

**Project #20-023
Global Property Rezone
Located at 295 West 500 North**

REPORT SUMMARY...

Project Name: Global Property Rezone
Proponent/Owner: Lance Zollinger / Lance Zollinger
Project Address: 295 West 500 North
Request: Rezone from NR-6 to MR-9
Current Zoning: Traditional Neighborhood Residential (NR-6)
Date of Hearing: June 25, 2020
Type of Action: Legislative
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission recommend **denial** to the Municipal Council for a Rezone of approximately 2.72 acres of property located at 295 West 500 North (TIN# 05-076-0004; -0026.) from Traditional Neighborhood Residential (NR-6) to Mixed Residential Transitional (MR-9).

Land use adjoining the subject property

<i>North:</i>	NR-6: Residential Uses	<i>East:</i>	NR-6: Residential Uses
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	NR-6: Residential Uses

PROJECT

The proponent is requesting to rezone two parcels that total approximately 2.72 acres at 295 West 500 North from NR-6 to MR-9. The irregular shaped parcels extend into the middle of the block between 500 North and 600 North. The vacant and relatively flat area have a mix of single-family homes and multi-family structures in the adjacent areas. The land has only one street frontage along 500 North and narrows in that area to approximately 115 feet wide. The original request included a Design Review Permit for 15 townhome units but has since been requested in writing, to separate these actions and continue the Design Review Permit to a later date.



Figure 1 shows the properties in relations to the existing surrounding development

GENERAL PLAN

The Future Land Use Plan (FLUP) adopted in 2008 identifies this property as Detached Residential (DR). The FLUP does not distinguish between the different DR zoning districts in the General Plan. DR is described as a district that will be developed with detached single-family homes. While flexibility and variety of housing is described as important in this district, the General Plan states that all new residential developments must create a traditional neighborhood character with entrances of homes oriented towards public streets. Densities may range from 4-6 dwelling units per acre. MR areas are identified as area appropriate for multi-family housing types developed at densities up to 30 units per acre.

ZONING

The current zone, NR-6, allows single family detached homes with a minimum lot size of 6,000 SF and a maximum of 6 homes per acre of land. The proposed MR-9 zone is described in the Land Development Code (LDC) as providing transitional areas between higher intensity commercial and lower intensity residential. A variety of housing types and designs are encouraged to promote neighborhood stability and a sense of community. This zone allows for up to 9 units per acre of land and permits residential uses with a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit.

This project is located within the Bridger Neighborhood. Housing in this neighborhood is varied, with large amounts of townhomes and multi-family developments. The housing portfolio in the area around this project reflects the diverse housing in the area. According to the American Community Survey (ACS) 2017 estimates, only 22.5% of the housing in the proximity of the project site (between 500 N and 1400 N and between Main Street and 600 W) are single family detached homes. This is nearly half the rate for single family homes in Logan City (40%). Also, the area features an above average concentration of attached housing apartments.

