



Project #20-001
Quick Quack Car Wash
Located at 12224 North Main Street

REPORT SUMMARY...

Project Name: Quick Quack Car Wash
Proponent/Owner: Joseph Earnest / Todd Yates
Project Address: 1224 North Main Street
Request: Subdivision & Design Review Permit
Current Zoning: Commercial (COM)
Date of Hearing: January 9, 2020
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review and Subdivision Permit for Project #20-001 Quick Quack Car Wash, located at approximately 1224 North Main Street, TIN# 05-014-0071.

Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

Project Request

The proponent is requesting a Subdivision and Design Review Permit for a 2-lot subdivision and to construct a new approximate 3,820 SF automatic car wash building with associated outdoor vacuum stations. The proposed 1.07-acre building lot would be positioned south of the current Arby's restaurant and north of the 8th & Main furniture store along the east side of Main Street. The proposed new stucco and concrete masonry unit (CMU) carwash building is oriented east-west with traffic circulation entering the rear (east) side of the building and exiting on the front (west) side of the building.

Design Review and Subdivision Permit

The LDC 17.43 requires Design Review Permit approvals for new commercial developments to ensure consistent public process, quality design and project layout while considering neighborhood context and compatibility. The LDC 17.40 regulates subdivision of land within the city to ensure orderly development and new growth. The Commercial (COM) zoning district does not contain minimum lot size requirements in the LDC. When subdividing in the COM zone, compliance with land use, building setbacks, building frontage, on-site parking, open space and other applicable LDC requirements are all reviewed. All new lots in the COM zone should be physically suitable for development. When subdivisions are proposed on partially developed or under-developed sites, the remaining lot areas are required to comply with applicable land development standards such as, open space, parking, building setbacks, etc. A subdivision proposal cannot create a new nonconformity. The Planning Commission may approve or conditionally approve Subdivision and Design Review Permits upon substantiating findings in conformance with Title 17 of the LDC.

Lot Coverage & Building Height

The LDC 17.10.080 limits lot coverage at a maximum of 60% (building(s) footprint) and building heights at 40' in the COM zone. The project site is approximately 1.07 acres (46,609 SF) in size with a proposed building footprint at approximately 3,820 SF, lot coverage would equal 8% and complies with LDC requirements. The proposed building is approximately 29 feet at the highest point and in compliance with LDC as proposed.

Building Design

The LDC 17.10.080 states that commercial buildings should be designed to promote high-quality developments with 30% transparency along street facing facades, wall articulations every 40 linear feet and appealing four-sided architectural design. The LDC also requires a minimum 50% building frontage (building width to lot width ratio) to ensure attractive architectural mass framing streetscapes rather than asphalt parking lot voids. The proposed stucco and CMU car wash building has a building frontage of approximately 22% and lacks transparency on the street-facing (west) facade. The north façade shows a series of windows with the rear and north façades containing a limited amount. The proposed building shows wall articulation every 40 linear feet on three of the four facades, with a blank area existing on the south side. Additional transparency on the street facing elevation, building frontage and articulation on the south façade is needed for full code compliance.

Considering an automatic car wash land use with the necessity of circulation and layout for functionality, the Planning Commission could utilize LDC 17.43.080 to make adjustments to the building frontage requirement in condition of approval #6. The other building design requirements of four-sided architecture and transparency do not compromise basis functionality of an automatic car wash land use. As conditioned, the project meets the requirements in the LDC.

Site Layout

The LDC 17.10.080 typically requires parking areas to be in subordinate positions to the primary architectural structure in the COM zone to prioritize architecture and curb-appeal. The proposed project shows the building near the north boundary and outdoor vacuum stations (similar to parking lots) to the south side and rear of the structure. As proposed, the project meets the requirements of the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	10'
Side:	8'
Rear:	10'
Parking (front):	10'
Parking (side & rear)	5'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front: (West)	57'
Side: (South)	73'
Side: (North)	10'
Rear: (East)	158'
Parking (front):	54'
Parking (side & rear)	3'

The rear parking setback is positioned adjacent to a 6-foot wide planter that is existing. All other setbacks are in compliance and as conditioned with rear parking setbacks, the project meets minimum setback requirements of the LDC.

Pedestrian Circulation

The LDC 17.30.040 requires pedestrian circulation within a project and connecting to adjacent public streets. Pedestrian circulation should provide a safe, convenient and well-connected sidewalk network. The proposed project shows sidewalk connections to Main Street and around the proposed building. As proposed, the project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires only drive-thru stacking for an automatic car wash. Six (6) stacking places are required and six are provided with the proposal. The proposal also includes two parking stalls and 23 vacuum stations that can function like parking stalls for additional employees or incidental situations. As proposed, the project meets the parking requirements in the LDC.

Open Space

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site in the COM zone. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The approximate 1.07-acre (46,609 SF) site would require 4,660 SF of open space and 4,660 SF of usable outdoor space for a total of 9,321 SF of open area. The proposal shows conceptual landscaping and outdoor spaces above the 20% requirement. As conditioned with minimum open space requirements, the project complies with the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. Interior parking lot landscaping is required to reduce the appearance of large asphalt expanses and to reduce the heat-island effect. For 1.02 acres, 20 trees and 51 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows only conceptual landscaping areas. As conditioned with a detailed landscaping plan meeting minimum plant numbers and interior parking lot landscaping, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

Remainder Lot with Existing Building (Lot #2)

