



**Project #19-031
Kearl Property
1136 N 600 W**

REPORT SUMMARY...

Project Name: Kearl Property
Proponent/Owner: Travis Taylor / Leanard C. Kearl Jr. Trust
Project Address: Approximate 1136 N 600 W
Request: Rezone from NR-6 to MR-9, Subdivision and Design Review Permit
Current Zoning: NR-6
Date of Hearing: September 12, 2019
Type of Action: Legislative, Quasi-Judicial
Submitted By: Aaron Smith, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission recommend **denial** to the Municipal Council for a Rezone of approximately 6.55 acres of property located at approximately 1136 N 600 W (TIN# 05-041-0006) from Neighborhood Residential Traditional (NR-6) to Mixed Residential Transitional (MR-9).

Contingent on approval of a rezone to MR-9, Staff recommends that the Planning Commission **conditionally approve** a Subdivision and Design Review Permit for Project #19-031 Kearl Property, for 32 townhome units on individual building lots located at 1136 N 600 W (TIN# 05-041-0006).

Land use adjoining the subject property

<i>North:</i>	REC: Park and Elementary School	<i>East:</i>	NR-6 Single Family Residential
<i>South:</i>	MR-12: Multi-Family Residential	<i>West:</i>	IP: Agricultural, Storage, and Educational Uses

REQUEST

The proponent is requesting to rezone approximately 6.55 acres from NR-6 to MR-9 to allow for townhome development. The proposed townhome development consists of 32 dwelling units in eight (8) 4,480 SF buildings. Each townhome will be on its own building lot. The proposed development features a low gross density, 4.95 units/acre. The buildings are arranged around a central oval private drive with building fronts oriented towards a common open space. The configuration preserves a large amount of common open space for the development. The proposal includes only one street connection at 1150 N. This road connects to the proposed development through a single-family neighborhood. To the west, the property is adjacent to railroad tracks that run along 600 W. No 600 W access across the railroad tracks is proposed with this project. To the north is Bridger Park and Elementary School. To the south is a multi-family development.

GENERAL PLAN

The Future Land Use Plan (FLUP) adopted in 2008 identifies this property as Detached Residential (DR). The FLUP does not distinguish between the different DR zoning districts in the General Plan. DR is described as a district that will be developed with detached single-family homes. While flexibility and variety of housing is described as important in this district, the General Plan states that all new residential developments must create a traditional neighborhood character with entrances of homes oriented towards public streets.

ZONING

The current zone, NR-6, allows single family detached homes with a minimum lot size of 6,000 SF. The zone is prominent throughout the core of Logan. The proposed MR-9 zone is described in the Land Development Code (LDC) as providing transitional areas between higher intensity commercial and lower intensity residential. A variety of housing types and designs are encouraged to promote neighborhood stability and a sense of community. This zone allows for up to 9 units per acre of land and permits residential uses with a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit.

REZONE REQUEST

While the proposed development is significantly under the maximum density of the MR-9 zone and the stated desire of the proponent is to develop a project that meets the current NR-6 density standard, a rezone of this property would allow for up to a maximum of 58 units on the property unless the property owner records a voluntary deed restriction that capped the maximum density for the property to something less than the zoning permits.

This project is located within the Bridger Neighborhood. Housing in this neighborhood is diverse, with large amounts of townhomes and multi-family developments. The housing portfolio in the area around this project reflects the diverse housing in the area. According to the American Community Survey (ACS) 2017 estimates, only 22.5% of the housing in the proximity of the project site (between 600 N and 1400 N and between Main Street and 600 W) are single family homes. This is nearly half the rate for single family homes in Logan City (40%). Also, the area features an above average concentration of attached housing (21%) and 3 or 4 unit apartments (46%).

Social Explorer - ACS 2017 (5-Year Estimates)				
Statistics	Block Groups in Proximity to Project Site		Logan City, Utah	
Housing Units				
Housing Units	1,843		18,071	
Housing Units in Structure				
Housing Units:	1,843		18,071	
1 Unit:	805	43.7%	9,058	50.1%
1, Detached	415	22.5%	7,215	39.9%
1, Attached	390	21.2%	1,843	10.2%
2	11	0.6%	965	5.3%
3 or 4	846	45.9%	4,037	22.3%
5 to 9	7	0.4%	997	5.5%
10 to 19	21	1.1%	1,044	5.8%
20 to 49	0	0.0%	816	4.5%
50 or More	0	0.0%	612	3.4%
Mobile Home	153	8.3%	524	2.9%
Boat, Rv, Van, Etc.	0	0.0%	18	0.1%

Table 1 – ACS 2017 Estimates for project area compared to Logan City

Logan City's housing goal for the Bridger Neighborhood has been to increase the number of single family homes in the area to help provide a more balanced housing portfolio. Much of the remaining undeveloped land, including this parcel, has been rezoned to NR-6 and designated as DR on the FLUP to help achieve this goal. Balance to the housing in the area will help to

increase long term home ownership, lessen student turn-over in local schools, and provide more housing options for residents.

