

**Project #20-021  
Truck Ranch  
Located at 1200 S Main Street**

**REPORT SUMMARY...**

*Project Name:* Truck Ranch  
*Proponent / Owner:* Julie Henry / Wagscap LLC  
*Project Address:* 1200 S Main Street  
*Request:* Design Review and Conditional Use Permit  
*Current Zoning:* Commercial (COM)  
*Type of Action:* Quasi-Judicial  
*Hearing Date:* April 9, 2020  
*Submitted By:* Aaron Smith, Planner II

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review and Conditional Use Permit for Project #20-021, Truck Ranch, for one 4,392 SF building for automobile sales at approximately 1200 S Main Street, TIN #02-088-0027.

*Current Land use adjoining the subject property*

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

**Project Proposal**

This is a proposal to construct one (1) new 4,392 SF auto dealership building on an approximately 1.51 acre (65,000 SF) parcel. The site is to the south of Walmart and Spring Creek. Overall, the site is flat with riparian vegetation near Spring Creek. The development includes the two-story building, surface parking, landscaping, detention ponds, and retaining wall along Spring Creek. The development connects to 1200 S via a shared driveway with the adjacent Walmart and a right-in/right out access near the 1200 S and Main Street intersection.



## **Land Use**

The project area is zoned Commercial (COM). The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses. A Conditional Use Permit is required for automobile sales in the COM zone.

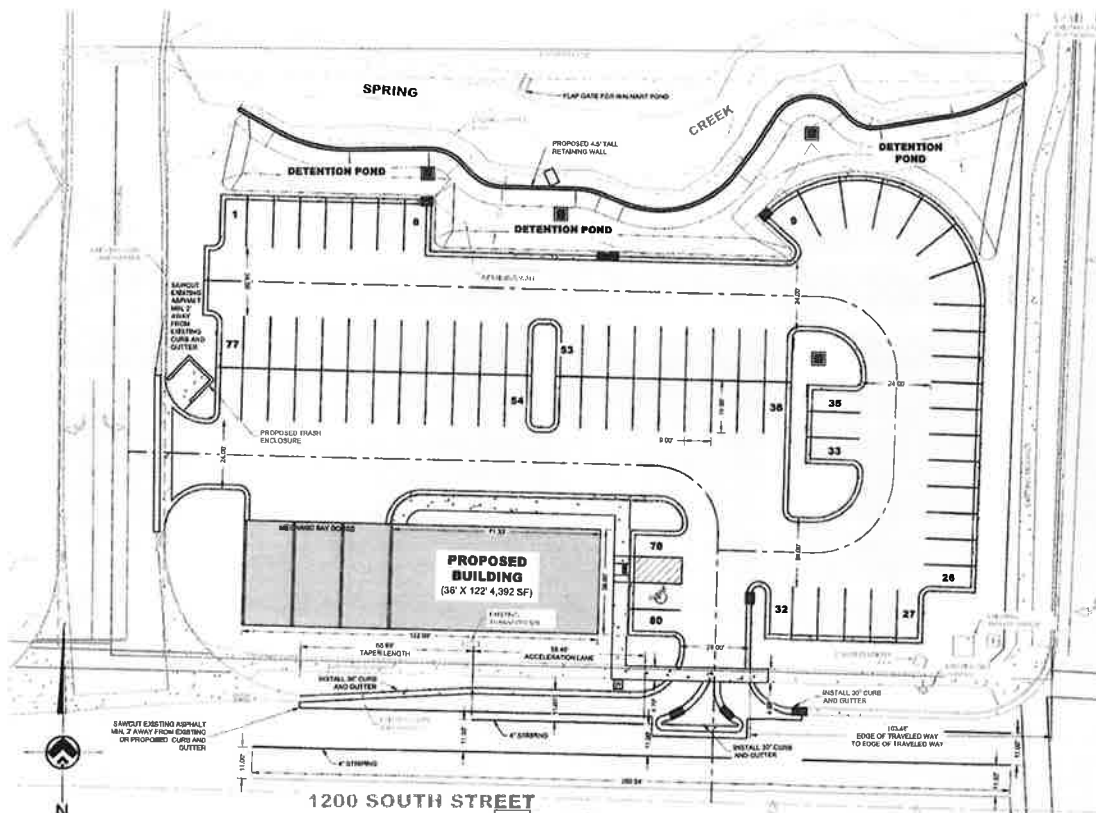
## **Design Review Permit**

The LDC 17.43 requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

## **Conditional Use Permit**

Conditional Use Permits (CUP) allow for discretionary considerations of applications by the Planning Commission to preserve and enhance neighborhood character and protect the public health, safety, and general welfare. LDC 17.42. outlines Planning Commission actions and findings of approval.

