



Project #20-016
CJ Goettsche Properties
Located at 1024 W 130 S

REPORT SUMMARY...

Project Name: CJ Goettsche Properties
Proponent / Owner: Courtney Wallace (Cartwright AEC, Inc)/CJ Goettsche Properties
Project Address: 1024 W 130 S
Request: Design Review Permit
Current Zoning: Commercial Services (CS)
Type of Action: Quasi-Judicial
Hearing Date: March 12, 2020
Submitted By: Aaron Smith, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for PC 20-016, CJ Goettsche Properties, for a 10,500 SF building at 1024 W 130 S, TIN 05-107-0009.

Current Land use adjoining the subject property

<i>North:</i>	CS: Commercial Uses/Undeveloped	<i>East:</i>	CS: Undeveloped
<i>South:</i>	CS: Commercial Uses	<i>West:</i>	CS: Commercial Uses

Project Proposal

This is a proposal for one (1) new industrial building on an approximately .81 acre (35,284 SF) site. The proposal development is on lot 9 of the Westfield Subdivision Phase 1. The site fronts 1000 W, and has access onto 130 S. In addition to the proposed buildings, site development includes new parking to the west of the building, sidewalks, and landscaping.

Design Review Permit

The LDC requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

Site Plan

The site plan includes the new 10,500 SF building fronting 1000 W and associated site development. The proposal includes a sidewalk along the east side of the building that connects to an existing sidewalk along 1000 W and a new sidewalk along 130 S. There is also a sidewalk along the west side of the building that connects to 130 S. Parking is proposed to the west of the building and consists of 22 stalls. Four roll-up doors are accessed via the parking area on the west side of the building. The site plan includes a future drive lane connection to the property to the west. As this parking area and the neighboring parking area both access only 130 S, this connection does not increase circulation options on the site and is unnecessary and may be converted to parking. Landscaping is proposed around the perimeter of the site, with a storm water detention area along the southern edge of the property. A dumpster enclosure is proposed in the southwest corner.

Setbacks

LDC requirements for setbacks in the CS zone are as follows (as measured from property lines):

Front: 10'
Side: 5'
Rear: 10'
Parking Side/Rear: 5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (East):	24'
Side (South):	25'
Side (North):	17'
Rear (West):	73

Parking Side (North):	12'
Parking Side (South):	16'
Parking Rear (West):	5'

As proposed, the project complies with the requirements in the LDC.

Access & Circulation

The site's vehicle access is from 130 S. 130 S connects throughout the subdivision and onto 1000 W. Pedestrian connections are made to both 1000 W and 130 S. As proposed, the project complies with the requirements in the LDC.

Parking

The buildings are designed to be flexible in use to accommodate various tenants. The proposed uses for the space range from office space to industrial uses. An approximate space breakdown for the building is 3,500 SF of office space (end units) and 7,000 SF of industrial service space (roll-up door units). For these uses the LDC requires one stall per every 300 SF of office space, and one stall per every 1,000 SF of industrial service space. Based on the proposed uses, 12 parking stalls for office use and 7 parking stalls for industrial service use would be required (19 total parking stalls). One (1) bike rack would also be required. The site plan includes 22 parking stalls, which is a ratio of one stall per 477 SF. As conditioned, with a bike rack, the project complies with the requirements in the LDC.

Open Space Area

The LDC requires 10% open space and an additional 10% useable outdoor space in the CS zone. The LDC generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways. The project area (35,284 SF) would require 3,528 SF of both open space and usable outdoor space for a total of 7,056 SF. The proposal includes conceptual open space and usable outdoor areas, and measures approximately 12,750 SF. Final measurement of open space and usable outdoor space is completed by staff with the submission of the landscaping plan with the building permit. As conditioned, with a landscaping plan, the project complies with the requirements in the LDC.

