



**Project #20-009
Schreiber Foods Phase 2
Located at 885 N. 600 W.**

REPORT SUMMARY...

Project Name: Schreiber Foods Phase 2
Proponent/Owner: Matthew Warner / Paul Anderson
Project Address: 885 N. 600 W.
Request: Conditional Use and Design Review Permit
Current Zoning: Industrial (IP)
Date of Hearing: Feb. 27, 2020
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review and Conditional Use Permit for Project #20-009 Schreiber Foods, located at approximately 885 N. 600 W., TIN# 05-052-0031.

Land use adjoining the subject property

<i>North:</i>	IP: Industrial Uses	<i>East:</i>	IP: Industrial Uses
<i>South:</i>	IP: Industrial Uses	<i>West:</i>	IP: Industrial Uses

Project Request

The proponent is requesting a Conditional Use and Design Review Permit for a 9,582 SF industrial building addition and three new milk silo storage tanks proposed at approximately 64 feet tall. The proposed building and silos are located on the west (back) side of the Schreiber's facility and approximately 300 feet away from 800 W. The proposed stainless-steel silos are proposed just north of the existing silos. The existing silos are approximately 60 feet tall. The proposed 30-foot-tall building additions are adjacent to the silos and will contain dairy processing uses. Because of the food-grade processing and refrigeration requirements minimal exterior façade treatments are shown. The area to the west of the proposed silo and building addition site is currently a loading dock, storm-water retention pond and landscaping.

Conditional Use & Design Review Permit

The LDC 17.10.03 limits building heights to 48 feet. A Conditional Use Permit must be obtained for structures over 48 feet and in no case shall exceed 80 feet in height. The silos are proposed at 64 feet and in an area that is approximately 300 feet from the nearest property line or street. New industrial building(s) and building additions are required to obtain a Design Review Permit prior to construction for compliance with site and building standards in the Industrial (IP) zoning district. The proposed 64-foot-tall silos will have little to no visual impacts on the area because of the 300-foot setback from the street and in relation to the massive scale of the Schreiber's facility (400,000 SF building footprint). The landscaping along the street currently buffers the loading docks and future building additions and silos. The adjacent properties are zoned IP with most already developed as warehousing or similar industrial buildings. The 9,582 SF building addition meets building height, setback and lot coverage requirements in the LDC as submitted. LDC 17.12.0602.B. specifically exempts food production facilities from certain building design and performance standards because of unique food-processing characteristics. The proposed building addition matches the existing building façades along the west side of the facility.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the IP zone are as follows (as measured from property lines):

- Front: 20'
- Side: 20'
- Rear: 10'
- Parking (front): 20'
- Parking (side & rear) 15'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

- Front: (east) 940'
- Side: (north) 380'
- Side: (south) 620'
- Rear: (west) 300'
- Parking (front): NA
- Parking (side & rear) NA

As proposed, the silos and building addition meet minimum setback requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none"> • Fire • Engineering 	<ul style="list-style-type: none"> • Water
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 2/15/20 and the Utah Public Meeting website on 2/20/20. Public notices were mailed to all property owners within 300 feet of the project site on 2/10/20.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The proposed silos are allowed to be 64 feet tall with this Conditional Use Permit
3. The building addition shall match the proposed plans and are exempted from façade design requirements because of the food grade processing allowances in the LDC.
4. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Fire sprinkler and fire alarm systems are required.
 - This is yet another project for approval without sprinkler compliance in the UDC. According to the letter dated June 17, 2019, signed by Tony Nowak Sr. Vice President US Operations stating compliance will be completed by June 2021.
 - b. *Water—contact 716-9627*

