



**Project #20-002**  
**Dr. Harris Urgent Care Center**  
**Located at 939 S Hwy 89/91**

**REPORT SUMMARY...**

*Project Name:* Dr. Harris Urgent Care Center  
*Proponent / Owner:* Matthew F. Harris / Stronghold Opportunity Fund LLC  
*Project Address:* 939 S Hwy 89/91  
*Request:* Design Review Permit  
*Current Zoning:* Commercial (COM)  
*Type of Action:* Quasi-Judicial  
*Hearing Date:* January 9, 2020  
*Submitted By:* Aaron Smith, Planner II

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**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #20-002, Dr. Harris Urgent Care Center, for one 13,500 SF commercial building at 939 S Hwy 89/91, TIN #02-085-0007.

*Current Land use adjoining the subject property*

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial and Commercial Service Uses

**Project Proposal**

This is a proposal to construct one (1) new 13,500 SF commercial building on an approximately 1.56 acre (68,000 SF) parcel. The parcel currently has 5 storage unit buildings. The proposed project would demolish 4 of the buildings. Excluding the remaining building and drive aisle, the project area includes approximately .89 acres (38,500 SF) of the site. The development includes the two-story building and associated surface parking and landscaping. The development connects to Hwy 89/91 via a shared access to the north of the property. The proposed use for the development includes a medical clinic, medical offices, and a salon.

**Land Use**

The project area is zoned Commercial (COM). The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses. The proposed medical clinic, medical office, and salon uses are permitted in the zone. Commercial storage units are not a permitted use in the zone, and the proposed development, which eliminates 4 of the 5 storage buildings, reduces the legally existing non-complaint structures at the site. The proponent has indicated that the remaining storage building will be remodeled to update the exterior materials to match the new building. The area around the site includes other legally existing non-conforming uses. To the north and west of the property is a contractor storage yard that is no longer a permitted use in the zone. The remaining area around the site are commercial and office uses.

**Design Review Permit**

The LDC 17.43 requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

## **Site Plan**

### **Lot Coverage**

The COM zone lot coverage is limited to a maximum of 60% (building footprint). The footprint of the proposed building is 10,500 SF and the remaining storage building is 10,300 SF. The total building coverage on the site is 30% for the entire parcel. As proposed, the project complies with the requirements in the LDC.

### **Frontage**

The Commercial zone requires a minimum 50% building frontage at the front setback. The parcel has 228' of frontage and 123' of building located along the frontage (53% building frontage at front setback). As proposed, the project complies with the requirements in the LDC.

### **Setbacks**

The LDC requirements for setbacks in the Commercial zone are as follows (as measured from property lines):

Front (Bld. Height 0'-40'):	10'
Side:	8'
Rear:	10'
Parking Side/Rear:	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (East):	10'
Side (South):	8'
Side (North):	78'
Rear (West):	126'
Parking Side (South):	5'

As proposed, the project complies with the requirements in the LDC.

### **Access & Circulation**

Vehicular driveway access from Hwy 89/91 is via an existing shared drive on the northside of the property. The proponent is also working with the landowner to the south to establish a second access to the highway. The project proposes a pedestrian access point from the commercial building to the sidewalk along the northside of the building. As proposed, the project complies with the requirements in the LDC.

### **Parking**

For the proposed uses, the LDC 17.31 requires one (1) parking stall for every 200 SF of clinic space, one (1) parking stall for every 300 SF of medical office, and one (1) parking stall per 250 SF of salon space. The development proposes approximately 3,500 SF of clinic space, 4,000 SF of medical office space, and 6,000 SF of salon space. The proposed uses would require 55 parking stalls. The development is also required to provide a bike rack. The proposed project includes 40 on-site parking stalls.

The proponent is working to meet the parking requirement through obtaining off-site parking on the adjacent property to the south. To meet the parking requirements, 15 additional off-site parking stalls would need to be obtained. The adjacent land uses would be required to maintain their minimum parking requirements. Staff's review of the parking requirement for current uses in the two buildings to the south is 20 for the 5,000 SF retail building and 8 for the 4,000 SF wholesale and service and service building. To meet the requirements of the LDC an Alternative Parking Plan would be submitted for review and approval to Community Development staff, in accordance with requirements of the LDC, that outlined the parking agreement between the properties, and demonstrated that minimum parking requirements are being met for all uses.

The Planning Commission may also reduce minimum parking standards by as much as 25% with Planning Commission approval of an Alternative Parking Plan. As conditioned, with the submission of an alternative parking plan that provides a minimum of 55 parking stalls, and a bike rack, the project complies with the requirement of the LDC.

### ***Open Space Area***

The LDC requires 10% open space and an additional 10% useable outdoor space in the COM zone. The LDC generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and most storm-water facilities. The 38,500 SF project site would require 3,850 SF of both open space and usable outdoor space for a total of 7,700 SF. The project proposal includes conceptual open space and usable outdoor areas totaling approximately 10,000 SF (26%). As conditioned, the project complies with the open space requirements of the LDC as proposed.

### ***Landscaping***

The LDC requires minimum plant material for overall visual aesthetics, ecology, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For the .89 acre project site, 18 trees and 45 shrubs, flowers and ornamental plants are required. Plant material is also required to be planted around the perimeter of the building were feasible. The proposed plan includes a planting strip around the eastern portion of the building. A variety of plants species are required, and 25% of the plant material is required to be evergreen species. As conditioned, with a landscaping plan, the project complies with the requirements of the LDC.

Generally, surface storm-water retention and detention facilities should not be located in front yard areas. The proposed plan includes an area of retention in the northeast portion of the site adjacent to the highway. Retention basins that are located in areas that are visible from the public street are required to be landscaped to provide an amenity to the development and utilize landscaping materials that reflect the natural traditions of Logan. As conditioned, with a landscaped retention area, the project complies with the requirements of the LDC.

Interior parking lot landscaping is required. The site plan proposes new parking lot landscaping areas. These areas are required to have a minimum of 2 trees and a 50% plant material coverage at plant maturity. The LDC requires that all parking aisles have a landscaped area at the end of every aisle. Interior parking lot landscaping requirements shall be incorporated into the landscaping plan.

### ***Lighting***

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet, and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

### ***Dumpster Enclosure***

The dumpster is required to be enclosed with a 6' high masonry wall with a screened gate or a chain-link fence with landscaping. The dumpster enclosure shall have minimum dimensions of 10 feet in depth, and an opening of at least 12 feet in width for a single bin enclosure. As conditioned the project complies with the requirements of the LDC.

### **Building Design**

The LDC 17.12.020 states that commercial buildings should be designed to promote high-quality and aesthetically pleasing developments. The design standards consider building variation, materials, building mass, articulation, roof, placement, and orientation. The standards emphasize 4-sided architecture.

### ***Building Articulation***

The buildings have clear vertical and horizontal articulation with changes in color, material, and projections that divide up the building's facades. As proposed, the project complies with the requirements in the LDC.

### ***Building Materials***

The building includes a variety of materials, including stone veneer, corrugated metal, stucco, and wood siding. All proposed materials are all allowed in the Commercial zone. As proposed, the project complies with the requirements in the LDC.

