



Project #20-052
Foothill Residential Subdivision (25 Lot)
Located at approx. 1250 N. 1300 E.

REPORT SUMMARY...

Project Name: Foothill Residential Subdivision (25 Lot)
Proponent/Owner: Nic Porter / Foothill Lofts Residential LLC
Project Address: 1250 N. 1300 E.
Request: 25-lot subdivision
Current Zoning: NR-4
Date of Hearing: October 22, 2020
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a single family subdivision of approximately 8.37 acres located at approximately 1250 N. 1300 E. (TIN# 05-011-0005)

Land use adjoining the subject property

<i>North:</i>	NR-4: Vacant	<i>East:</i>	NR-4: Residential Uses
<i>South:</i>	NR-4: Religious Uses	<i>West:</i>	MR-20: Multi-Fam. Residential Uses

PROJECT INTRODUCTION

The proponent is requesting a 25-lot single-family subdivision. The square-shaped property slopes slightly downward from east to west and sits between older single-family homes to the east and the Foothill Lofts Apartments to the west. To the south, sits two churches and partially vacant land sits to the north. The proposal shows lot sizes ranging from 10,004 SF to 14,680 SF. The layout creates an inner block with an outer perimeter of lots accessed by a looping 60' wide road. The proposed layout shows two street connections onto 1300 East.



Figure 1 shows the 25-lot proposal on the 8.37-acre property

BACKGROUND INFORMATION & GENERAL PLAN

This 8.37-acre piece was part of the 19.36-acre property that was historically used for gravel extraction in association with the Legrand Johnson Construction Company. The split zoning designations of Mixed Residential Medium (MR-20) and Suburban Neighborhood Residential (NR-4) was established in July of 2017 with the Logan City Council ORD# 17-17, approving 9.0 acres of MR-20 (180 dwelling units) and the remaining ~10 acres as NR-4 single-family residential zoning. With the construction of the foothill lofts apartment complex on the 9 acres and the street dedication of 1300 East, the remaining 10-acre NR-4 area became 8.37 acres in size. This area was approved for a 19-lot single-family subdivision with 60’ streets and 10,000 SF minimum lots sizes in September of 2018 and has since expired. Most recently, the Logan City Council denied a rezone request from this applicant from NR-4 to NR-6 on July 7, 2020. The Future Land Use Plan (FLUP), within the Logan City General Plan, identifies this property as Detached Residential (DR) which are described as single-family home developments.

DENSITY

The Logan City Land Development Code (LDC) 17.07.050 NR-4 zoning district allows up to four (4) units per acre and a 10,000 SF minimum lot size and a 90-foot minimum lot width. The proposed subdivision has a gross density of 2.98 units per acre and lot sizes in the subdivision range from 10,004 SF to 14,680 SF. Lot widths are shown at 90’ wide or greater (measured at the midpoint between the front and rear lot line). As proposed, the subdivision meets the minimum standards in the LDC.

SETBACKS

The LDC requirements for building setbacks in both the NR-4 zones are as follows (as measured from property lines):

- Front: 25’
- Corner 20’
- Side: 8’
- Rear: 10’

As new homes are proposed on individual lots, setbacks will be reviewed and approved by City staff prior to issuing a building permit.

STREETS

The proposed 60’ wide street rights-of-way meet the recently adopted Logan City Standards and Specifications. The LDC requires 3 points of connection for subdivisions greater than 20 lots. LDC 17.30.070 outlines standards for block layout, street stubbing and neighborhood connectivity. The subdivision proposes 2 points of connection onto 1300 East. The other three sides of this development are already developed presenting challenges to street connection possibilities. Topography is also a challenge to the north.

Table 17.30.170.E.2: Minimum Number of Street Connections by Size of Residential Development

Number of Dwelling Units Served	Number of Connections
Greater than 20	3
9-20	2
1-8	1

Figure 2 shows the LDC Street Connection Requirements for Residential Developments

The applicant is proposing that the five (5) lots along the west side will be served by 1300 East street. Thus, the remaining 20 lots would be served by the two street connections proposed with this development and meet the LDC requirement. The LDC does not expand further on what constitutes “serving” dwelling units and what is exactly considered a part or not a part of the proposed “residential development”. The Logan City Staff typically interprets the literal meaning of code requirements. Generally, all lots proposed are considered to be part of a development and

subject to one set of standards. According to the LDC table 17.30.170.E.2, if more than 20 lots are proposed, then three (3) street connections are required. This code requirement is intended to accomplish the goal of better neighborhood connectivity, better transportation and better infrastructure networking. Unfortunately, the neighborhood to the east did not provide street connectivity to this area when it was built decades ago. A neighborhood connection to the east would benefit and better integrate both single-family areas. The Planning Commission will need to determine if the proposal of five lots along the west side are serviced from 1300th and should be considered separately from the other 20 lots along the looping street. As conditioned, with the Planning Commission determining the street grid connectivity, the subdivision meets the requirements in the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none"> ● Fire 	<ul style="list-style-type: none"> ● Water/Cross Connection
<ul style="list-style-type: none"> ● Engineering 	

PUBLIC COMMENTS

No comment has been received at the time this report was prepared.