- All points of use of water must comply with the 2018 IPC and State of Utah Amendments, during and after construction.
- d. *Engineering —contact 716-9153*
- Provide water shares or in-leu for any increase in water use with new development.
 - Any processing in new additions that will increase waste water discharge to city waste water collection system shall require a complete analysis of City system to determine if existing City infrastructure has the capacity to handle this additional flow. Final approval by Public Works is contingent on existing system being able to handle any increased waste water flows. Please contact Joseph Hawkes to complete the analysis at 435-716-9626.
 - Any existing water, storm water or water piping that will be covered by the new additions shall comply with International Plumbing Code for acceptable pipe materials under a structure. As has been the previous practices with the water line(s) covered by new buildings, they shall be exposed as they route through the new additions.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW AND CONDITIONAL USE PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the site layout, landscaping, heights and setbacks.
2. The Design Review and Conditional Use Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC.
5. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
6. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

Planning Commission Land Use Appeal Board Administrative Review

Date Received 1-24-20	Received By RH	Receipt Number	Zone IP	Application Number PC 20-009
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<input checked="" type="checkbox"/> Design Review	<input checked="" type="checkbox"/> Conditional Use	Type of Application (Check all that apply):		
<input type="checkbox"/> Code Amendment	<input type="checkbox"/> Appeal	<input type="checkbox"/> Subdivision	<input type="checkbox"/> Zone Change	<input type="checkbox"/> Administrative Design Review
		<input type="checkbox"/> Variance	<input type="checkbox"/> 4950' Design Review	<input type="checkbox"/> Other _____

PROJECT NAME
Schreiber Food; Project Carew Phase 2

PROJECT ADDRESS 885 N. 600 W. Logan, Utah 84321	COUNTY PLAT TAX ID # 05 - 052 - 0029
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AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Matthew Warner	MAIN PHONE # (904) 899-9286
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MAILING ADDRESS 2900 Hartley Road	CITY Jacksonville	STATE FL	ZIP 32257
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EMAIL ADDRESS
mwarner@stellar.net

PROPERTY OWNER OF RECORD (Must be listed) Paul Anderson	MAIN PHONE # (920) 883-8728
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MAILING ADDRESS 400 N. Washington Street	CITY Green Bay	STATE WI	ZIP 54301
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EMAIL ADDRESS
Paul.Anderson@schreiberfoods.com

DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) The project will include the construction of two (2) building additions, approximately the same height as the existing facility, the south process expansion is at 28'+/- and the milk receiving building is at 18'+/- above finish floor. Along with the new building expansion, 3 silos are planned for this project. Two (2) of the silos are 59'+/- tall, plus the elevation of the silo pad at 4'+/- for a total of 63'+/- above grade. - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -	Total Lot Size (acres) 29.57 acres
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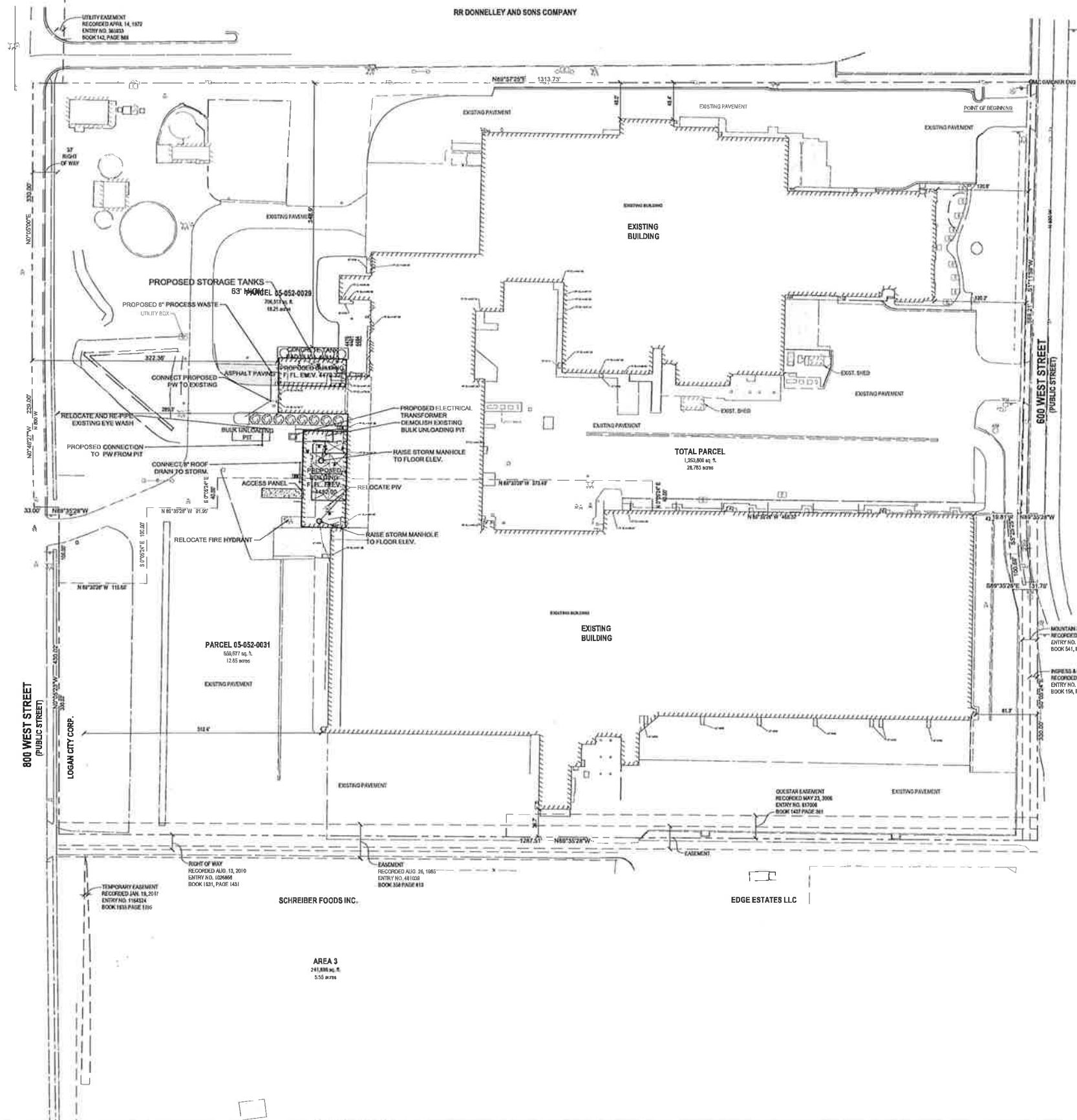
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DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) The project will include the construction of two (2) building additions, approximately the same height as the existing facility, the south process expansion is at 28'+/- and the milk receiving building is at 18'+/- above finish floor. Along with the new building expansion, 3 silos are planned for this project. Two (2) of the silos are 59'+/- tall, plus the elevation of the silo pad at 4'+/- for a total of 63'+/- above grade. - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -	
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I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.	Signature of Property Owner's Authorized Agent

I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.	Signature of Property Owner

Filename: R:\30700-67706\706\SCH\Schreiber_Expansion\UT\Design\AutoCAD\DWG_Schreiber_Expansion.dwg User: jlw Date: 12/12/2023 3:08:21 PM Project: 12/12/2023 3:08:10 PM