### ***Transparency***

Transparency requirements for the COM zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed sides):	30%

Proposed transparency for the project are:

East Elevation (Hwy 89/91):	49%
North Elevation (Towards Parking):	45%
West Elevation (Towards Parking):	39%
South Elevation:	27%

As proposed the project is not on a corner, the south elevation would not be considered an exposed side. Overall, the project has generous fenestration. As proposed, the project complies with the requirements in the LDC.

### ***Orientation***

The LDC required 4-sided architecture that emphasizes similar architectural features on all sides of the building. The building fronts Hwy 89/91 and provides entrances on both north and west sides of the building. All sides have a variety of materials, fenestration, and articulation. As proposed, the project complies with the requirements in the LDC.

### ***Building Height***

Building height in the COM zone are limited to 40'. The highest point of the building is 31'. As proposed, the project complies with the requirements in the LDC.

## **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were received from the following departments or agencies:

• Fire	• Engineering
• Water/Cross Connection	

## **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

## PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 12/27/19 and the Utah Public Meeting website on 1/02/19. Public notices were mailed to all property owners within 300 feet of the project site on 12/20/19.

## RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. A minimum of 55 parking stalls are required, or, if off-site parking is proposed to meet the minimum parking standard, an Alternative Parking Plan shall be provided and approved by the Community Development Director per the requirements of LDC 17.31.050.
3. A bike rack that accommodates a minimum of 5 bikes shall be installed.
4. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) A minimum of 3,500 SF of both open space and usable outdoor space, for a total of 7,700 SF, shall be provided
  - b) A total of 18 trees and 45 shrubs, flowers and ornamental plants shall be provided.
  - c) Minimum of 2 tree species are required.
  - d) A minimum of 25% of plant material shall be evergreen trees and shrubs.
  - e) Street trees shall be provided every thirty (30) feet on center and outside of site-distance triangles near intersections or driveway access points or otherwise determined by the City Forrester.
  - f) Interior parking lot landscaping areas are required to have a minimum of 2 trees and a 50% plant material coverage at plant maturity.
  - g) Surface storm-water retention and detention facilities that are located in areas that are visible from the public street shall be landscaped to provide an amenity to the development and utilize landscaping materials that reflect the natural traditions of Logan.
5. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
6. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
7. The dumpster is required to be enclosed with a 6' high masonry wall with a screed gate or a chain-link fence with landscaping.
8. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
9. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
10. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. Fire—contact 716-9515**
    - i. Provide a fire hydrant within 400 ft. as measured by an approved route around the exterior of the building.
  - b. Engineering—contact 716-9153**
    - i. Since appears to be a significant change of use and the amount of traffic being generated, with only 1-access into and out of development on a State Route. Provide documentation from UDOT approving this increased flow and any requirements assigned by UDOT.

- ii. Provide water shares or an in-leu fee for all increased demand to existing City water sources. The amount of water required shall be per Utah Admirative Code R309-510-7.
- iii. Provide onsite retention of the 90th percent storm event utilizing Low Impact Design Methods. Provide onsite retention/detention for the flood control storm event per City Standards.
- iv. Provide City with private water line agreement for any fire lines which are required support new development.
- v. Provide City with a Storm Maintenance Agreement.
- vi. Nearest sewer main is on far east side of US 89/91. Coordinate with City and UDOT on making this connection.

**c. Water/Cross Connection—contact 716-9627**

- i. All landscape irrigation systems feed from Logan City water must have a high hazard rated backflow assembly installed and tested. Backflow assemblies must be tested within 10 days of turning in water to them, and reports turned into Logan City water.
- ii. Fire suppression systems feed from Logan City water must have a minimum DC (ASSE1015).
- iii. Each unit / business must have their own water main with their own RP (ASSE1013) backflow assembly installed and tested, to prevent cross contaminating each other and the city water source and water service interruptions to the different businesses.

**RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. As conditioned, the project conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project provides adequate open space and useable outdoor space in conformance with Title 17.
4. As conditioned, the project provides adequate off-street parking.
5. Highway 89/91 provides access and is adequate in size and design to sufficiently handle automobile traffic related to the land use.
6. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.





# APPLICATION FOR PROJECT REVIEW

☒ Planning Commission    ☐ Land Use Appeal Board    ☐ Administrative Review

Date Received <b>DEC 9<sup>th</sup></b>	Received By <b>RH</b>	Scheduled Meeting Date <b>Jan 9<sup>th</sup> 2020</b>	Zone <b>COM</b>	Application Number <b>PC 20-002</b>
Type of Application (Check all that apply):				
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Other <input type="checkbox"/> Administrative Design Review				
PROJECT NAME <b>939 SOUTH MAIN - Dr. Harris Urgent Care Center</b>				
PROJECT ADDRESS <b>939 SOUTH Highway 89 LOGAN, UT 84321</b>			COUNTY PLAT TAX ID # <b>02-085-0007</b>	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) <b>MATTHEW F. HARRIS</b>			MAIN PHONE # <b>435 764-4300</b>	
MAILING ADDRESS    CITY    STATE    ZIP				
<b>235 EAST 600 SOUTH HYDOPARK UT 84318</b>				
EMAIL ADDRESS <b>MFHARRIS8@GMAIL.COM</b>				
PROPERTY OWNER OF RECORD (Must be listed) <b>STRONGHOLD OPPORTUNITY FUND LLC</b>			MAIN PHONE # <b>435 764-4300</b>	
MAILING ADDRESS    CITY    STATE    ZIP				
<b>235 EAST 600 SOUTH HYDOPARK, UT 84318</b>				
EMAIL ADDRESS <b>MFHARRIS8@GMAIL.COM</b>				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed)			Total Lot Size (acres)	
<b>WILL DEMOLISH + REMOVE 4 CURRENT STORAGE BUILDINGS. IN THEIR PLACE I WILL BUILD A NEW BUILDING WITH MEDICAL CLINIC SPACE, A SALON, AND AN (RES) APARTMENT. THE REMAINING PERIMETER STORAGE BUILDING WILL REMAIN + BE REMODELED.</b>  <b>- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -</b>			<b>1.5</b>	
			Size of Proposed New Building (square feet)	
			<b>13,500</b>	
			Number of Proposed New Units/Lots	
			<b>1</b>	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	