While the current project proposal reflects a gross density that is within the requirements of the NR-6 zone, the proposal for additional attached housing in the area will not help to balance the neighborhood's housing portfolio. With the project site being adjacent to an existing single family development, the FLUP designation of the area as DR, and the need for more single family detached housing in the area, staff recommends that the rezone request from NR-6 to MR-9 be denied to preserve one of the last remaining locations for single family detached homes in the neighborhood.

SUBDIVISION PERMIT

The Land Development Code (LDC) 17.40 requires subdivision permits to be in accordance with zoning district standards to ensure orderly development patterns, block connectivity and to preserve traditional neighborhood character. When subdividing townhomes in the MR-9 zone, the LDC does not require a minimum lot size, only compliance to maximum density. With a subdivision request and the addition of new interior property lines, building setbacks will be reviewed on an individual building lot basis. The applicant is requesting 32 building lots with a remainder open-space property for community amenities and landscaping. The net density of the project is proposed at 4.95 homes per acre of land. As proposed, with a density of 4.95 acres/unit, the project meets the density standards of the MR-9 zone.

Street Grid Connectivity

The LDC 17.30.170 requires that subdivisions with greater than 20 lots have at least three (3) adjacent street connections or stubs for future connections. The LDC street connectivity requirement ensures practical traffic distribution, efficient utility networks, improved walkability and the continuation of traditional core neighborhoods with homes placed around the perimeter of a network of city blocks. This proposal includes only one street connection at 1150 N. While fire code mandates that at least one additional 20' wide fire access be provided, that access may not meet the standard of a street.

The LDC allows the Planning Commission to reduce the number or required street connections based on physical conditions of the site or abutting properties and pre-existing development patterns. The project is boxed in on several sides by a railroad to the west, a park to the north, and existing development to the south. Connectivity to the east has been preserved with the 1150 N road and a dedicated right-of-way to extend 1110 N to the project property. The continuation of the 1110 N street would provide a second connection for the development. The 1110 N to 1150 N connection on the site can be considered as a public street. Dedicating this as a public street will eliminate dead-end roads, provide city maintenance for the street and improve neighborhood connectivity. As conditioned, with the Planning Commission permitting only 2 street connections, and requiring the extension of 1110 N to the development, and the dedication of the 1110 N to 1150 N loop as a public street or developed to public street standards, the project meets the street connectivity standards of the LDC.

DESIGN REVIEW PERMIT

Site Plan & Building Placement

The LDC 17.09.040 states that buildings shall be placed near the street and oriented with front facades and primary pedestrian entrances facing the adjacent street or common courtyards unless unique site conditions prohibit it. This requirement enhances the traditional neighborhood character by placing quality architecture features, such as porches and stoops, along the street. This pattern produces better walkability and pedestrian accessibility.

The proposed building orientation is towards the perimeter common area, which may be considered a courtyard to meet the orientation standard of the LDC. While this orientation does

not promote a traditional neighborhood layout, it will allow for the more architecturally detailed portions of the building to face adjacent development and provide for access for residents to the common open space without having to cross the shared drive; however, with street connectivity requirements to extend 1110 N and the proposed connection to 1150 N, there is opportunity to provide street facing design that meets the intent of the LDC. Where site constraints are found to provide no practical design to orient building toward the street, the Planning Commission may permit alternative site layouts. As conditioned, with the planning commission allowing the building orientation as proposed, the project meets the building placement and orientation standards of the LDC.

Pedestrian Circulation

The LDC 17.30.160 requires pedestrian circulation throughout neighborhood streets and within open space areas for overall walkability and access. Pedestrian circulation should provide a safe, convenient and well-connected network. Clear pedestrian connections to the primary front entrance is required. As proposed, there are limited pathway connections from the private drive and parking to the front doors of each unit. To improve neighborhood connectivity, a pathway to the adjacent park should also be provided. As conditioned, with five additional pedestrian pathways between the buildings and a pathway to the park, the project meets the requirements of the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the MR-9 zone are as follows (as measured from property lines):

Front:	15'
Side:	8'
Rear:	10'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front (East):	170'
Side (North):	85'
Side (South):	60'
Rear (West):	45'

As proposed, perimeter setbacks comply with the LDC. Townhome building lots will have a 0' setback. As conditioned, with each townhome lot being considered and amendment for LDC setback compliance, the project meets minimum setback requirements of the LDC.

Open Space

The LDC 17.07.070 requires 20% open space and an additional 10% useable outdoor space for projects located within the MR-9 zoning district. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar amenities. The 6.55 acre site would require 85,602 SF of total opens space and useable outdoor space. The proposed project contains 207,171 SF of combined open space and useable outdoor space. As proposed the project meets the requirements of the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the MR-9 zone. For 6.55 acres, 131 trees and 328 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows conceptual landscaping area. The conceptual landscaping includes native grass planting around the edge, turf areas, and a gravel/xeriscape planting area around the homes. As conditioned

with a detailed landscaping plan meeting minimum plant numbers, that addresses plant type and management of native grass area, and provides street trees, the project complies with the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires two (2) parking stalls per every dwelling unit (64 parking stalls). The proposal includes a total of 112 parking stalls. Each unit has a 2-car garage, and an additional 48 stalls located along the interior of the private drive. There are no driveways for individual units, as the private drive runs along the backside of each unit. As proposed, the project meets the parking requirements in the LDC.

