



**Project #20-010
Quayle Hollow Subdivision
Located at 1800 N 200 W**

REPORT SUMMARY...

Project Name: Quayle Hollow Subdivision
Proponent/Owner: Nic Porter / Quayle, Dean W & Luan W TRS
Project Address: Approximately 1800 N 200 W
Request: Subdivision Permit
Current Zoning: NR-6
Date of Hearing: February 27, 2020
Type of Action: Quasi-Judicial
Submitted By: Aaron Smith, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission require a resubmittal of the Preliminary Plat that substantially complies with the Recommended Conditions of Approval and all applicable Logan City Subdivision standards prior to any Planning Commission action on a Subdivision Permit for Project #20-010, Quayle Hollow Subdivision, for 27 new building lots located at approximately 1800 N 200 W; TIN #04-080-0032.

Land use adjoining the subject property

<i>North:</i>	NR-6: Undeveloped	<i>East:</i>	NR-6: Single Family Residential
<i>South:</i>	NR-6/MR-12: Residential Uses	<i>West:</i>	NR-6 Single Family Residential

Subdivision Proposal

The applicant is proposing a subdivision of approximately 6.8 acres into 27 new single-family lots. The subdivision also includes one (1) .98 acres parcel with an existing single-family home, and three (3) open space parcels totaling .53 acres. The project area is zoned NR-6, as is all the surrounding block. The proposed subdivision is located to the southeast of the Quayle Meadows Subdivision, which was approved in 2016, and is currently in the first phase in development. The Quayle Meadows Subdivision was approved for 203 single family lots. The area around the proposed subdivision consists of single family homes and agricultural parcels.

Density & Lot Size

The NR-6 zoning district allows up to six (6) units per acre, a minimum lot size of 6,000 SF and a minimum lot width of 50'. The proposed subdivision has a gross density of 4.6 units per acre. New building lot sizes in the subdivision range from 6,014 SF to 7,395 SF, and lot widths vary between 60' and 69'. As conditioned, with the common areas being designated as not buildable, the subdivision meets density and lot size requirements in the LDC.

Setbacks

The LDC requirements for building setbacks in the NR-6 zone are as follows (as measured from property lines):

Front: 25'
 Side: 8'
 Rear: 10'

As new homes are proposed on individual lots, setbacks will be reviewed and approved by City staff prior to issuing a building permit. The existing single-family home lot complies with setback standards.

Structures

Building heights, both primary and accessory, lot coverage, driveway placement and widths, parking, façade variation and garages will all be reviewed and approved by city staff as per LDC NR-6 regulations when individual building permits are submitted. As proposed, the subdivision complies with the LDC.

Access & Streets

The proposed subdivision includes private streets. The primary street that connects through the subdivision, 300 W, connects to 1800 N to the south and the Quayle Meadows subdivision to the north. The subdivision includes additional streets 1880 N, 1840 N, and 250 W. All of the proposed private streets have 35' cross-sections based on the Private Street Cross Section found in the Logan City engineering standards. The proposed street has a 20' pavement width, a 2.5' mountable curb on both sides, and a 5' parkstrip and 5' sidewalk on one side.

While the LDC does permit private roads, the code specifies that all privately owned streets shall be designed, built, and maintained to the same standard as public streets. Staff finds that the proposed private street cross-section is inadequate for the proposed development. The proposed street cross-section, while found in the City's engineer standards, is intended to be used for small subdivision, such as flag lots, that have only one street connection and 8 or less units. The proposed street cross-section lacks amenities that are expected for residential street in a subdivision of this size, such as on-street parking and sidewalks along both sides of the street. For residential blocks, as proposed in this subdivision, the Logan City engineering standards and Transportation Master Plan specify a 60' street cross-sections. The residential cross-section standard includes two 11.5' traffic lanes, on-street parking, and an 8' parkstrip and 4' sidewalk on both sides of the road.

300 W is considered a gridded street and is required to have a 66' public right-of-way. The 66' standard road width will accommodate additional on-street parking. Both the 66' and 60' street cross-sections have precedent in the neighborhood. The adjacent Quayle Meadow Subdivision was approved with a 66' right-of-way for 400 W, and 1950 N; and 60' right-of-way on all other residential streets. Street cross sections in Quayle Meadow include at least 5' of sidewalks and a 6' parkstrips along all streets. While variation in this cross-section may be permitted by the Planning Commission, it is staff's position that at a minimum on-street parking on one side of the road, and parkstrips and sidewalks on both sides of the road should be required to create a residential street that will support access and mobility for residents and provide parking for guests in the neighborhood. Staff recommends resubmittal of the Preliminary Plat that address the street cross-section changes.