# Plat Maps for Parcel 02-085-0007 - Cache County CORE

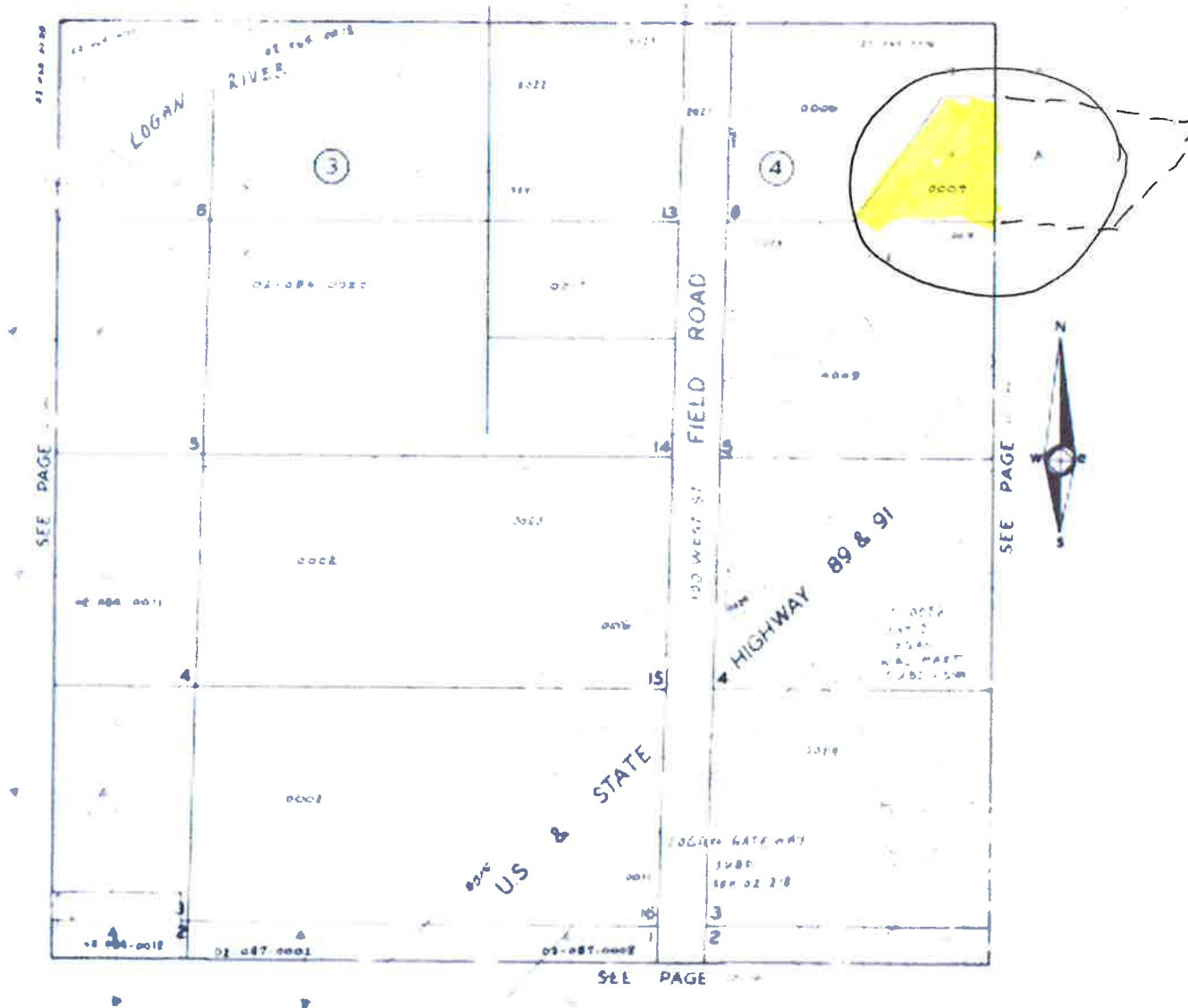
PC 20-002

NW<sup>4</sup> or NE<sup>4</sup> Section 9 Township 11 North Range 1 East

Scale 1 Inch = 100 Feet

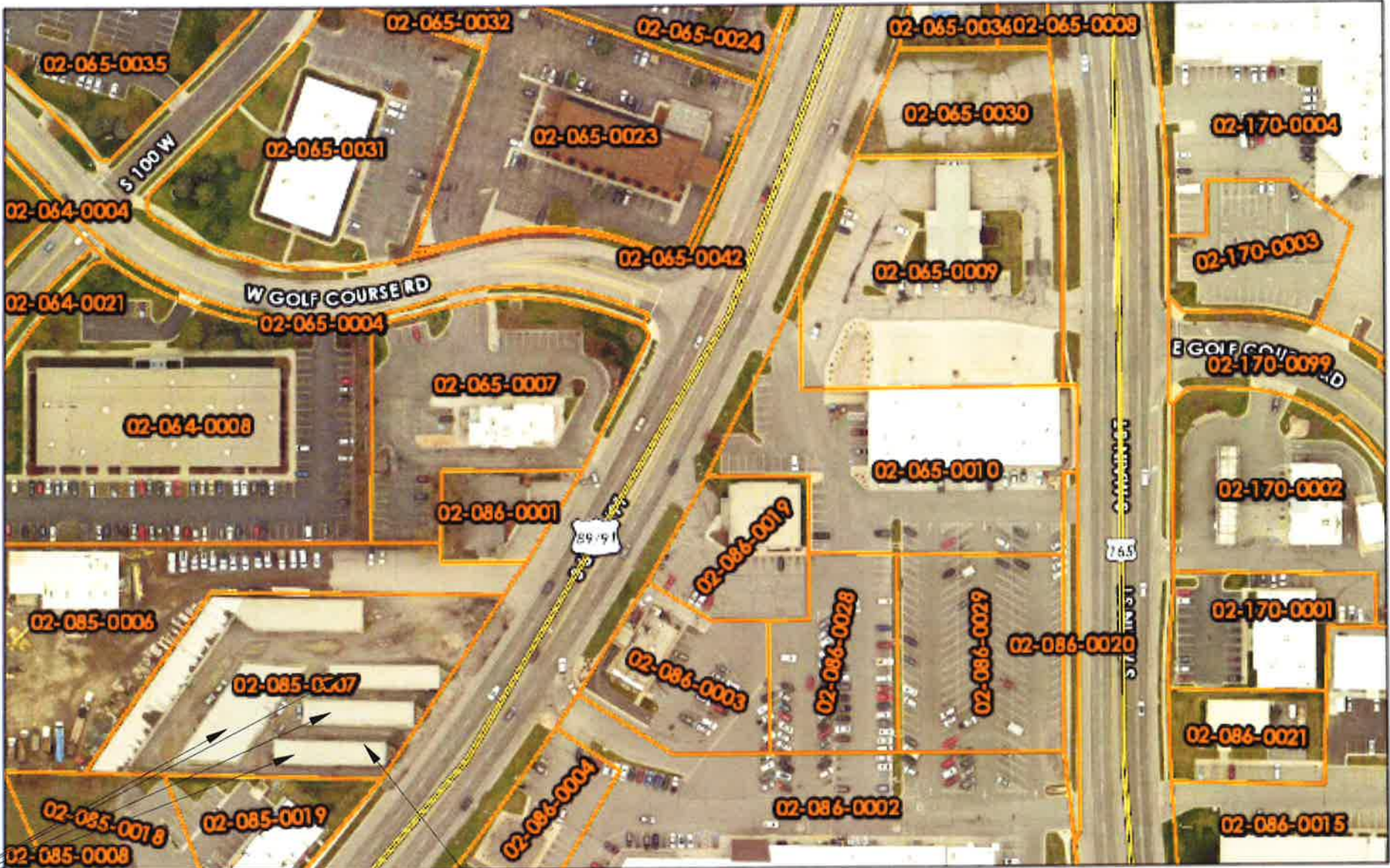
File No. 27

Pt Block 3 &amp; 4 Plat "B" Providence Farm Survey





Parcel Map



Buildings to be  
torn down

12/8/2019, 2:44:56 PM

Parcel Tax ID Label

County Centerline

County Boundary

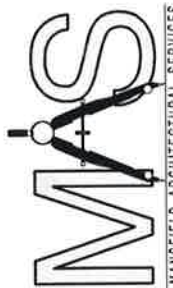
State Roads

Municipal Boundaries

Cache Parcels

Geographic: CNE/Satellite US, USDA, USGS, AeroGRID, IGN, and the GIS User Community. Copyright © 2013 National Geographic Society (rebased), National Geographic, Esri, Garmin, HERE, UNEP/WFP, USGS, NASA, ESA, METI, NRCAN, GEBCO, NOAA, and others. Web AppBuilder for ArcGIS