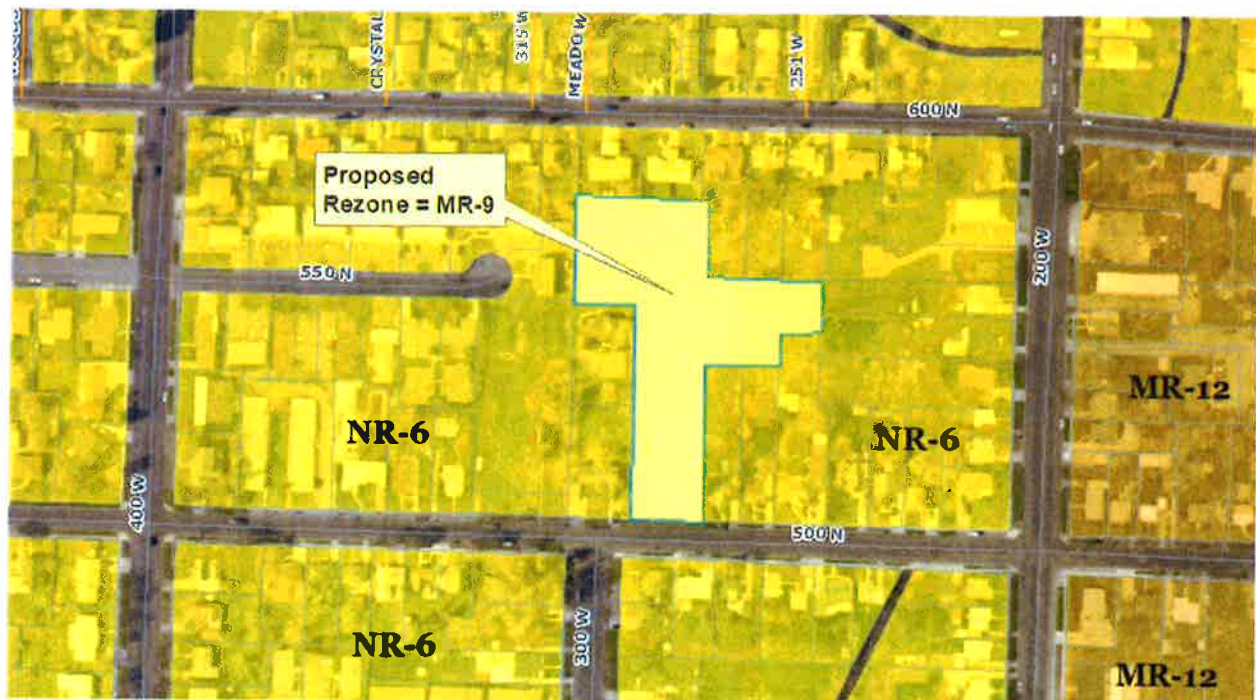


Figure 2 shows the proposed zoning on the properties with the surrounding existing zoning

SUMMARY

Logan City's housing goal for the Bridger Neighborhood has been to increase the number of owner-occupied single family homes in the area to help provide a more balanced housing portfolio. Much of the remaining undeveloped land, including this parcel, has been rezoned to NR-6 and designated as DR on the FLUP to help achieve this goal. Balance to the housing in

the area will help to increase long term home ownership, lessen student turn-over in local schools, and provide more housing options for residents. With the project site being adjacent to some existing single family homes and the FLUP designation of the area as DR along with the need for more single family detached housing in the area, staff recommends that the rezone request from NR-6 to MR-9 be denied to preserve one of the last remaining locations for single family detached homes in the neighborhood.

AGENCY AND CITY DEPARTMENT COMMENTS

No comments have been received.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, two comments had been received expressing concerns for this rezone.

PUBLIC NOTIFICATION

Legal notices were posted on the City's website and the Utah Public Meeting website on 4/11/2020, and noticed in a quarter page ad on 6/18/2020, and a Public Notice mailed to property owners within 300' were sent on 6/16/2020.

RECOMMENDED FINDINGS FOR DENIAL

The Planning Commission bases its decision on the following findings supported in the administrative record for this project:

1. The Logan City FLUP identifies the area as DR
2. This area is one of the few remaining vacant DR areas in the Ellis Neighborhood.
3. Logan City has made numerous concerted efforts to try and get less multi-family and more single-family in this neighborhood. Downzones from MR to NR in 2007 for these areas are evidence of that.
4. As proposed the MR-9 zone does not act as a transition zone as described in the LDC.
5. The DR designation is intended for single-family detached developments.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