## **Site Plan**



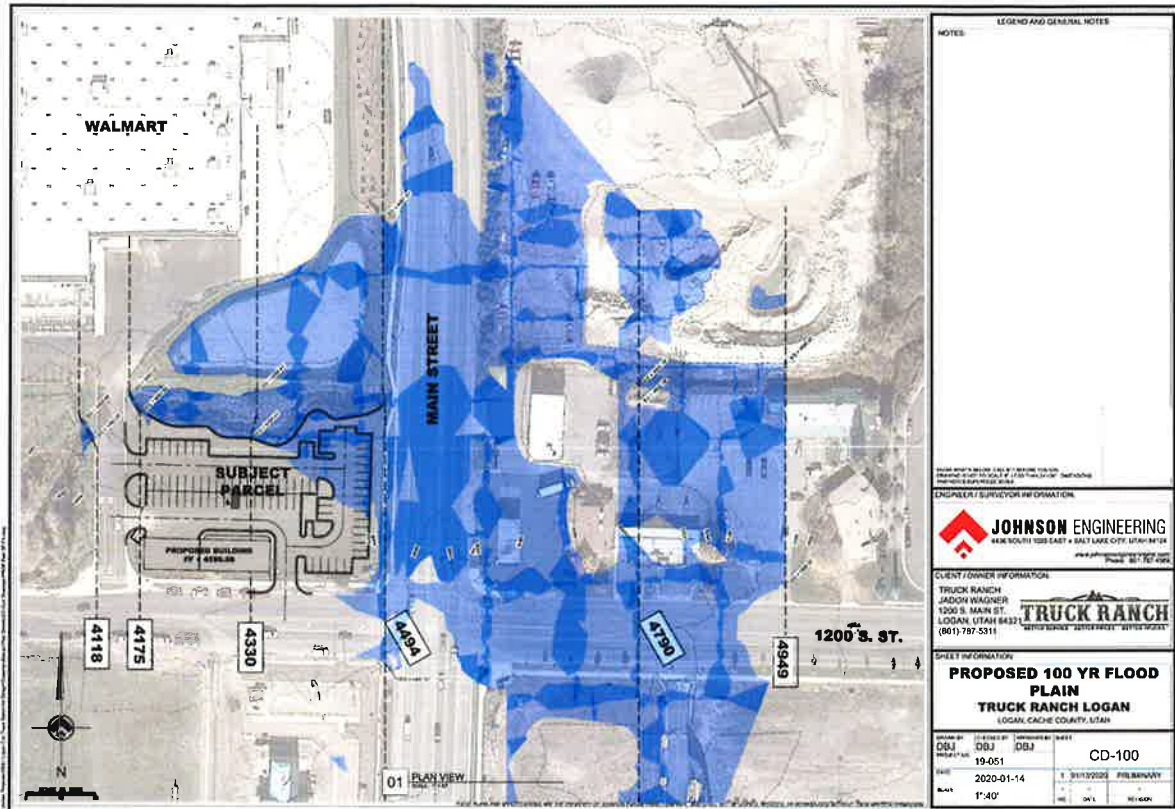
## **Lot Coverage**

The COM zone lot coverage is limited to a maximum of 60% (building footprint). The footprint of the proposed building 4,392 SF. The total building coverage on the site is 7%. As proposed, the project complies with the requirements in the LDC.

## **Frontage and Building Placement**

Building frontage requirements enhance pedestrian safety, comfort and convenience, and reduce the visual impact of parking lots by ensuring that street fronts in urban settings are framed by buildings for a minimum length of lots. The COM zone requires a minimum 50% building frontage at the front setback. The parcel has 270' of frontage along 1200 S and 75' of

frontage along Main Street (345' total). Frontage along Main Street that are impacted by floodplains were not included in the frontage calculation. The rectangular building is 122' long and 36' wide (158' total), which provides a building frontage of approximately 46%. Automobile dealerships uses often have smaller buildings and larger parking lots, which makes it difficult to meet minimum frontage requirements, especially when located on a corner. This parcel has additional restrictions for building location and mass, as much of the land is near a floodplain and riparian area.



**Proposed 100 Year Floodplain**

The LDC regulates building orientation and entries for commercial development. The standards state that where feasible, corner buildings with two frontages shall have the primary entrance oriented to the street corner. The proposed building is placed away from the corner along the 1200 S frontage. Ideally, the building would be placed near the corner so that the building has a presence on both street frontages and addresses the corner. Due to environmental constraints on the site, the long portion of the building cannot be oriented towards Main Street. Staff recommends that the building be placed closer to the corner to provide building mass along both frontages. While the placement and building mass will not fully comply with minimum frontage requirements, considering the constraints of the site, the placement will improve the urban form of the development. Draft floodplain maps provided by the applicant show that the southeast corner of the site is not in the floodplain and is at a similar elevation as the proposed location.

As automobile sales requires a Conditional Use Permit, the placement of the building near the intersection will help to alleviate impacts that may be associated with the use, namely, the placement of parking along the primary corridor. The building being moved will help to buffer this impact and create a more cohesive urban form. As conditioned, with permitting 46% building frontage and the building placed between 10'-30' behind the sidewalk along the Main Street frontage, the project complies with the requirements in the LDC.

## Setbacks

Project #20-021 Truck Ranch

Staff Report for the Planning Commission meeting of April 9, 2020

The LDC requirements for setbacks in the Commercial zone are as follows (as measured from property lines):

Front (Bld. Height 0'-40'):	10'
Side:	8'
Rear:	10'
Parking Side/Rear:	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (South):	12'
Front/Corner (East):	140"
Side (West):	44"
Rear (North):	162'
Parking Side (East):	10'
Parking Side (South):	12'
Parking Side (West):	36'
Parking Rear (North):	72'

Shifting the building would affect the east setback and reduce it to between 10'-30'. The shift would increase the west side setback. As proposed, the project complies with the requirements in the LDC.