PUBLIC NOTIFICATION

Legal notices were posted on the City’s website and the Utah Public Meeting website on 10-14-20, and Legal notices published in the Herald Journal on 10-10-20 and a Public Notice mailed to property owners within 300’ were sent on 10-5-20.

RECOMMENDED CONDITIONS OF APPROVAL

1. All standard conditions of approval will be recorded with the Subdivision Permit and are available in the Community Development Department.
2. 20 lots are approved with two (2) street connections.
3. The Planning Commission will determine if the proposed five (5) lots along 1300 East are being served by 1300 East street or not.
4. Street cross-sections must adhere to the Logan City Standards and Specifications.
5. Street trees shall be provided on both sides of all streets every 30’ on center.
6. Fencing shall comply with the LDC and receive a permit prior to installation.
7. The final plat shall be recorded within one (1) year of this action or comply with LDC 17.58 Expirations and Extensions of Time.
8. Prior to recording of a Final Plat or issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from the following departments indicating that their requirement has been satisfied:
 - a. **Fire —contact 716-9515**
 - Place hydrants within 600 feet of all buildable area of all lots.
 - b. **Engineering —contact 716-9153**
 - Roads between 1300 East and 1335 East shall be a public road and shall be 66’ in width. All other roads shall be a minimum of 60’ unless approved otherwise by planning commission.
 - Provide water shares or an in-leu fee for increase water demand on City system.
 - Provide storm water detention/retention per Logan City storm water design standards. This shall include the full retention of the 90% storm event on site and the use low impact design methods for the retention of the 90% storm event.
 - The minimum pavement section for this development shall be 3” of asphalt, 4” untreated base, and 12” of granular borrow. Provide a geotechnical report with the California Bearing ratio at subgrade of the pavement section, if less than 5 provide a engineered pavement section.

- Provide CC&R's for HOA maintenance of storm water pond, swales, utility lines, roads, and any other items which are private.
- Provide a storm water maintenance agreement.
- Provide all private utility agreements required for all private utility lines.
- Provide landscaping irrigation meter(s) for detention/retention ponds and open spaces separate from individual lots. These to be assigned to Homeowners Association.

c. Water/Cross Connection—contact 716-9627

- All landscape irrigation system's fed from Logan City water must have a high hazard backflow assembly installed and tested. No dual source feed systems allowed without Logan Cities prior approval and installation criteria (RP & swing joint) is met and inspection is passed.

All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.