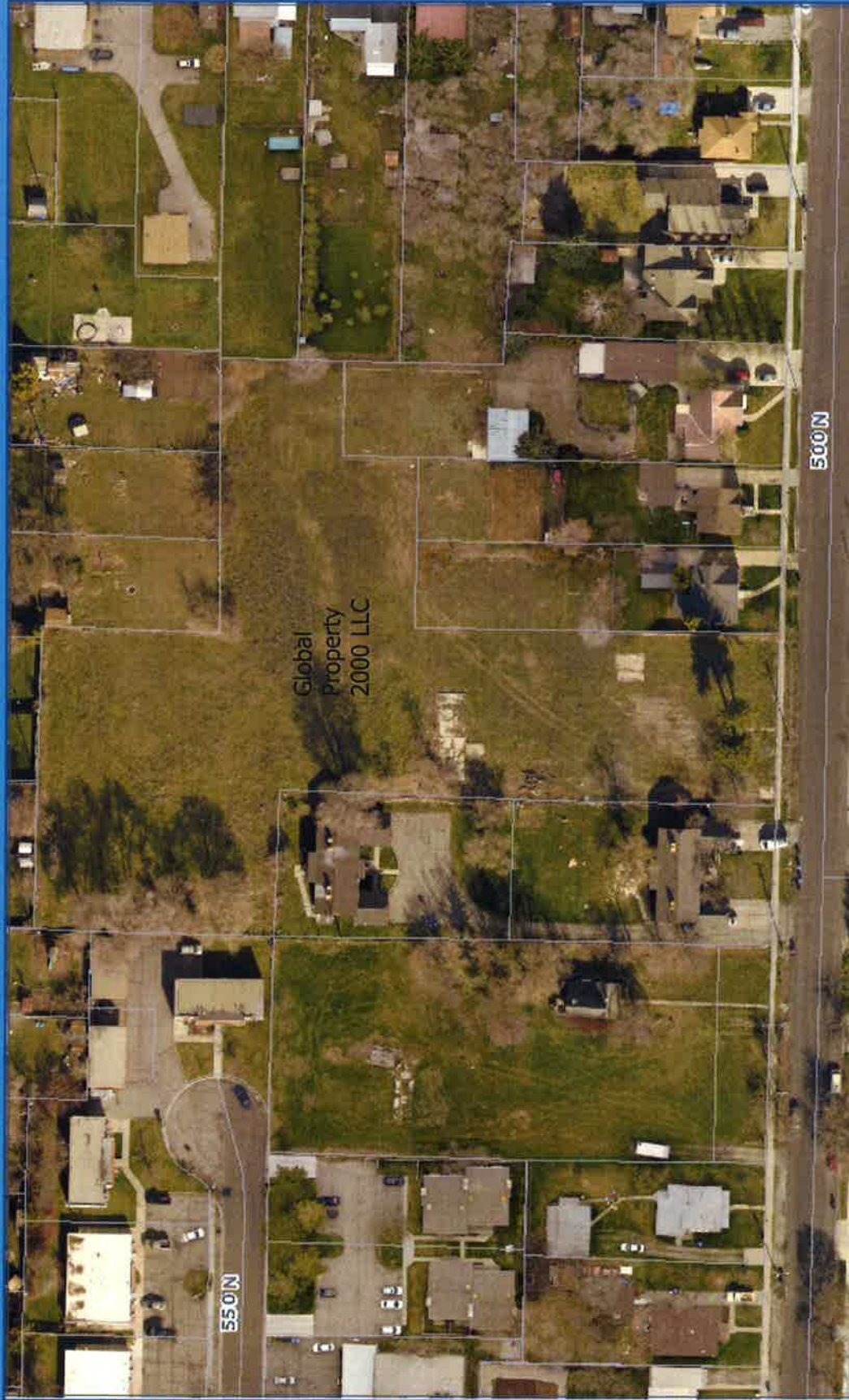


This picture is taken from 500 North looking northward at the vacant 2.72-acre Global Property 2000 LLC rezoned site



