



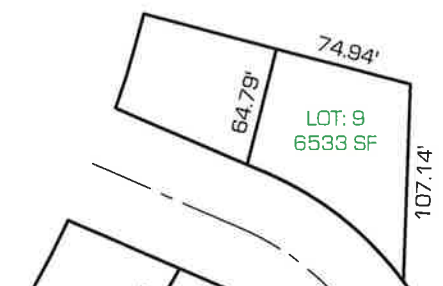
MEMORANDUM TO PLANNING COMMISSION

DATE: March 5, 2020
FROM: Aaron Smith, Planner II
SUBJECT: PC 20-010 Quayle Hollow Subdivision Redesign

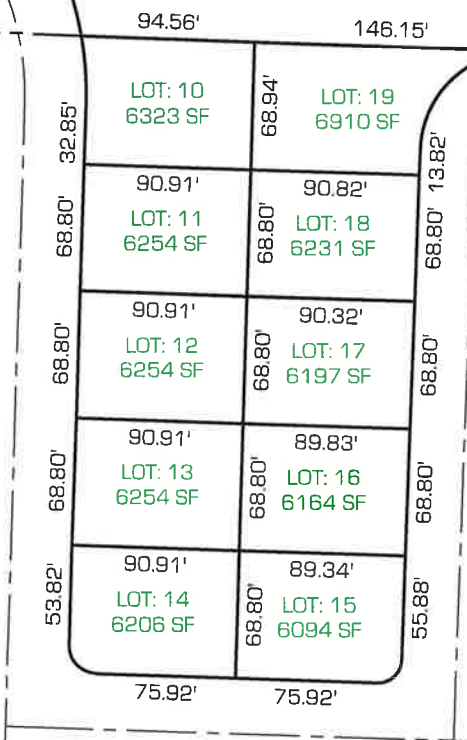
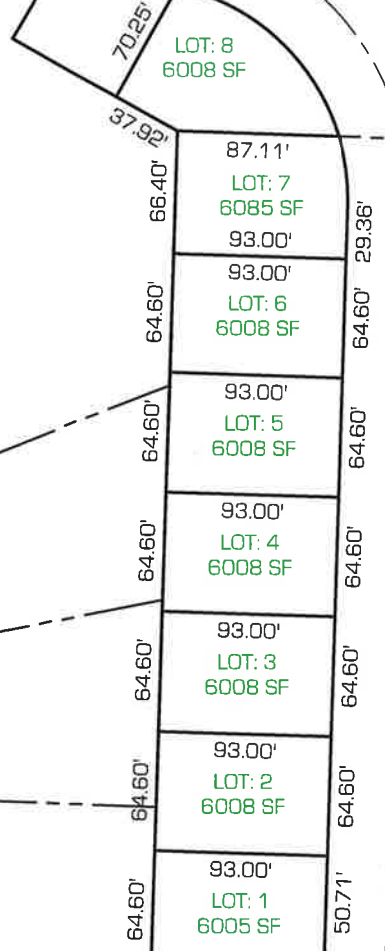
ALTERNATIVE DESIGN

Following continuation of the Quayle Hollow Subdivision, the applicant prepared a redesign of the plat that included 66' and 60' road cross sections throughout the subdivision. The proposal reduces the number of new building lots from 27 to 24, with two of the lots located further north along the 300 W road that connects to Quayle Meadow. The new design also eliminates the north stub and replaces it with a cul-de-sac, and changes the direction of the southern stub to the east. The second stub does not align with any proposed road, but may be able to connect to 200 W to the south of the existing home in the future.

The new design will permit sidewalks, parkstrips, and street trees on both sides of the road; and on street parking. There are 9 lots located along the cul-de-sac and dead-end stub. The LDC permits up to 8 lots before a second connection is required. Overall, for the 24 lots, the LDC requires 3 road connections. Preliminary review of the lot sizes and widths indicate that the 24 lots meet the requirements of the LDC.

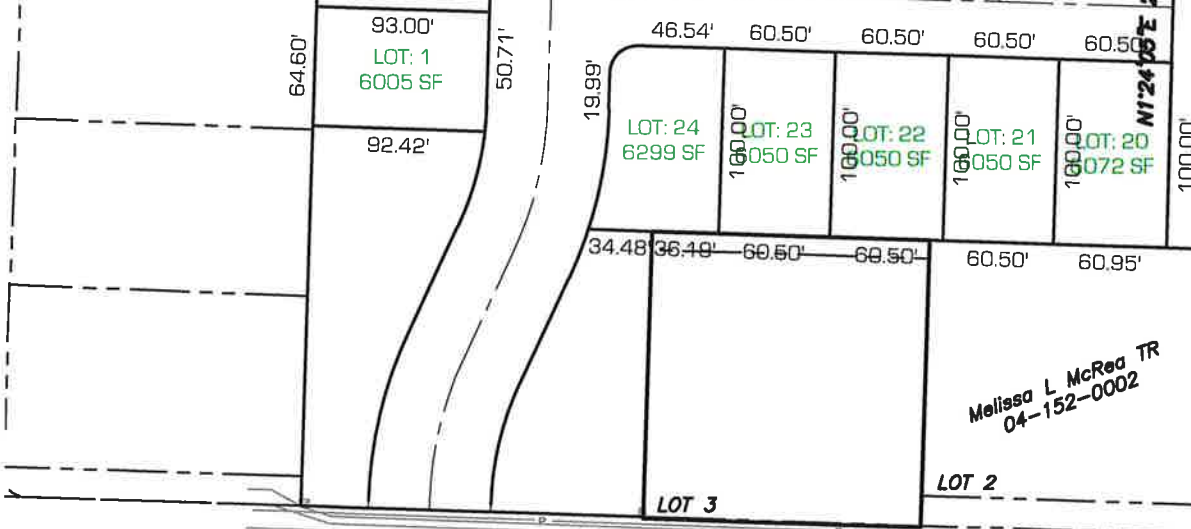


Dean W & Luann W Quayle TRS
04-079-0013



John J & Yvonne J
Hansen TRS
04-080-0033

Janeen Wolf
04-080-0034



Melissa L McRea TR
04-152-0002

B James & Marilyn K
Little TRS
04-152-0003

LOT 3

LOT 2

LOT 1