Building Design

In the MR-9 zone, the LDC requires that no two adjacent buildings can share the same elevations. The LDC identifies eight (8) different categories and requires that at least four (4) out of the eight (8) be noticeably different. The eight (8) categories listed are building color, materials, roofline, height (number of floors), fenestration, architectural style, articulation and porch design. The proposal includes only one elevation for the buildings. As conditioned, with adjacent façades that vary by at least four (4) out of the eight (8) design categories listed in the LDC, the project meets the requirements of the LDC.

Porches and stoops are required to be a minimum of 4' in depth. The proposed stoop for each unit is shown as only 2'. As conditioned, with a minimum 4' stoop or porch for all units, the project meets the requirements of the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

PROPONENT CONSIDERATION

The proponent has requested that the Planning Commission consider an alternative site plan that includes 36 units instead of 32. This proposal increases the density to 5.5 units/acre. With the additional building the project would remain compliant with open space, parking, density, and the front setback would be reduced to 45'. All conditioned previously stated would remain in force with the alternative layout. The Planning Commission may entertain the request and amend the number of permitted units and buildings to include the alternative site plan.

STAFF SUMMARY

The project includes a rezone, subdivision, and design review. The subdivision and design review permits are conditioned on the approval of the rezone from NR-6 to MR-9 by the City Council. The proposed 32-unit project, with a density of 4.95 units/acre is under the current NR-6 density requirements, but a rezone to MR-9 would allow for up to 58 units on the property unless the proponent places a voluntary deed restriction on property. As the site is one of the last parcels zoned for single family homes in a neighborhood that has, compared to the rest of Logan, a low amount of single family options, staff recommends denial of the rezone request.

If the rezone is approved, several changes to the subdivision and design review permits are required, including improved access to the surrounding neighborhood via a 1110 N extension, internal pathway improvements, and building variation. While the site plan is unconventional from a traditional neighborhood layout perspective, site constraints, particularly the lack of

connectivity options to the north, west, and south, drive the design. The Planning Commission may exercise their design discretion to permit the lay out as proposed, or the Commission may find that the layout does not meet the LDC standards and require the building placement to front streets or a courtyard layout.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none">• Water	<ul style="list-style-type: none">• Engineering
<ul style="list-style-type: none">• Fire	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, one written comment was received from Gerald Polukoff expressing concerns over the rezone and potential neighborhood impacts of the project.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 8/31/2019, posted on the City's website and the Utah Public Meeting website on 9/4/19, and noticed in a quarter page ad on 8/24/2019, and mailed out to adjacent property owners within 300' on 8/21/19.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Subdivision and Design Review permits are subject to rezone approval from NR-6 to MR-9.
3. 32 building lots and 2 common spaces are approved with this subdivision. The areas labeled as common space shall be listed as non-buildable and only contain landscaping or accessory subdivision amenities.
4. The final plat for the subdivision shall be recorded within one year unless an extension of time is granted as per LDC. The subdivision may be phased as per LDC regulations.
5. Ensure CC&R's are in place to address maintenance of common area and infrastructure.
6. Building setbacks shall be reviewed and approved on an individual building basis and comply with the MR-9 requirements of 15' front yard, 8' side yard, 0' common wall side and 10' rear yard.
7. Townhome buildings within the MR-9 shall have a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit.
8. No two adjacent buildings shall have the same street facing façade design and must vary at least four (4) out of the eight (8) design categories listed in the LDC 17.09.040.
9. Front porches and stoops shall be a minimum of 4' in depth.
10. The Planning Commission reduces the street connection requirement from three (3) connections to two (2) connections, as site constraints prohibit additional street connections.
11. 1110 N shall be connected to the project as a second required street connection.
12. The 1110 N to 1150 N loop shall be dedicated as a public street or shall be developed to meet current city standards and specifications.
13. The planning commission allowing the proposed building orientation, as unique site constraints limit building placement and orientation.
14. Five (5) additional pedestrian pathways connecting the front of buildings to the parking/driveway area shall be constructed.
15. A pathway connecting the development to the northern property boundary to allow future connection to Bridger Park's pathway network shall be constructed.

16. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the recordation of the final plat. The plan shall include the following:
 - a) Final landscape designs for open space and usable outdoor space. 20% of the area shall be dedicated as open space, and 10% shall be dedicated as usable outdoor space.
 - b) 131 trees and 328 shrubs, flowers and ornamental plants.
 - c) Final landscape design shall indicate re-vegetation techniques for native planting areas.
 - d) Street trees shall be planted every thirty (30) feet along all street and private drive that are not fronted by buildings or parking.
17. Storm water areas designed for open space shall be done in a manner that conceals the storm water function so that they generally appear as parks not storm water ponds.
18. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
19. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
20. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Water—contact 716-9622*
 - Water meter setters must meet current Logan City standards.
 - Any landscape irrigation systems that feed from City water must have high hazard backflow protection installed and tested. Either common or private.
 - All current IPC rules for backflow protection shall apply during and after construction.
 - b. *Engineering – contact 716-9160*
 - Comply with City Storm Water Design Standards. This includes the on-site retention of the 90% storm event through the use of Low Impact Design practices. Area disturbed is greater than 1 acre, provide City with a Storm Water Pollution Prevention Plan
 - Provide water shares or an in-lieu fee or all increased indoor and outdoor demands to existing system.
 - All buildings with 4 or less units per building shall have individual water services.
 - No utilities can be placed under a storm water detention/retention pond.
 - Provide City with a private water utility agreement and a storm water maintenance agreement
 - All roads as shown in development are not to a City standard and therefore shall be considered private.
 - All water and sewer services in this development shall be private.
 - Second access to development for emergency purposes shall be provided.
 - Post the 33' drive through development as a Fire Lane.
 - c. *Fire – contact 716-9515*
 - Developments of one or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads. Where two fire apparatus access roads are required they shall be placed a distance apart equal to not less than one-half of the length of the maximum overall diagonal dimension of the property or area to be served, measured in a straight line between accesses. IFC D107
 - Fire apparatus access roads shall be 20 ft wide, signed as No Parking. IFC 503
 - Place fire hydrants so all points around the exterior of building are within 600 feet. IFC 507.5.1 Exception 1