Global Property Town Home & Rezone

295 West 500 North



Planning Commission

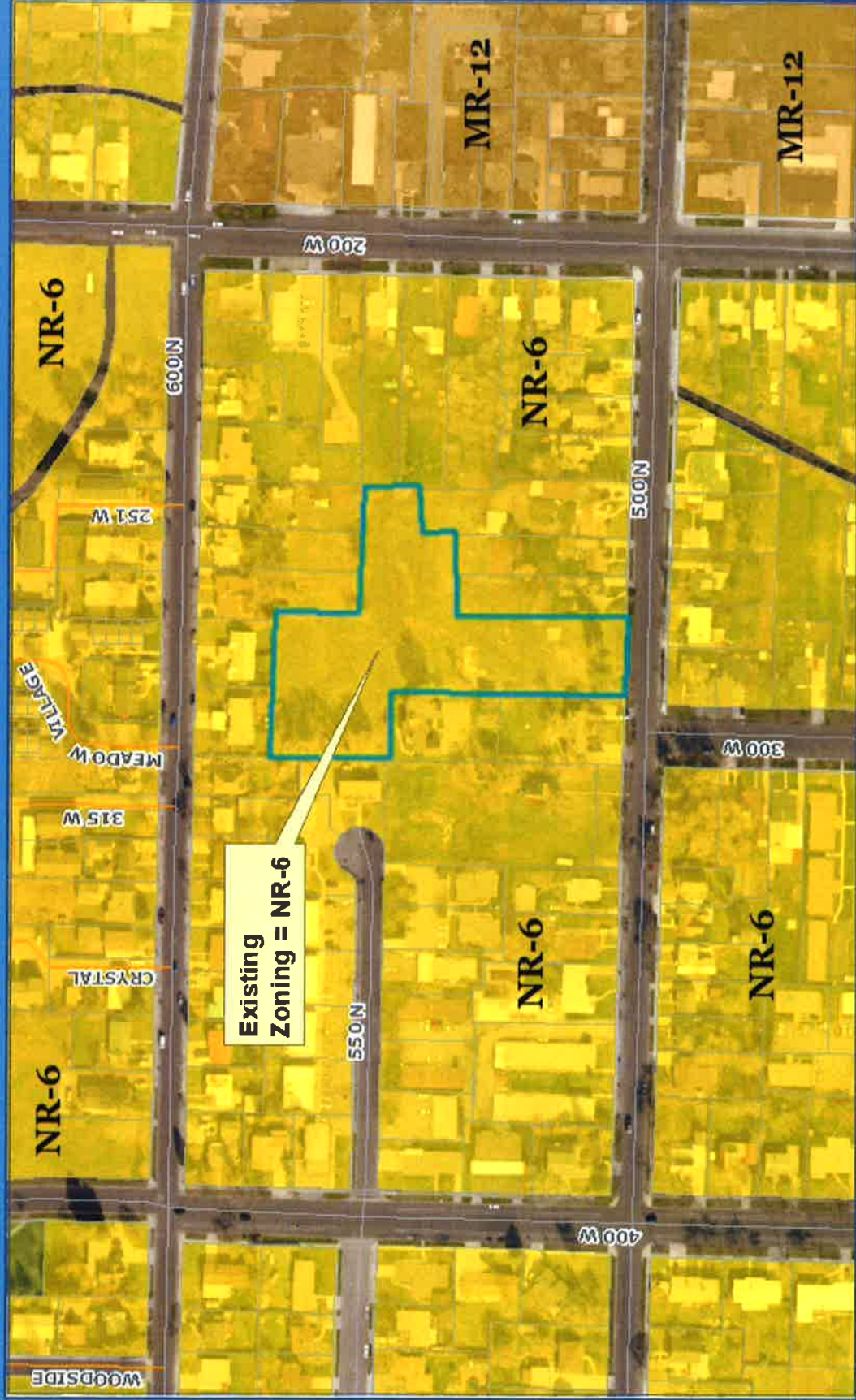
June 25, 2020

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Global Property Town Home & Rezone

295 West 500 North



Planning Commission

June 25, 2020



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 3/23/20	Received By PLM	Scheduled Meeting Date Apr. 23	Zone 	Application Number PC 20-023
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Zone Change	
<input type="checkbox"/> Code Amendment	<input type="checkbox"/> Appeal	<input type="checkbox"/> Other	<input type="checkbox"/> Administrative Design Review	
PROJECT NAME Global Property 2000 LLC TOWN HOME PROJECT				
PROJECT ADDRESS (295 W. 500 N.) 500 N. 275 W. LOGAN, UT 84321			COUNTY PLAT TAX ID # 05-076-0026 05-076-0004	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) LANCE BOLLINGER (SAME AS OWNER)			MAIN PHONE # 	