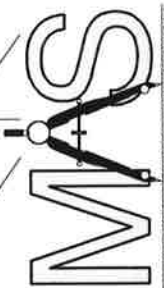
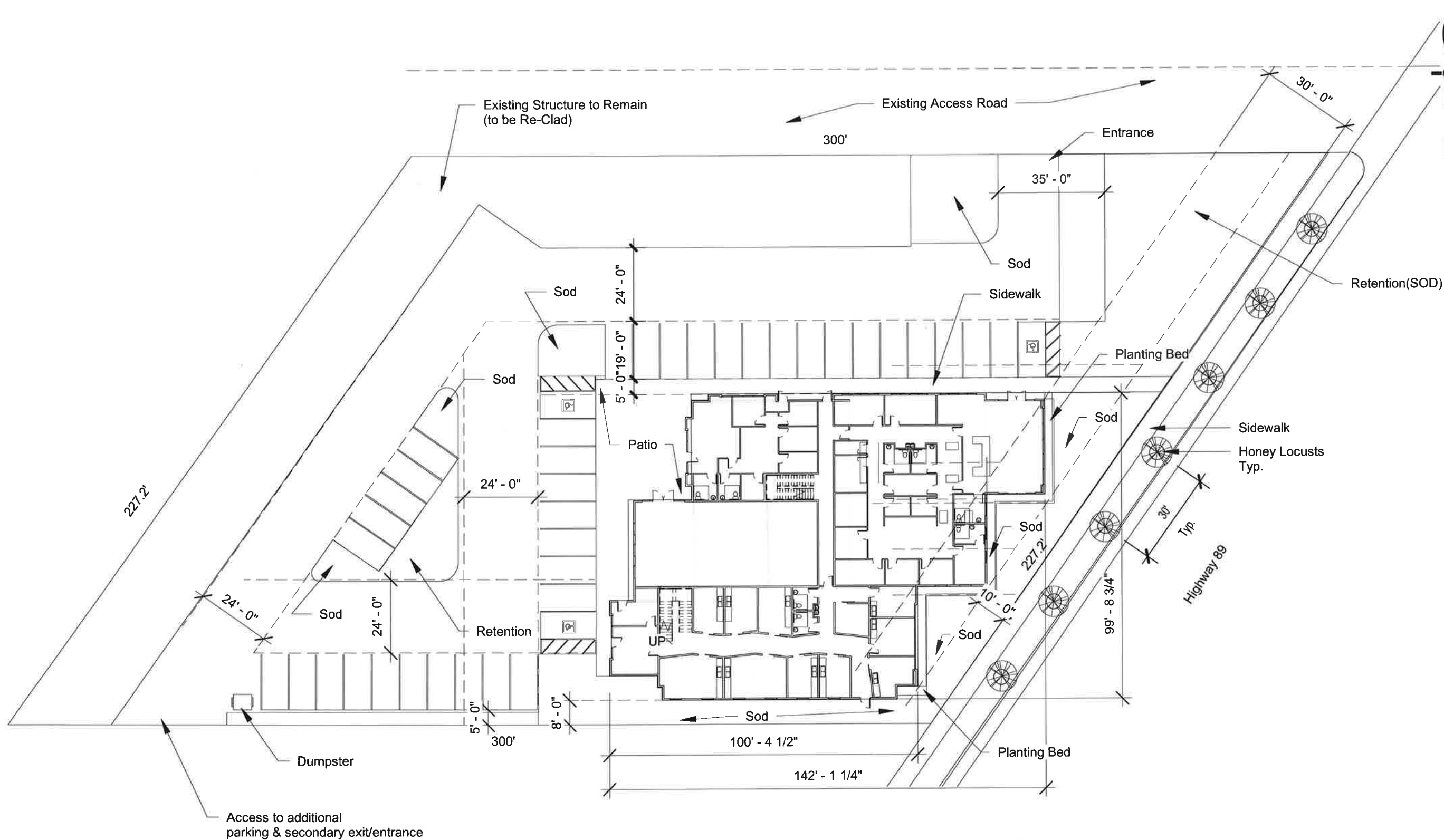
Proposed Site - 939 Main Street



Dr. Harris Urgent Care Center V2



STEVEN R. MANSFIELD ARCHITECT  
435-512-6249 steven.mansfield@usu.edu  
445 EAST 275 NORTH, HYDE PARK, UTAH 84318