RECOMMENDED FINDINGS FOR DENIAL FOR THE REZONE

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The Logan City FLUP identifies the area as DR
2. This area is one of the few remaining vacant DR areas in the Bridger Neighborhood.
3. The Bridger Neighborhood surrounding the project site has a disproportionately high amount of attached and 3-4 unit multi-family housing developments, and a disproportionately low amount of detached single-family homes when compared to Logan City as a whole.
4. The DR designation is intended for detached single-family residential development.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:



1. The proposed project was rezoned from NR-6 to MR-9
2. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
3. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
4. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
5. The proposed project provides off-street parking in compliance with the LDC..
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. The surrounding streets and utilities are of adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 7-31-19	Received By	Receipt Number	Zone NR-6	Application Number PC 19-031
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME Kearl Property Rezone				
PROJECT ADDRESS approx 1136 N 600 W			COUNTY PLAT TAX ID # 05-041-0006	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Travis S. Taylor			MAIN PHONE # 801-694-5202	
MAILING ADDRESS 95 S River Bend Way - Suite A		CITY North Salt Lake	STATE UT	ZIP 84054
EMAIL ADDRESS travis@westates.us				
PROPERTY OWNER OF RECORD (Must be listed) Leonard C. Kearl Jr. Trust			MAIN PHONE # 970-221-1803	
MAILING ADDRESS 604 Boulder Cir		CITY Fort Collins	STATE CO	ZIP 80524
EMAIL ADDRESS jayjay1328@cs.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) We respectfully request a rezone from NR-6 to MR-9 for this parcel. Under the existing NR-6 zone, the maximum number of lots allowed is 38. We proposed to limit the number of multi-family homes to no more than 32 unless the City Council feels inclined to view up to 36 units favorably. This would result in a density of 4.95 or 5.57 units/ac.			Total Lot Size (acres) approx 6.46 acres	
This parcel serves as a buffer between the West Gate (NR-6) single family home subdivision and the industrial park zoned (IP) property along 600 West. This property is situated to the north of the existing Greensboro multi-family project (MR-12) and to the south of the Logan City property. - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -			Size of Proposed New Building (square feet) N/A	
			Number of Proposed New Units/Lots N/A	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		