This proposal creates a new 1.97-acre lot with an existing 35,000 SF single-story masonry building. Built in 1976, the former Cal-Ranch building is now the 8th & Main Furniture Store. This subdivision proposal alters parking and landscaping areas currently associated with this existing building. Overall open space and outdoor space remains compliant to current standards considering the existing surrounding landscape and outdoor areas, but tree and plant counts are below current code standards. Staff did not consider building design and other unaltered areas of the site, as those were legally established in 1976. As conditioned with compliance for parking and landscaping, the remainder lot and existing building comply with the requirements in the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	• Parks and Recreation
• Environmental (Waste Management)	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 12/27/19 and the Utah Public Meeting website on 12/20/19. Public notices were mailed to all property owners within 300 feet of the project site on 12/20/19.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Two (2) lots are approved with this Subdivision Permit.
3. The remainder Lot #2 with the existing building shall comply with the LDC parking requirements for a furniture store or an alternative parking plan shall be submitted in writing and approved prior to the recordation of the final subdivision plat.
4. The remainder Lot #2 with the existing building shall provide street trees along both street frontages at every 30 feet on center and replace the five (5) onsite trees located on the proposed Lot #1. These trees shall be planted prior to final plat recordation or a surety bond may be submitted and approved delaying planting times for up to 6 months in case of weather or other unforeseeable issues.
5. The new building shall provide 30% transparency on the ground-floor street facing façade. A transparent roll-up door will count towards this requirement.
6. The new building shall provide 50% building frontage along the Main Street frontage.
7. The new building shall provide wall articulations on the south façade where blank spaces of 40 linear feet or more exist with additional windows and features to accomplish four-sided architecture.
8. The new project shall provide a performance landscaping plan, prepared in accordance with §17.32 of the LDC, for Building Permit approvals. The plan shall include the following:
 - a) Street trees along Main Street every thirty (30) feet on center unless otherwise noted by the City Forrester. Place 30 feet away from the edge of driveway approaches for site visibility purposes.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 20% of the project site (9,321 SF).
 - c) A total number 20 trees and 51 shrubs/perennials shall be provided. Existing trees and shrubs located on-site and planned to remain can count towards plant totals.
9. The dumpster enclosure shall have either a masonry wall or a combination of fencing and dense landscaping to screen the dumpster.
10. Considering the existing 6-foot-wide landscape planter, the Planning Commission approves the rear parking setback of 3 feet (east).
11. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screened with dense vegetation from adjacent public street views.

12. Rooftop mechanical and building wall mechanical equipment shall be placed out of view and screened from adjacent streets.
13. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
14. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
15. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
16. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire—contact 716-9515*
 - Provide a fire hydrant within 400 ft. as measured by an approved route around the exterior of the building
 - b. *Water—contact 716-9627*
 - Any landscape irrigation system connected to Logan City Water must have high hazard rated backflow assembly installed and tested. Current system along main will need B/F assembly updated and leaks fixed.
 - Any fire suppression systems connected to Logan City Water must have a minimum DC (ASSE1015) installed and tested.
 - The water main must have a RP (ASSE1013) installed on the water main as it enters the building before any branch offs or possible connections, this is for containment only (city water supply protection). Then split the water line and supply the culinary purposes, and then another RP (ASSE1013) on the line to feed the car wash (high hazard) non-potable system.
 - c. *Parks and Recreation—contact 716-9240*
 - Owner is responsible for irrigation and maintenance of landscape strip(s) on Main Street and ensure a water meter for irrigation of their landscape strip(s) is in their name.
 - d. *Engineering —contact 716-9153*
 - Provide water shares or an in-leu of fee for increased demand placed on City water sources. Amount required shall be per Utah Administrative Code R309-510-7.
 - Provide onsite retention of the 90% storm event utilizing Low Impact Design methods. The original site was designed to retain the 10-year 1-hour storm event. Provide onsite storm water detention/retention for the delta between current storm water design standards and the current storm water design.
 - Ensure that all existing drainage systems currently in use are maintained to existing storage and drainage capacities and connections
 - Any existing water or sewer services associated this parcel that are not going to be reused with the new development shall be capped at the City utility main line.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW AND SUBDIVISION PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:


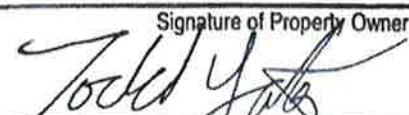
1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC.
5. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

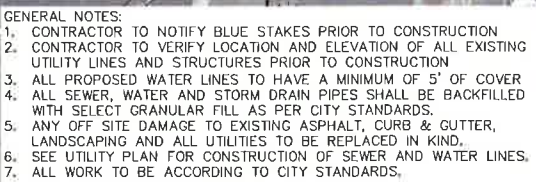
This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 12-9-19	Received By	Receipt Number	Zone COM	Application Number PC 20-001
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME DD LOGAN MAIN ST				
PROJECT ADDRESS 1224 NORTH MAIN ST LOGAN UT 84341				COUNTY PLAT TAX ID # 05-014-0071
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) JOSEPH EARNEST				MAIN PHONE # (801) 400-1944
MAILING ADDRESS 492 WEST 1200 NORTH	CITY SPRINGVILLE	STATE UT	ZIP 84663	
EMAIL ADDRESS JOSEPH@LONESTARBUILDERSINC.COM				
PROPERTY OWNER OF RECORD (Must be listed) Todd Yates				MAIN PHONE # 435-994-0113
MAILING ADDRESS 1288 E. Orchard Hts Dr.	CITY Logan	STATE Ut	ZIP 84321	
EMAIL ADDRESS todd.yates@msn.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) THE PROPOSED PROJECT IS AN AUTOMATIC CARWASH FACILITY WITH ASSOCIATED VACUUM STALLS AND A CONCRETE PARKING LOT. THERE WILL BE AN AUTOMATIC CAR WASH BAY BUILDING AND SEVERAL VACUUM STATIONS ON SITE. - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				Total Lot Size (acres) 1.07 ACRES
				Size of Proposed New Building (square feet) 3820 SQ FT
				Number of Proposed New Units/Lots
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
		I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		
		Signature of Property Owner 		



SHEET:
C-1
DATE: Dec 06, 2019

Site plan showing a proposed building and parking lot. The plan includes dimensions and bearings for the building footprint, parking lot, and surrounding areas. Key features include:

- PROPOSED BUILDING**: A central structure with a curved driveway.
- Parking Lot**: A large area with multiple parking spaces, divided into two sections by a dashed line.
- LOT 2**: An adjacent lot to the north.
- Dimensions and Bearings**:
 - Building footprint: $S88^{\circ} 57' 24'' E$ 45.71', $S1^{\circ} 01' 58'' W$ 24.50'.
 - Parking lot dimensions: $S88^{\circ} 57' 24'' E$ 296.42', $S1^{\circ} 01' 58'' W$ 24.50'.
 - Surrounding areas: $S88^{\circ} 52' 02'' E$ 209.92', $S37^{\circ} 10' 01'' E$ 216.87', $N0^{\circ} 03' 16'' E$ 120.28'.
- DO NOT ENTER**: Signs indicating restricted access points.

