



Project #20-050
Woodmore Pointe
Located at 1800 South 1100 West

REPORT SUMMARY...

Project Name: Woodmore Pointe
Proponent/Owner: Visionary Homes / Bryce Goodwin
Project Address: Approximately 1800 South 1200 West
Request: Rezone from NR-6 to MR-9 / Subdivision / Design Review
Current Zoning: NR-6
Date of Hearing: October 8, 2020
Type of Action: Legislative & Quasi-Judicial
Submitted By: Tanya Rice, Planner II

RECOMMENDATION

The Planning Commission rezone recommendation will be sent to the Municipal Council for 2.99 acres of property located at approximately 1800 South 1100 West; TIN #03-005-0063. Contingent on the outcome of the rezone, Staff recommends that the Planning Commission conditionally approve a Subdivision and Design Review Permit for Project #20-050.

Land use adjoining the subject property

<i>North:</i>	MR-9 Multi-Family Residential	<i>East:</i>	NR-6 Single Family Residential
<i>South:</i>	MR-9 Multi-Family Residential	<i>West:</i>	MR-9 Multi-Family Residential

PROJECT INTRODUCTION

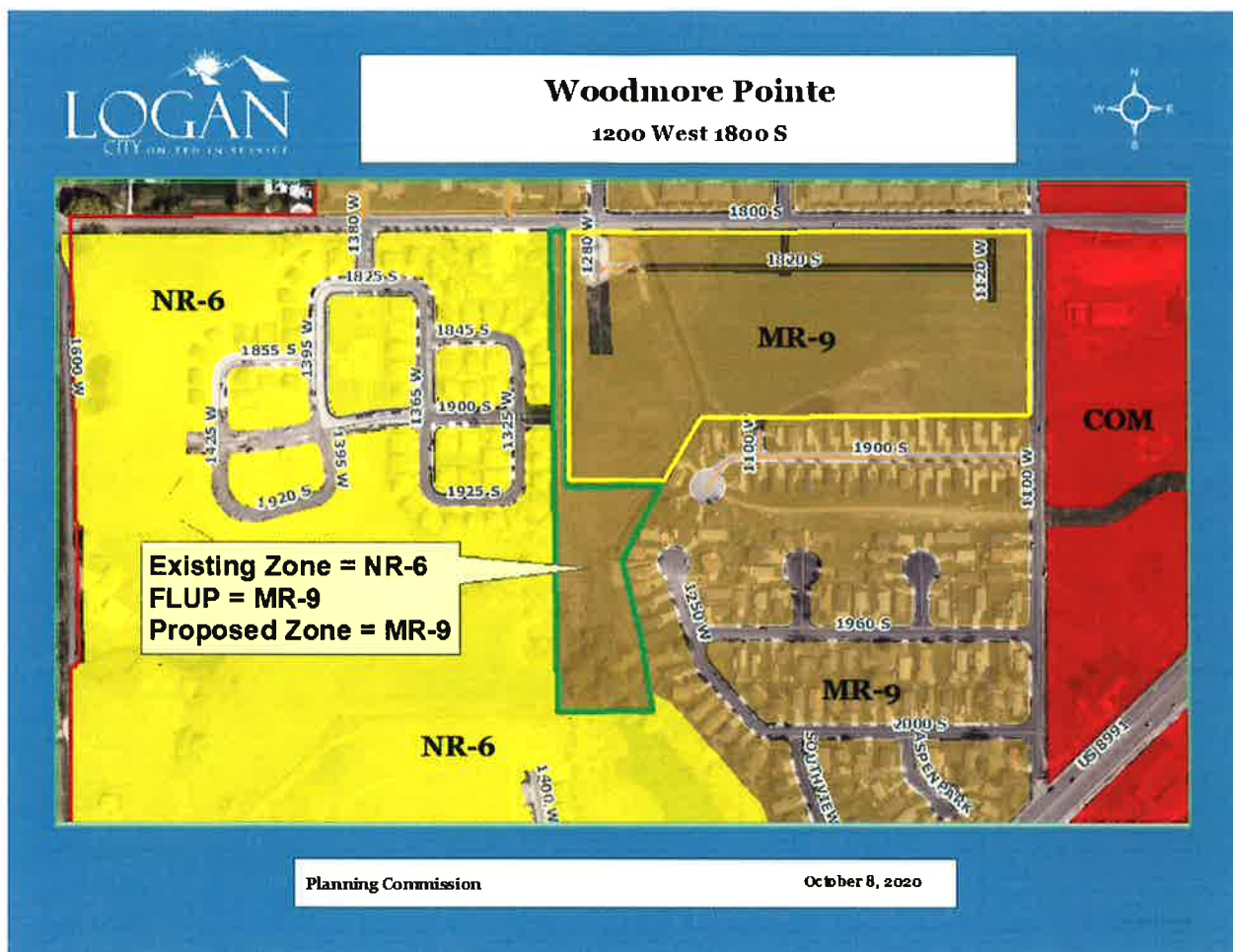
The proponent is requesting to rezone approximately 2.99 acres of property from NR-6 to MR-9 on the southwest side of Logan. It is directly south of the Woodmore Pointe townhome project approved for 150 townhomes on approximately 16.69 acres in October of 2018. This 2.99 parcel is currently vacant with riparian areas associated with Spring Creek and Spring Creek Reservoir covering the southern portion of the property. The northern portion (about half) with flat terrain is suitable for development.