Council workshop: Sept. 17
Council hearing: Oct. 1

PC 19-031

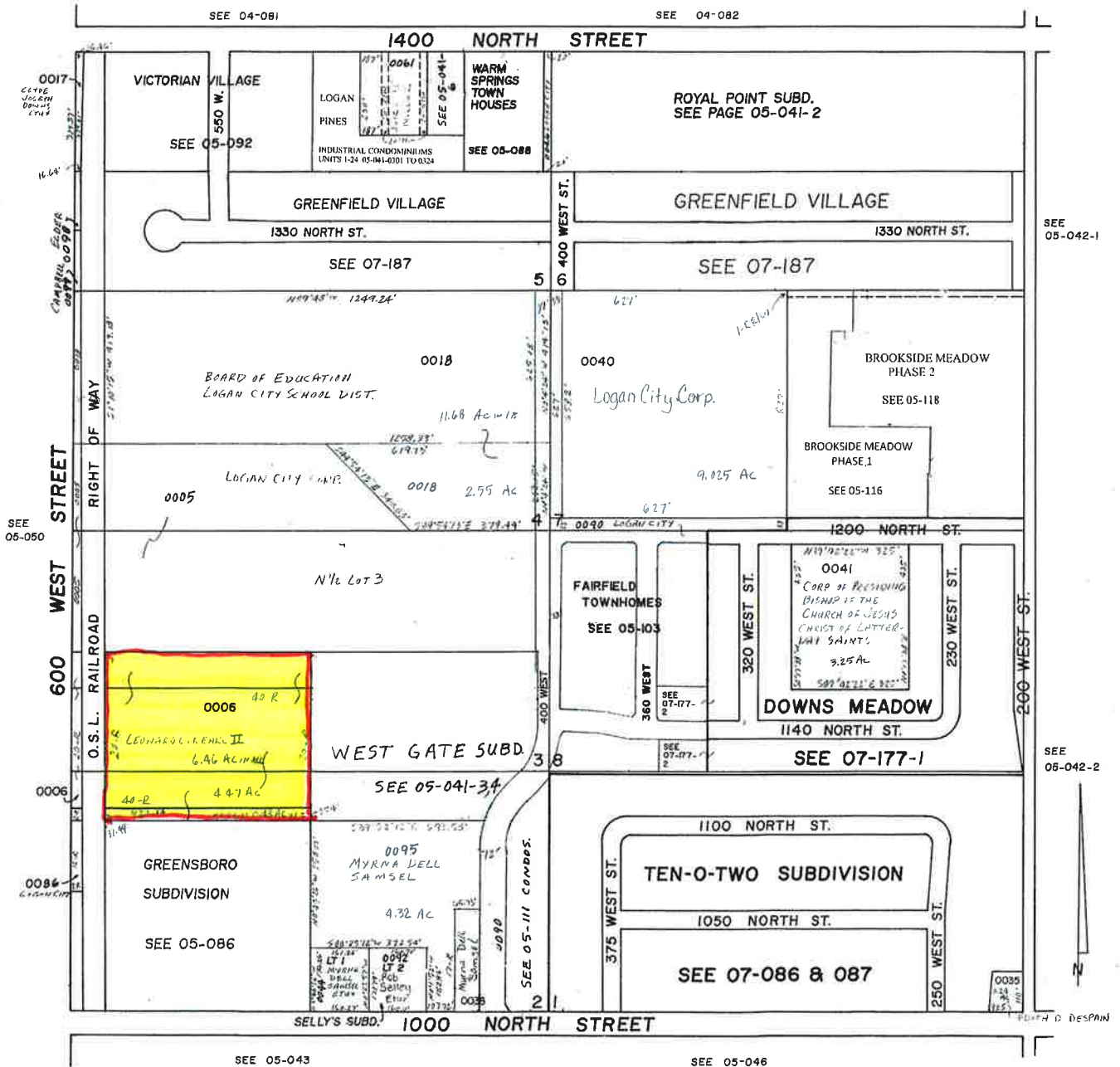
pt. Section 28 Township 12 North Range 1 East

