



Project #20-015
Bruno's Alpine Apartments
Located at approximately 674 East 700 North

REPORT SUMMARY...

Project Name: Bruno's Alpine Apartments
Proponent / Owner: Center Street Architects / Rinchey Johnson Real Estate LLC
Project Address: 674 East 700 North
Request: Design Review Permit
Current Zoning: Campus Residential (CR)
Type of Action: Quasi-Judicial
Hearing Date: March 12, 2020
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #20-015, Bruno's Alpine Apartments, in the Campus Residential (CR) zone located at approximately 674 East 700 North, TIN #06-052-0018; -0019.

Current Land use adjoining the subject property

<i>North:</i>	CR: Residential Uses	<i>East:</i>	CR: Residential Uses
<i>South:</i>	CR: Residential Uses	<i>West:</i>	CR: Residential Uses

Project Proposal

This proposal includes the demolition of three (3) existing residential structures and the construction of four (4) new multi-family student housing structures. The proposed three-story buildings all have one unit per floor for a total 15 dwelling units. 12 of the units will have three bedrooms and 3 of the units will have four bedrooms for a total of 48 bedrooms. The proposal includes a 50-stall surface parking lot and landscaping areas throughout the site. This corner property, which slopes from east to west, is proposed with vehicular access from 700 North approximately 85 feet from the intersection of Hillside Street.

Land Use & Density

The Land Development Code (LDC) 17.07.110 permits both residential density at no more than 40 dwelling units per acre or no more than 240 occupants per acre with a Conditional Use Permit in the CR zone. Up to six (6) occupants per dwelling unit (no more than two (2) per bedroom) may be permitted in the CR zone.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the CR zone are as follows (as measured from property lines):

Front: 10'
Side: 8'
Rear: 10'
Parking (front): 10'
Parking (side/rear): 5'

The following setbacks are proposed (as measured from property lines):

Front (north): 10'
Side (east): 10'
Side (west): 10'
Rear (south): 22'

Parking (front):	10'
Parking (side/rear):	2'

As proposed, a portion of the rear parking lot on the west side, two parallel parking stalls are shown with a two-foot setback to the property line. As conditioned with parking setbacks adjusted to meet minimum standards, the project meets the requirements in the LDC.

Lot Coverage & Building Frontage

The LDC 17.7.110 establishes a maximum lot coverage of 60% (building(s) footprint in relation to overall lot size) and a minimum building frontage of 75% (percentage of building width to overall lot width at front setback) in the CR zone. The submitted project shows a lot coverage of 15% and a building frontage of 55%. As submitted the lot coverage complies with the LDC but the frontage is 20% below the minimum. As conditioned with building frontage compliance, the project meets the requirements in the LDC.

Parking Requirements

The LDC 17.07.110 requires 1 parking stall per occupant in the CR zone. The application indicates that there will be 48 beds and 50 parking stalls, meeting the minimum parking requirement. The LDC 17.31.040 requires bike racks for multi-family student housing projects. For a project of this size, bike racks would need to accommodate 24 bicycles. No bike racks are shown with the proposal. As conditioned with parking stalls tied to maximum occupancy and additional bike racks, the proposed project meets the requirements in the LDC.

Building Design, Site Layout & Pedestrian Circulation

The LDC 17.09.040 requires multi-family buildings to have minimum variations, interesting façade design, a mix of materials and articulation for aesthetically pleasing projects. The code requires building orientation that creates inviting architecture from the adjacent street, surface parking lots located in subordinate locations and prominent and convenient pedestrian circulation for better walkability. The proposed project shows buildings along Hillcrest Circle oriented towards the street with convenient sidewalk connections, thoughtful façade design and generous articulation. The building along 700 North is oriented towards the parking lot in the rear with less-convenient sidewalk connections that lead around the building and to the street. This building contains similar façade design, materials and articulation as the buildings along Hillcrest Circle but without the entryway. The code does allow deviations in building orientation when it is considered impractical to orient the building to the street if mitigating actions like strategic landscaping and inviting articulations are proposed. The Planning Commission will need to determine if building orientation towards the street is considered impractical in this circumstance. As conditioned with practicality considerations, the project meets the building design, site layout and pedestrian circulations requirements in the LDC.