In addition to the rezone, the proponent is requesting the approval to develop the northern portion of the property as a contiguous extension of the Woodmore Pointe townhome project. The request is to subdivide and add 10 townhomes aligned along the extension of the south end of 1280 West. The proponent intends to leave the remainder of the parcel natural with its riparian areas and open space. This 2.99-acre site also presents a unique opportunity for a Logan City trails network extension along Spring Creek and around the Reservoir, to existing adjacent neighborhood trails and from the current Trapper Park Trail.

REZONE AND LAND USE

The 2.99-acre parcel is surrounded by a mixture of Mixed Residential Transitional (MR-9), Mixed Residential Low (MR-12), and Neighborhood Residential (NR-6). The surrounding areas just beyond the subject property includes Commercial (COM) and Industrial Park (IP) zones. The applicant is requesting a rezone from NR-6 to MR-9. The MR-9 zone permits higher density to provide additional townhomes to their existing project currently under construction.

The Future Land Use Plan (FLUP) designates the 2.99-acre parcel as MR-9. The General Plan describes the FLUP designation of MR-9 to provide a range of housing options for all stages of life and levels of income.



ZONING

The MR-9 zone is described in the Land Development Code (LDC) as providing transitional areas between higher intensity commercial and lower intensity residential. A variety of housing types and designs are encouraged to promote neighborhood stability and a sense of community. This zone allows townhome structure types and densities are limited to 9 units per acre. The allowable density for the 2.99 acre parcel is up to 27 units. The applicant is requesting 10 units for this parcel.

SUBDIVISION PERMIT

The Land Development Code (LDC) 17.40 requires subdivision permits to be in accordance with zoning district standards to ensure orderly development patterns, block connectivity and to preserve traditional neighborhood character. In the MR-9 zone, building lots are required to be a minimum area of 4,000 SF for single-family detached homes. When subdividing townhomes, the LDC does not require a minimum lot size, only compliance to maximum density. With a subdivision request and the addition of new interior property lines, building setbacks will be reviewed on an individual building lot basis. The applicant is requesting 10 building lots with a reminder of the property containing open-space for community amenities and landscaping. The net density of the project is proposed at 3.33 homes per acre of land.

DESIGN REVIEW PERMIT

The LDC 17.43 requires Design Review Permit approvals for new multi-family developments to ensure high-quality design and layout. This proposal includes 10 townhomes configured in a 4-unit and a 6-unit townhome building. The MR-9 zone permits townhome structure types as per LDC 17.08.030.

STREET GRID CONNECTIVITY, BUILDING ORIENTATION & SITE LAYOUT

The LDC 17.30.170 requires that subdivisions with greater than 20 lots have at least three (3) street connections or stubs for future connections. This proposal is a subsequent phase of the overall Woodmore Pointe development and ties into the previously established and approved street connectivity. The development includes three (3) street connections as required, two made with the extension of 1900 South/1850 South street to 1100 West street east/west through the property. The third street connection is made with the extension of 1280 West street north/south from 1800 South through 1900 South. The proposal meets street connectivity requirements in the LDC.