The LDC requires 3 points of connection for subdivisions greater than 20 lots. The subdivision proposes 2 points of connection. The 300 W 1800 N connection is required to be aligned with Kensington Street in Yorkshire Village across 1800 North to prevent left turn hazards. The 300 N connection through the Quayle Meadow Subdivision does not align with any proposed street within the approved subdivision. Because subsequent phases of the Quayle Meadows Subdivision will have to be adjusted to accommodate the connection, the applicant needs to provide documentation from the property owner that indicates their willingness to amend the Quayle Meadow project.

The proposed subdivision includes two road stubs that could later be turned into connections at the north and south ends of 250 W; however, the connection to the north interferes with a proposed church on the original Quayle Meadows Subdivision, and the stub to south dead ends into a backyard of a single-family home. The LDC required that street stubs align with existing, proposed, or planned streets outside of the development. Neither of the proposed stubs meet this alignment requirement. A subdivision can be approved with less than 3 connections where

physical conditions of the site or abutting properties preclude street connection. As conditioned, with a 3rd connection or a stub that aligns with an existing, proposed, or planned street outside the development, the project complies with the LDC.

Summary

The Recommended Conditions of Approval for the project will substantially alter the layout of the proposed subdivision, as streets must be widened and aligned. Staff recommends that the Planning Commission require a resubmittal of the Preliminary Plat that substantially complies with the recommended conditions and all applicable Logan City Subdivision standards prior to approval of the Subdivision Permit.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water/Cross Connection
• Engineering	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/15/2020 and the Utah Public Meeting website on 2/20/2020. Public notices were mailed to all property owners within 300 feet of the project site on 2/10/2020.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Subdivision Permit and are available in the Community Development Department.
2. Twenty-seven (27) new single-family lots, three (3) open space areas, and one (1) existing single-family home lot are approved with this subdivision permit.
3. All street cross-sections must provide on-street parking, and a minimum 5' sidewalk and 6' parkstrip on both sides of the street.
4. Street trees shall be provided on both sides of all streets every 30' on center.
5. Three (3) street connections shall be provided. A street stub may be provided to meet one of the connection requirements if it aligns with an existing, proposed, or planned street outside the development.
6. Agreement from the Quayle Meadow Subdivision shall be provided that demonstrates agreement to the proposed road alignment.
7. The open spaces shall be designated as not buildable on the final plat.
8. The final plat shall be recorded within one (1) year of this action, or comply with LDC 17.58 Expirations and Extensions of Time.
9. Prior to recording of a Final Plat or issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from the following departments indicating that their requirement has been satisfied:
 - a. **Fire —contact 716-9515**
 - i. Place hydrants within 600 feet of all buildable area of all lots.
 - b. **Engineering —contact 716-9153**
 - i. 300 West lays out as a gridded street per City Transportation Master Plan and as such shall be a 66' public road connecting to 1800 North. All other roads shall be 60' unless approved otherwise by planning commission.

- ii. Align 300 West with access (Kensington Street) in Yorkshire Village on 1800 North.
- iii. Provide water shares or an in-leu fee for increase water demand on City system.
- iv. Provide storm water detention/retention per Logan City storm water design standards. This shall include the full retention of the 90% storm event on site and the use low impact design methods for the retention of the 90% storm event.
- v. The minimum pavement section for this development shall be 3" of asphalt, 4" untreated base, and 12" of granular borrow. Provide a geotechnical report with the California Bearing ratio at subgrade of the pavement section, if less than 5 provide a engineered pavement section.
- vi. Provide CC&R's for HOA maintenance of storm water pond, swales, utility lines, roads, and any other items which are private.
- vii. Provide a storm water maintenance agreement.
- viii. Provide all private utility agreements required for all private utility lines.
- ix. Provide landscaping irrigation meter(s) for detention/retention ponds and open spaces separate from individual lots. These to be assigned to Home Owners Association.

c. Water/Cross Connection—contact 716-9627

- i. All landscape irrigation system's fed from Logan City water must have a high hazard backflow assembly installed and tested. No dual source feed systems allowed without Logan Cities prior approval and installation criteria (RP & swing joint) is met and inspection is passed.
All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
- ii. All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