MAILING ADDRESS		CITY	STATE	ZIP
EMAIL ADDRESS 				
PROPERTY OWNER OF RECORD (Must be listed) Global Property 2000 LLC - LANCE BOLLINGER			MAIN PHONE # 435.770.2450	
MAILING ADDRESS		CITY	STATE	ZIP
695 W. 1100 S. BLDG 7, LOGAN, UT 84321-6263				
EMAIL ADDRESS lance@bollingerllc.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) REZONE FROM MR-6 TO MR-9. LIMIT TOTAL DENSITY IN MR-9 ZONE TO ORIGINAL ZONE MAX DENSITY OF 16. THE PROJECT PROPOSES 15 TOWN HOME UNITS AS SHOWN ON DESIGN REVIEW SITE PLAN. OWNER IS WILLING TO WORK WITH LOGAN CITY TO DONATE REMAINING PARCEL AS PARK LAND.			Total Lot Size (acres) 2.72	
			Size of Proposed New Building (square feet) ~21,000 sf	
			Number of Proposed New Units/Lots 15	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		

Council Workshop: May 5
Council hearing: May 19

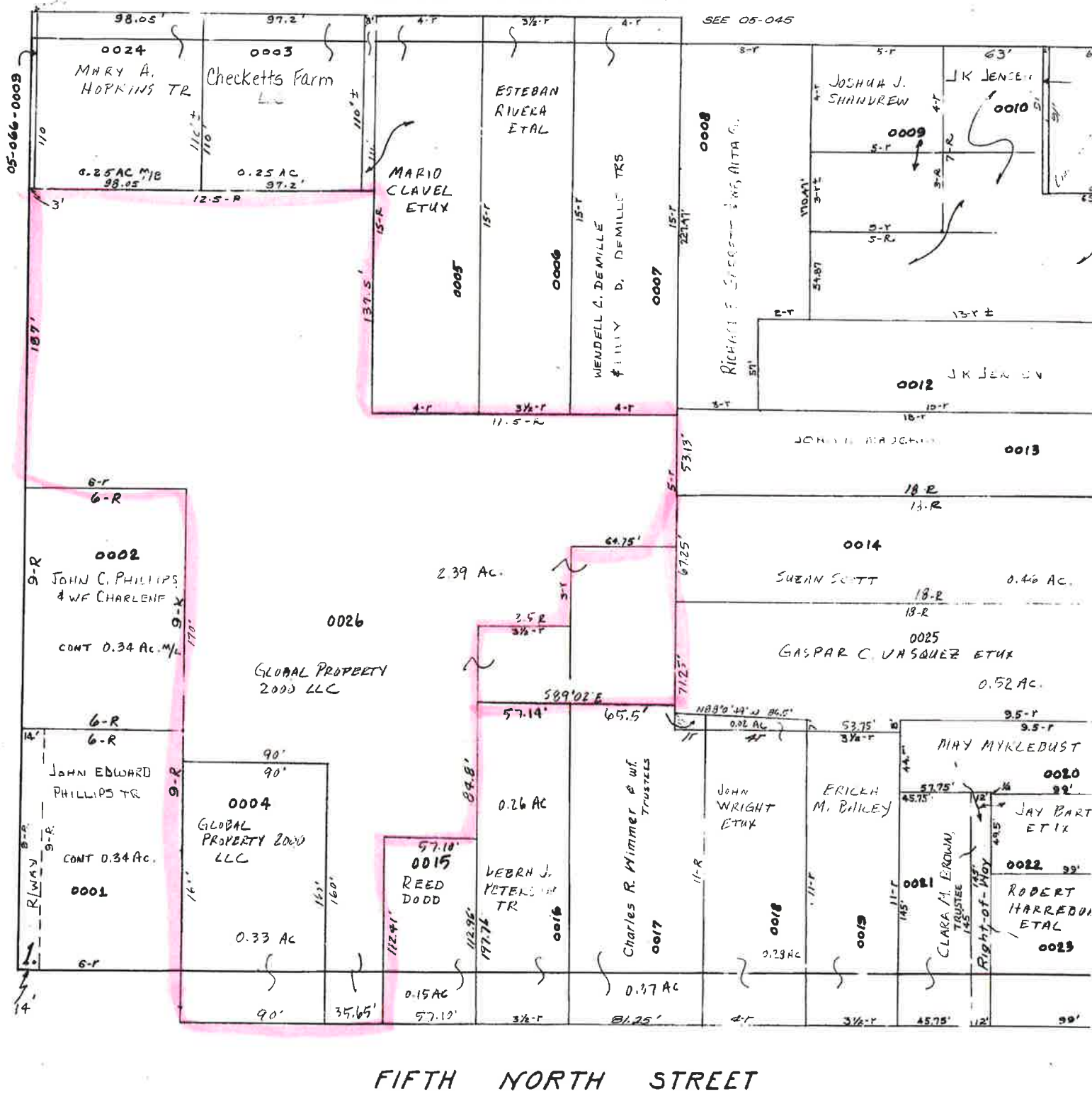
NE⁴ Section 33 Township 12 North, Range 1 East