### ***Access & Circulation***

The proposal includes a shared driveway along the western edge of the property that connects to the Walmart. A second right-in/right-out access is proposed near the 1200 S and Main Street Intersection. The access is left turn restricted to prevent conflicts with the cars stacking at the Main Street signal. The access is 103' from the intersection. Shifting the building towards the Main Street frontage would move or even eliminate the restricted right-in/right-out access. Staff finds that the elimination of the restricted second access will not impact the overall use of the site, as the primary shared drive will not be impacted by the building shift. All driveways are 24'. The LDC requires pathway connections between the building, the adjacent street, and parking areas. The site plan includes a pathway from the front door on the north side of the building going around the south side of the building and connecting to the existing sidewalk along 1200 S. As conditioned, the project complies with the requirements in the LDC.

### ***Parking***

For the proposed uses, the LDC requires one (1) parking stall for every 400 SF of floor area. For the proposed 2,500 SF floor area (office area), 6 parking spaces are required. 77 parking stalls are proposed. Most of those parking stalls will be used to display inventory. Customer parking should be provided near the building entrance.

The proposed layout places parking predominately along the Main Street corridor. The condition to place the building at the corner will help to alleviate the visual impact of the parking along Main Street and instead make the building the primary focus. Shifting the building will impact the parking configuration and may reduce total parking stalls for the site. As conditioned, the project complies with the requirements in the LDC.

### ***Open Space Area***

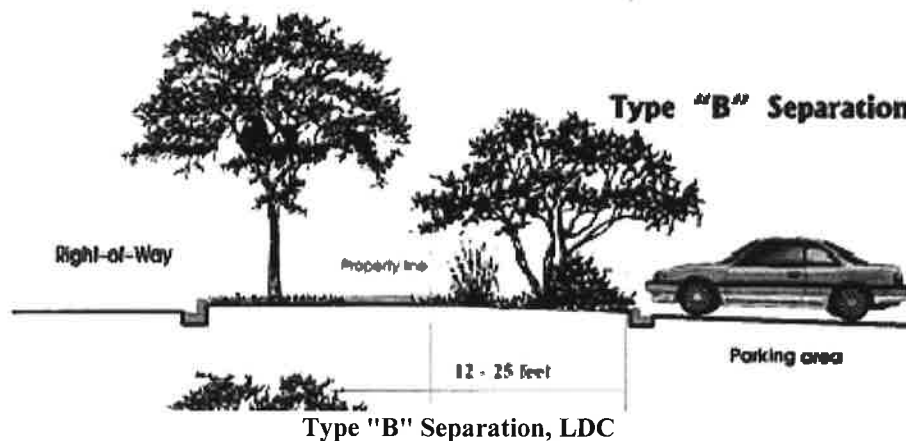
The LDC requires 10% open space and an additional 10% useable outdoor space in the COM zone. The LDC generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and most storm-water facilities. The 65,000 SF project site would require 6,500 SF of both open space and usable outdoor space for a total of 13,000 SF. The project proposal includes conceptual open space and usable outdoor areas totaling



approximately 22,500 SF (35%). As conditioned, the project complies with the open space requirements of the LDC as proposed.

### **Landscaping**

The LDC requires minimum plant material for overall visual aesthetics, ecology, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For the 1.51 acre project site, 30 trees and 75 shrubs, flowers and ornamental plants are required. Plant material is also required to be planted around the perimeter of the building where feasible. A variety of plants species are required, and 25% of the plant material is required to be evergreen species. Parking lots are required to have permitted landscaping. For the 1200 S and Main Street frontages, perimeter landscaping that is consistent with LDC 17.32.070 Parking Lot Landscaping Type "B" shall be installed, and include shrubs and small trees. As conditioned, with a landscaping plan, the project complies with the requirements of the LDC.



### **Critical Lands**

The LDC regulates development within floodplains and riparian areas. Riparian areas are defined as land within 75' of the centerline of a stream, and any wetlands or riparian areas identified during the Federal 404 Permit process. Development standards include that all structures shall maintain a 25' setback, limits on land disturbance, and requires vegetation preservation and restoration.

The site is adjacent to Spring Creek, and the proposed site development includes a 4.5' retaining wall, detention ponds, and parking within the 75' riparian zone. The proposed retaining wall varies in distance from the stream canal, with the closest points near the existing culvers. Generally, the retaining wall is 5'-6' from the current top of bank. Parking is setback from the wall 15'. No structures are proposed with the 25' setback. The proposed wall and ponds help to create a building area outside of existing floodplains. As conditioned, with plant restoration in disturbed areas of the riparian zone, the project complies with the critical lands requirements of the LDC.

### **Dumpster Enclosure**

The dumpster is required to be enclosed with a 6' high masonry wall with a screed gate or a chain-link fence with landscaping. The dumpster enclosure shall have minimum dimensions of 10 feet in depth, and an opening of at least 12 feet in width for a single bin enclosure. The dumpster enclosure is required to be located outside of the 30' sight distance triangle of the driveway. As conditioned the project complies with the requirements of the LDC.

### **Lighting**

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky

glow and light trespass. The LDC limits pole height to 32' and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

### **Building Design**

The LDC states that commercial buildings should be designed to promote high-quality and aesthetically pleasing developments. The design standards consider building variation, materials, building mass, articulation, roof, placement, and orientation. The standards emphasize 4-sided architecture. The proposed building is oriented with its primary entrance the interior parking area. While the building is not oriented towards the street, the building features architectural detailing and fenestration on all four sides. The proposed building is broken up into section less than 40' in length through window placement changes in wall plane, material changes, and articulation of the roofline. The building materials include fiber cement board, metal, and stucco. The proposed building has a flat roof and it is 26' 4" to the top of the parapet, and 36' tall at the top of the accent walls.