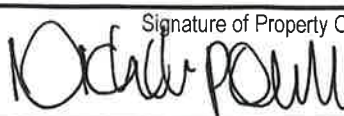
1. The proposed subdivision is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because the subdivision meets the minimum requirements of the LDC.
2. Each lot conforms to the requirements of Title 17 of the Logan LDC in terms of lot size and development requirements.
3. The Subdivision Permit conforms to the requirements of Title 17.47 concerning hearings, procedures, application requirements and plat preparations.
4. The project meets the goals and objectives of the NR-6 zoning designations within the Logan General Plan.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. Infrastructure and utilities are adequate in size to handle anticipated traffic and use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

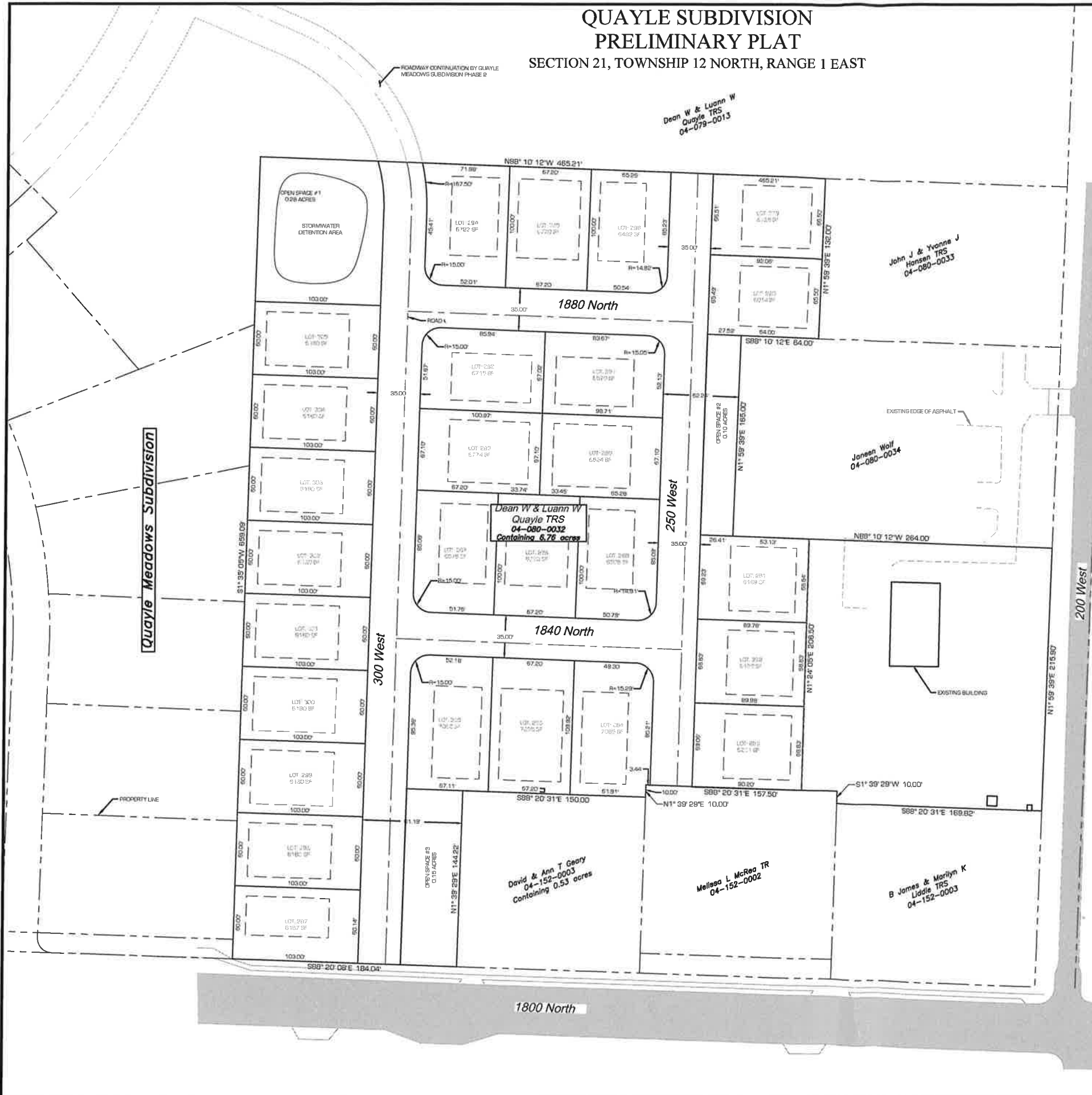


APPLICATION FOR PROJECT REVIEW

Planning Commission Land Use Appeal Board Administrative Review

Date Received 1-27-20	Received By	Receipt Number	Zone NR-6	Application Number PC 20-010
Type of Application (Check all that apply): <input type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME QUAYLE Hollow Subdivision				
PROJECT ADDRESS ~ 1800 N. 200 W.			COUNTY PLAT TAX ID # 04 - 080 - 0032	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) NIC PORTER			MAIN PHONE #	
MAILING ADDRESS PO BOX 56		CITY LOGAN	STATE UT	ZIP 84323
EMAIL ADDRESS NIC@SMPL&P.COM				
PROPERTY OWNER OF RECORD (Must be listed) DEAN W & LANN W TRS QUAYLE			MAIN PHONE # 435-753-6165	
MAILING ADDRESS 1839 N 200 W		CITY LOGAN	STATE UT	ZIP 84341
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 27-lot subdivision			Total Lot Size (acres) 6.80	
			Size of Proposed New Building (square feet)	
			Number of Proposed New Units/Lots 27	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner	

**QUAYLE SUBDIVISION
PRELIMINARY PLAT