Building Heights

With the exception of properties located adjacent to NR zoning, the CR zone allows building heights up to 55'. This site is not adjacent to NR zones and would be allowed full building height allowances. The proposed buildings are built into the natural topography of the site, exposing three stories on the downhill side and two-stories on the uphill side. Proposed building height ranges from 23'-39' and are in compliance with the LDC as proposed.

Open Space

The LDC 17.07.110 requires 20% open space and an additional 10% useable outdoor space in the CR zone. The LDC 17.35 generally describes open space as vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 0.70-acre property would be required 6,098 SF of open space and 3,049 SF of outdoor space for a combined total 9,147 SF of open area. The proposed conceptual landscape plan shows approximately 12,100 SF of open space meeting the requirement in the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land for multi-family residential projects. The LDC also requires minimum perimeter and interior parking lot landscaping to reduce the visual and environmental impacts of asphalt parking lots. 18 SF of landscaping shall be provided on the interior or perimeter of the surface parking lot for every parking stall contained within. As conditioned with a detailed landscaping plan meeting minimum open space area, plant numbers and parking lot landscaping, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/29/20, posted on the City's website and the Utah Public Meeting website on 3/4/20, and mailed to property owners within 300 feet on 2/24/20.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. This permit authorizes 15 apartments and a total of 48 bedrooms. 46 of the total bedrooms shall be single-occupancy bedrooms unless additional parking is secured and written permission from Logan City is granted allowing additional double-occupancy bedrooms. In no case shall occupancy exceed more than six (6) individuals per apartment and no more than two (2) individuals per bedroom.
3. Side and rear parking lot setbacks shall be a minimum of 5 feet along the perimeter of the surface parking lot.
4. The comprehensive building frontage along the streets shall be increased from 55% to 75%.
5. The project shall provide one parking stall per occupant. A lockable bike rack shall be installed with a capacity of 24 bikes.
6. Unless deemed impractical by the Planning Commission, the building along 700 North shall have an entrance installed on the street-facing façade with a convenient sidewalk connection to the street.
7. All pedestrian entrances shall have weather protection provided above.

8. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 9,147 SF.
 - b) For the CR zone, at least 20 trees and 50 shrubs/perennials per acre of project area shall be provided.
 - c) 18 SF of interior/perimeter parking lot landscaping shall be provided per every parking stall contained within the surface parking area (900 SF total for a 50-stall parking lot).
 - d) Street trees shall be provided where they currently do not exist at every 30 feet on center along 700 North.
9. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
10. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
11. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
12. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
13. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
14. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
15. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Fire hydrants, fire sprinkler and fire alarm systems are required.
 - b. *Engineering —contact 716-9160*
 - Provide water shares for both indoor and outdoor uses for new development. If shares are not available an In-Lieu fee can be paid to City for the water shares required.
 - Property Line Adjustment will need to be completed along with PUE vacations (if they exist on property lines to be adjusted) with the development.
 - Obtain a Logan City approved boundary line adjustment for County Recorder boundary line adjustment made in the past near the southwest border and not approved by the City.
 - Provide a 10' PUE on all frontage property lines and 5' on all interior property lines.
 - Provide fixture flow analysis for building to verify required meter size.
 - Provide sewer flow from building to verify minimum size of sewer lateral required.
 - City to verify capacity of existing 8" sewer main to accept the additional flow from this development.
 - Cap at the City Utility Main all existing water and sewer service lines which will not be used with the new development.
 - Due to the proximity of the upper deck access to the intersection of 700 North and Hillside Circle, the City reserves the right at any time in the future to require egress to 700 North to be right turn only.
 - Site storm water shall be designed to meet current City design standards. This shall include the retention of the 90% storm event onsite through the use of Low Impact Design methods.
 - Any foundation/groundwater discharge to City right of way shall be piped to the nearest canal or piping to canal.
 - Provide a Private Water Utility agreement for all private water lines connected to building (Fire Line).