The LDC 17.09.030 states that buildings shall be placed near the street and oriented with front facades and primary pedestrian entrances facing the adjacent street or common courtyards unless unique site conditions prohibit it. This requirement enhances the traditional neighborhood character by placing quality architecture features, such as porches and stoops, along the street. This pattern produces better walkability and pedestrian accessibility. Similar to units approved in previous phases of Woodmore Pointe, the proposed additional 10 units are shown with both the front porch and garage on the front façade facing the adjacent street. Parking is proposed within the garage and/or driveway. As conditioned with better building orientation to the street and minimum street connectivity, the project meets the requirements in the LDC.

Building Design

The LDC 17.09.030 states that front facing garage(s) (measured from door edge to edge), shall not exceed 50% of the total building façade width. MR-9 zones are required to have minimum street-facing façade design variations from adjacent and opposite buildings to enhance neighborhood character and create visual interest (restrict “cookie-cutter” buildings). The LDC identifies eight (8) different categories and requires that at least four (4) out of the eight (8) be noticeably different. The eight (8) categories listed are building color, materials, roofline, height (number of floors), fenestration, architectural style, articulation and porch design. The LDC 17.09.040 limits building length in the MR-9 zone to 150’ when adjacent to NR zones and 200’ when not adjacent to NR zones. LDC 17.09.040 states that buildings longer than 100’ shall have at least one significant wall break measuring at least 8’ deep and 20’ feet wide and running the full height of the building to break up the overall mass of structures.

The 10 proposed townhomes (two new buildings) are oriented with front facades and primary pedestrian entrances facing the adjacent private street. Of the 10 units, 4 townhomes have 16’ wide garage door on a 25’ wide townhome (this equals 64% of the façade width). The remaining 6 townhomes meet the 50% front-facing garage requirement. The façade designs show the exact same unit type adjacent to one another in both of the new buildings, but overall building design compositions vary. One of the new buildings is a 4-unit and the other is a 6-unit. The buildings are adjacent to the NR zoning to the west and are less than 150’ building length. The proposal shows the 150’ building with wall breaks at least 8’ deep by 20’ wide. As conditioned building design façade variation minimums and garage width maximums, the project complies with the LDC.

SETBACKS

The Land Development Code (LDC) requirements for setbacks in the MR-9 zone are as follows (as measured from property lines):

Front:	15’
Side:	8’
Rear:	10’
Canal Bank:	15’

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front:	0'
Side:	0'
Rear:	0'
Canal Bank:	NA (piped)

As conditioned, the project meets minimum setback requirements of the LDC.

LOT COVERAGE

The LDC 17.07.070 limits lot coverage at a maximum of 70% (building(s) footprint) in the MR-9 zone. The proposed project site is 2.99 (130,244 SF) in size with total proposed building footprints at approximately 14,120 SF. The proposed lot coverage equals 11%, complying with the requirements in the LDC.

PEDESTRIAN CIRCULATION

The LDC 17.30.160 requires pedestrian circulation throughout the project. Pedestrian circulation should take a visually predominate role with safe, convenient and well-connected sidewalk networks. The site layout generally shows good pedestrian sidewalk connectivity between streets, buildings and amenity areas. The townhomes, with proposed front facing garages, show driveways doubling as sidewalks which could present conflicts when parked vehicles obstruct the path and reduce the visual predominance of pedestrian sidewalks leading to front porches. As conditioned with sidewalk connections along the new home fronting on 1280 West, the proposed project meets the requirements in the LDC.

PARKING STALL REQUIREMENTS

The LDC 17.31.040 requires two (2) parking stalls per dwelling unit. The driveways, if more than 20' in length from the street or alley edge, can be considered for additional parking. The proposal includes six (6) units with 2-car garages, and four (4) single-garage units with adequate driveway space for additional parking. This totals two (2) parking stalls and per unit totaling 20 stalls for the 10 units. As conditioned with a minimum of 20 parking stalls and driveway setback length, the project meets the parking requirements in the LDC.

OPEN SPACE

The LDC 17.07.070 requires 20% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar amenities. The 2.99-acre (130,244 SF) site would require 26,048 SF of landscaping and 13,024 SF of usable outdoor space for a total of 39,072 SF of open area. The proposal only shows conceptual landscaping and open space areas. As conditioned with minimum open space requirements, the project complies with the LDC.