LOT LINES (PROPERTY)

EXISTING CURB AND GUTTER

PROPOSED CURB AND GUTTER

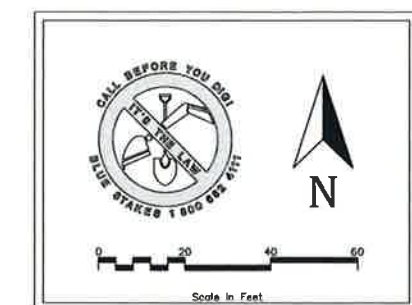
STRIPING

EXISTING BUILDING

BUILDING AREA

LANDSCAPE AREA

LOT AREA:	46,863	SF (1.07 ACRES)
BUILDING AREA:	3,820	SF± 8.2%
PAVEMENT AREA:	31,479	SF± 67.2%
LANDSCAPE AREA:	11,564	SF± 24.6%
ZONING: COMMERCIAL (COM)		
PERMITTED USE		

[illegible]

ELEVATE
ENGINEERING

SHEET:
L-1

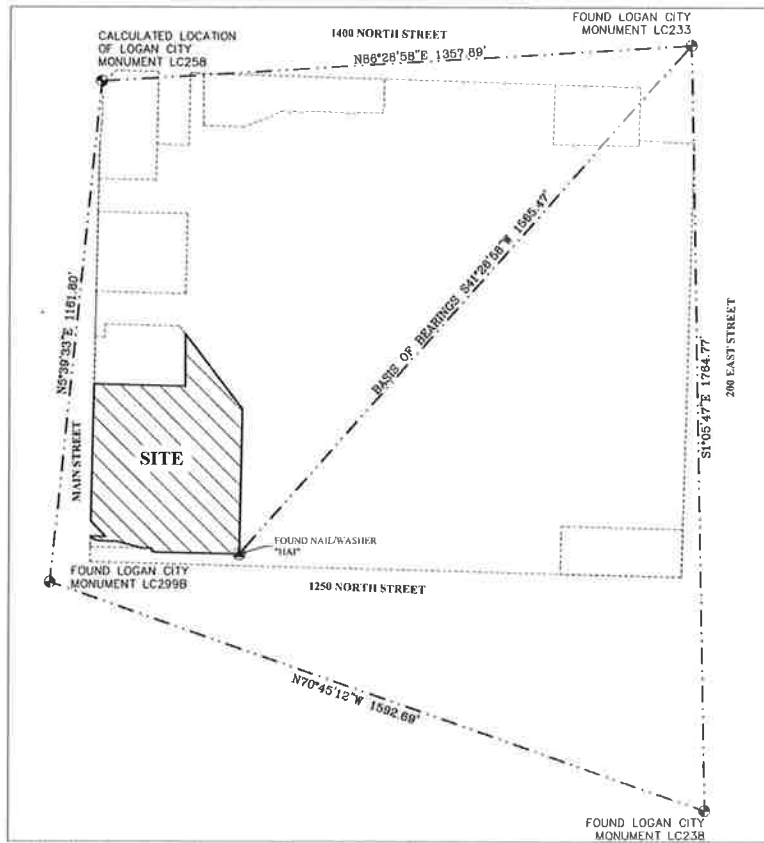
DATE:
Dec 06, 2019

CACHE VALLEY MALL SUBDIVISION
LOT 1 AMENDED

(AMENDING LOT 1 OF THE CACHE VALLEY MALL SUBDIVISION)
A PART OF THE NORTHWEST QUARTER OF SECTION 27 AND A PART OF
THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 NORTH,
RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
LOGAN CITY, CACHE COUNTY, UTAH

REVIEW COPY

CONTROL DIAGRAM
(1"=200')