Landscaping

The LDC requires minimum plant material for overall visual aesthetics, ecology, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land. For the .81-acre project site, 16 trees and 40 shrubs, flowers and ornamental plants are required. Plant material is also required to be planted around the perimeter of the building where feasible. A variety of plant species are required, and 25% of the plant material is required to be evergreen species. As conditioned, with a landscaping plan, the project complies with the requirements of the LDC.

Lighting

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet, and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright.

Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

Building Design

The LDC standards for the CS zone requires that building design be compatible with surrounding uses. The proposed building is metal clad with a flat roof. The CS standards require minimal building form features to break-up building mass and scale. The LDC states that blank walls greater than 40' are not permitted along facades visible from a public street, and that two methods must be used to create interest and reduce scale. Methods mentioned in the code include staggering of vertical walls, recessing openings, providing upper-level roof overhangs, using deep score lines at construction joints, contrasting compatible building materials, and using horizontal bands of compatible colors. The proposed building provides variety by changes in metal panel material color, orientation, and texture; horizontal banding; breaks for windows and doors; changes in roof height; and canopy covers. As proposed, all elevations comply with the requirements of the LDC.

Ground floor entrances that are visible from the street are required to have an off-set of at least 4' in depth so that the entrance is easily discernable. As conditioned, with minimum entrance off-set for pedestrian entrances along the east façade, the project complies with the requirements in the LDC.

Transparency

Transparency requirements for the CS zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed Sides):	30%

Proposed transparency for the project are:

East Elevation (1000 W Frontage):	42%
North Elevation (130 S Exposed Side):	39%

As proposed, the project complies with the requirements in the LDC.

Building Height

Building height in the CS zone are limited to 38'. The highest point of the building is 20'. As proposed, the project complies with the requirements in the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were received from the following departments or agencies:

• Fire	• Water
• Engineering	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/29/2020 and the Utah Public Meeting website on 3/4/2020. Public notices were mailed to all property owners within 300 feet of the project site on 2/24/2020.

RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. 19 parking stalls and 1 bike rack are required.
3. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) A minimum of 3,528 SF of both open space and usable outdoor space, for a total of 7,056 SF, shall be provided
 - b) A total of 16 trees and 40 shrubs, flowers and ornamental plants shall be provided.
 - c) Minimum of 2 tree species are required.
 - d) A minimum of 25% of plant material shall be evergreen trees and shrubs.
 - e) Street trees shall be provided every thirty (30) feet on center and outside of site-distance triangles near intersections or driveway access points or otherwise determined by the City Forester.
 - f) Plant materials shall be placed around the perimeter of the buildings where feasible in a 3' minimum planting strip.
 - g) All landscaped areas shall have automatic sprinklers.
4. Any outdoor storage must conform with LDC §17.30.200.
5. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
6. Building entrances along the east elevation shall have a minimum off-set of 4'.
7. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
8. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
9. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. Fire—contact 716-9515**
 - i. The 10,500 sq. ft. building may require fire sprinklers and/or fire alarms, depending on the storage configuration and if the definition of High Piled Storage applies.
 - b. Engineering—contact 716-9153**
 - i. Existing site was designed for a 10 year 1 hour storm. City standards now require a 100 year 24 hour or 48 hour storm to be detained or retained on site. Provide onsite detention or retention for difference between the 2 storm events. Additionally, provide onsite retention of the 90% storm event utilizing low impact design methods
 - ii. With the proposed 6 units, a master meter can be utilized or individual meters can be used for water service. If a master meter, provide fixture flow analysis for entire building to ensure proper meter size is installed.
 - iii. Provide water shares for all indoor and outdoor usage.
 - iv. Any existing sewer or water services to property that are not used, shall be capped at the City main line.
 - v. Construct all missing sidewalk and finish construction of all park strips
 - c. Water/Cross Connection—contact 716-9627**
 - i. The buildings water main or mains (split for multiple tenants) must have a RP (ASSE1013) installed and tested for each.
 - ii. Landscape irrigation must have high hazard protection installed and tested if connected to Logan City water.
 - iii. Fire suppression systems must have proper backflow protection installed and tested.