- All floor drains from indoor parking area shall be discharged to the sanitary sewer system. Verify with environmental department for all pretreatment requirements for this discharge.
- Upsize existing City water mains as necessary to meet fire hydrant flows and locations as specified by the City Fire Marshall
- City is currently finishing a bid package for sidewalk and going to bid within the next 2-3 weeks. Currently curb gutter and sidewalk along this development has been omitted from this bid package. Developer shall provide sidewalk (permanent or temporary) through development prior to August 15, 2020 to connect City sidewalk for pedestrians when school starts at USU.
- City's current design does not include radius corners accessing Hillside Circle. Plan is to treat this as a drive way approach. This needs to be coordinated with developer. City plans do not include a sidewalk on Hillside Circle, need to decide what is to be done as a City.

c. Water—contact 716-9627

- The buildings water mains need to have their own DC (ASSE1015) backflow assemblies installed and tested on the water mains as they enter the buildings before any branch offs or connections. This is for containment protection only (Cities protection only). Points of use protection will also be needed (occupants protection).
- All landscape irrigation system's fed from Logan City water must have a high hazard backflow assembly installed and tested. No dual source feed systems allowed without Logan Cities prior approval and installation criteria (tested RP & swing joint) is met and inspection is passed.
All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
- Will this be a 13-D system? If so a DC (ASSE1015) on the main as it enters the building minimum.
- All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides required off-street parking.
4. The project meets the goals and objectives of the CR designation within the Logan General Plan by providing student housing near the University.
5. The proposed project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 700 North provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

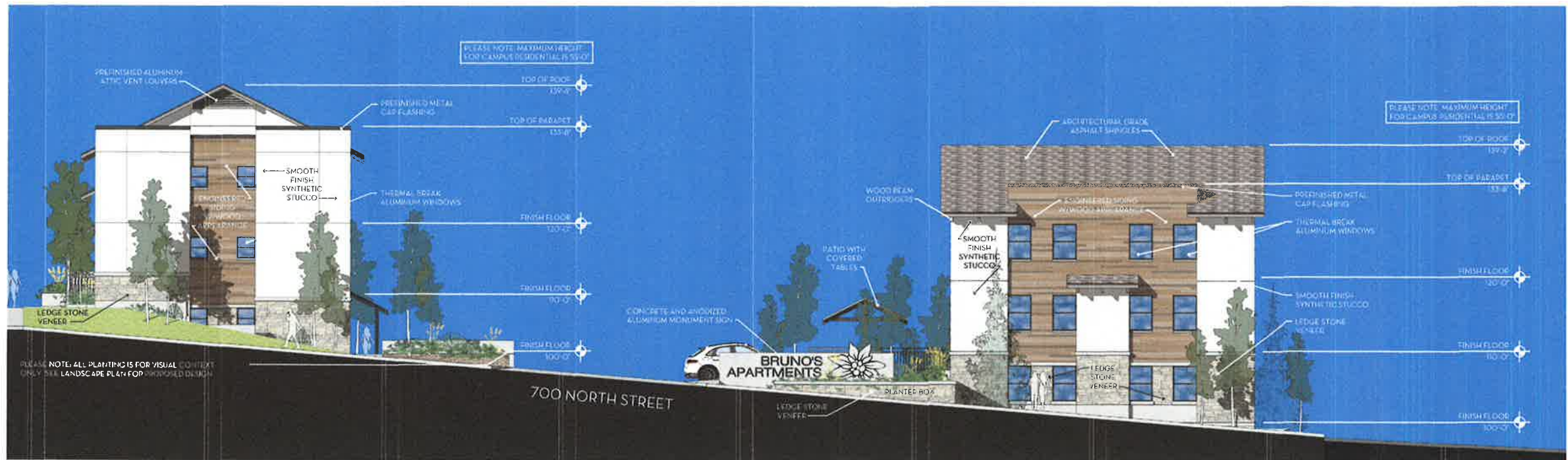
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 2-10-20	Received By	Scheduled Meeting Date Mar. 12, 2020	Zone CR	Application Number PC 20-015
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME Alpine BRUNO'S APARTMENTS, STUDENT HOUSING				
PROJECT ADDRESS 674 [AST 700 NORTH LOGAN, UTAH 84321]			COUNTY PLAT TAX ID # 06 -- 052 -- 0018 06 052 0019	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) CENTER STREET ARCHITECTS			MAIN PHONE # 435.232.8662	
MAILING ADDRESS 170 EAST CENTER STREET		CITY LOGAN	STATE UTAH	ZIP 84321
EMAIL ADDRESS christian@centerstreetarch.com				
PROPERTY OWNER OF RECORD (Must be listed) RINCHEY JOHNSON REAL ESTATE LLC			MAIN PHONE # 435.881.4334	
MAILING ADDRESS 3414 NORTH 1800 EAST		CITY NORTH LOGAN, UTAH	STATE	ZIP 84341
EMAIL ADDRESS natwhitt@gmail.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) FIVE PROPOSED 3 STORY STUDENT HOUSING UNITS. THE LARGER BUILDING CONTAINING ONE UNIT PER FLOOR WITH FOUR BEDROOMS IN EACH UNIT. THE FOUR SMALLER BUILDINGS CONTAININ ONE UNIT PER FLOOR WITH THREE BEDROOMS PER UNIT. TOTAL OF 15 APARTMENT UNITS WITH 48 TOTAL BEDS. 48 PARKING STALLS REQUIRED WITH 50 PARKING STALLS PROVIDED.			Total Lot Size (acres) 0.7 ACRES COMBINED	
			Size of Proposed New Building s (square feet) (1) LARGE BUILDING 3,975 S.F. (4) SMALL BUILDINGS 2,985 S.F. TOTAL 15,915 SQUARE FEET	
			Number of Proposed New Units/Lots FIVE PROPOSED LOTS WITH ONE COMMON LOT 15 APARTMENT UNITS	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		