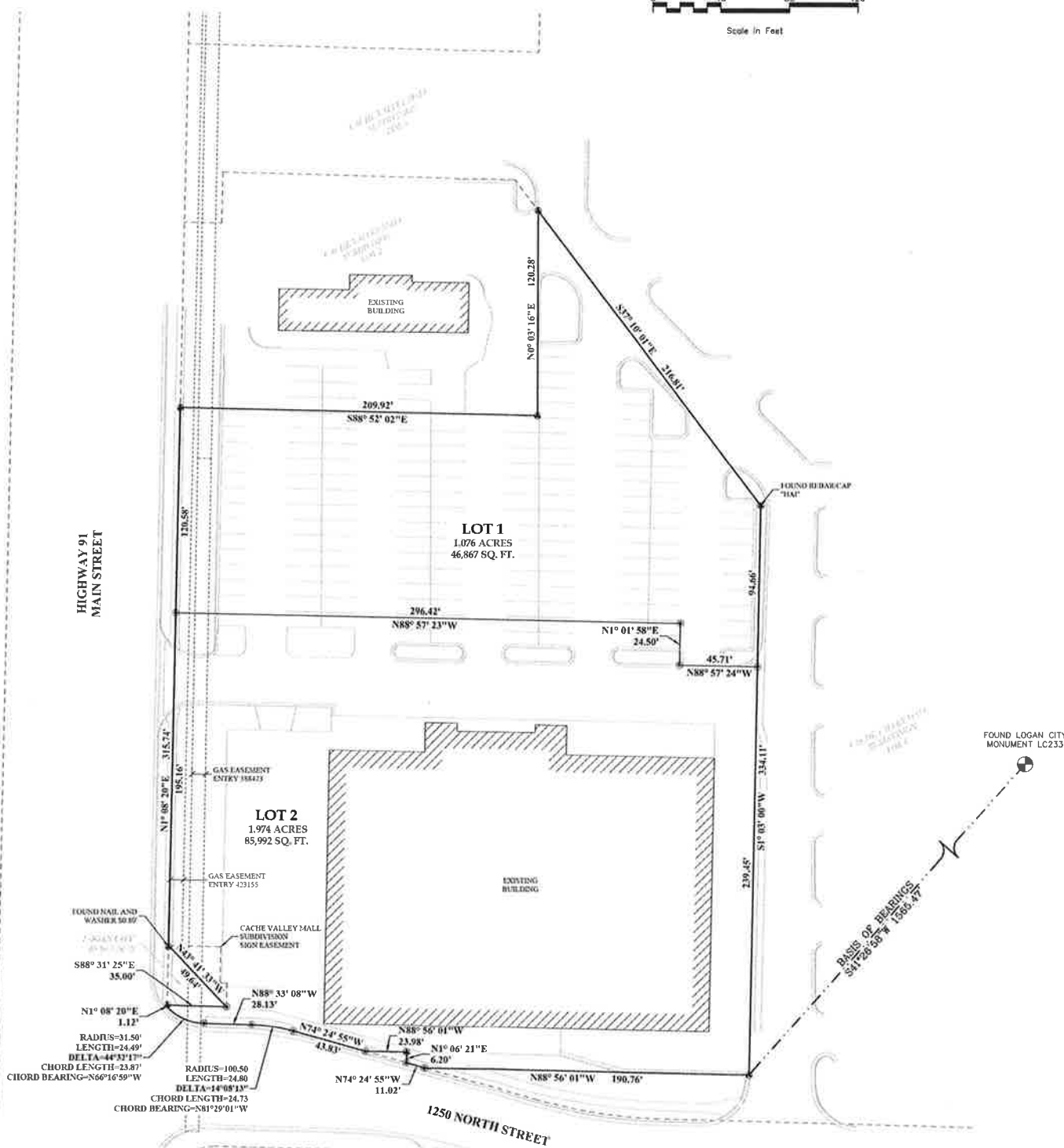
LEGEND

- SET REBAR/CAP OR NAIL/WASHER
"LEGEND ENGINEERING PLS 5183760"
- FOUND PROPERTY CORNER
NAIL/WASHER "HAI"
(UNLESS OTHERWISE NOTED)
- FOUND LOGAN CITY MONUMENT
- CALCULATED LOGAN
CITY MONUMENT

SUBDIVISION NOTES

- BOTH LOTS HEREON ARE SUBJECT TO THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED WITH THE ORIGINAL CACHE VALLEY MALL SUBDIVISION.
- ALL OF THE SURFACE AREAS ON THIS PLAT THAT ARE NOT COVERED OR OCCUPIED BY A PERMANENT STRUCTURE ARE CONSIDERED COMMON AREA AND AS SUCH ARE PUBLIC UTILITY EASEMENTS AS DEFINED IN THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS.
- ALL PAVED SURFACES AND EXISTING DRIVE APPROACHES ARE COVERED WITH A PASS-THROUGH EASEMENT ON EACH OF THE LOTS AS SHOWN AND DESCRIBED HEREON AS DEFINED IN THE DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS.
- NO STRUCTURE MAY BE BUILT WITHIN ANY PUBLIC UTILITY EASEMENT, EXCEPT APPROVED BY THE CITY ENGINEER.
- NOT ALL EASEMENTS PURPORTED TO AFFECT THE PROPERTY WERE ABLE TO BE PLOTTED BUT MAY AFFECT THE SUBJECT PROPERTY.
- THE PROPOSED BLANKET PUBLIC UTILITY EASEMENTS HEREON SHALL NOT BE CAUSE FOR ANY DAMAGE TO THE STRUCTURES, SERVICES, OR LAND OF THE OWNER'S, THEIR SUCCESSORS AND ASSIGNS, BY REASON OF THE INSTALLATION, OPERATION, AND MAINTENANCE OF THE PUBLIC UTILITIES ADJACENT TO CURRENT IMPROVEMENTS. SOME IMPROVEMENTS OR SERVICES, BEING SUB-SURFACE OR AERIAL, MAY NOT BE IDENTIFIED ON THIS DRAWING.

HIGHWAY 91
MAIN STREET



SURVEYOR'S CERTIFICATE

I, CORY B. NEERINGS, CERTIFY THAT I AM A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF UTAH, LICENSE NO. 5183760, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED.



CORY B. NEERINGS
PLS 5183760

BOUNDARY DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF LOT 1 OF THE CACHE VALLEY MALL SUBDIVISION, SAID POINT BEING SOUTH 41°26'38" WEST 195.47 FEET FROM LOGAN CITY MONUMENT LC233;
THENCE NORTH 88°56'01" WEST 190.76 FEET;
THENCE NORTH 74°24'53" WEST 11.02 FEET;
THENCE NORTH 01°06'31" EAST 6.20 FEET;
THENCE NORTH 88°56'01" WEST 23.98 FEET;
THENCE NORTH 74°24'53" WEST 43.83 FEET;
THENCE 24.80 FEET ALONG THE ARC OF A 100.50 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 14°06'17" (CHORD BEARS NORTH 81°59'01" WEST 24.73 FEET);
THENCE NORTH 88°56'01" WEST 38.13 FEET;
THENCE 24.49 FEET ALONG THE ARC OF A 31.50 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 44°52'17" (CHORD BEARS NORTH 66°16'59" WEST 23.87 FEET);
THENCE NORTH 1°06'31" EAST 1.12 FEET;
THENCE SOUTH 88°56'01" EAST 35.00 FEET;
THENCE NORTH 43°41'31" WEST 49.64 FEET;
THENCE NORTH 1°06'31" EAST 31.57 FEET;
THENCE SOUTH 88°56'01" EAST 109.82 FEET;
THENCE NORTH 0°03'16" EAST 120.28 FEET;
THENCE SOUTH 37°10'01" EAST 216.81 FEET;
THENCE SOUTH 1°03'00" WEST 334.11 FEET TO THE POINT OF BEGINNING.

CONTAINS
2 LOTS
3.050 ACRES OR
132,859 SQUARE FEET, MORE OR LESS

BASIS OF BEARINGS

THE BASIS OF BEARINGS WAS ESTABLISHED AS SOUTH 41°26'38" WEST BETWEEN THE FOUND LOGAN CITY SURVEY MONUMENT LC233 AND FOUND NAIL/WASHER "HAI" AT THE SOUTHEAST CORNER OF LOT 1 OF THE CACHE VALLEY MALL SUBDIVISION ON FILE AND RECORD AT THE CACHE COUNTY RECORDERS OFFICE, AS RECORDER NO. 1199084

OWNER'S DEDICATION

Know all men by these presents that we the undersigned owners of the tract of land depicted and described herein, having caused the same to be subdivided into lots and streets, the whole to be hereinafter known as **CACHE VALLEY MALL SUBDIVISION LOT 1 AMENDED**, does hereby dedicate for the perpetual use of the public all streets, easements and other property as shown on this plat to be dedicated for public use and hereby consents and gives approval to the recording of this plat for all purposes shown therein.

In witness whereof, I have hereunto set my hand this ____ day of _____, 2019.

Signature _____
Print Name _____
Title _____

ACKNOWLEDGEMENT

STATE OF UTAH 1
COUNTY OF 1 SS

On the ____ day of _____, 2019, personally appeared before me _____, a Notary Public, personally appeared _____, proved on the basis of satisfactory evidence to the the person(s) whose name is subscribed to in this document, and acknowledged they executed the same.