- iv. All points of use of water must comply with 2018 IPC and Utah State Amendments before, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. As conditioned, the project conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The project provides adequate off-street parking.
5. 130 S provide access and is of adequate in size and design to sufficiently handle automobile traffic related to the land use.
6. The project meets the goals and objectives of the CS designation within the Logan General Plan.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

PC 20-016

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Type of Application (Check all that apply):			
<input checked="" type="checkbox"/> Design Review	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Zone Change
<input type="checkbox"/> Code Amendment	<input type="checkbox"/> Appeal	<input type="checkbox"/> Other	<input type="checkbox"/> Administrative Design Review
PROJECT NAME CJGOETTSCH PROPERTIES			
PROJECT ADDRESS 1024 W. 130 S. LOGAN, UTAH 84321		COUNTY PLAT TAX ID # 05 - 107 - 0009	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) COURTNEY WALLACE, PROJECT MANAGER CARTWRIGHT AEC, INC.		MAIN PHONE # 435-512-7643	
MAILING ADDRESS 2120 NORTH MAIN STREET	CITY NORTH LOGAN	STATE UTAH	ZIP 84341
EMAIL ADDRESS courtneyw@cartwright-aec.com			
PROPERTY OWNER OF RECORD (Must be listed) KRISTINE AND GARRET FRONK-CURRENT LAND OWNER - CJ GOETTSCH PROPERTIES-PURCHASING LAND OWNER		MAIN PHONE # - 303-887-7649	
MAILING ADDRESS CURRENT LAND OWNER: 2465 S 890 W - PURCHASING LAND OWNER: 17 S. 760 E.	CITY NIBLEY HYDE PARK	STATE UT UT	ZIP 84321 84318
EMAIL ADDRESS - corygoettsche@gmail.com			
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) CONSTRUCTION OF (1) NEW METAL BUILDING IN THE WESTFIELD SUBDIVISION PHASE 1 LOCATED AT 1024 W. 130 S. THE BUILDING WILL BE A MIXED USE BUILDING, SPLIT INTO (6) EQUAL SPACES. THE BUILDING WILL BE USED FOR COMMERICAL OFFICE SPACE AND INDUSTRIAL BUSINESS/STORAGE PURPOSES. DESIGN OF BUILDINGS MATCH CURRENT LOOK AND LAYOUT OF EXISTING BUILDINGS IN THE AREA.		Total Lot Size (acres) 0.81 ACRES	
		Size of Proposed New Building (square feet) 10,500 SQ. FT.	
		Number of Proposed New Units/Lots 1	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -			
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 	

PART OF SEC. 32, T12N, R1E, SLM
ALSO, PART OF LOT 1, BLOCK 26,
PLAT "E", LOGAN FARM SURVEY
LOGAN CITY, CACHE COUNTY, UTAH