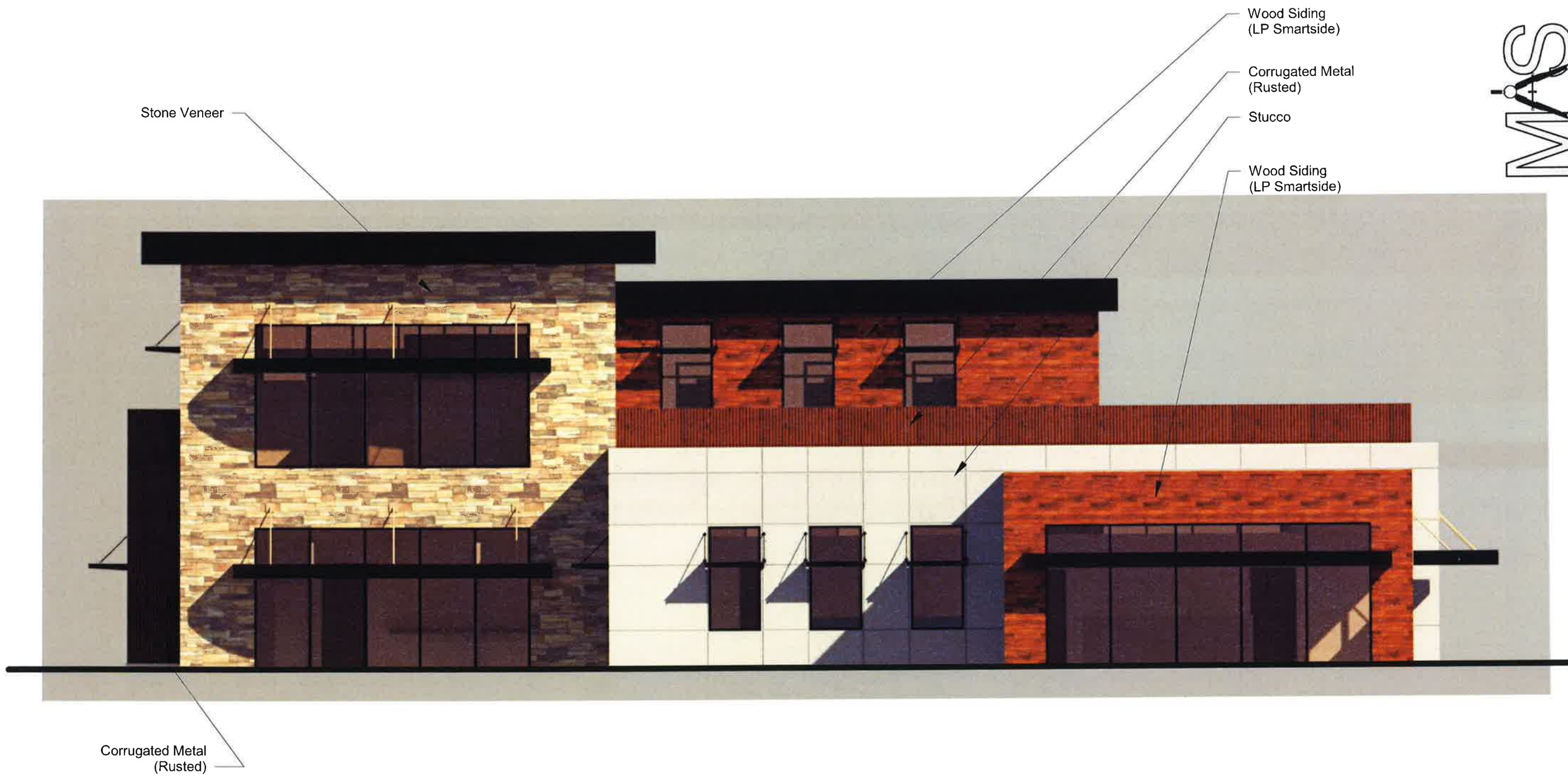
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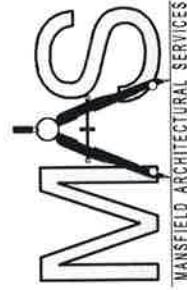
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	1/32" = 1'-0"





East Elevation

Scale: 1/8" = 1'-0"