Commission Number _____ Signature _____
My Commission Expires _____ Print Name _____
A Notary Public Commissioned in Utah



LEGEND ENGINEERING

52 WEST 100 NORTH
HEBER CITY, UT 84032
PHONE: 435-854-4828
www.legendengineering.com

CACHE COUNTY RECORDER

STATE OF UTAH, COUNTY OF CACHE, RECORDED AND
FILE AT THE REQUEST OF _____

DATE _____ TIME _____ BOOK _____ PAGE _____

FILE NO. _____
CHIEF DEPUTY
CACHE COUNTY RECORDER

REVISION: NONE

DATE: 12/5/19

SCALE: 1"=40'

PAGE: 1 OF 1

PROJECT: S19-078

MAYOR APPROVAL

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY
ON THE ____ DAY OF _____, 2019.

LOGAN CITY MAYOR _____ DATE _____

CITY ENGINEER

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY
ON THE ____ DAY OF _____, 2019.

LOGAN CITY ENGINEER _____ DATE _____

CITY ATTORNEY

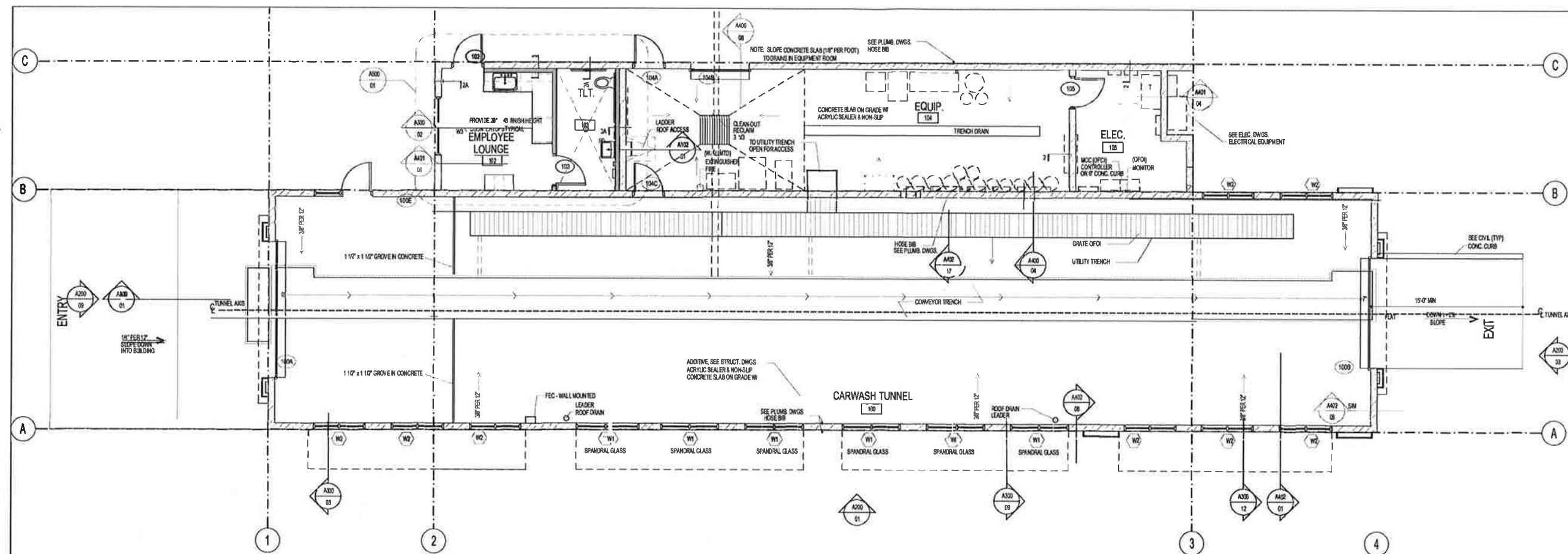
I CERTIFY THAT I HAVE EXAMINED THIS PLAT
AND APPROVE THIS PLAT AS TO FORM AS
REQUIRED BY STATE LAW AND COUNTY ORDINANCE

LOGAN CITY ATTORNEY _____ DATE _____

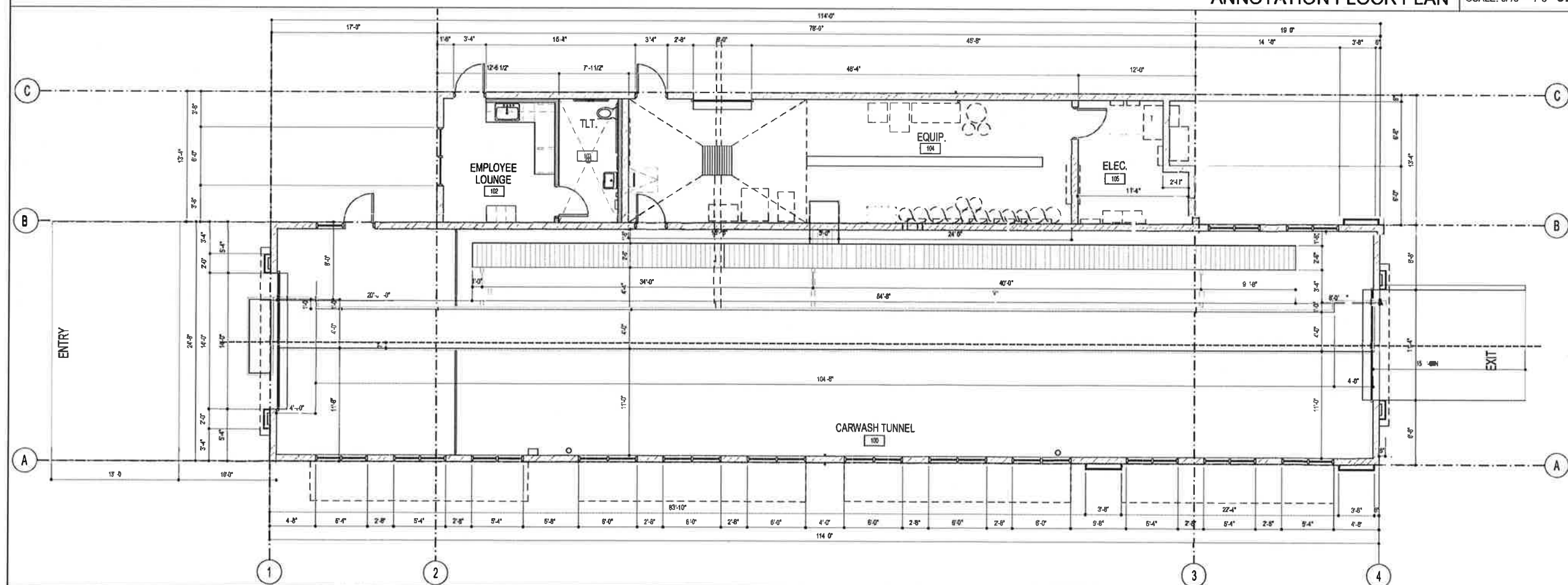
COMMUNITY DEVELOPMENT

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY
ON THE ____ DAY OF _____, 2019.