CIVIL ENGINEERING LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PROPERTY/PARCEL LINE
[Symbol]	[Symbol]	RIGHT-OF-WAY (ROW)
[Symbol]	[Symbol]	ROAD CENTERLINE
[Symbol]	[Symbol]	RAILROAD CENTERLINE
[Symbol]	[Symbol]	FENCE (SECURITY/EXTERIOR)
[Symbol]	[Symbol]	FENCE (ORNAMENTAL/INTERIOR)
[Symbol]	[Symbol]	RETAINING WALL
[Symbol]	[Symbol]	BUILDING
[Symbol]	[Symbol]	CONCRETE PAVEMENT
[Symbol]	[Symbol]	SEWER, GAS, & UTILITY PADS
[Symbol]	[Symbol]	ASPHALT PAVEMENT
[Symbol]	[Symbol]	CURB/CURB & GUTTER
[Symbol]	[Symbol]	SPOT ELEVATIONS
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	STORM DRAIN
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	PROCESS WASTE
[Symbol]	[Symbol]	FORCE MAIN
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[Symbol]	[Symbol]	VALVE IN BOX
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[Symbol]	[Symbol]	FIRE HYDRANT (INC. VALVE IN BOX)
[Symbol]	[Symbol]	DOUBLE CHECK B/P
[Symbol]	[Symbol]	REDUCED PRESSURE B/P
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[Symbol]	[Symbol]	SEWER/PROCESS CLEANOUT
[Symbol]	[Symbol]	STORM INLET/OUTLET
[Symbol]	[Symbol]	STORM CLEANOUT
[Symbol]	[Symbol]	STORM MANHOLE/ROUND INLET
[Symbol]	[Symbol]	CURB INLET
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[Symbol]	[Symbol]	MITERED END SECTION
[Symbol]	[Symbol]	CONCRETE FLUME
[Symbol]	[Symbol]	ENDWALL
[Symbol]	[Symbol]	CONCRETE POLE
[Symbol]	[Symbol]	WOOD POLE
[Symbol]	[Symbol]	ELECTRIC BOX
[Symbol]	[Symbol]	SECTION CUT
[Symbol]	[Symbol]	DETAILED REFERENCE
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	EROSION CONTROL MEASURE
[Symbol]	[Symbol]	SOIL BORING LOCATION

LEGAL DESCRIPTION
 BEGINNING AT THE NORTHEAST CORNER OF LOT 7, BLOCK 45, PLAT A, LOGAN FARM SURVEY AND RUNNING:
 THENCE SOUTH 01°11'59" WEST 568.21 FEET;
 THENCE NORTH 89°32'58" WEST 18.41 FEET;
 THENCE SOUTHERLY 100.89 FEET ALONG THE ARC OF A 528.29 FEET RADIUS NON-TANGENT CURVE TO THE LEFT [CENTER BEARS SOUTH 89°52'04" EAST AND THE LONG CHORD BEARS SOUTH 63°23'29" EAST 100.89 FEET THROUGH A CENTRAL ANGLE OF 89°32'58"];
 THENCE SOUTH 89°32'58" EAST 113.75 FEET;
 THENCE SOUTH 00°00'00" EAST 330.00 FEET;
 THENCE NORTH 89°32'58" WEST 124.19 FEET TO THE WEST LINE OF 800 WEST STREET;
 THENCE NORTH 00°00'00" WEST 41.78 FEET ALONG THE WEST LINE OF SAID 800 WEST STREET;
 THENCE NORTH 89°32'58" WEST 31.49 FEET ALONG THE WEST LINE OF SAID 800 WEST STREET;
 THENCE NORTH 00°00'00" WEST 168.87 FEET ALONG THE WEST LINE OF SAID 800 WEST STREET;
 THENCE NORTH 00°00'00" EAST 339.75 FEET ALONG THE WEST LINE OF SAID 800 WEST STREET;
 THENCE SOUTH 89°32'58" EAST 128.73 FEET; TO THE POINT OF BEGINNING.

CONTAINS 1.25180 SQUARE FEET, 28.787 ACRES.

BUILDING SETBACKS: 20' FRONT AND SIDE, 10' REAR.