SCALE 1" = 60 FEET



CARTWRIGHT
ARCHITECTS & ENGINEERS

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CJGOETTSCHKE PROPERTIES

1024 W. 130 S. LOGAN, UT 84321

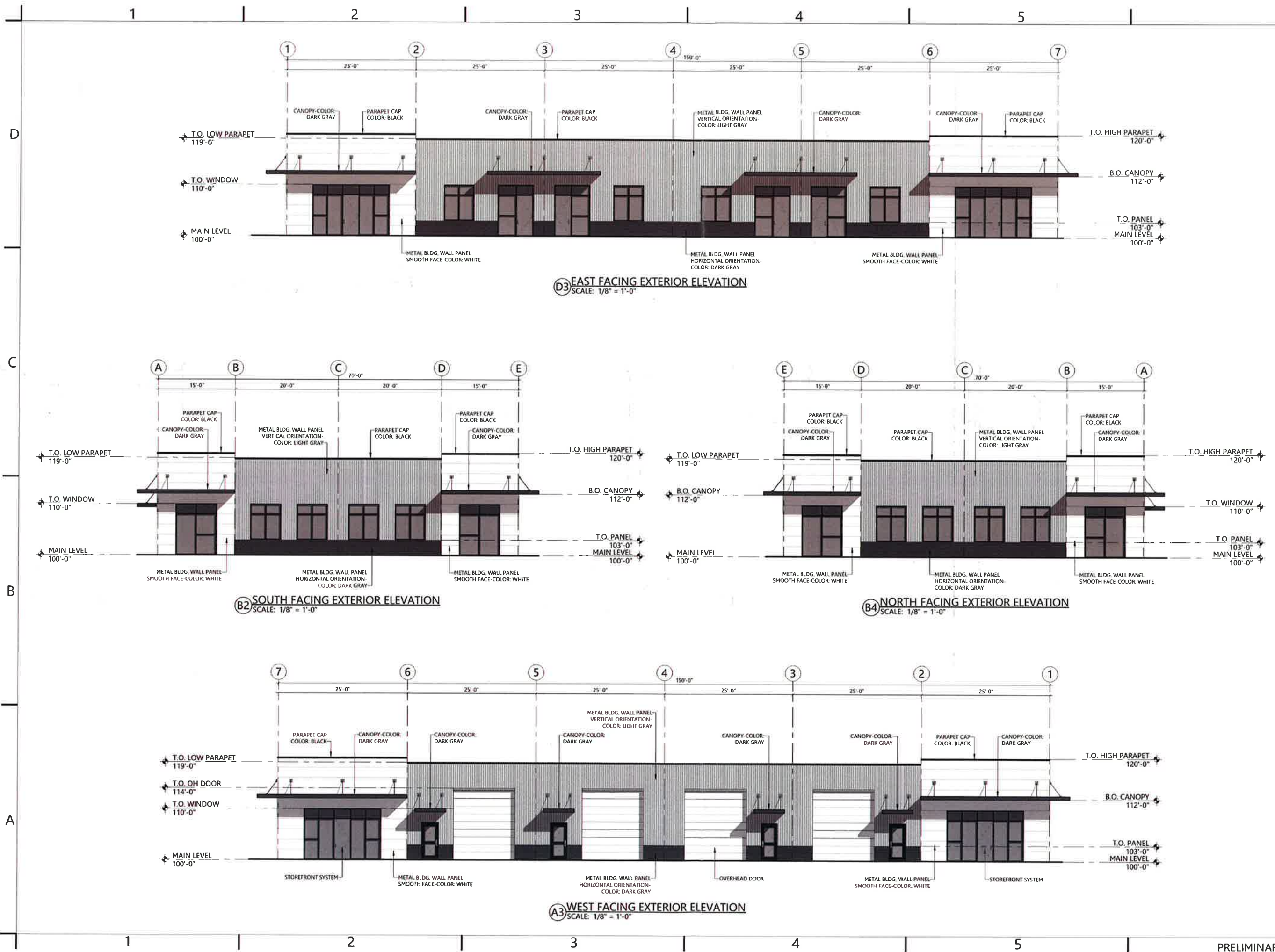
CARTWRIGHT PROJECT #	
DATE:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	
REVISIONS	
DATE	DESCRIPTION

SITE PLAN

AS101

PRELIMINARY

27/07/2020 9:34:54 AM



CARTWRIGHT PROJECT #	
DATE:	
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	

REVISIONS	
DATE	DESCRIPTION



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ARCHITECTS & ENGINEERS

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CJGOETTSCHKE PROPERTIES

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CARTWRIGHT PROJECT #
DATE:
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APPROVED BY:

REVISIONS	
DATE	DESCRIPTION

PERSPECTIVE
ELEVATIONS

A202

PRELIMINARY