DIRECTOR OF COMMUNITY DEVELOPMENT _____



ANNOTATION FLOOR PLAN SCALE: 3/16" = 1'-0" 02



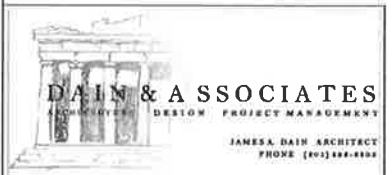
DIMENSION FLOOR PLAN SCALE: 3/16" = 1'-0" 01

PROJECT NOTES

ALL EXTERIOR WALL TO BE FILLED WITH PERLITE INSULATION

Service counters 36 maximum height. Also areas used for check writing must have an area that is no more than 34 inches maximum in height. Work service counters 28-34 inches maximum in height ANSI 904.4.2 & 904.4.3 (Front Reception Counters and Breakroom)

PROJECT TITLE
QUICK QUACK CAR WASH
LOGAN, UT

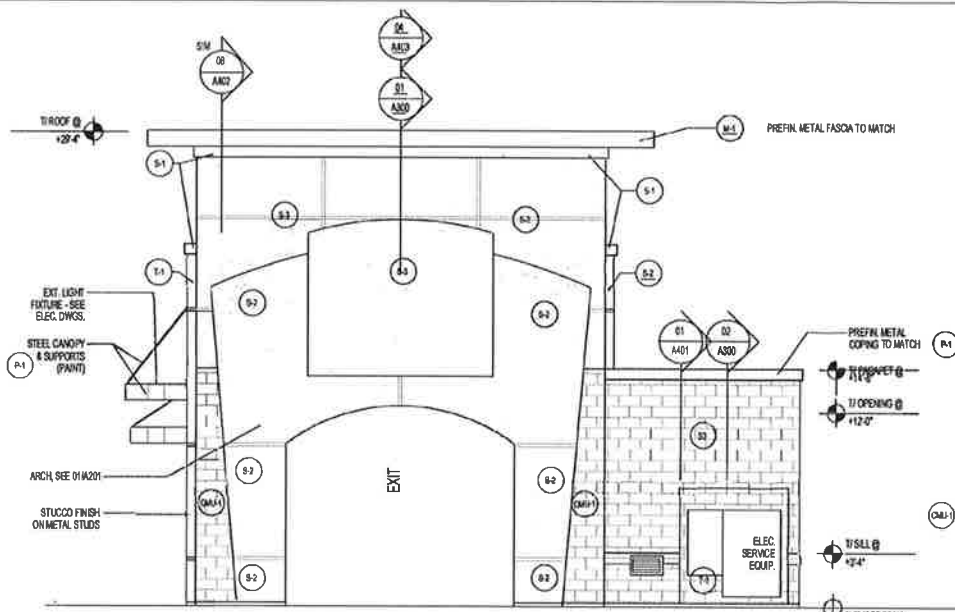


DATE: October 17, 2019
REVISIONS:

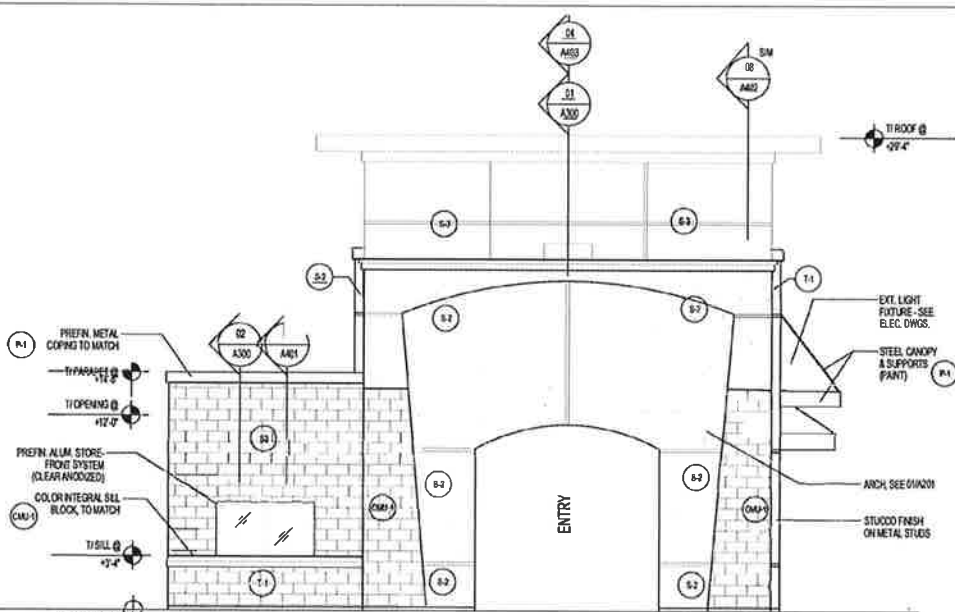
A100

EXTERIOR FINISH SCHEDULE

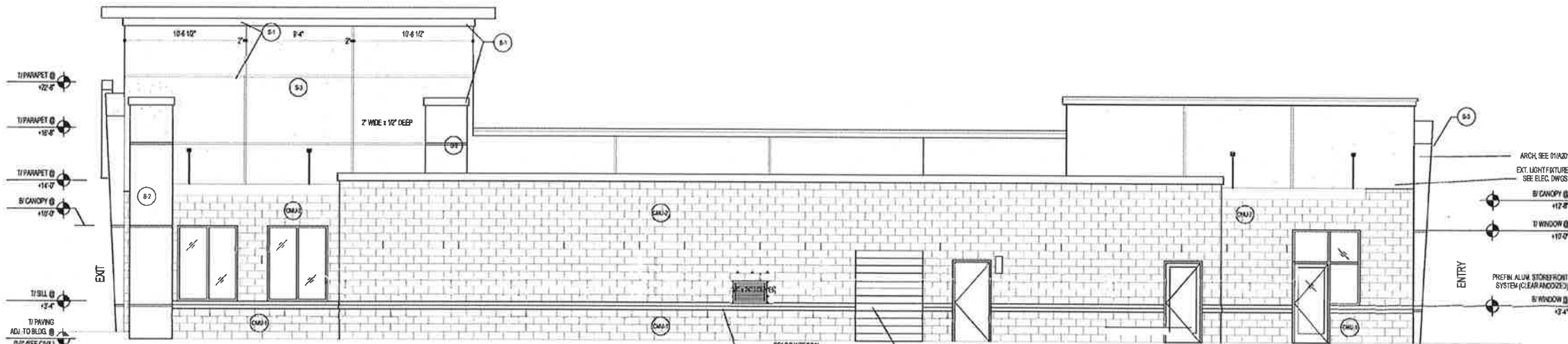
LABEL	MATERIAL	COLOR/ MANUFACTURER
CMU-1	SPUT-FACE CMU	INTEGRAL COLOR (DARK GREY) TO MATCH SW 7025 "BACKDROP"
CMU-2	SMOOTH-FACE CMU	INTEGRAL COLOR (LIGHT GREY) TO MATCH SW 7025 "DOGGING PATH"
S-1	STUCCO	MATCH SW 6155 "STARBORD" (GREEN)
S-2	STUCCO	MATCH SW 6003 "CHEERFUL" (YELLOW)
S-3	STUCCO	MATCH SW 7004 "SNOWBOUND" (WHITE)
P-1	PAINT	SW 6155 "STARBORD" (GREEN)
P-2	PAINT	SW 6003 "CHEERFUL" (YELLOW)
P-3	PAINT	SW 7025 "BACKDROP" (DARK GREY)
P-7	PAINT	SW 6226 "TRICORN BLACK"
M-1	STANDING SEAM ROOFING	MATCH SW 6155 "STARBORD" (GREEN)



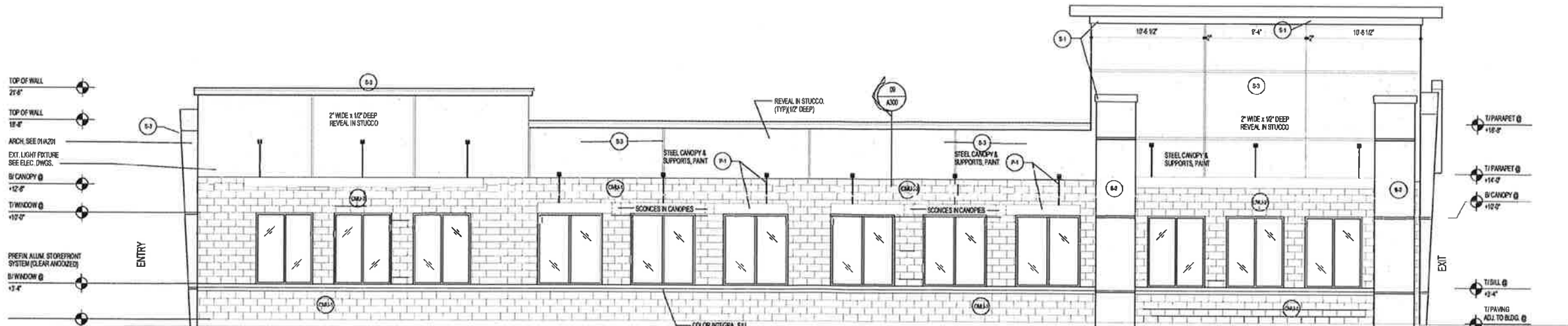
EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 04



EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 03



EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 02



EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 01

PROJECT NOTES

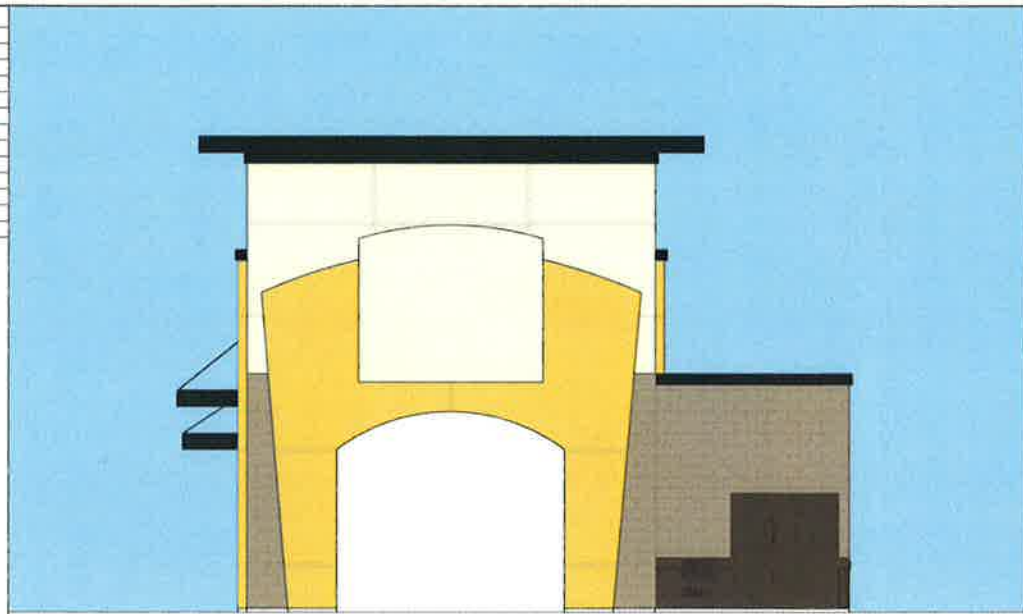
PROJECT TITLE
QUICK QUACK CAR WASH
LOGAN, UT