### **Transparency**

Transparency requirements for the COM zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed sides):	30%

Proposed transparency for the project are:

South Elevation (Frontage):	31%
East Elevation (Exposed side):	47%
North Elevation (Exposed side):	45%
West Elevation (Exposed side):	30%

Exposed sides are sides that are highly visible from the public right-of-way or has the primary building entrance. As proposed, the project complies with the requirements in the LDC.

## Summary

The primary impactful consideration for this project is the location of the building. As a Conditional Use in this zone, conditions may be placed on the use to mitigate negative impacts. For this project, due to its high visibility on the corner of South Main Street, staff recommends placing the building along the Main Street frontage to improve the building mass along the primary frontage. While site constraints do not permit the long portion of the building to be fronted along Main Street, some building mass will improve the aesthetics of the corridor and reduce the impact of parking being placed primarily along the frontage. Moving the building will force design changes to the proposal, including the likely elimination of the second access onto 1200 S and the parking configuration.

## AGENCY AND CITY DEPARTMENT COMMENTS

Comments were received from the following departments or agencies:

• Engineering	
• Water/Cross Connection	

## PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

## PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 3/28/2020 and the Utah Public Meeting website on 4/2/2020. Public notices were mailed to all property owners within 300 feet of the project site on 3/22/2020.

## RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW AND CONDITIONAL USE PERMIT

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. 46% building frontage is approved by the Planning Commission.
3. The building shall be placed 10'-30' from the back of the sidewalk along the Main Street frontage to provide building mass along Main Street.
4. A minimum of 6 customer parking stalls are required on site.
5. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) A minimum of 6,500 SF of both open space and usable outdoor space, for a total of 13,000 SF, shall be provided.
  - b) A total of 30 trees and 75 shrubs, flowers and ornamental plants shall be provided.
  - c) Minimum of 3 tree species are required.
  - d) A minimum of 25% of plant material shall be evergreen trees and shrubs.
  - e) Street trees shall be provided every thirty (30) feet on center and outside of site-distance triangles near intersections or driveway access points or otherwise determined by the City Forrester.
  - f) Plant materials shall be placed around the perimeter of the buildings where feasible in a 3' minimum planting strip.
  - g) For the 1200 S and Main Street frontages, perimeter parking lot landscaping that is consistent with LDC 17.32.070 Parking Lot Landscaping Type "B" shall be installed.

6. All disturbed areas within the 75' riparian area shall be revegetated within 60 days of initial disturbance.
7. The dumpster is required to be enclosed with a 6' high masonry wall with a screed gate or a chain-link fence with landscaping, and shall not be located within the 30' sight distance triangle of the driveway.
8. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
9. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
10. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
11. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:

**a. Engineering—contact 716-9153**

- i. Provide storm water detention/retention per Logan City Design Standards. This includes the onsite retention of the 90% design storm utilizing Low Impact Design Standards.
- ii. Provide water shares for all indoor and outdoor water usage from City water system.
- iii. Any existing water or sewer services to the property that are not used shall be capped at the City utility main.
- iv. This development is in a Special Flood Hazard Area on the 2011 FEMA Flood Insurance Rate Maps, based on City code, there cannot be any fill placed in this zone that will cause a rise in the Base Flood Elevation. Any proposed changes to the Special Flood Hazard Area shall be modeled and submitted to the City for review by the City consultant for possible impacts to documentation to be submitted by the City this summer to FEMA. It will also require the Conditional Letter of Map Amendment and the Letter of Map Amendment from FEMA before and after changes to the Special Flood Hazard Area can be made.
- v. Plans show a right in right out turn for access from 1200 South. Final design layout will be finalized in the Building Permit Review process.
- vi. Provide City with any required private utility agreements for water mains constructed onsite and the storm water maintenance agreement.

**b. Water/Cross Connection—contact 716-9627**

- i. The water main will need to have a RP (ASSE1013) installed and tested as it enters the building before any branch offs or possible connections.
- ii. Landscape irrigation systems connected to city water must have approved high hazard backflow protection.
- iii. All points of use of water must comply with 2018 IPC and Utah amendments.

**RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW AND CONDITIONAL USE PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. As conditioned, the project and use is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties.
2. As conditioned, the project and use conforms to the requirements of the Logan Land Development Code.
3. The project provides adequate open space and useable outdoor space in conformance with the Logan Land Development Code.
4. As conditioned, the project provides adequate off-street parking.
5. 1200 S provides access and is adequate in size and design to sufficiently handle



automobile traffic related to the land use.

6. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



# APPLICATION FOR PROJECT REVIEW

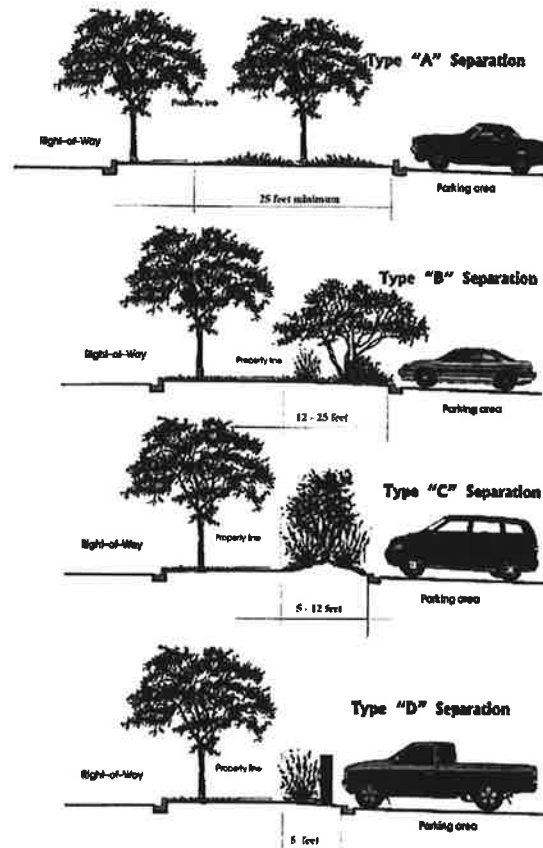
☒ **Planning Commission**    ☐ **Land Use Appeal Board**    ☐ **Administrative Review**