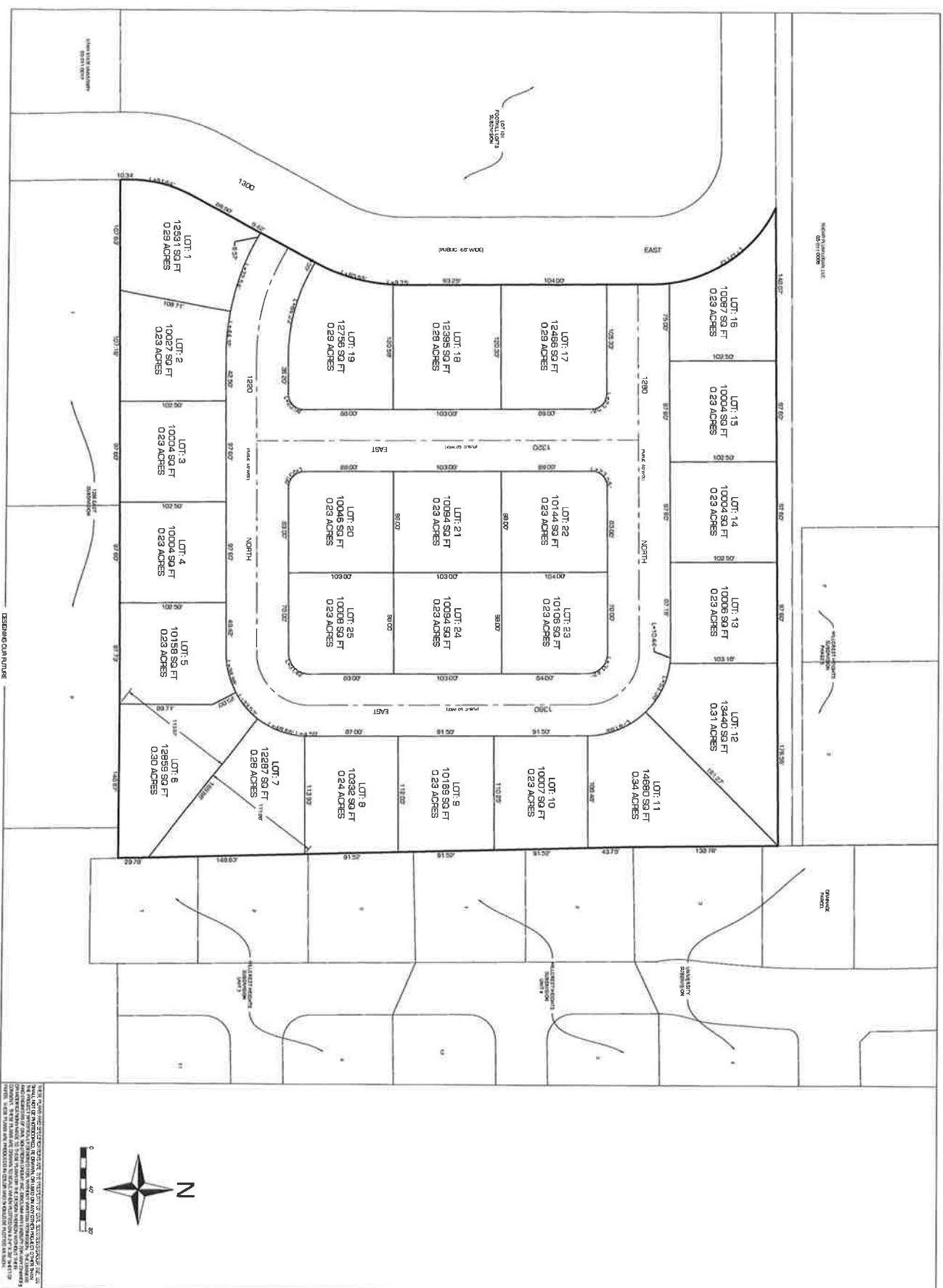
- Water meter setters must meet City standards.
- All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.

d. Environmental —contact 716-9760

- Residential carts will be provided

FINDINGS FOR APPROVAL FOR THE SUBDIVISION PERMIT

1. The conditioned subdivision meets the requirements in the LDC.
2. The conditioned subdivision meets the goals and objectives for the NR-4 zone in the LDC and the General Plan.
3. The surrounding streets and infrastructure can adequately service the proposed development.
4. As conditioned with Engineering standards the developments meets standards and specifications.



CONCEPT PLAN

1 OF 1

FOOTHILL SENIOR LIVING

civilsolutionsgroup inc.

CACHE VALLEY | P: 435.213.3762
 SALT LAKE | P: 801.216.3192
 UTAH VALLEY | P: 801.874.1432
 info@civilsolutionsgroup.net
 www.civilsolutionsgroup.net

MARK	DATE	DESCRIPTION


PROJECT # 15-147
 DRAWN BY M. TANIGUCHI
 PROJECT MANAGER M. TANIGUCHI
 ISSUED 02-14-2020

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APPLICATION FOR PROJECT REVIEW

Planning Commission Land Use Appeal Board Administrative Review

Date Received Sept. 14	Received By RH	Scheduled Meeting Date OCT. 22	Zone NR-4	Application Number [redacted]-PC 20-052
Type of Application (Check all that apply): <input type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME FOOTHILL RESIDENTIAL (subdivision)				
PROJECT ADDRESS 1300 E 1300 N LOGAN			COUNTY PLAT TAX ID # 05-011-0005	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) NIC PORTER			MAIN PHONE # 435-535-1137	
MAILING ADDRESS PO BOX 56		CITY LOGAN	STATE UT	ZIP 84323
EMAIL ADDRESS NIC@CHAMPLINDEVELOPMENT.COM				
PROPERTY OWNER OF RECORD (Must be listed) FOOTHILL LOFTS RESIDENTIAL LLC			MAIN PHONE # 435-535-1137	
MAILING ADDRESS PO BOX 6221		CITY N. Logan	STATE UT	ZIP 84341
EMAIL ADDRESS NIC@CHAMPLINDEVELOPMENT.COM				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 25-lot single-family subdivision			Total Lot Size (acres) 8.37	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots 25	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 