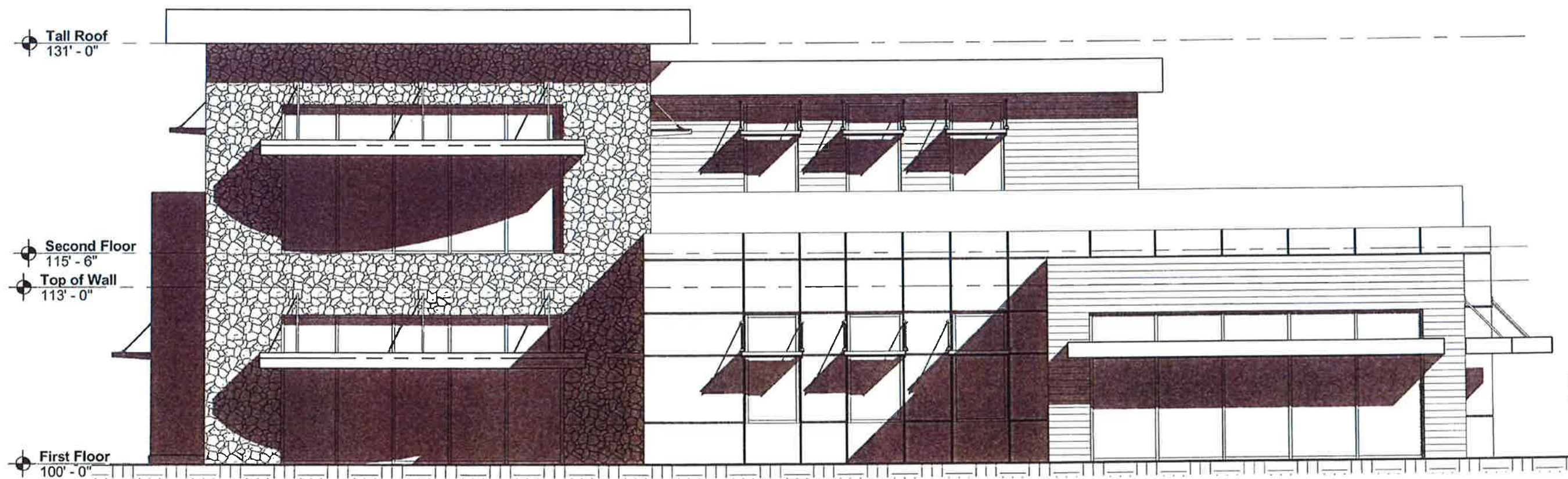


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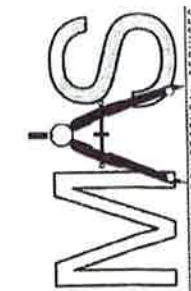
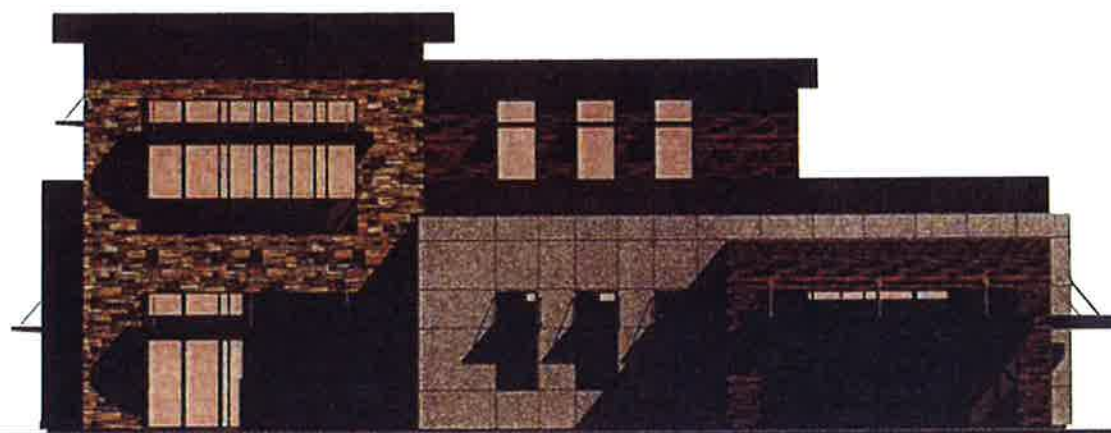
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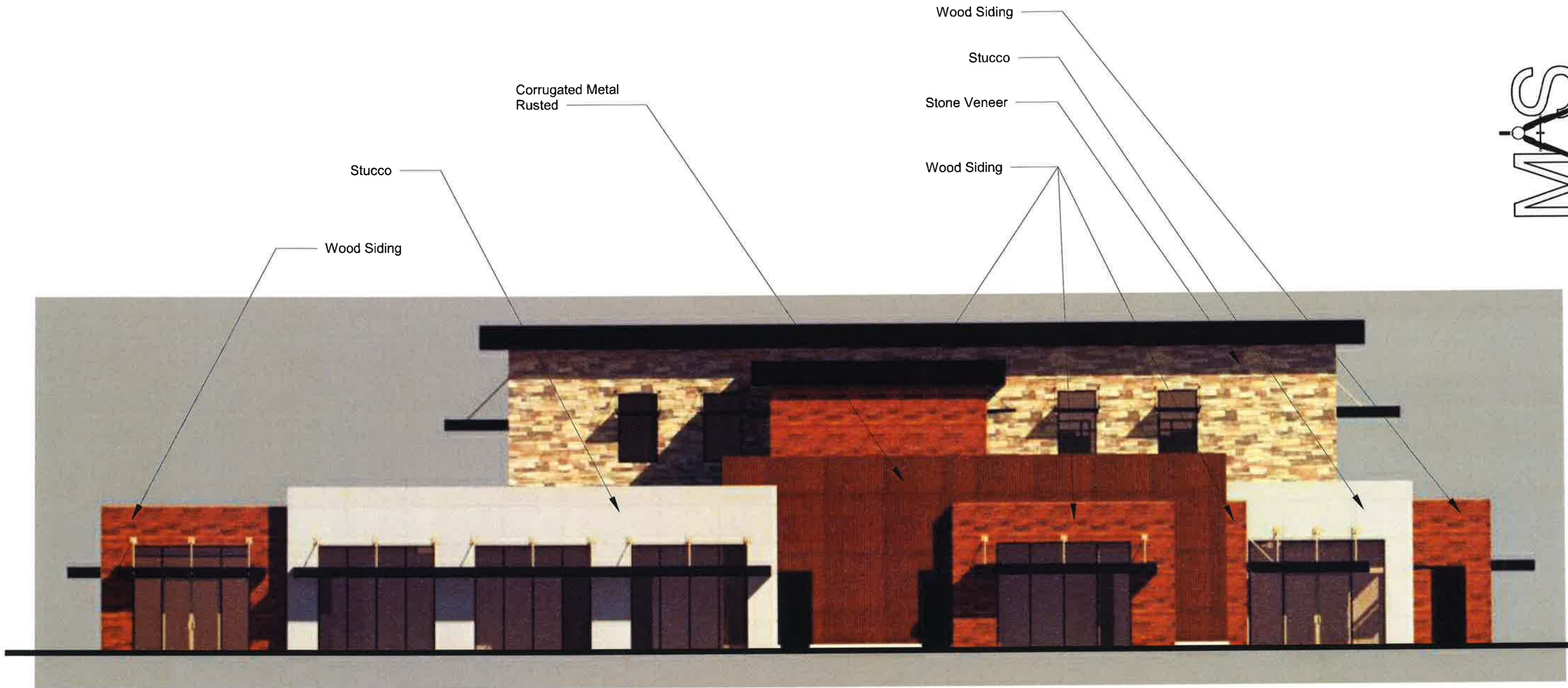
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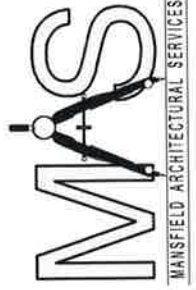


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North Elevation

Scale: 1/8" = 1'-0"

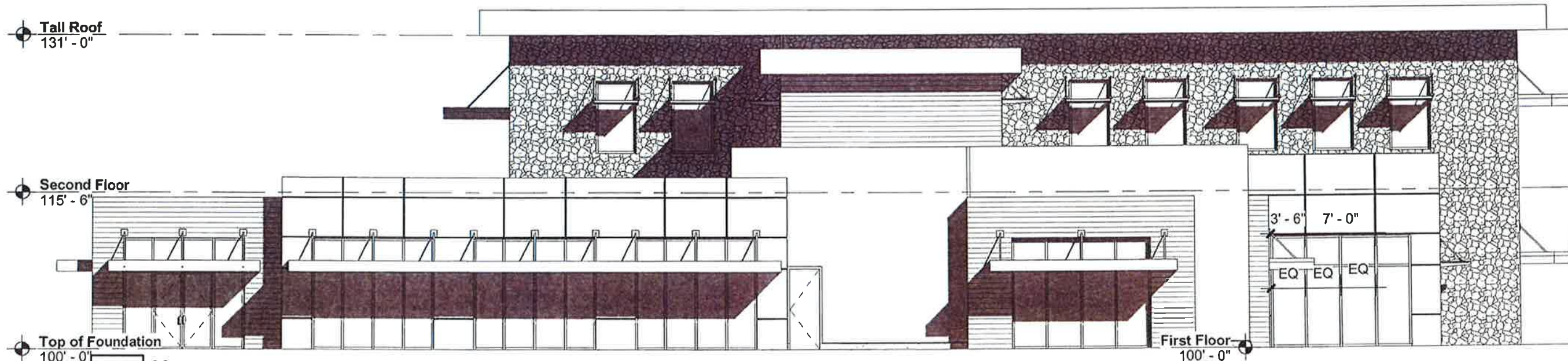
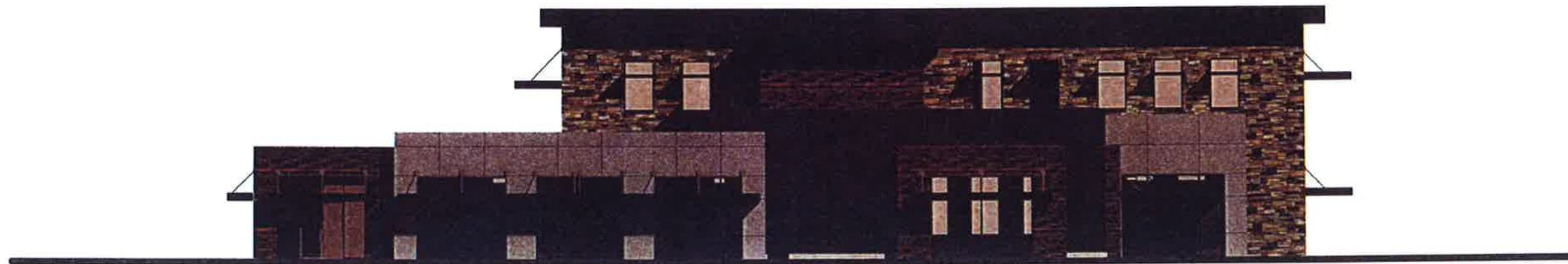


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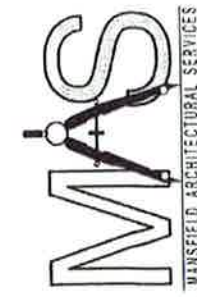






**1 North Elevation**

4 3/32" = 1'-0"