<b>Date Received</b> 3-9-20	<b>Received By</b>	<b>Scheduled Meeting Date</b> Apr. 9	<b>Zone</b> COM	<b>Application Number</b> PG 20-021
<b>Type of Application (Check all that apply):</b> <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
<b>PROJECT NAME</b> Truck Ranch				
<b>PROJECT ADDRESS</b> 1200 S Main Street			<b>COUNTY PLAT TAX ID #</b> 02 -- 088 - 0027	
<b>AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete)</b> Julie Henry			<b>MAIN PHONE #</b> 801-928-8122	
<b>MAILING ADDRESS</b> 1881 W Traverse Pkwy Ste E-321		<b>CITY</b> Lehi	<b>STATE</b> UT	<b>ZIP</b> 84043
<b>EMAIL ADDRESS</b> julie@wagscapital.com (Please send all email correspondence to Julie, Aaron and Jadon)				
<b>PROPERTY OWNER OF RECORD (Must be listed):</b> Wagscap LLC (Company owned by Aaron Wagner and Jadon Wagner)			<b>MAIN PHONE #</b> 801-735-4656	
<b>MAILING ADDRESS</b> 1881 W Traverse Pkwy Ste E-321		<b>CITY</b> Lehi	<b>STATE</b> UT	<b>ZIP</b> 84043
<b>EMAIL ADDRESS</b> aaron@wagscapital.com & jadon@truckranch.com				
<b>DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED</b> (Include as much detail as possible - attach a separate sheet if needed)  Modern single-story building with mezzanine offices for truck dealership that specializes in pre-owned vehicles.  Facility where vehicles are refurbished is located in Murray, UT.			<b>Total Lot Size (acres)</b> <del>1.52 acres</del> 1.51 acres  <b>Size of Proposed New Building (square feet)</b> 4500 square feet  <b>Number of Proposed New Units/Lots</b> 1	
<b>- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -</b>				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		

5. For parking lots containing twenty-five (25) stalls or fewer, five (5) feet shall be the minimum perimeter border width for the rear and side borders of the parking lot.
  6. For parking lots containing more than twenty-five (25) stalls, eight (8) feet shall be the minimum perimeter border width for the rear and side borders of the parking lot.
  7. Side and rear parking lot perimeter borders shall be landscaped with plant material covering a minimum of 50% of the total border surface area measured at the plants maturity.
- C. **Parking Lot Interior Landscaping.**  
The parking lot interior landscaping requirements apply to all off-street parking lots that contain five (5) or more parking spaces. Only areas specified in figure §17.32.070.C are counted towards a project's interior parking lot landscaping requirements.

Interior planting areas are required within all parking lots as specified in this subsection.

1. At least eighteen (18) square feet of interior landscape planting area shall be provided within the interior of an off-street parking area for each parking stall contained within the parking area.
2. Landscaping located within the interior of a parking area shall be evenly dispersed throughout the area. All planting areas shall be protected to prevent damage by vehicles and vehicle overhang.
3. When the number of stalls in a parking area exceeds the number of required parking stalls defined in Chapter 17.32 by 125%, the minimum interior parking lot landscaping requirements shall be increased to thirty-six (36) square feet of interior landscaping for each parking space contained within the parking stall.
4. All aisles shall have landscaped areas at each end of the aisle.
5. One landscaped planter area containing at least one (1) tree shall be installed within the interior of a parking area every fifteen (15) stalls. Interior parking area landscapes shall have a minimum of 50% plant material coverage measured at plants maturity.



**Figure 17.39.070.B: Parking Lot Landscaping Border Options for Separation from Street**

SEE PAGE 02-086

02-086-0027

0032

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LOT 2 CACNE CAR WASH SUBD.

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192.5'

192.5'