LANDSCAPING

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the MR-9 zone. For 2.99 acre, 60 trees and 150 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows only conceptual landscaping with approximate numbers. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

LIGHTING

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding

pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

STAFF SUMMARY

The FLUP indicates this area as MR and could be considered transitional, with commercial and industrial employment centers located east of the site. The single-family developments located to the south and west provide a variety of housing options and overall composition of housing supply for the neighborhood. With the recently approved 150 townhome project adjacent, this 2.99-acre area becomes isolated and difficult to independently develop. If this area is combined with the adjacent townhome project, trail network development becomes easier to coordinate and develop with only one project design and one owner.

As conditioned, Staff finds the proposed 10-unit building design and orientation, site layout and street connectivity acceptable and compliant along 1280 West.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Fire	• Engineering

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 9/26/20, posted on the City's website and the Utah Public Meeting website on 9/30/20 and mailed out to adjacent property owners within 300' on 9/18/20.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. 10 building lots and remainder open space is approved with this subdivision. The areas labeled as remainder and/or open space shall be listed as non-buildable and only contain landscaping or accessory subdivision amenities.
3. The final plat for the subdivision shall be recorded within one year unless an extension of time is granted as per LDC. The subdivision may be phased as per LDC regulations.
4. Building setbacks shall be reviewed and approved on an individual building basis and comply with the MR-9 requirements of 15' front yard, 8' side yard, 0' common wall side and 10' rear yard.
5. Townhome buildings within the MR-9 shall have a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit.
6. Buildings adjacent to NR zones shall be limited to 150' in length and all buildings shall not exceed 200' in length.
7. Buildings placed adjacent to streets shall be oriented with primary entrances and front facades oriented towards the street.

8. Forward-facing garage door widths along street frontages shall not exceed 50% of the overall building width except for up to three buildings, not adjacent to one another, may have garage door width ratios of 64%.
9. For every 100' of two-story building length along a public street, there shall be one (1) significant wall break that is at least 8' in depth and 20' in width and continue the entire height of the building.
10. No two adjacent buildings shall have the same street facing façade design and must vary at least four (4) out of the eight (8) design categories listed in the LDC 17.09.040.
11. All buildings placed adjacent to streets shall have convenient and delineated sidewalk connecting the building to the street. Pedestrian circulation shall be provided throughout open space and amenity areas of the project.
12. Alleyways/private streets do not require sidewalks, however, sidewalks should be considered along 1280 West for adequate pedestrian circulation.
13. A minimum of 2 parking stalls per unit shall be provided. If intended for parking, driveways shall be a minimum of 20' in length.
14. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 39,072 SF.
 - c) A total number 60 trees and 150 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
15. All dumpsters shall be placed outside of front setbacks and visually screened or buffered from public streets by using fencing, walls and landscaping. Dumpsters should be placed adjacent to alleyways where possible in accordance with Environmental Department requirements.
16. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screen with dense vegetation from street views.
17. All streets adjacent to or within the development shall be improved to current city standards and specifications.
18. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
19. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
20. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
21. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
22. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - **Residents will be provided carts.**
 - The south-east dead-end street will need to have the residents bring their cans out to a main road as there is no turn around for the trucks.
 - b. *Water—contact 716-9622*
 - c. *Engineering – contact 716-9160*
 - All previous Public Works permit requirements for Woodmoore Pointe subdivision/development shall apply to this modification to Woodmoore Pointe
 - d. *Fire – contact 716-9515*

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC..
5. The project meets the goals and objectives of the MR-9 designation within the Logan General Plan by providing high quality projects designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