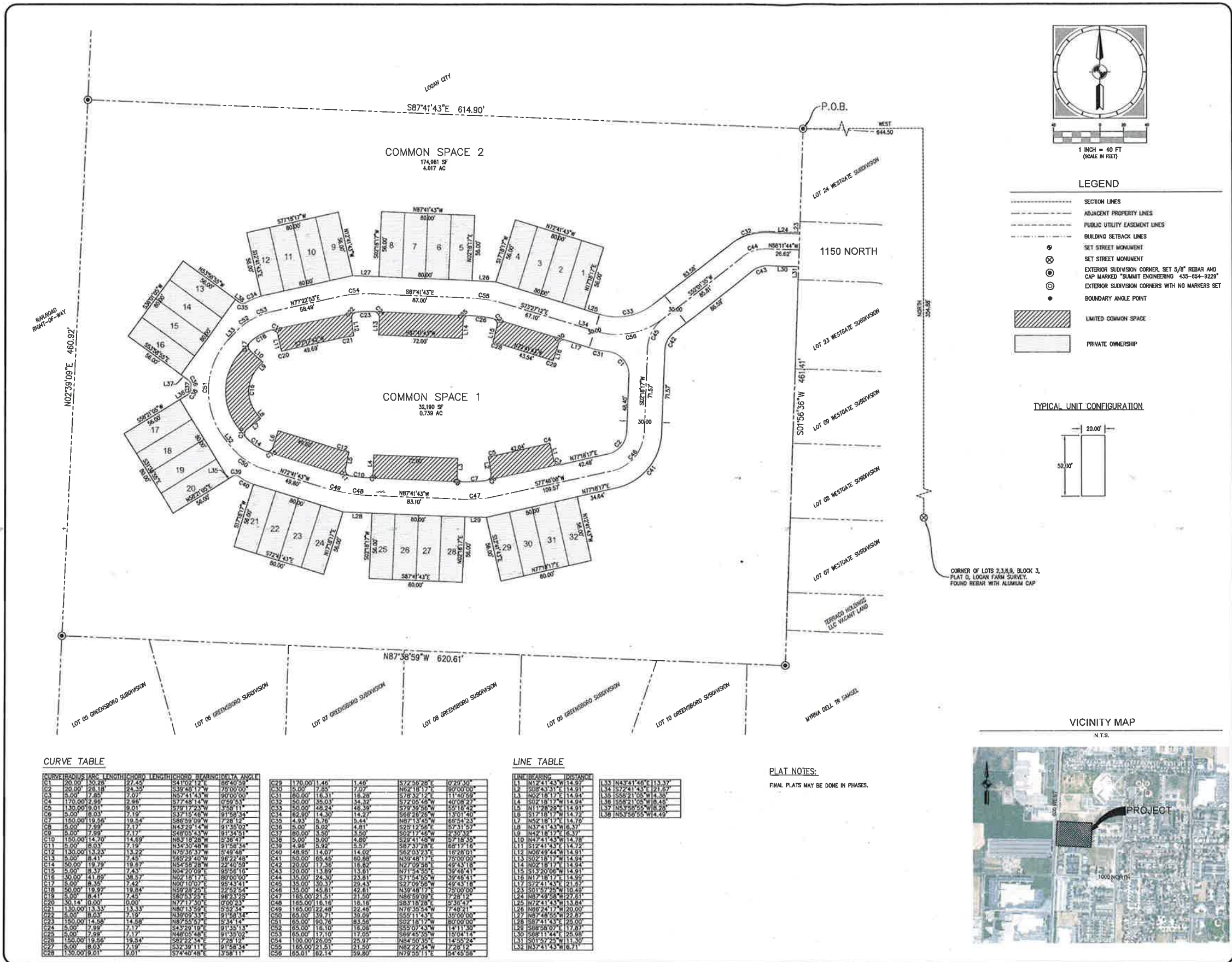
05-041

Scale 1 Inch = 200 FEET

TAX UNIT 27

BLOCK 3, PLAT "D" LOGAN FARM SURVEY





BOUNDARY DESCRIPTION

PART OF LOTS 2 AND 3, BLOCK 3, PLAT D, OF THE LOGAN FARM SURVEY; ALSO PART OF SECTION 28, TOWNSHIP 12 NORTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN. BEGINNING NORTH 354.88 FEET AND WEST 644.50 FEET FROM THE SOUTHEAST CORNER OF SAID LOT 3 AND RUNNING THENCE S01°58'38"W 481.41 FEET ALONG THE EAST ADJOINING PROPERTY OF THE WEST GATE SUBDIVISION PHASES 1 AND 2, THENCE N87°38'59"W 620.61 FEET ALONG THE NORTH ADJOINING PROPERTY LINE OF THE GREENSBORO SUBDIVISION; THENCE N02°39'09"E 460.92 FEET ALONG AN EXISTING FENCE LINE; THENCE S87°41'43"E 614.90 FEET ALONG AN EXISTING FENCE LINE TO THE POINT OF BEGINNING.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY WAS ESTABLISHED AS SOUTH 61°12'28" EAST BETWEEN THE LOGAN CITY GPS MONUMENTS 284 AND 285.

SURVEYOR'S CERTIFICATE

IN ACCORDANCE WITH SECTION 10-60-603 OF THE UTAH CODE, I, BRIAN BALLS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR HOLDING LICENSE NUMBER 334532 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT I HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT IN ACCORDANCE WITH SECTION 17-23-17 OF THE UTAH CODE, AND HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I (WE), THE UNDERSIGNED OWNER(S) OF THE TRACT(S) OF LAND SHOWN AND DESCRIBED ON THIS SUBDIVISION PLAT, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREINAFTER KNOWN AS THE _____ SUBDIVISION, DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND THIS _____ DAY OF _____, 2019.

ACKNOWLEDGEMENT

STATE OF _____ S.S.
COUNTY OF _____

ON THIS _____ DAY OF _____, 2019, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF _____, IN SAID STATE OF _____, THE SIGNER OF THE ABOVE OWNER'S DEDICATION, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE SIGNED THE OWNER'S DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID CORPORATION FOR THE PURPOSES MENTIONED AND THAT SAID CORPORATION EXECUTED THE SAME.

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF HEBER CITY, WASATCH COUNTY, UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, 2019.

LOGAN CITY ENGINEER APPROVAL

PLANNING COMMISSION APPROVAL

CACHE COUNTY SURVEYOR

CACHE COUNTY RECORDER

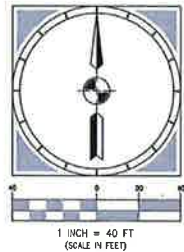
PROJECT
C19-023
SHEET
1 OF 1
ISSUE DATE
07-22-2019



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SUMMIT ENGINEERING GROUP, INC.
DRAWING ALTERNATE
IT IS A VIOLATION OF LAW FOR ANY PERSON, WITHOUT WRITTEN PERMISSION OF THE PROFESSIONAL LAND SURVEYOR, TO REPRODUCE OR TRANSMIT THIS DOCUMENT IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE PROFESSIONAL LAND SURVEYOR. VIOLATION OF THIS STATEMENT IS A VIOLATION OF THE UTAH PROFESSIONAL LAND SURVEYORS LICENSING ACT.

MILL HOLLOW SUBDIVISION

LOCATED IN THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 12 NORTH, RANGE 1 EAST, SLB&M, HEBER CITY, CACHE COUNTY, UTAH