SCHREIBER FOODS, INC.
WEST YOGURT EXPANSION
 LOGAN, UT

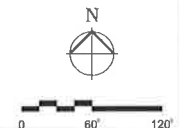


CONDITIONAL USE PERMIT
 SITE PLAN

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NO.	DATE	BY	CONDITIONAL USE PERMIT DESCRIPTION

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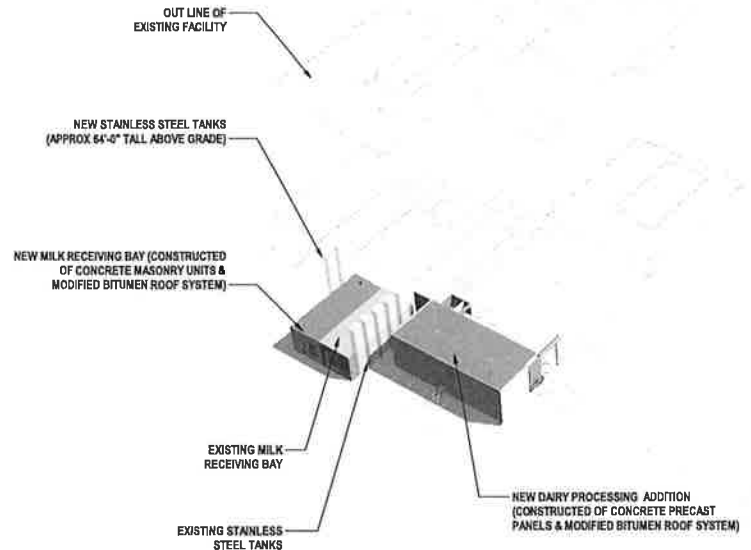


C1001
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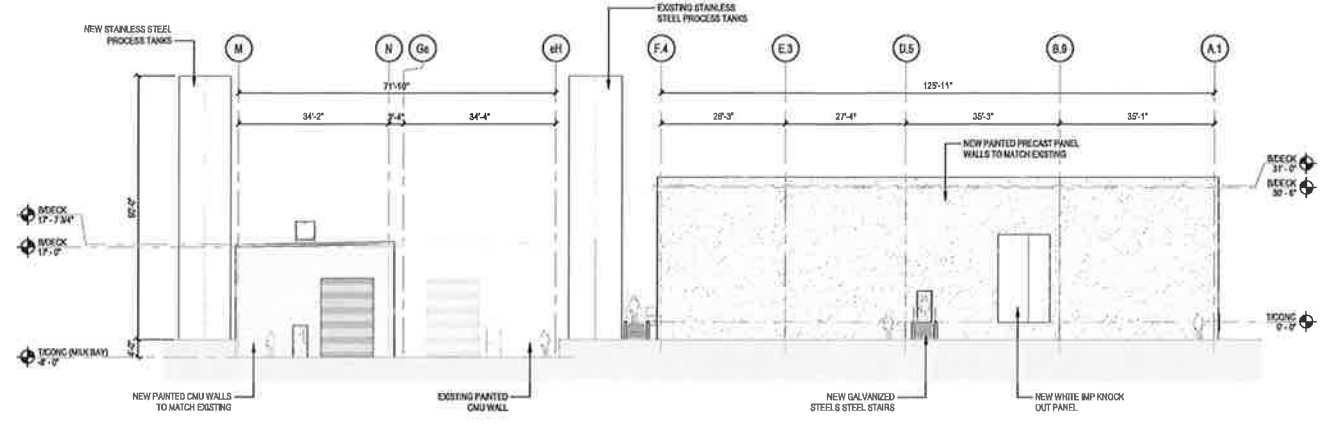
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NO.	DATE	BY	DESCRIPTION

