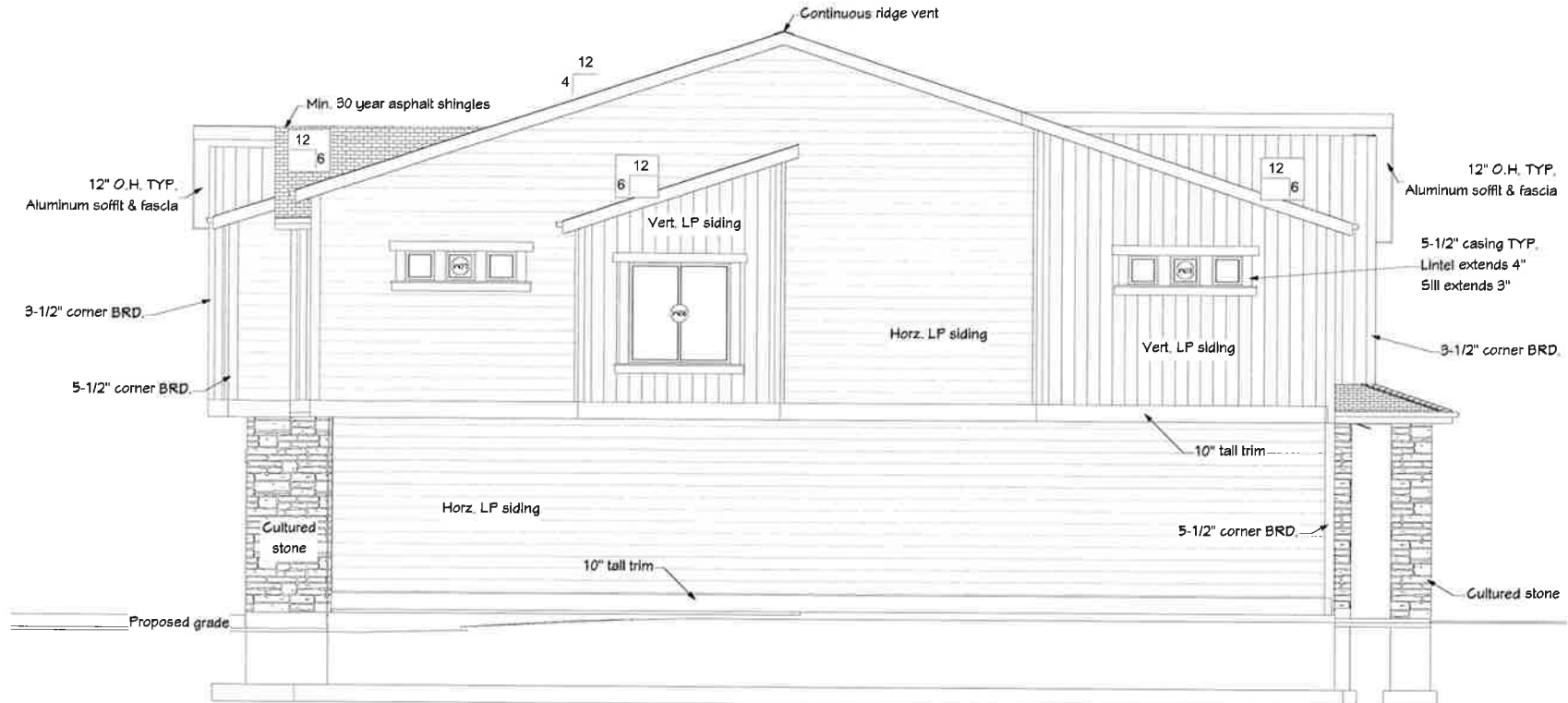
D2 FIREWALL TO ROOF CONNECTION
NOT TO SCALE