Scale 1 Inch = 50 Feet

LOT 1-BLOCK 37- PLAT "A" LOGAN FARM

TAX

SIXTH NORTH STREET

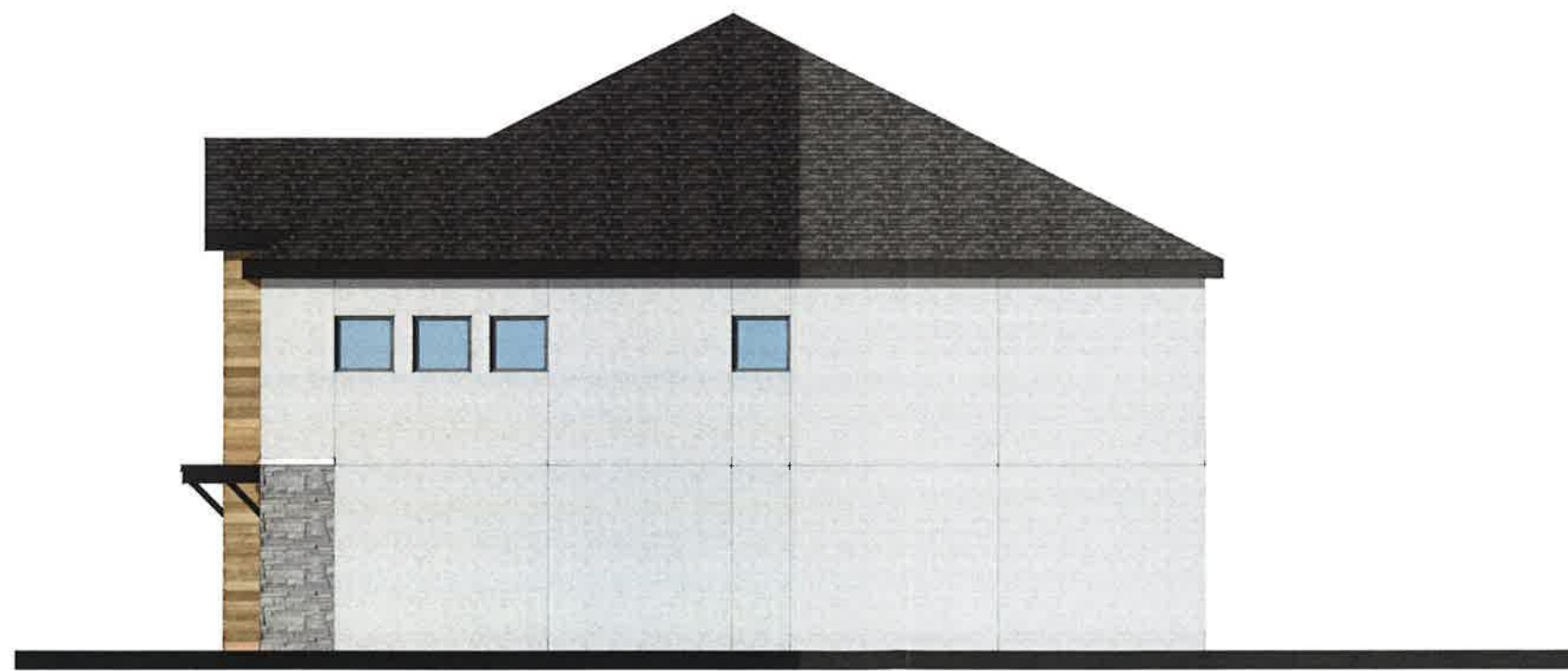


SEE 06-079

NE Cor. Block
Plat "A" Logan Ci



FRONT ELEVATION



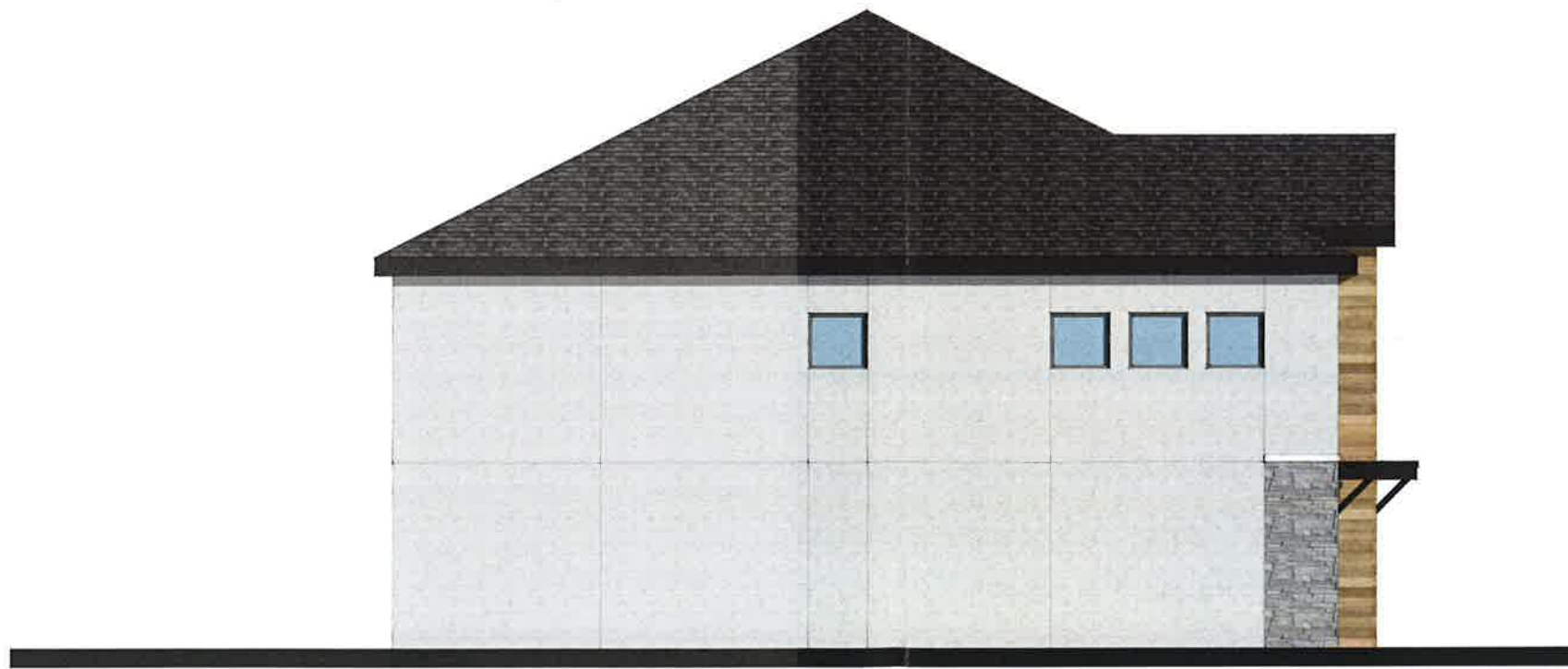
SIDE ELEVATION



FIVE DEGREES DESIGN
 ZOLLINGER TOWNHOMES
 23 MARCH 2020



REAR ELEVATION



SIDE ELEVATION