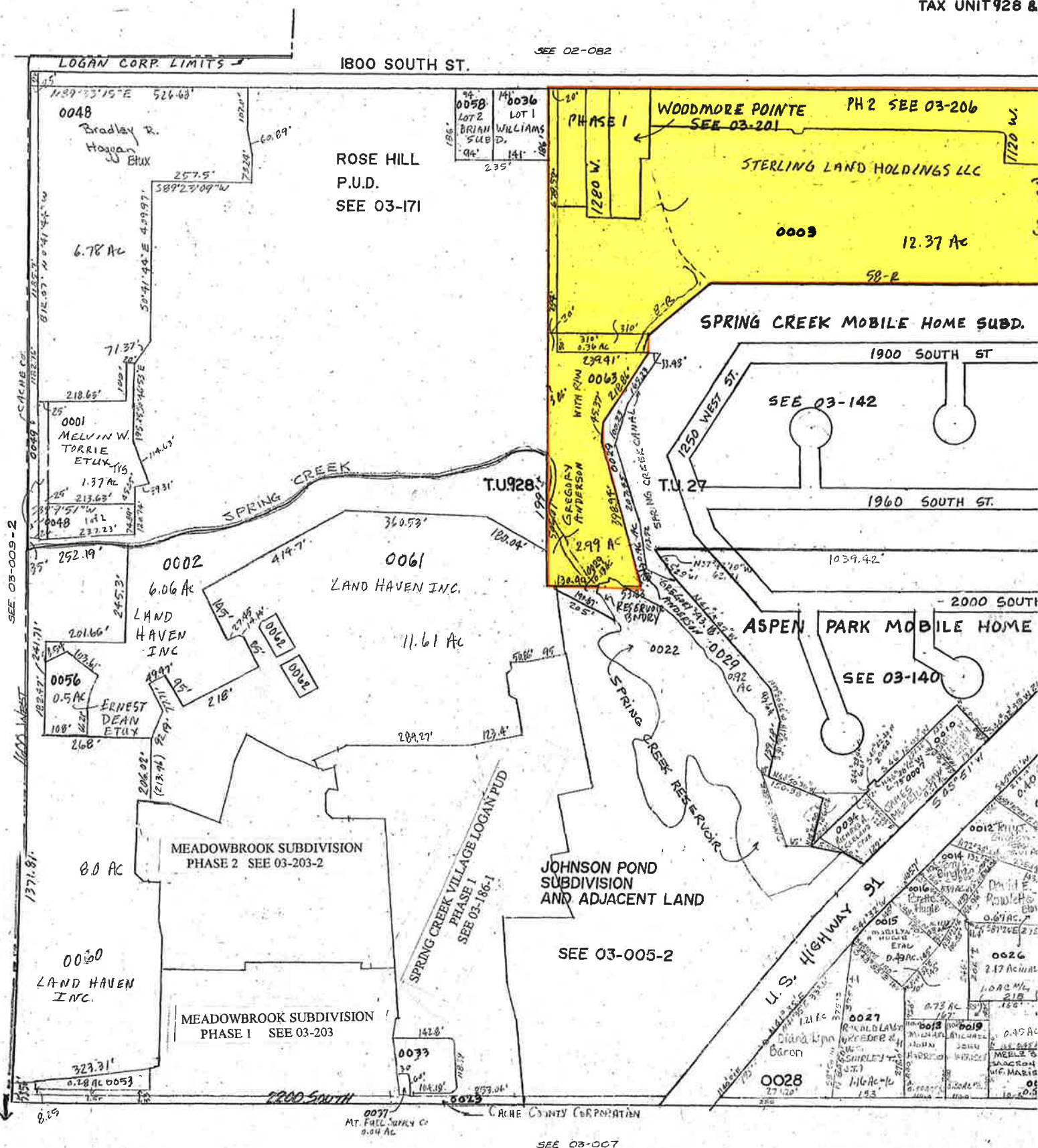
Date Received 9-3-20	Received By RH	Scheduled Meeting Date Oct. 8	Zone MR9/NR-6	Application Number PC 20-050
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Code Amendment		<input type="checkbox"/> Conditional Use <input type="checkbox"/> Appeal		
<input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Other		<input checked="" type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review		
PROJECT NAME Woodmore Pointe				
PROJECT ADDRESS 1200 W 1800 S			COUNTY PLAT TAX ID # 03-005-0003 & 03-005-0063	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Bryce Goodin			MAIN PHONE # 435-770-0249	
MAILING ADDRESS 50 E 2500 N Ste 101		CITY North Logan	STATE UT	ZIP 84335
EMAIL ADDRESS bryce@visionaryhomes.com				
PROPERTY OWNER OF RECORD (Must be listed) Sterling Land Holdings LLC			MAIN PHONE # 435-752-1480	
MAILING ADDRESS 50 E 2500 N Ste 101		CITY North Logan	STATE UT	ZIP 84341
EMAIL ADDRESS bryce@visionaryhomes.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) We have been approved for a 150 townhome subdivision on parcel 03-005-0003, we later purchased parcel 03-005-0063 and would like to integrate that into our approved project. The additional parcel adds 2.99 acres to the project and we would like to add 10 additional townhomes on that land to increase our total unit count at the Woodmore Pointe subdivision to 160 townhomes. • We would also like to rezone parcel 03-005-0063 from NR-6 to MR-9.			Total Lot Size (acres) 16.69+2.99=19.68	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	