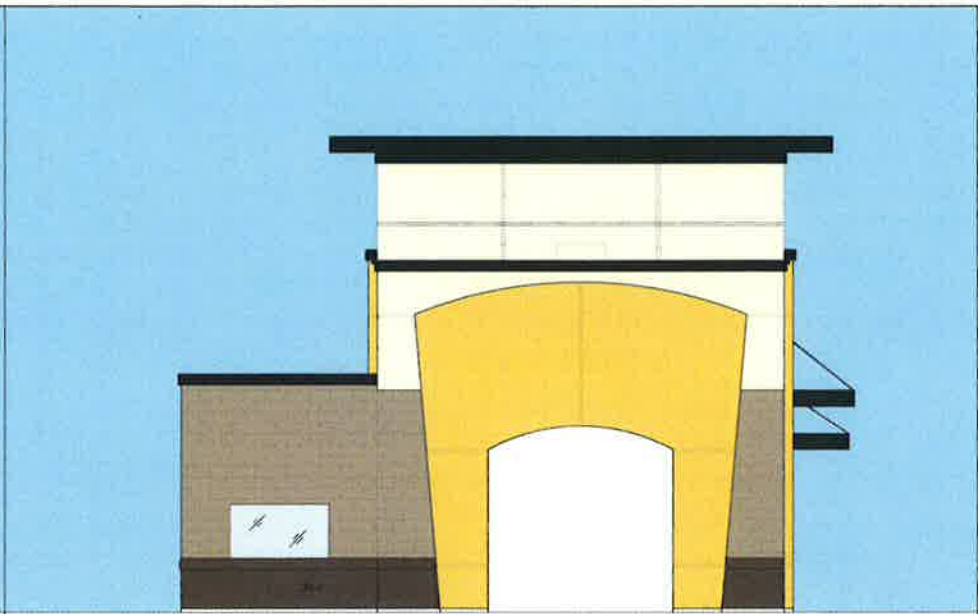
DATE: October 17 2019
REVISIONS

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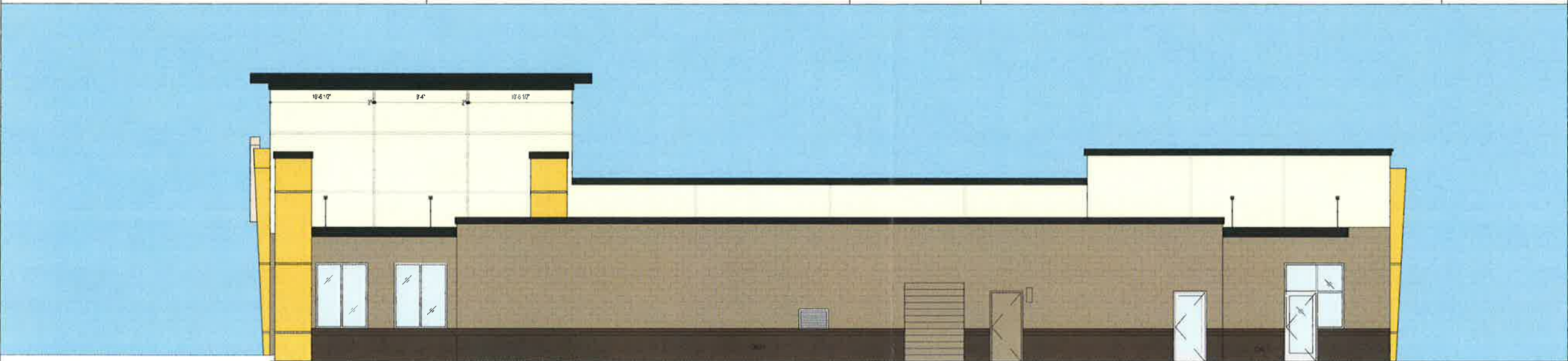
EXTERIOR FINISH SCHEDULE		
LABEL	MATERIAL	COLOR / MANUFACTURER
CMU-1	SPLIT-FACE CMU	INTEGRAL COLOR (DARK GREY) TO MATCH SW 7025 "BACKDROP"
CMU-2	SMOOTH-FACE CMU	INTEGRAL COLOR (LIGHT GREY) TO MATCH SW 7038 "JOGGING PATH"
S-1	STUCCO	MATCH SW 6756 "STARBORD" (GREEN)
S-2	STUCCO	MATCH SW 6903 "CHEERFUL" (YELLOW)
S-3	STUCCO	MATCH SW 7034 "SHOWBOUND" (WHITE)
P-1	PAINT	SW 6756 "STARBORD" (GREEN)
P-2	PAINT	SW 6903 "CHEERFUL" (YELLOW)
P-3	PAINT	SW 7025 "BACKDROP" (DARK GREY)
M-1	METAL	MATCH SW 6756 "STARBORD" (GREEN)
WT	WINDOW FRAME	CLEAR ANODIZED



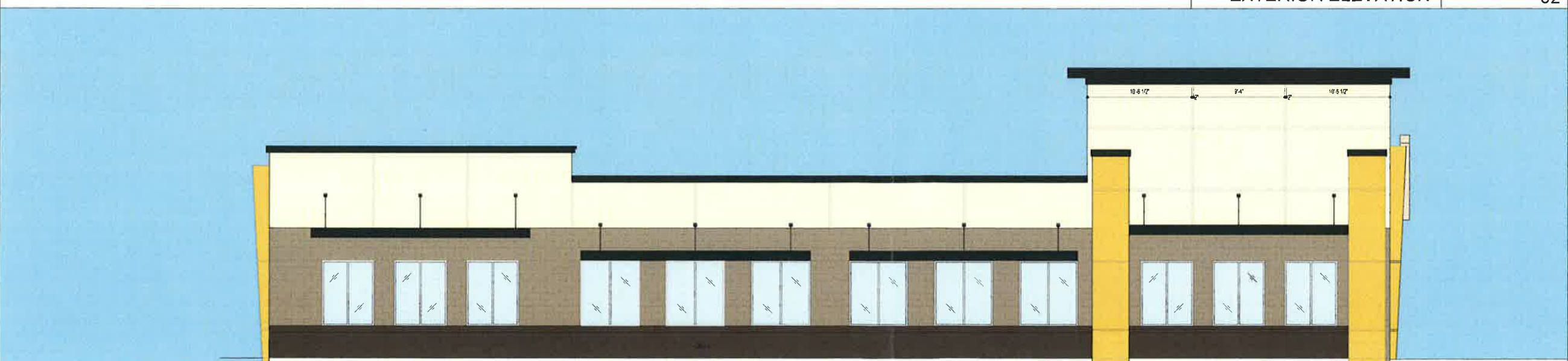
EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 04



EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 03




EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 02



EXTERIOR ELEVATION SCALE: 3/16" = 1'-0" 01

PROJECT NOTES

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