FIVE DEGREES DESIGN

ZOLLINGER TOWNHOMES

23 MARCH 2020



PERSPECTIVE



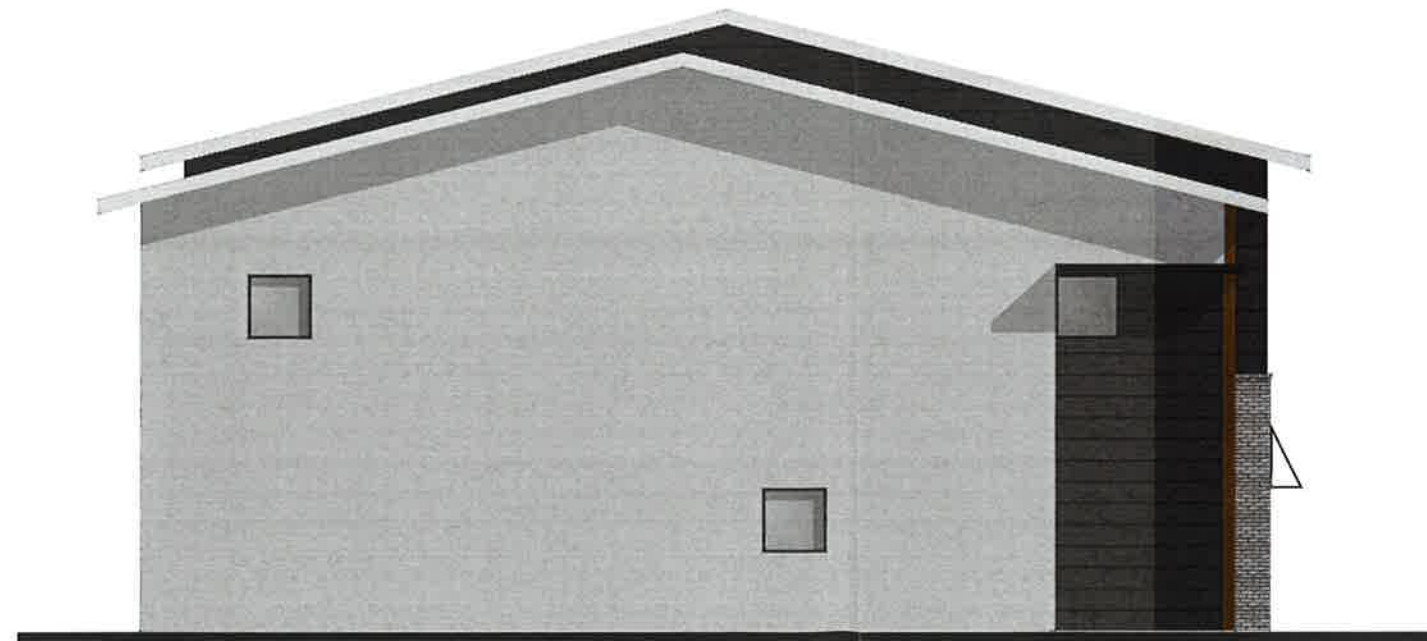
FIVE DEGREES DESIGN

ZOLLINGER TOWNHOMES

23 MARCH 2020



FRONT ELEVATION



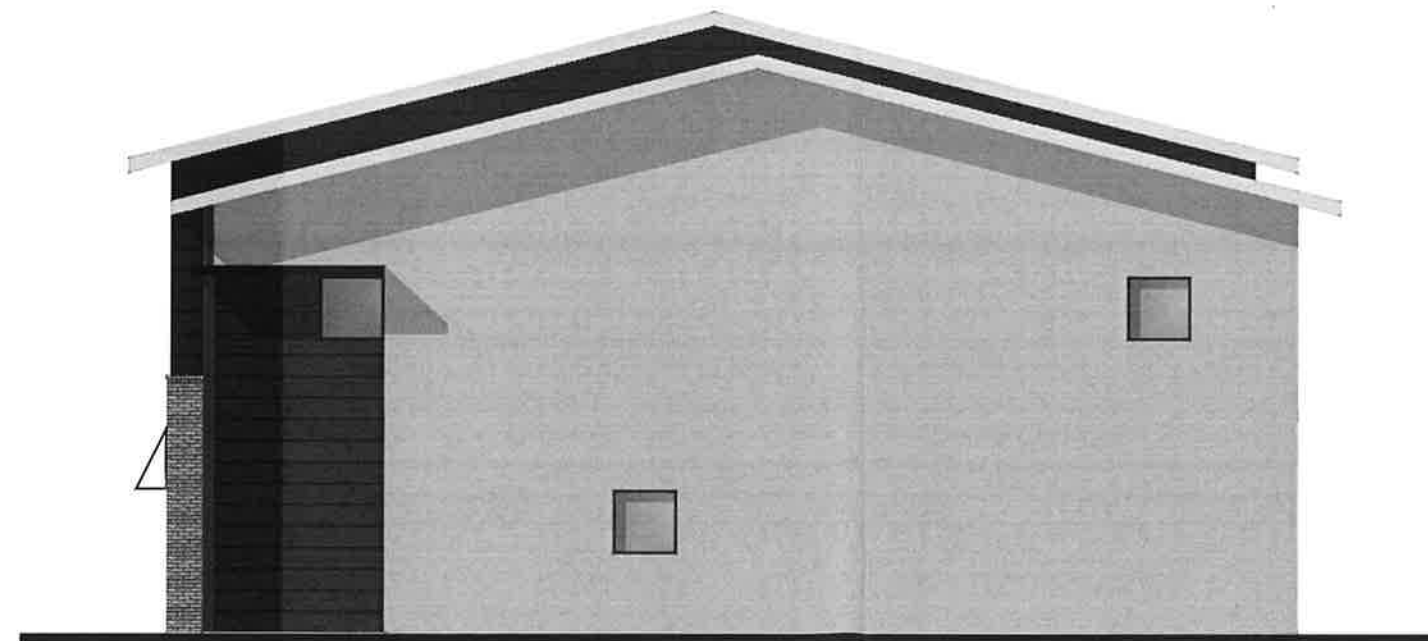
SIDE ELEVATION



FIVE DEGREES DESIGN
 ZOLLINGER TOWNHOMES
 23 MARCH 2020



REAR ELEVATION