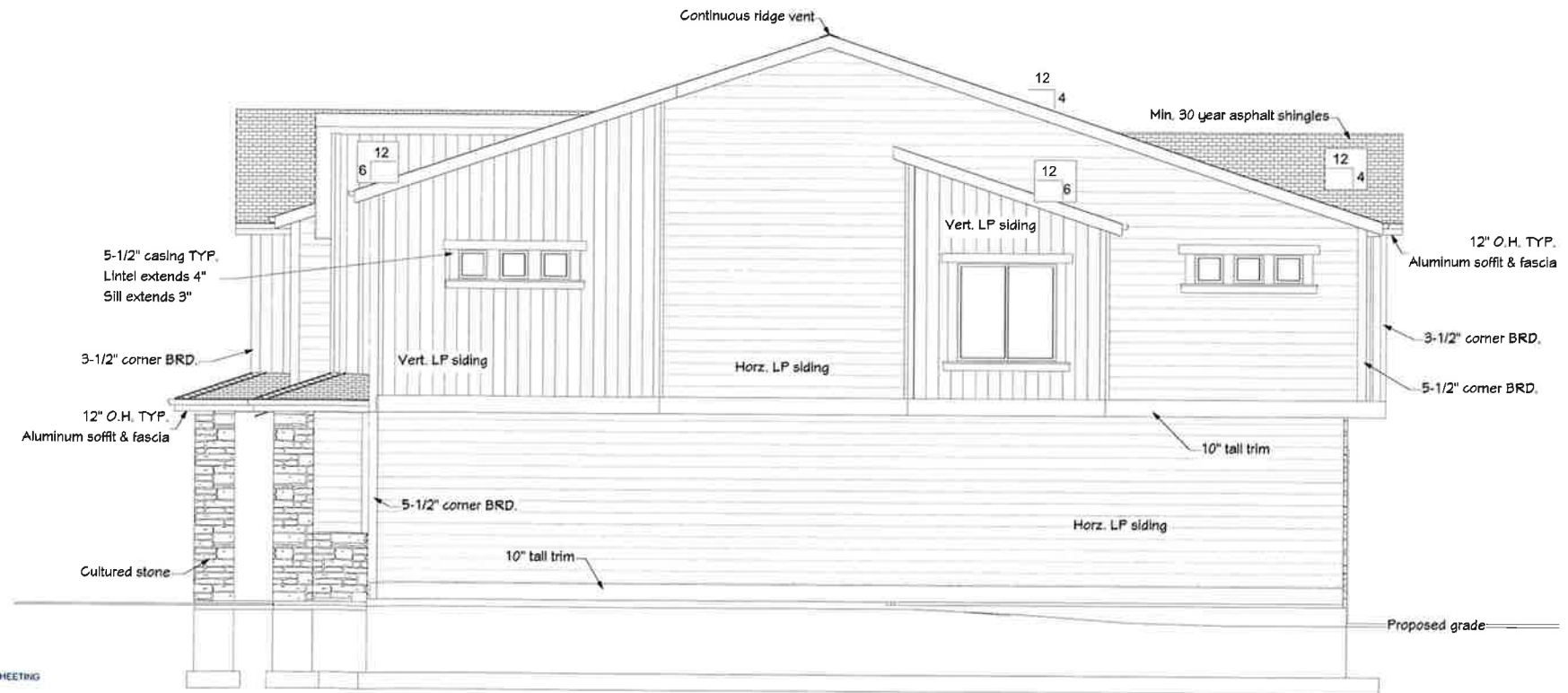
D1 FIREWALL TO EXTERIOR CONNECTION
NOT TO SCALE



D1 FIREWALL TO EXTERIOR CONNECTION
NOT TO SCALE



E4 LEFT ELEVATION
SCALE: 3/16" = 1'



E2 RIGHT ELEVATION
SCALE: 3/16" = 1'

PROJECT FOR:

TITLE:
LEFT & RIGHT ELEVATIONS
& DETAILS

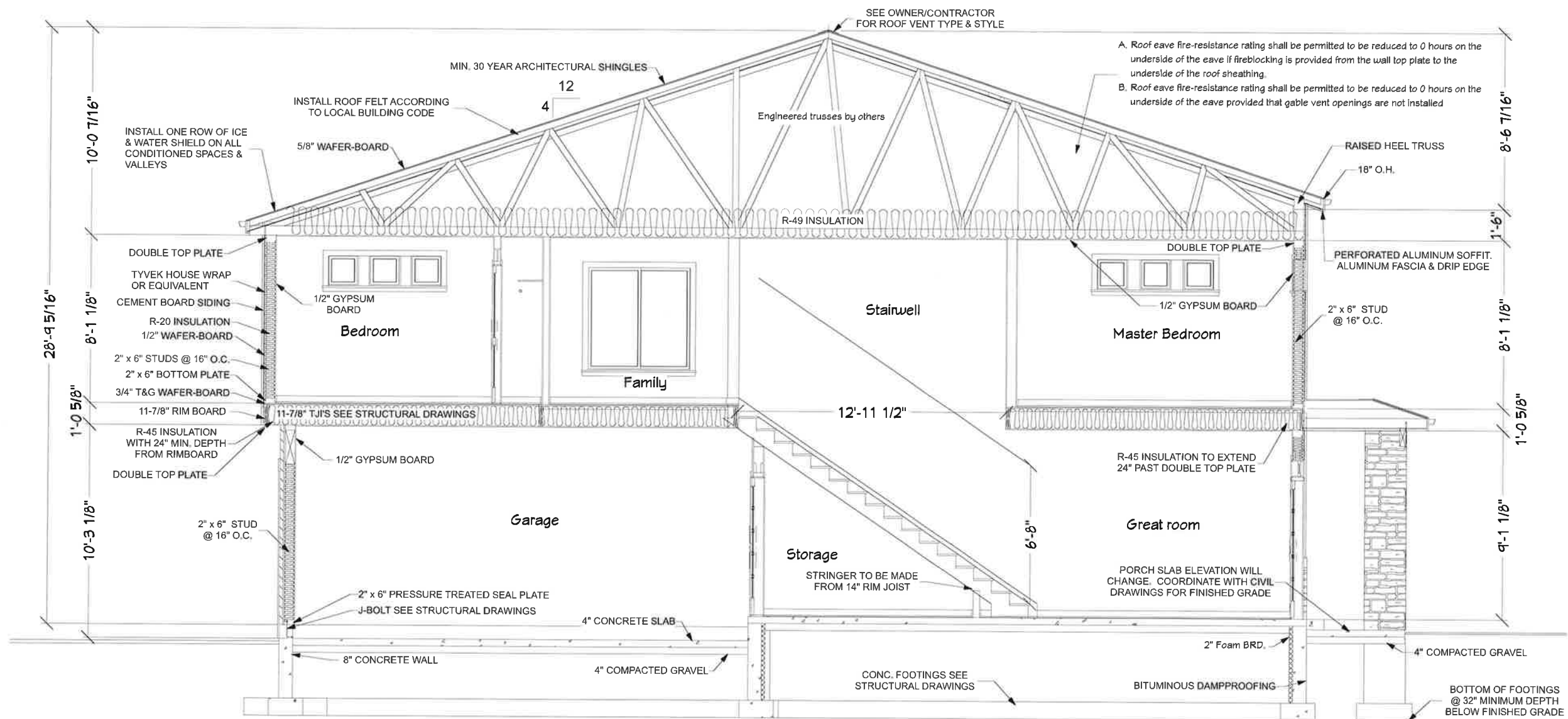
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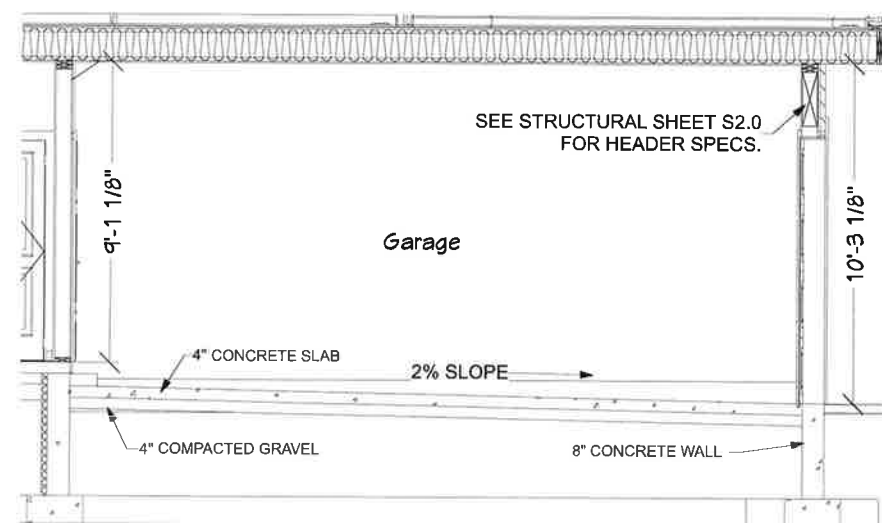
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DO NOT SCALE 11"x17" PRINTS



A
7 **BUILDING SECTION**
SCALE: 3/8" = 1'



B
7 **BUILDING SECTION**
SCALE: 3/8" = 1'

ALL WINDOWS TO BE DOUBLE PANE LOW-E GRADE (U-FACTOR 0.32)
ALL EXTERIOR BASEMENT WALLS TO HAVE A MINIMUM OF R-15/19
ALL EXTERIOR MAIN FLOOR WALLS TO HAVE A MINIMUM OF R-20+5 OR 13+10
ALL FLOOR JOIST CAVITIES TO HAVE A MINIMUM OF R-30
ALL SLAB ON GRADE AREAS TO HAVE 2" OF RIGID FOAM BOARD
INSULATION WITH A MINIMUM OF R-10, 4 FT (GARAGES EXCLUDED)
ALL ATTIC SPACES TO HAVE A MINIMUM OF R-49