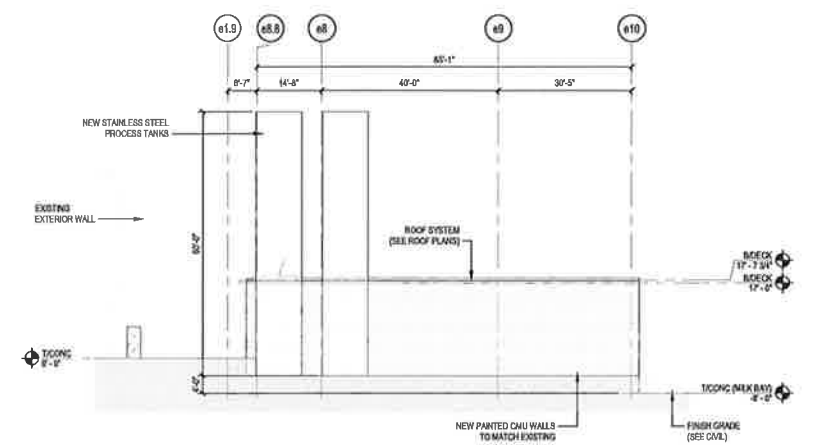
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 CHECKED: LTW
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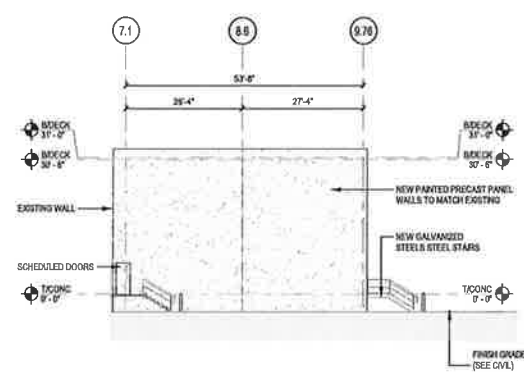
A OVERALL PROJECT PERSPECTIVE
 SCALE:



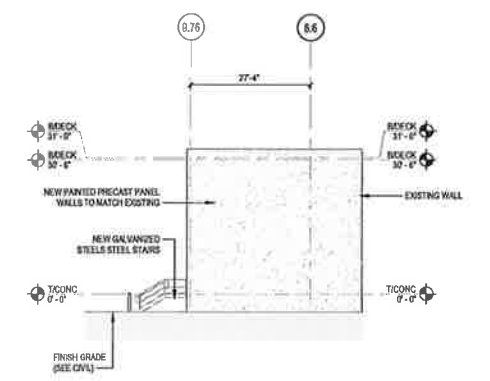
1 EXTERIOR ELEVATION - WEST
 SCALE: 1/16" = 1'-0"



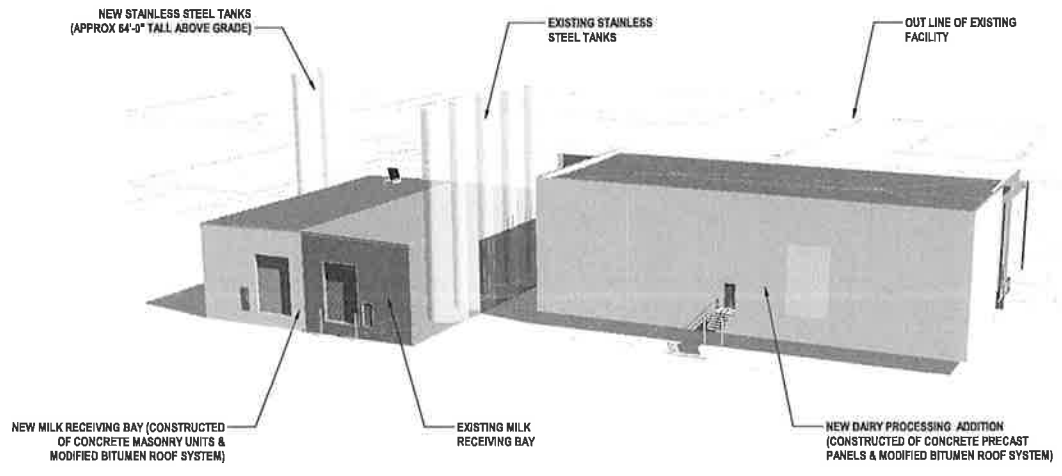
3A EXTERIOR ELEVATION - NORTH (RECEIVING BAY)
 SCALE: 1/16" = 1'-0"



2A EXTERIOR ELEVATION - NORTH (PROCESSING ADDITION)
 SCALE: 1/16" = 1'-0"



2B EXTERIOR ELEVATION - SOUTH (PROCESSING ADDITION)
 SCALE: 1/16" = 1'-0"



B ENLARGED PROJECT PERSPECTIVE
 SCALE:

1/22/2020 5:43:57 PM

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