SECTION 21, TOWNSHIP 12 NORTH, RANGE 1 EAST**



NOTES

- PROPERTY TAX IDENTIFICATION #: 04-080-0032
- WARRANTY DEED ENT #: 1181513, BK #: 1973, PG #: 1859
- ZONE: TRADITIONAL NEIGHBORHOOD RESIDENTIAL (NR-6)
- PROPOSED NUMBER OF RESIDENTIAL LOTS: 27
- PROPOSED NUMBER OF PHASES: 1
- COMMON AREA (EXCL LINES LOTS) 0.53 ACRES
- RESIDENTIAL TOTAL AREA: 3.96 ACRES
- PUBLIC RIGHT-OF-WAY AREA: 1.26 ACRES
- ALL COMMON AREAS ARE PUBLIC UTILITY BASEMENTS.
- BUILDING SETBACKS:
 - FRONT: 25'
 - CORNER: 20'
 - SIDE: 8'
 - REAR: 10'

CONTACTS

- SUBDIVIDER: CHAMPLIN DEVELOPMENT INC., NIC PORTER
 - ADDRESS: 195 WEST 1600 NORTH, LOGAN, UT 84341
 - PHONE #: 435-535-1137
- OWNER: DEAN W & LUANN W QUAYLE
 - ADDRESS: 1839 NORTH 200 WEST LOGAN UT, 84341
 - LICENSE #: 8243189-2202
- CIVIL ENGINEER: CIVIL SOLUTIONS GROUP, MICHAEL E. TAYLOR, PE
 - ADDRESS: 540 WEST GOLF COURSE ROAD, STE B1, PROVIDENCE, UTAH 84312
 - PHONE #: 435-890-4498
- SURVEYOR: FORESIGHT LAND SURVEYING, INC.
 - ADDRESS: 2005 N 600 W, LOGAN, UT 84321
 - PHONE: 435-753-1910

OWNER CERTIFICATE

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT I AM THE RECORD OWNER OF THE SUBJECT PROPERTY PROPOSED ON THIS MAP FOR SUBDIVISION, AND I CONSENT TO THE FILING OF THIS PRELIMINARY PLAT MAP.

OWNER _____ DATE _____



LEGEND

- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING FENCELINE
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING ELECTRICAL BOX
- EXISTING COMMUNICATIONS BOX
- EXISTING COMMUNICATIONS PEDESTAL
- EXISTING WATER METER

civilsolutionsgroupinc.



CACHE VALLEY | P: 435.213.3782
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

PRELIMINARY PLAT

QUAYLE SUBDIVISION

LOCATION: 1800 NORTH 200 WEST, LOGAN, UTAH 84341

PROPERTY OF: DEAN W & LUANN W QUAYLE

PREPARED FOR: CHAMPLIN DEVELOPMENT INC.