• Zone Change – Council workshop: Oct. 20
Council hearing: Nov. 3

NW⁴ Section 17 Township 11 North Range 1 East

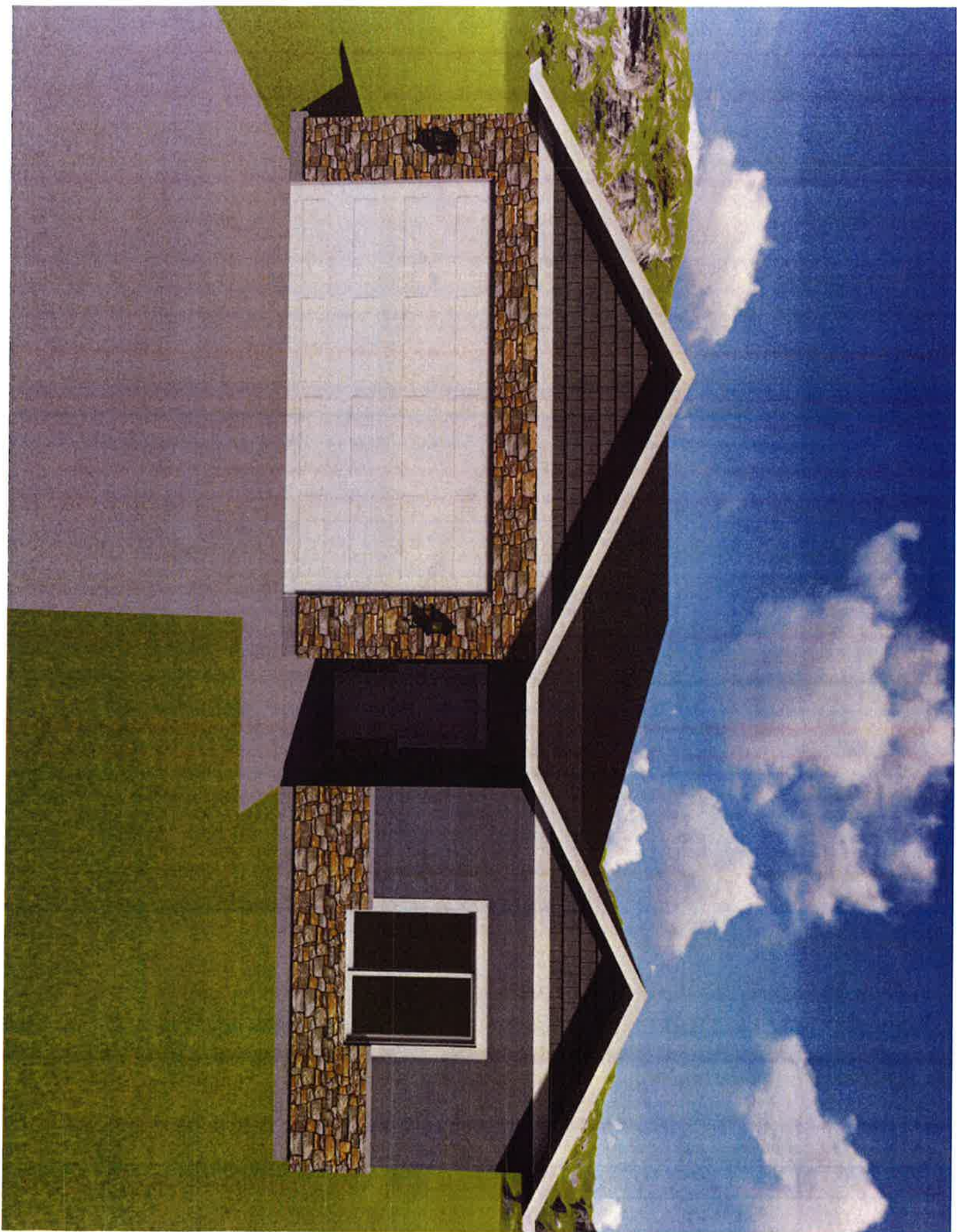
Scale 1 Inch = 3 CHAINS

TAX UNIT 928 &

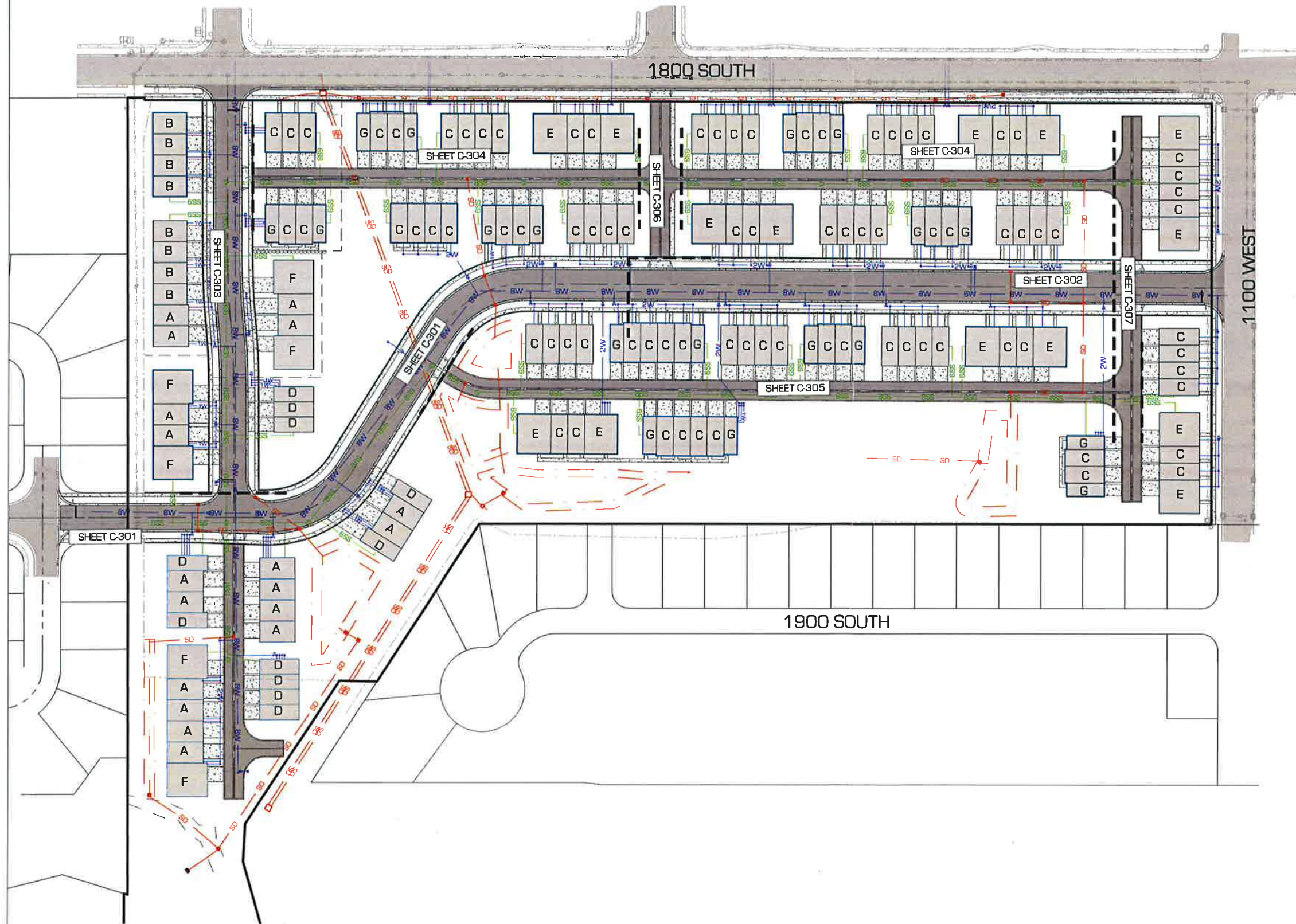








SCALE: 1"=60'