SYMBOL LEGEND

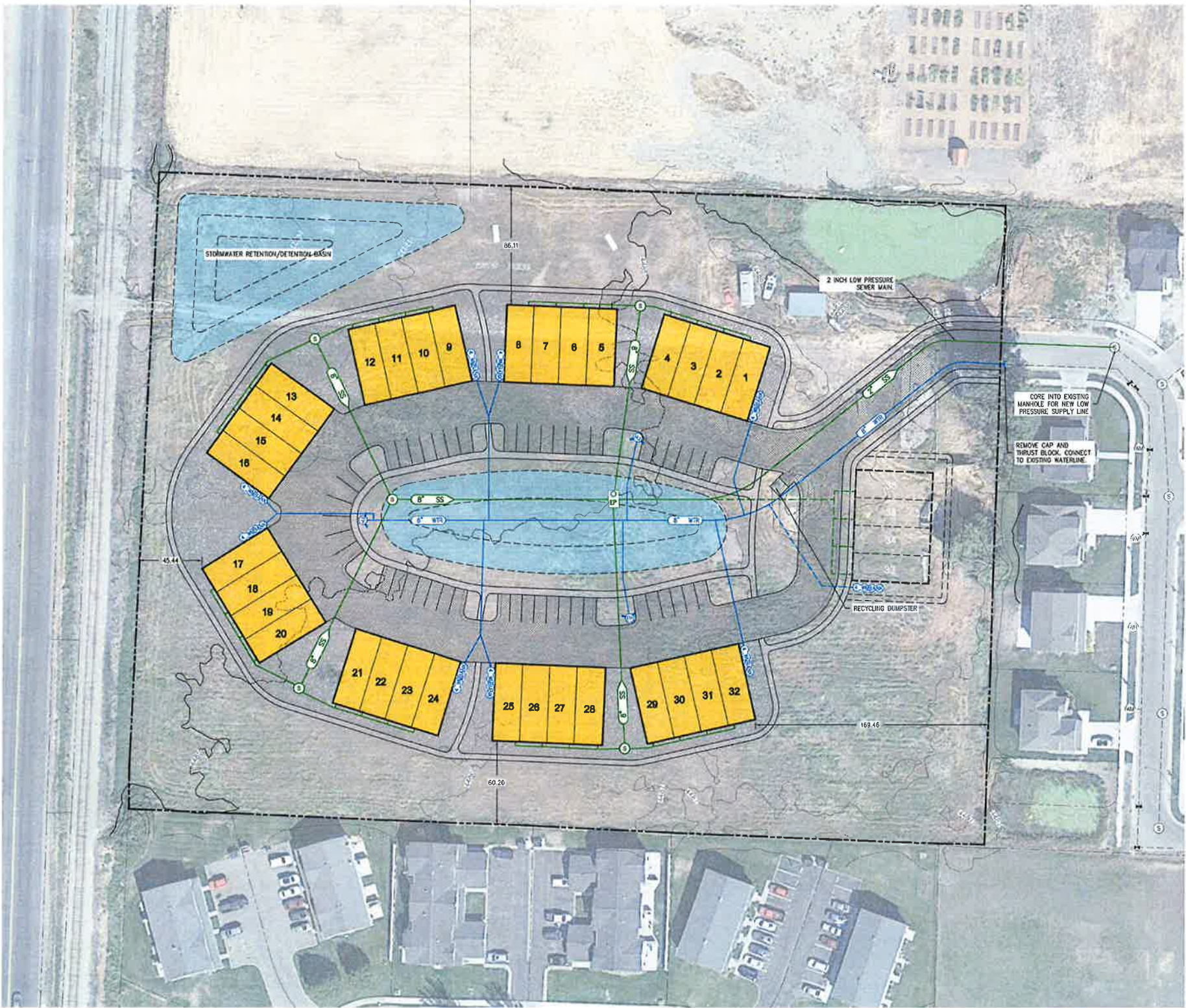
- EXISTING UTILITIES

 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EX WATER
 - EX SEWER
 - CAP & THRUST BLOCK VALVE
 - SEWER MANHOLE
 - EXISTING WATER METER
- PROPOSED UTILITIES

 - WATER
 - SEWER
 - 4 BANK WATER METER MANIFOLD
 - FIRE HYDRANT
 - 6" WTR WATERLINE LABEL
 - 2" SS SEWER LINE LABEL
 - EJECTOR PUMP

NOTE: REFUSE TO BE IN INDIVIDUAL CANS WITH A CENTRAL RECYCLING DUMPSTER. PROPERTY IS NOT IN A FLOODPLAIN OR WITHIN 100' OF A RIVER OR CANAL.

VICINITY MAP
N.T.S.



Summit Engineering Group Inc.
STRUCTURAL • CIVIL • LAND SURVEYING
55 WEST CENTER • P.O. BOX 176
HEBER CITY, UTAH 84032
P: 435-854-9229 • F: 435-854-9231

PROJECT: C19-023
SHEET: C-1.0

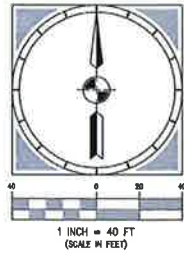
PROJECT ENGINEER: BMB
PROJECT MANAGER: BMB
DRAWN BY: ZST
ISSUE DATE: 07/25/2019

PROJECT: MILL HOLLOW SUBDIVISION
SHEET TITLE: OVERALL UTILITIES PLAN

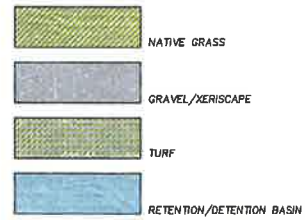
REVISIONS

NO.	DATE	BY	REVISIONS
1			
2			
3			
4			
5			
6			
7			
8			

DESIGN ENGINEER



SYMBOL LEGEND



TABULATIONS

Current Zone: NR-6
6 units per acre
6,000 sf minimum lot area
50 ft minimum lot width