REVISION BLOCK NO.	DATE	DESCRIPTION



SCALE: 1" = 40'
DATE: 1/8/2020
DRAWN BY: T. MUNK
PROJECT #: 19-377

**QUAYLE SUBDIVISION
PRELIMINARY PLAT**
SECTION 21, TOWNSHIP 12 NORTH, RANGE 1 EAST

NOTES

1. EACH INDIVIDUAL UNIT AND LOT WILL BE SERVICED BY A 1" WATER METER AND SERVICE LINE.
2. EACH INDIVIDUAL UNIT AND LOT WILL BE SERVICED BY A 4" SEWER SERVICE.
3. ALL STORM WATER FROM THE SITE WILL BE COLLECTED INTO A STORM WATER DETENTION AREA LOCATED ON THE NORTH WEST SIDE OF THE PROPERTY (SEE KEY NOTE 6).

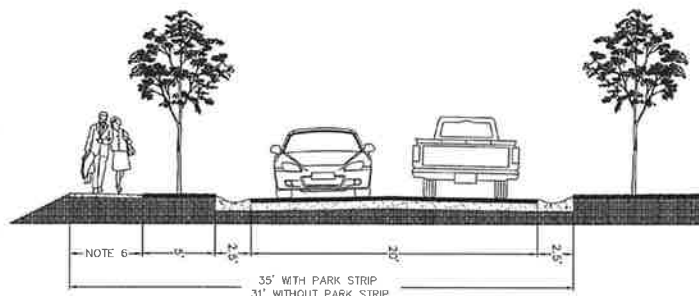
SHEET KEY NOTES

1. PROPOSED 8" WATER LINE, TYP.
2. PROPOSED 1" CULINARY WATER SERVICE, TYP.
3. PROPOSED FIRE HYDRANT ASSEMBLY, TYP.
4. PROPOSED 8" SEWER LINE, TYP.
5. PROPOSED 4" SEWER SERVICE WITH 1" METER AND BARREL, TYP.
6. PROPOSED STORM DRAIN DETENTION AREA.
7. PROPOSED CATCH BASIN, TYP.
8. PROPOSED STORM DRAIN PIPE, TYP.
9. PROPOSED SEWER MANHOLE, TYP.
10. PROPOSED PRIVATE STREET CROSS SECTION, SEE PLAN NO. 264S (THIS SHEET).
11. CONNECT PROPOSED SEWER LINE TO EXISTING MANHOLE.
12. CONNECT PROPOSED 8" WATER LINE TO EXISTING WATER LINE.
13. STORMWATER TO DISCHARGE TO EXISTING DITCH AT CONTROLLED RATE OF 0.2 CFS/ACRE.
14. EXISTING FIRE HYDRANT.
15. PROPOSED PRIVATE DRIVEWAY PER CITY STANDARD.

1. IF PLANNED TO BE FUTURE CITY ROW, MUST COMPLY WITH CURRENT CITY STANDARDS.
2. 20' MINIMUM PAVEMENT WIDTH.
3. 2-WAY TRAFFIC, NO ON STREET PARKING.
4. 1-WAY TRAFFIC, PARKING ON ONE SIDE OF PAVEMENT.
5. MUST HAVE CURB AND GUTTER, EITHER 6" HIGH BACK OR ROLLED/MOUNTABLE.
6. SIDEWALK ON AT LEAST ONE SIDE OF STREET.
7. -5' PARK STRIP REQUIRED IF ROLLED OR MOUNTABLE CURB INSTALLED.
8. -PARK STRIP NOT REQ'D IF 6" HIGH BACK CURB USED.
9. RECOMMEND ROAD ROW BE HOA OWNED OR COMMON TO ALL PROPERTY OWNERS.
10. 5 FOOT WIDTH STANDARD, 6 FOOT WIDTH REQUIRED WHEN ADJACENT TO THE CURB.