C1 NORTH ELEVATION (700 NORTH STREET)

SCALE: 1/16" = 1'-0"



A1 EAST ELEVATION (HILLSIDE CIRCLE DRIVE)

SCALE: 1/16" = 1'-0"

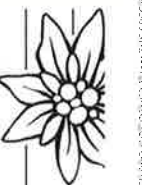


CENTER STREET ARCHITECTS

170 E. CENTER STREET
LOGAN, UTAH 84321
CENTERSTREETARCH.COM



NELLE DEITENHAUER 453.870.2009
CHRISTIAN WILSON 435.232.5602



TITLE	EAST AND NORTH ELEVATIONS
PROJECT	BRUNO'S APARTMENTS STUDENT HOUSING
CLIENT	DR. NATHAN D. WHITTAKER, MD
ADDRESS	674 EAST 700 NORTH, LOGAN, UTAH 84321

REVISIONS

NO.	DATE	DESCRIPTION

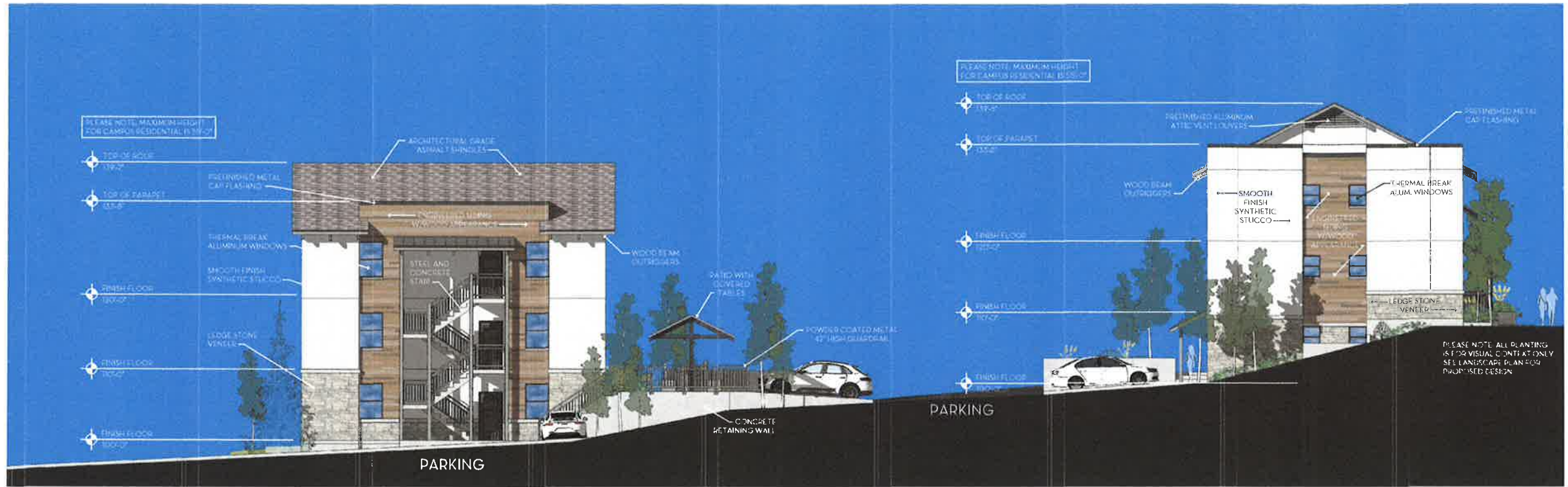
DATE: 02.05.2020
JOB NO.: 19144
SCALE: 1/16" = 1'-0"
DRAWN: JCW