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MATCHLINE

WOODMORE POINTE
CONSTRUCTION DOCUMENTS
1800 SOUTH 1100 WEST
LOGAN, UT 84321

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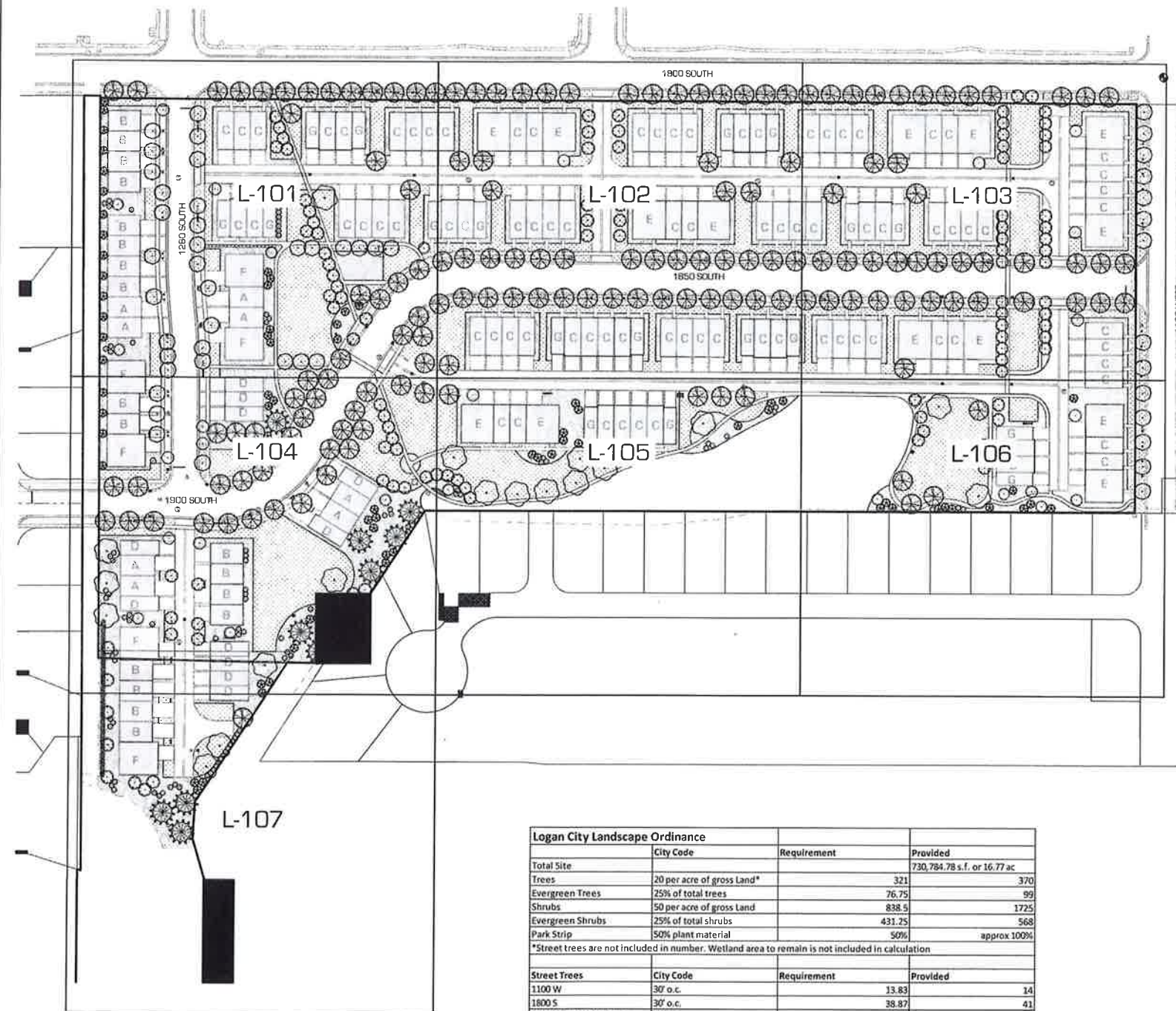
PLAN & PROFILE - OVERVIEW SHEET

C-300

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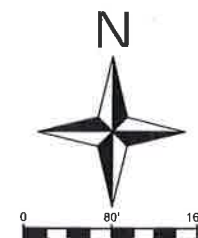
CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net





PLANT SCHEDULE

GENERAL NOTE

[illegible]

PROJECT #: 18-131
DRAWN BY: J. HENDRICKSON
PROJECT MANAGER: J. HENDRICKSON
ISSUED: 02.24.20



OVERALL
LANDSCAPE
PLAN
L-100