PRIVATE STREET
CROSS SECTION

PLAN NO.
264S

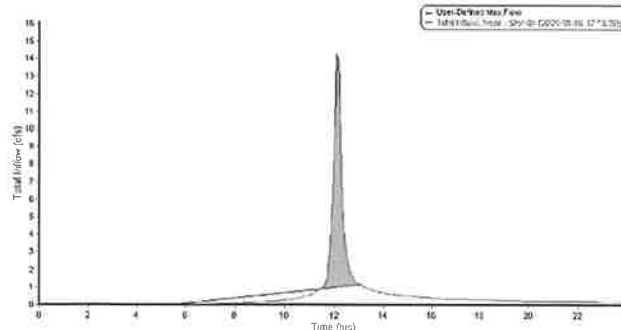


LEGEND

- W-W- EXISTING WATER LINE
- S-S- EXISTING SEWER LINE
- SD-SD- EXISTING STORM DRAIN LINE
- X- EXISTING FENCELINE
- S-40- EXISTING CONTOUR
- [Pattern] EXISTING ASPHALT
- [Pattern] EXISTING CONCRETE
- [Symbol] EXISTING UTILITY POLE
- [Symbol] EXISTING FIRE HYDRANT
- [Symbol] EXISTING SEWER MANHOLE
- [Symbol] EXISTING DRAIN MANHOLE
- [Symbol] EXISTING ELECTRICAL BOX
- [Symbol] EXISTING COMMUNICATIONS PEDESTAL
- [Symbol] EXISTING WATER METER
- [Pattern] PROPOSED ASPHALT
- [Pattern] PROPOSED CONCRETE
- [Symbol] PROPOSED SANITARY SEWER MANHOLE
- [Symbol] PROPOSED SEWER LINE
- W-W- PROPOSED WATER LINE
- SD-SD- PROPOSED STORM DRAIN LINE
- [Symbol] PROPOSED FIRE HYDRANT
- - - SETBACK LINE