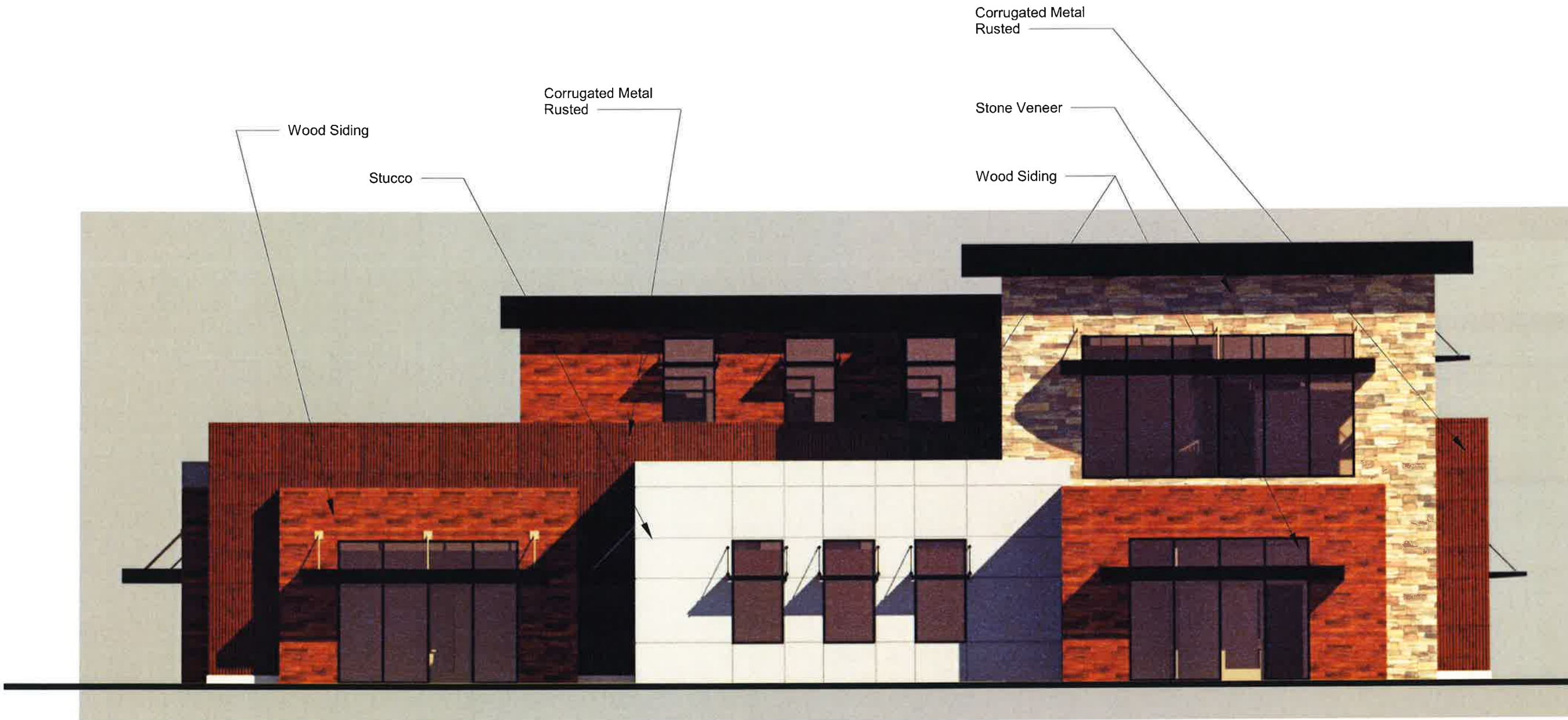


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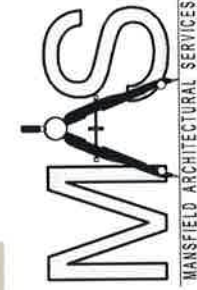






West Elevation

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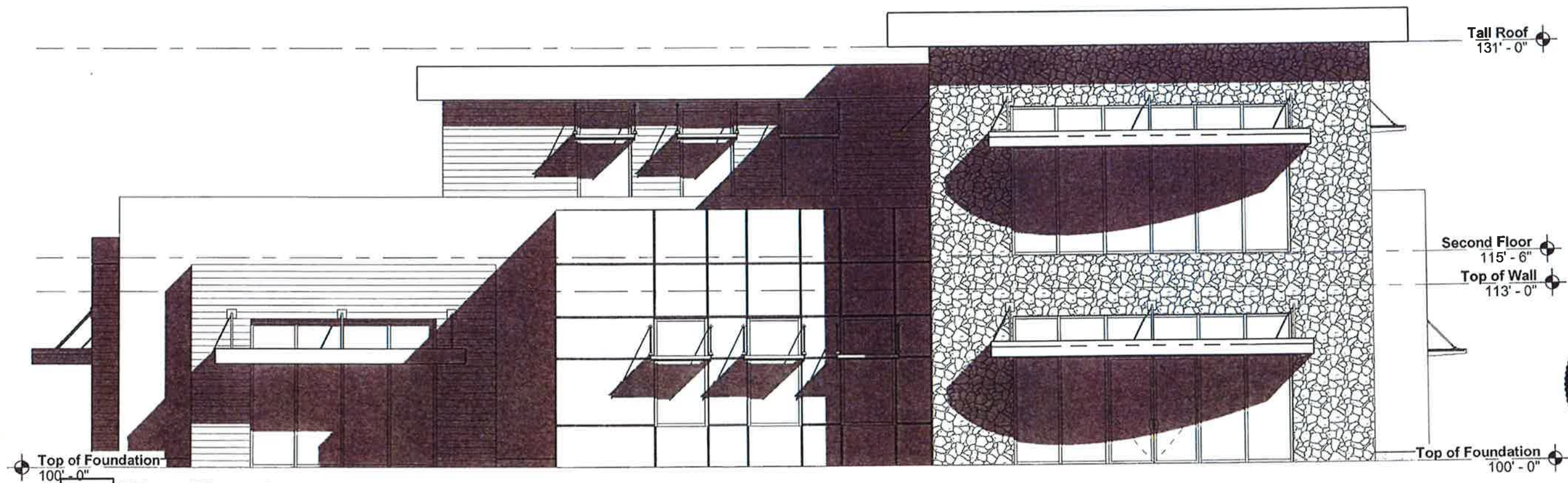