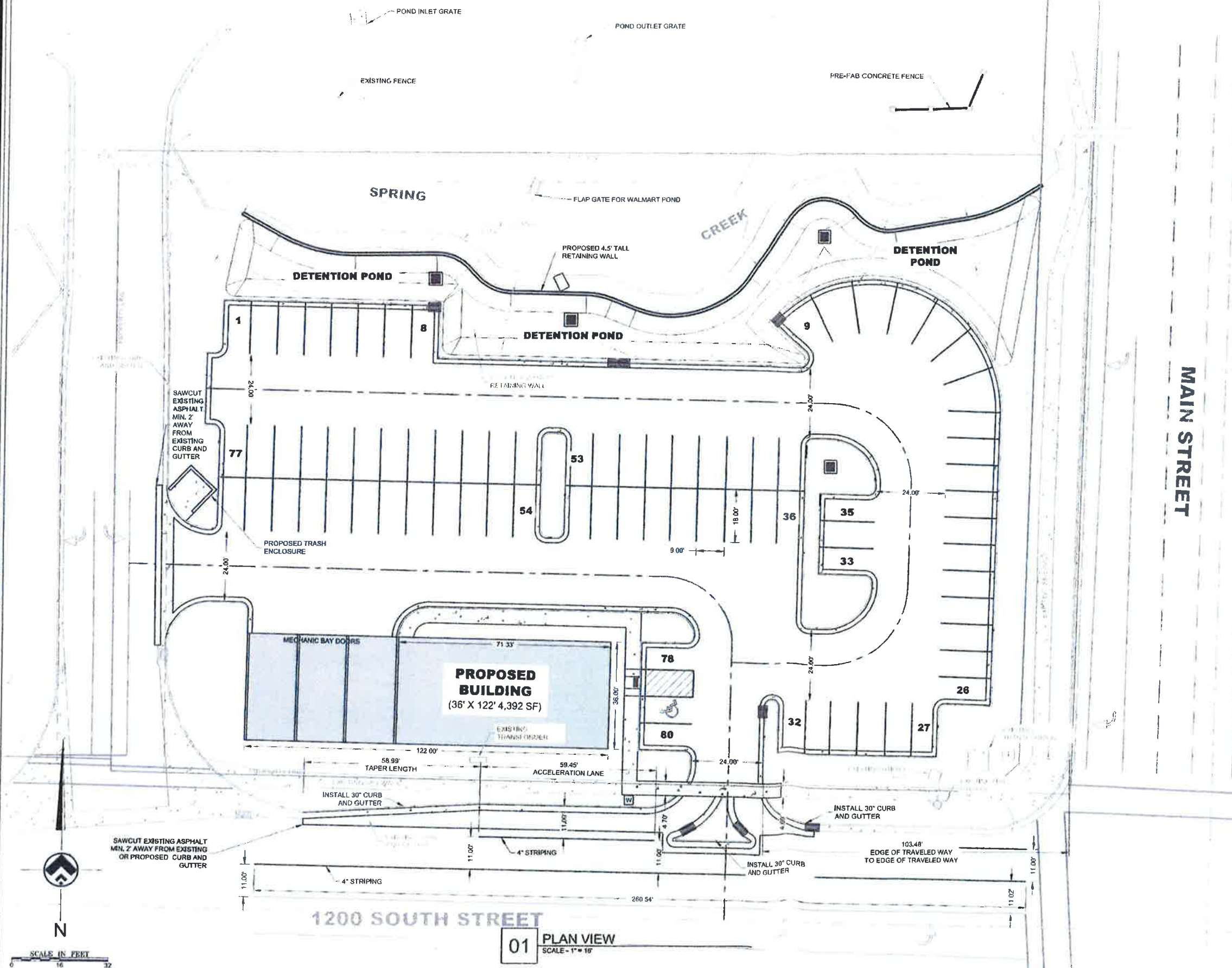
192.5'

192.5'

192.5'



C:\active\Projects\19051 Logan City Truck Ranch\04 Design\Drawings\Design\Plan Sheets\CS-Civil Site Planning



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ENGINEER / SURVEYOR INFORMATION:

**JOHNSON ENGINEERING**  
4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124  
www.johnsonengineeringinc.com  
Phone: 801-787-4569

CLIENT / OWNER INFORMATION:

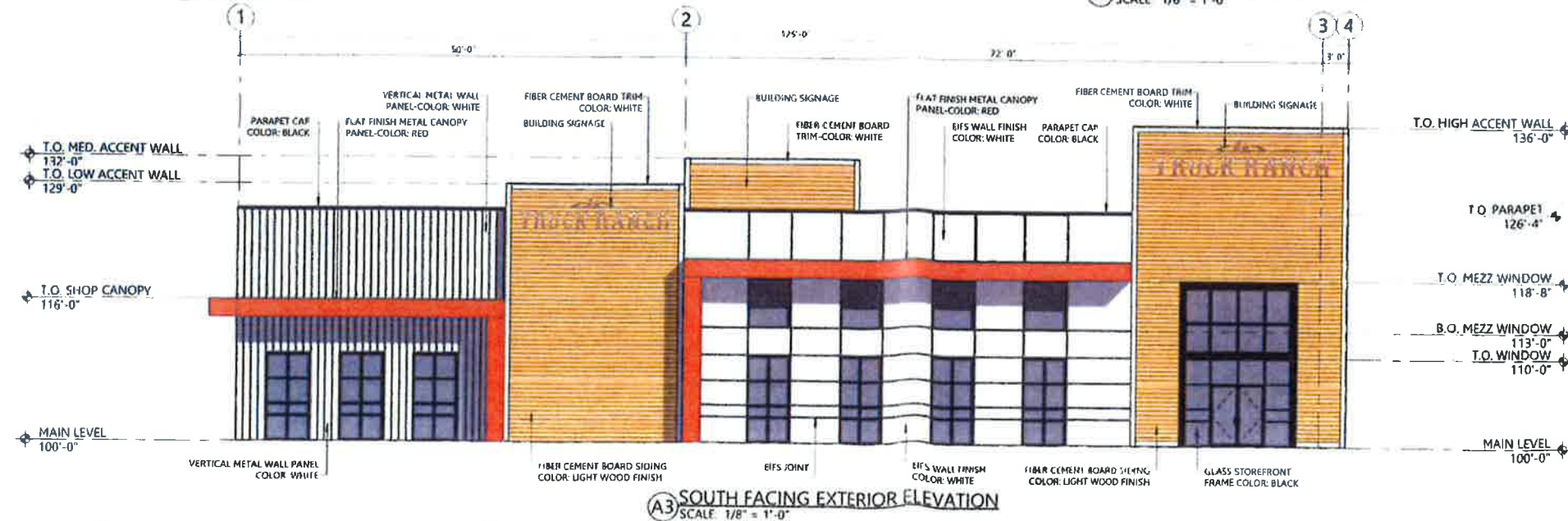
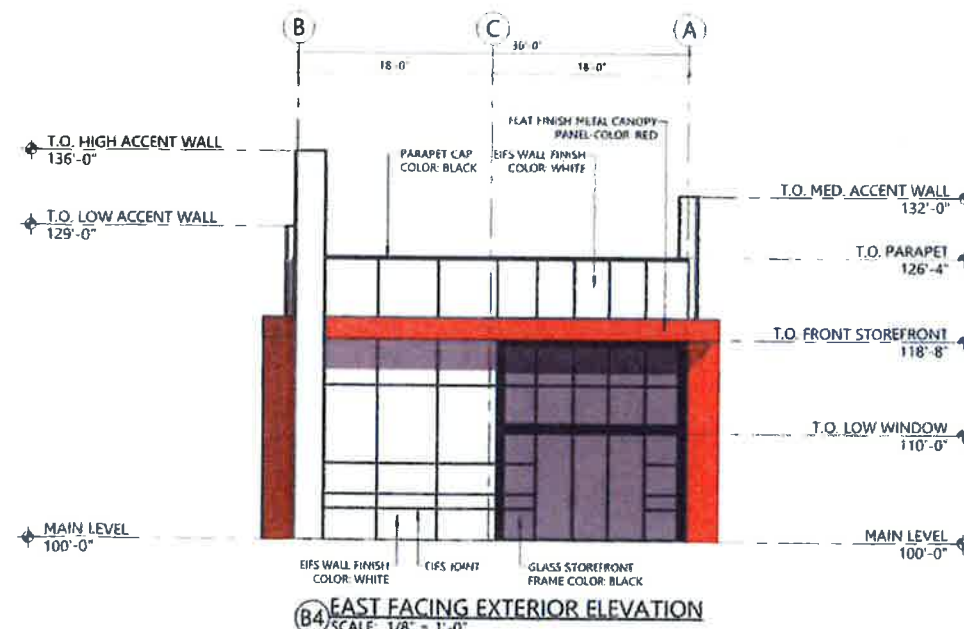
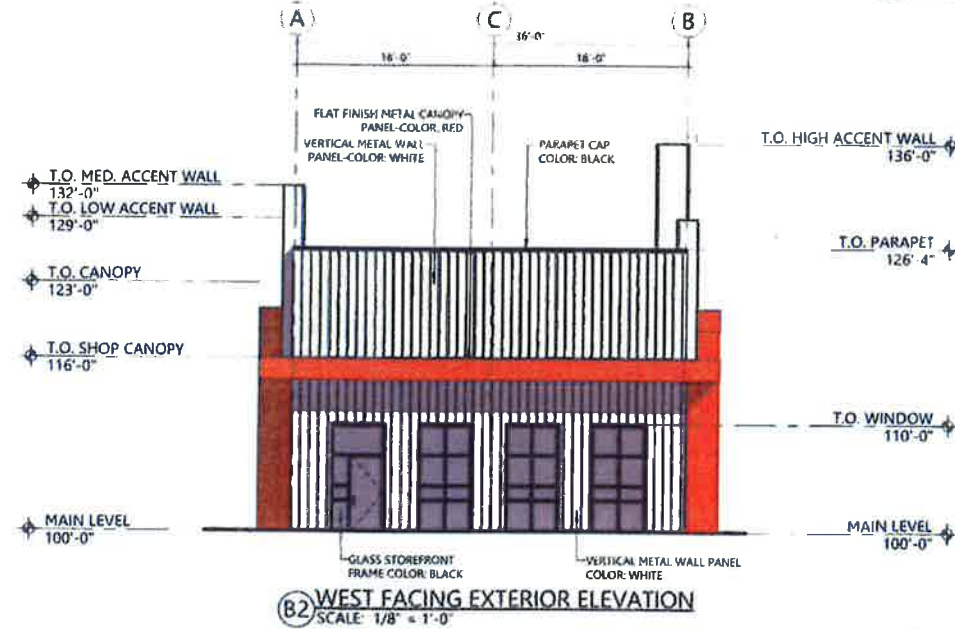
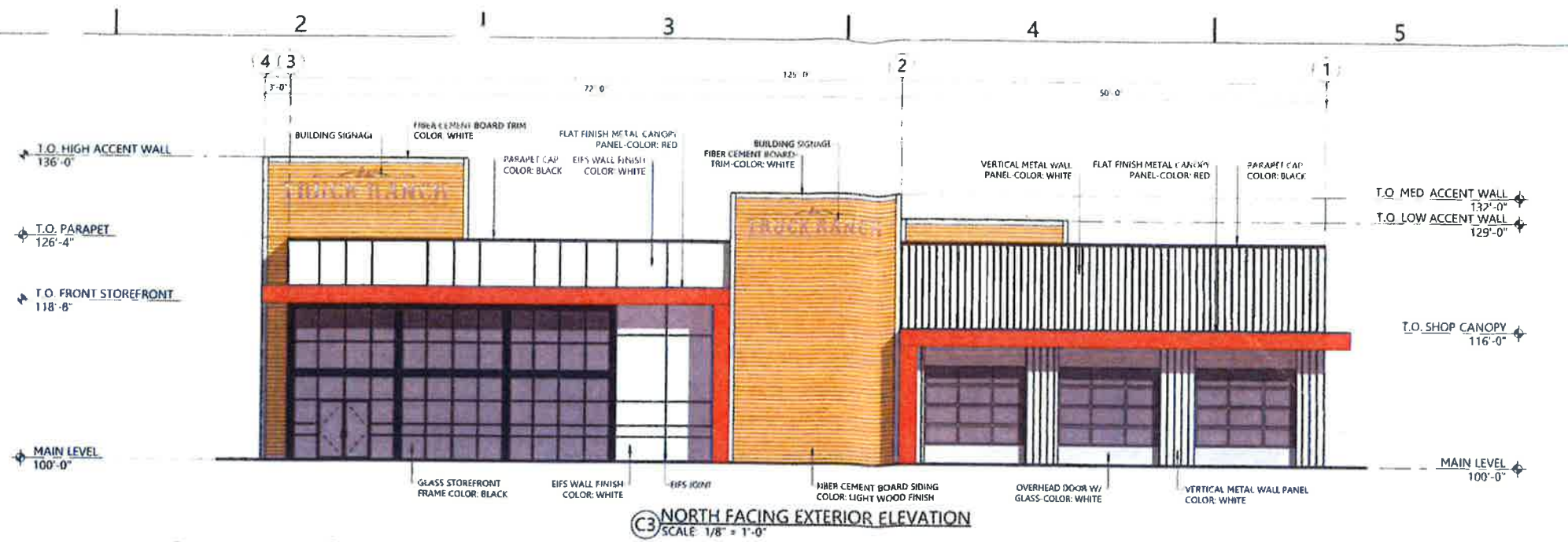
JADON WAGNER  
**TRUCK RANCH**  
1200 S. MAIN ST.  
LOGAN, UTAH 84321  
(801)-787-5311  
BETTER SERVICE BETTER PRICES BETTER TRUCKS