SHEET
A001

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D

C



C1 SOUTH ELEVATION

SCALE: 1/16" = 1'-0"

B

A



A1 WEST ELEVATION

SCALE: 1/16" = 1'-0"



CENTER STREET
ARCHITECTS

170 E. CENTER STREET
LOGAN, UTAH 84321
CENTERSTREETARCH.COM



MELLE DETTENMAIER 435.890.2009
CHRISTIAN WILSON 435.232.8662



TITLE	SOUTH AND WEST ELEVATIONS
PROJECT	BRUNO'S APARTMENTS STUDENT HOUSING
CLIENT	DR. NATHAN D. WHITTAKER, MD
ADDRESS	674 EAST 700 NORTH, LOGAN, UTAH 84321

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 02.05.2020
JOB NO: 19144
SCALE: 1/16" = 1'-0"
DRAWN: JCW

SHEET

A002



C1 AERIAL PARKING PERSPECTIVE

SCALE: 1/16" = 1'-0"



A1 STREET CORNER PERSPECTIVE

SCALE: NONE



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ARCHITECTS
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LOGAN, UTAH 84321
CENTERSTREETARCH.COM



MELLE DETTENMAIER 453.690.2009
CHRISTIAN WILSON 435.232.8462



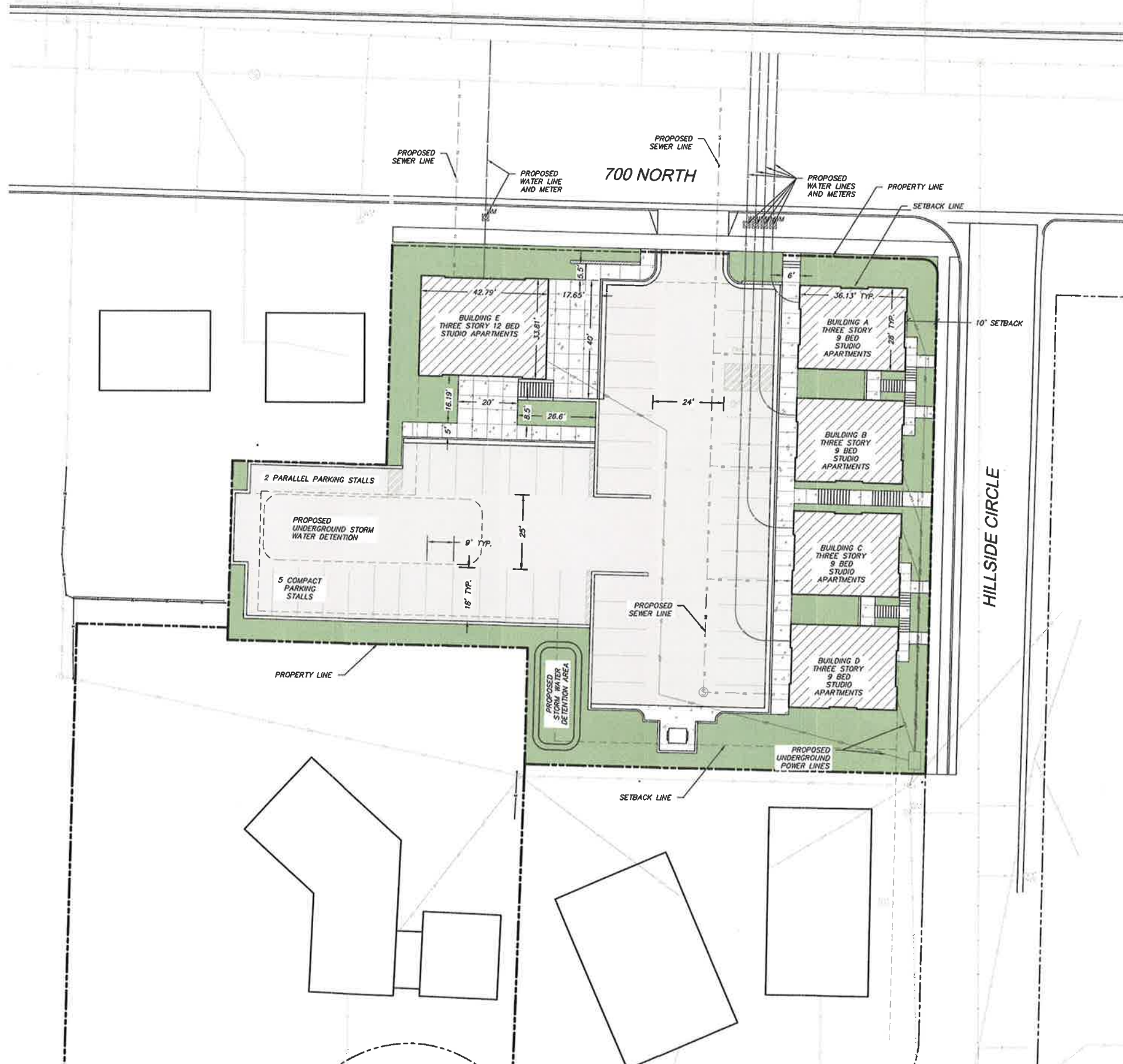
TITLE	STREET CORNER AND AERIAL PARKING PERSPECTIVES		