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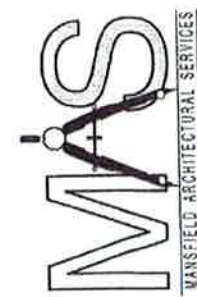
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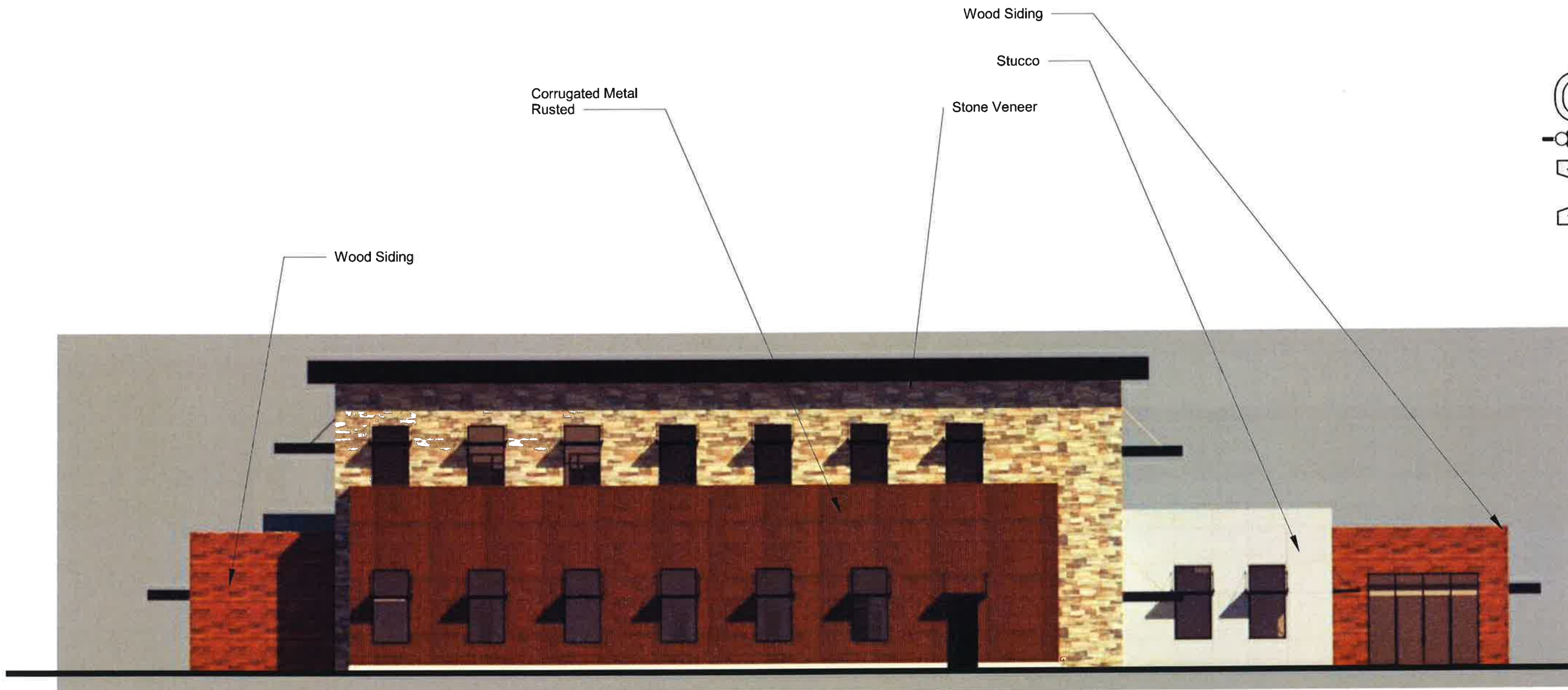
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5	1/8" = 1'-0"



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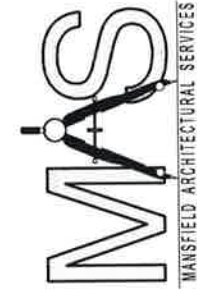
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South Elevation

Scale: 1/8" = 1'-0"

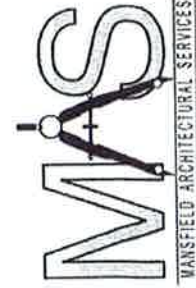
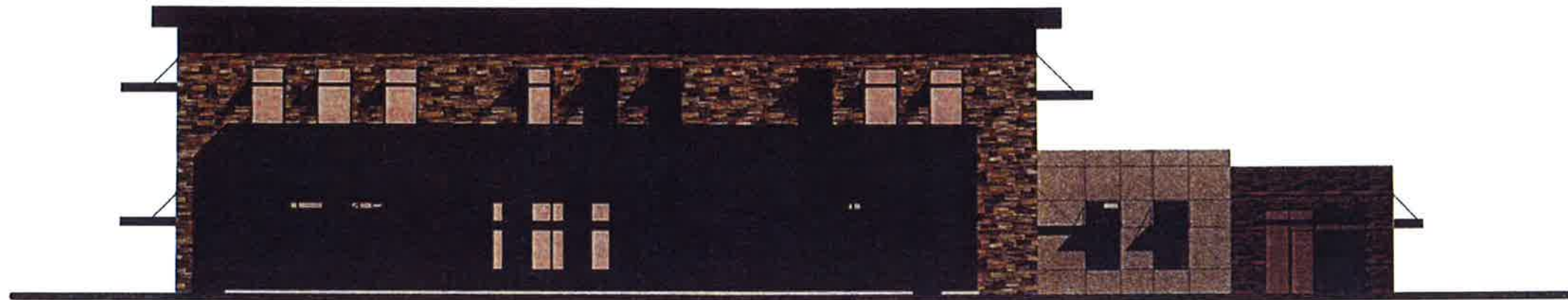


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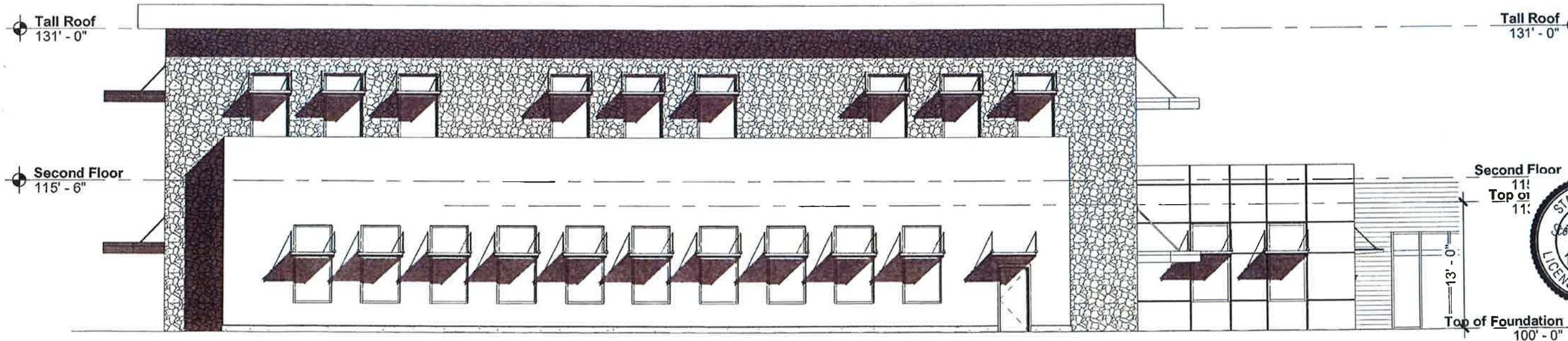




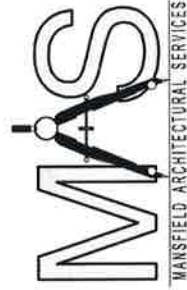


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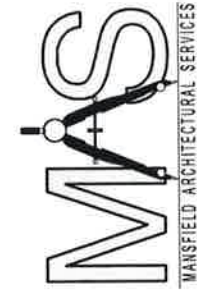


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 435-512-6249 steven.mansfield@usu.edu  
 445 EAST 275 NORTH, HYDE PARK, UTAH 84318







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