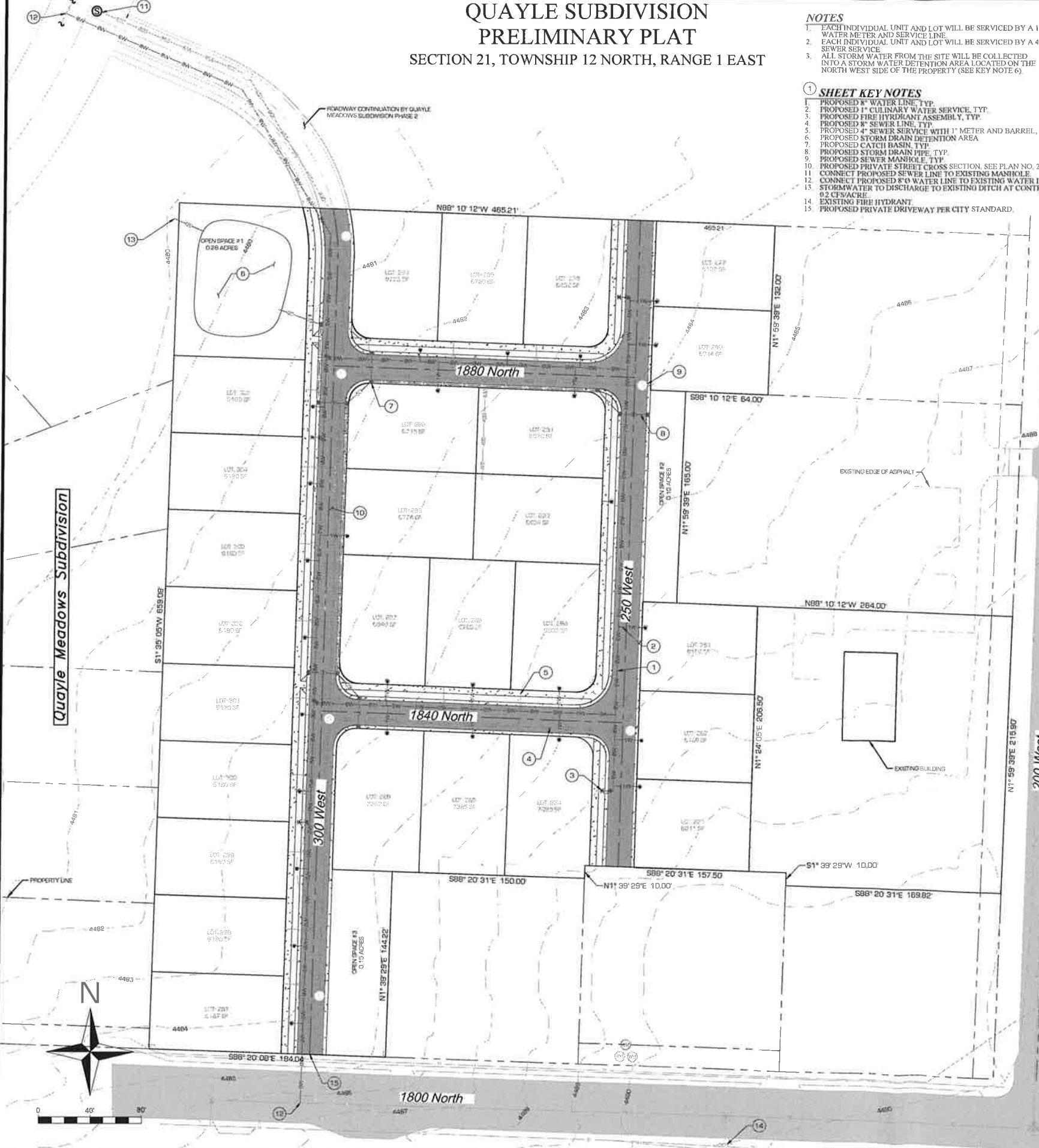
STORMWATER CALCULATIONS

Description	Area (sq Ft)	Area (ac)	CN (Group D)	(Sib)Area / TotalArea*CN
Roadway Impervious Area	47,798	1.10	98	19
Structures (3500 Sf per lot)	94,500	2.17	98	37
Driveways (20x30 per lot)	16,200	0.37	98	6
Open Space	94,528	2.17	80	10
Total Area:	253,026	5.81	80	
Pre Development (Pasture, grassland, or range: good)				
60% Permissible Storm Volume (0.5-inches)	12,651	cu-ft		
Initial Abstraction		0.19	inches	
For pre dev		0.50	inches	
Precipitation (10 Yr)	24 hour storm	2.04	inches	
Precipitation (25 Yr)	24 hour storm	2.41	inches	
Precipitation (100 Yr)	24 hour storm	3.02	inches	
Direct Runoff (10 Yr)	24 hour storm	1.22	total runoff depth	
For pre dev (10 Yr)	24 hour storm	0.59	total runoff depth	
Direct Runoff (25 Yr)	24 hour storm	1.55	total runoff depth	
For pre dev (25 Yr)	24 hour storm	0.83	total runoff depth	
Direct Runoff (100 Yr)	24 hour storm	2.11	total runoff depth	
For pre dev (100 Yr)	24 hour storm	1.27	total runoff depth	
Post Development				
10-Year Direct Runoff	0.59	acre-ft	25,698	R3
25-Year Direct Runoff	0.75	acre-ft	32,699	R3
100-Year Direct Runoff	1.02	acre-ft	44,583	R3
Pre-Development				
10-Year Direct Runoff	0.28	acre-ft	12,378	R3
25-Year Direct Runoff	0.40	acre-ft	17,443	R3
100-Year Direct Runoff	0.63	acre-ft	26,674	R3



Time period	Element ID	Start	End
From: 07/05/2020 12:00:00 AM	Maximum Total Inflow (cfs)	14.36	
To: 07/05/2020 12:00:00 AM	Minimum Total Inflow (cfs)	0.00	
Threshold	Event Mean Total Inflow (cfs)	0.51	
Duration	Duration of Exceedence (Hrs)	N/A	
Duct	Duration of Exceedence (Days)	N/A	
Detention storage	Number of Exceedences	N/A	
Max flow: 1.16"	Number of Events	N/A	
	Volume of Exceedence (cfs)	N/A	
	Volume of Exceedence (cfs)	N/A	
	Total Inflow Volume (cfs)	4287.54	
	Station Storage (cfs)	2211.31	

*VALUE CALCULATED PER 0.2 CFS/ACRE



civilsolutionsgroup inc.

CACHE VALLEY | P: 435.213.3762
SALT LAKE | P: 801.216.3192
UTAH VALLEY | P: 801.874.1432
info@civilsolutionsgroup.net
www.civilsolutionsgroup.net

PRELIMINARY PLAT

QUAYLE SUBDIVISION

LOCATION: 1800 NORTH 200 WEST, LOGAN, UTAH 84341

PROPERTY OF: DEAN W & LUJANN W QUAYLE

PREPARED FOR: CHAMPLIN DEVELOPMENT INC.

REVISION BLOCK NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER

1/8/2020
No. 0245180-2202

MOHAMED E. EL-SAYED
STATE OF UTAH

SCALE: 1" = 40'

DRAWN BY: T. MUNK

DATE: 1/8/2020

PROJECT #: 19-377

SHEET 2 OF 2