	PROJECT	BRUNO'S APARTMENTS STUDENT HOUSING	
	CLIENT	DR. NATHAN D. WHITTAKER, MD	
	ADDRESS	674 EAST 700 NORTH, LOGAN, UTAH 84321	

REVISIONS		
NO.	DATE	DESCRIPTION

DATE: 02.05.2020
JOB NO: 19144
SCALE: 1/16"=0'
DRAWN: JCW

SHEET
A003

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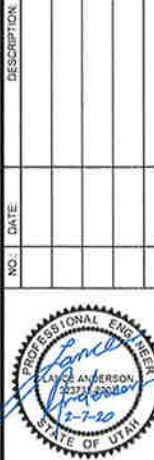
LEGEND

- PROPERTY LINE
- BUILDING SETBACK LINE
- EDGE OF CONCRETE
- CONCRETE SCORING
- WATER LINE
- SEWER LINE
- UNDERGROUND POWER LINE
- UNDERGROUND STORM WATER RETENTION
- ASPHALT
- PROPOSED BUILDINGS
- CONCRETE
- LANDSCAPING

DESIGN STATS

TOTAL AREA: 33,117 SF/.76 AC
ZONE: CAMPUS RESIDENTIAL
PARKING REQUIREMENTS: 1 STALL PER OCCUPANT OR 48
OPEN SPACE REQUIREMENTS: 30%

PARKING PROVIDED: 50
OPEN SPACE SHOWN: 12,100 SF/.30 AC - 36.5%



DESIGN REVIEW

BRUNO'S STUDIOS
700 N HILLSIDE CIRCLE
LOGAN, UTAH 84321



Cache & Landmark
Engineers
Surveyors
Planners

95 Golf Course Rd.
Suite 101
Logan, UT 84321
435.713.0099

DATE:
7 FEBRUARY 2020

SCALE:
1" = 20'