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BUILDING SECTIONS

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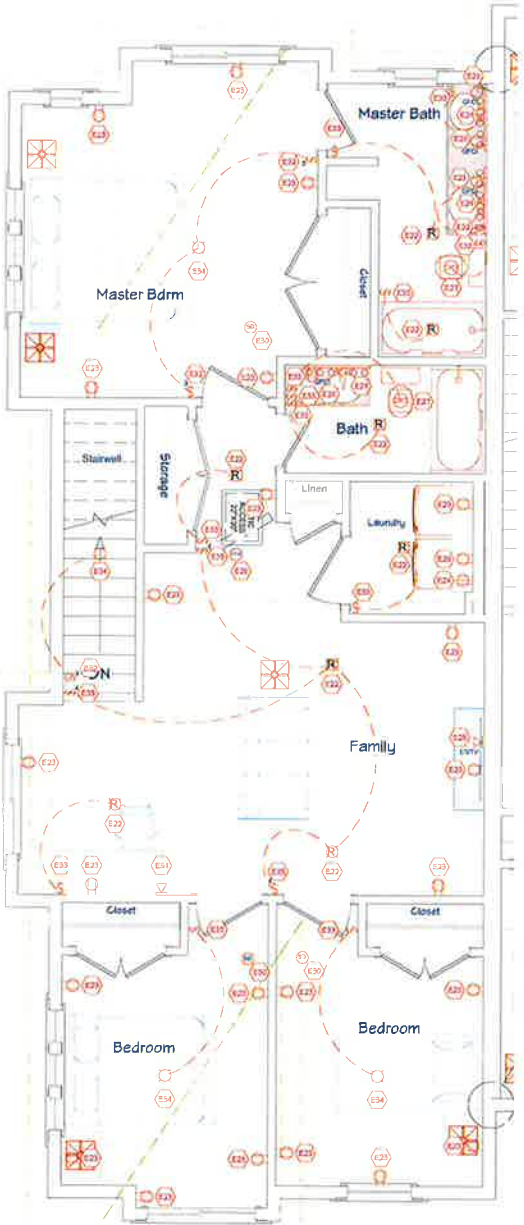
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ELECTRICAL DIAGRAMS ARE
FOR REFERENCE ONLY. ELECTRICIAN
TO INSTALL ACCORDING TO LOCAL
ELECTRICAL CODE & STATE AMENDMENTS
FOR THE AFCI.

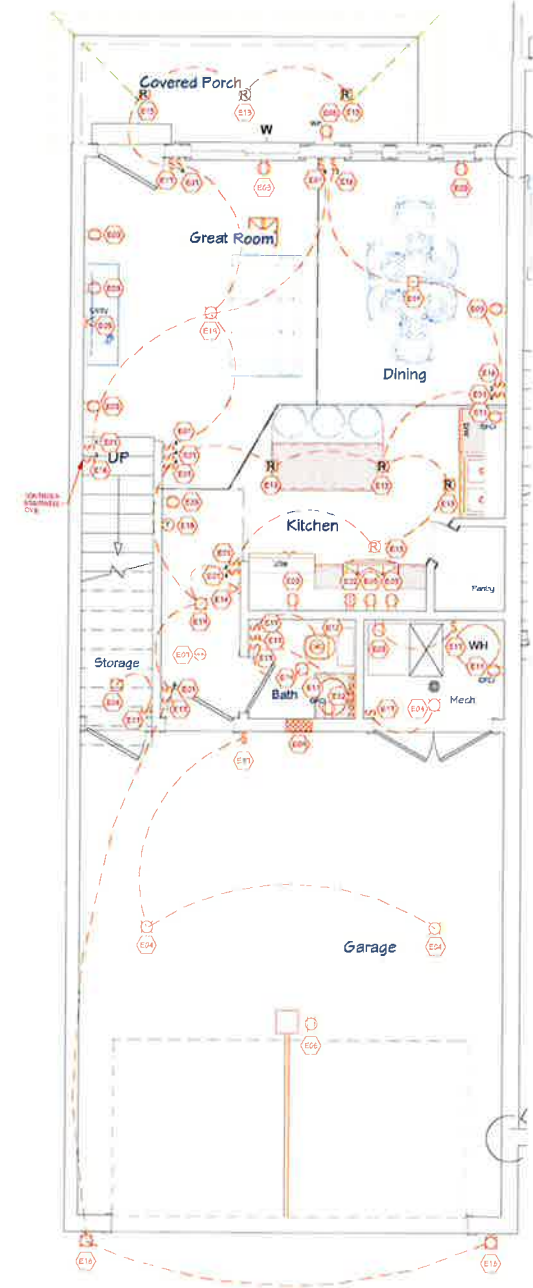
COORDINATE WITH OWNER THE POSSIBLE
INSTALLATION OF SECURITY SYSTEMS, INTERCOM,
CABLE TV, COMPUTER, SPEAKERS, OR OTHER
SPECIALTY ITEMS NOT INDICATED ON THE
DRAWINGS, BUT CURRENT WITH THE INDUSTRY.
ALL OUTLET SPACING IS CONCEPTUAL IN NATURE
AND WILL BE FIELD VERIFIED. ELECTRICIAN
WILL BE RESPONSIBLE FOR PROPER INSTALLATION
OF ALL EXTERIOR PENETRATIONS OF STRUCTURE.
ARC FAULT PROTECTION TO BE PROVIDED
AS PER 3802.12, AND BE COMBINATION TYPE.
TAMPER RESISTANT OUTLETS ARE TO BE
INSTALLED THROUGHOUT THE ENTIRE PROJECT.
EXTERIOR OUTLETS WILL BE REQUIRED
TO HAVE COVERS OVER THEM TO CONFORM
WITH SECTION E3902.8 THROUGH E3902.10
OUTLET SPACING MUST CONFORM TO IRC 3901.2.1