SIDE ELEVATION



FIVE DEGREES DESIGN
ZOLLINGER TOWNHOMES
23 MARCH 2020



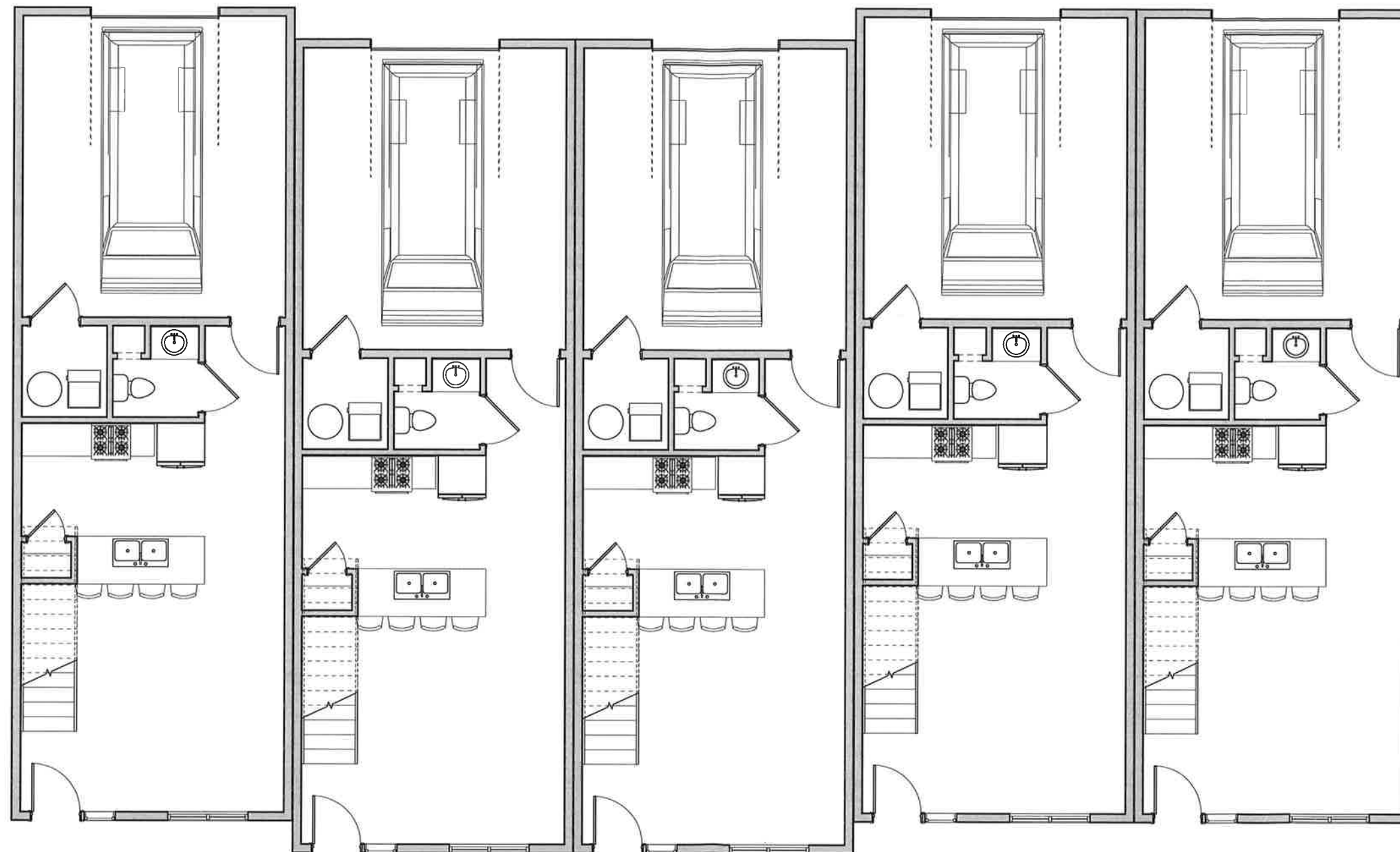
PERSPECTIVE



FIVE DEGREES DESIGN

ZOLLINGER TOWNHOMES

23 MARCH 2020



MAIN LEVEL FLOOR PLAN



FIVE DEGREES DESIGN
ZOLLINGER TOWNHOMES
23 MARCH 2020



SECOND LEVEL FLOOR PLAN



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