DESIGN BY:
J. JENSEN

CHECKED BY:
L. ANDERSON

APPROVED BY:
L. ANDERSON

PROJECT NUMBER:
19047WTK

SHEET:
1/1



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	QTY
	ACER GINNALA	AMUR MAPLE	4
	MALUS X 'JFS KW213MX'	RASPBERRY SPEAR CRABAPPLE	9
	PINUS LEUCODERMIS 'EMERALD ARROW'	EMERALD ARROW BOSNIAN PINE	7
	QUERCUS BICOLOR 'BONNIE AND MIKE'	BEACON OAK	9
SHRUBS	BOTANICAL NAME	COMMON NAME	QTY
	CLETHRA ALNIFOLIA 'CALEB'	VANILLA SPICE	9
	EUONYMUS FORTUNEI 'EMERALD GAIETY' TM	EMERALD GAIETY EUONYMUS	2
	FORSYTHIA X 'COURTASOL' TM	GOLD TIDE FORSYTHIA	7
	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	BLUE OAT GRASS	57
	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	15
	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	8
	PINUS MUGO 'SHERWOOD COMPACT'	SHERWOOD COMPACT MUGO PINE	4
	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN AMBER SUMAC	8
PERENNIAL	BOTANICAL NAME	COMMON NAME	QTY
	HEUCHERA MICRANTHA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	24
	HOSTA X 'ABIQUA DRINKING GOURD'	PLANTAIN LILY	6
	RUDBECKIA HIRTA 'CHEROKEE SUNSET'	GLORIOSA DAISY	52
GROUND COVERS	BOTANICAL NAME	COMMON NAME	QTY
	MULCH STONE 3/4" CHAMPLAIN CRUSHED ROCK	STONE MULCH	702 SF
	MULCH STONE 3" SOUTH TOWN	STONE MULCH	1,255 SF
	TURF SOD LOCAL DROUGHT TOLERANT	SOD	4,761 SF

PLANTING KEYED NOTES

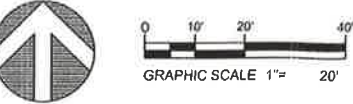
1. CONSTRUCT 8" MOWCURB, SEE DETAIL 6, L101

PLANTING GENERAL NOTES

1. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY AS DEFINED IN ANSI Z 60 AMERICAN STANDARDS FOR NURSERY STOCK.
2. AMENDED PLANT BACKFILL MATERIAL SHALL BE A MIXTURE OF THREE (3) PARTS TOPSOIL TO ONE (1) PART PEAT MOSS AND SHALL BE MIXED ON-SITE.
3. ALL PLANTINGS SHALL RECEIVE TWENTY-ONE (21) GRAM TABLETS OF "AGRIFORM" PLANT FERTILIZER (OR APPROVED EQUAL) TO BE PLACED AS SHOWN IN DETAILS AND PER MANUFACTURERS RECOMMENDATIONS.
4. TREES PLANTED ADJACENT TO PUBLIC ROADS AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED TO SEVEN (7) FEET HEIGHT CLEARANCE ABOVE PAVEMENT.
5. CONTRACTOR TO PROVIDE AUTOMATIC IRRIGATION SYSTEM WITH BACKFLOW PREVENTER FOR ALL LANDSCAPE AREAS - BACK FLOW SHALL MEET ALL CURRENT STATE AND LOCAL CODES FOR HIGH HAZARD BACKFLOW PREVENTION - CONTACT JESSE SHARP AT LOGAN CITY FOR MORE INFORMATION (435) 716-9827.

LANDSCAPE PLAN

SCALE: 1" = 20'



DESCRIPTION

NO.

DATE

LANDSCAPE PLAN

BRUNO'S STUDIOS

700 N HILLSIDE CIRCLE

LOGAN, UTAH 84321

C.L.

Cache • Landmark

Engineers

Surveyors

Planners

95 Golf Course Rd.

Suite 101

Logan, UT 84321

435.713.0099

DATE:
7 FEBRUARY 2020

SCALE:
1" = 20'

DESIGN BY:
J. MAUGHAN

CHECKED BY:
K. KVARFORDT

APPROVED BY:
L. ANDERSON

PROJECT NUMBER:
19047WTK

SHEET:
L-1.0

PT. NE⁴ Section 34 Township 12 North Range 1 East

06-052

Scale 1 Inch=50 FEET

TAX UNIT 27

BLK. 3 PLAT "E" LOGAN CITY SVY.

SEE 05-039

700 NORTH