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	LIGHT FIXTURE
	RECESSED LIGHT
	EYEBALL (ROTATED)
	CEILING FAN (LIGHTS)
	CHANDELIER
	FLUORESCENT LIGHTS (SEE PLAN FOR SIZE)
	DUAL SPOTLIGHT
	EXTERIOR LIGHT
	LIGHT BAR W/MIRROR
	LIGHT HALF CONE
	BATHROOM EXHAUST FAN
	SMOKE DETECTOR
	TELEVISION
	TELEPHONE
	CAT5 W/ TV
	INTERCOM
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	110V /DUPLEX OUTLET
	110V /QUADRUPLX
	110V /FLOOR DUPLEX OUTLET
	GFCI OUTLET
	DUPLEX (WEATHERPROOF)
	220V OUTLET
	THERMOSTAT
	BREAKER PANEL

ELECTRICAL SCHEDULE					
NUMBER	QTY	FLOOR	ATTACHED TO	DESCRIPTION	NUMBER
E01	10	1	WALL	FOUR WAY	E01
E02	1	1	WALL	220V	E02
E03	11	1	WALL	DUPLEX	E03
E04	4	1	CEILING	BARE BULB	E04
E05	1	1	WALL	CAT5 W/ TV	E05
E06	1	1	CEILING	CEILING DUPLEX	E06
E07	1	1	CEILING	CO/SMOKE DETECTOR	E07
E08	1	1	WALL	DUPLEX (WEATHERPROOF)	E08
E09	1	1	WALL	ELECTRICAL PANEL	E09
E10	1	1	CEILING	EXHAUST	E10
E11	3	1	WALL	GFCI	E11
E12	1	1	WALL	LIGHT BAR (MIRROR)	E12
E13	7	1	CEILING	RECESSED DOWN LIGHT	E13
E14	1	1	WALL	TELEPHONE JACK	E14
E15	1	1	WALL	THERMOSTAT	E15
E16	3	1	WALL	THREE WAY	E16
E17	4	1	WALL	SINGLE POLE	E17
E18	2	1	WALL	CAGED LANTERN SCENCE	E18
E19	4	1	CEILING	TRADITIONAL FLUSH DOME	E19
E22	8	2	CEILING	RECESSED DOWN LIGHT	E22
E23	24	2	WALL	DUPLEX	E23
E24	1	2	WALL	220V	E24
E25	1	2	WALL	CAT5 W/ TV	E25
E26	1	2	CEILING	CO/SMOKE DETECTOR	E26
E27	2	2	CEILING	EXHAUST	E27
E28	4	2	WALL	GFCI	E28
E29	3	2	WALL	LIGHT BAR (MIRROR)	E29
E30	3	2	CEILING	SMOKE DETECTOR	E30
E31	1	2	WALL	TELEPHONE JACK	E31
E32	3	2	WALL	THREE WAY	E32
E33	13	2	WALL	SINGLE POLE	E33
E34	4	2	CEILING	TRADITIONAL FLUSH DOME	E34
E35	3	2	WALL	FOUR WAY	E35



SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'



MAIN FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'

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