SHEET INFORMATION:

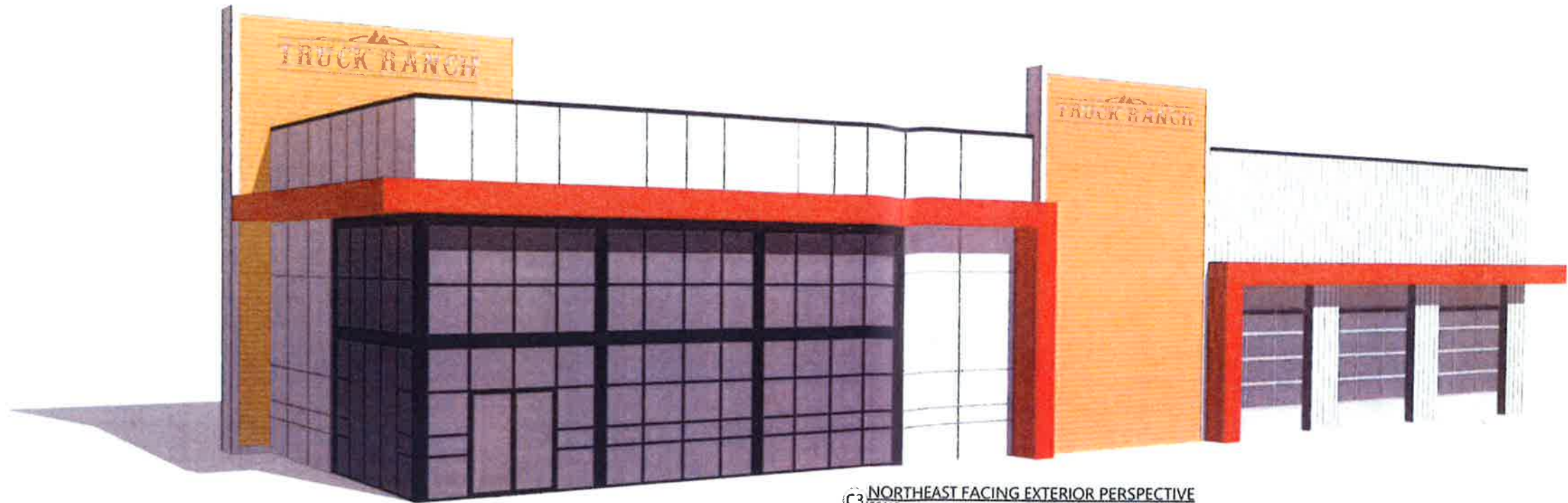
**SITE PLAN**  
**TRUCK RANCH LOGAN**  
LOGAN, CACHE COUNTY, UTAH

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:
DBJ	DBJ	DBJ	CS-100
PROJECT NO:	19-051		
DATE:	2020-02-05	02 03/06/20	PRELIMINARY
SCALE:	1":16'	01 01/13/20	CONCEPTUAL
		NO. DATE	REVISION









C3 NORTHEAST FACING EXTERIOR PERSPECTIVE  
SCALE



B4 SOUTHWEST FACING EXTERIOR PERSPECTIVE  
SCALE



A1 SOUTHEAST FACING EXTERIOR PERSPECTIVE  
SCALE

CARTWRIGHT

2120 NORTH MAIN STREET  
LOGAN, UT 84341  
T435 753 2650  
F435 753 2651  
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TRUCK RANCH LOGAN

LOGAN, UTAH

CARTWRIGHT PROJECT # 170075  
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DATE DESCRIPTION

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DESIGN REVIEW