Setbacks:
Front 25'
Corner 20'
Side 8'
Rear 10'

Area of parcel: 285,340.78 sf / 6.55 ac

Max units by density: 6.55 x 6 = 39.3 units

Max units = 39

New Zone: MR-9
9 units per acre

Setbacks:
Front 15'
Corner 15'
Side 8'/0'
Rear 10'

Max units by density: 6.55 x 9 = 58.95 units

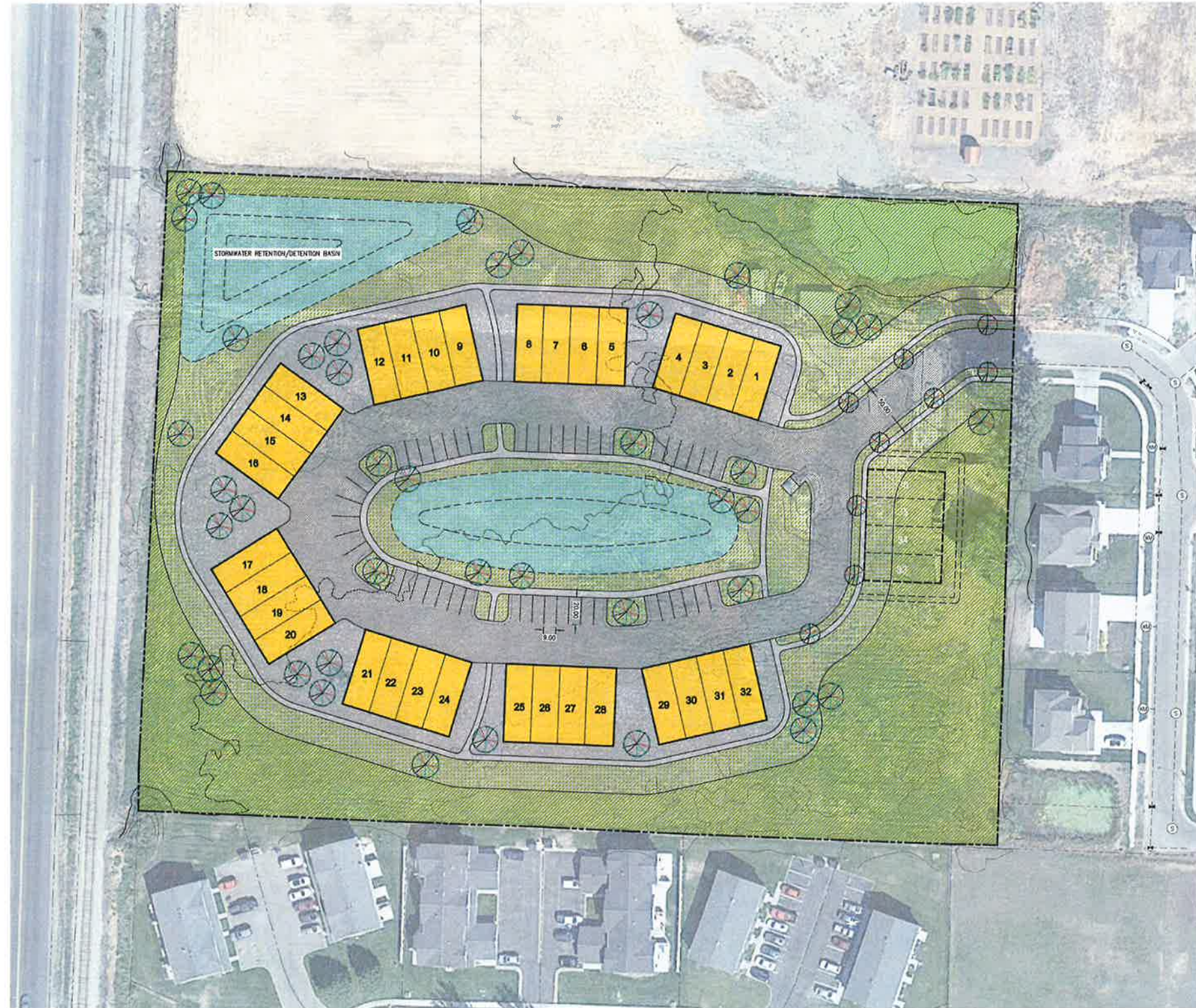
Max units = 58
Units Shown = 32/38

Open Space Required: 20%
Open Space Provided:
32u = 68.5%
36u = 67%

Useable Outdoor Space Required: 10%
Useable Outdoor Space Provided:
32u = 68.5%
36u = 67%

Maximum Lot Coverage: 70%
Actual Lot Coverage:
32u = 12.5%
36u = 14%

VICINITY MAP
N.T.S.



Z:\05 SUPPORT\CAD SETTINGS\SCALE\001\TEMPLATE DRAWING\SSD_CIVIL_DSSGN_1811004.DWG

PROJECT
C19-023
SHEET
L-1.0

PROJECT
MILL HOLLOW SUBDIVISION

SHEET TITLE
LANDSCAPE PLAN

PROJECT ENGINEER:
BMB
PROJECT MANAGER:
BMB

DRAWN BY:
ZST
ISSUE DATE
07/29/2019

DESIGN ENGINEER

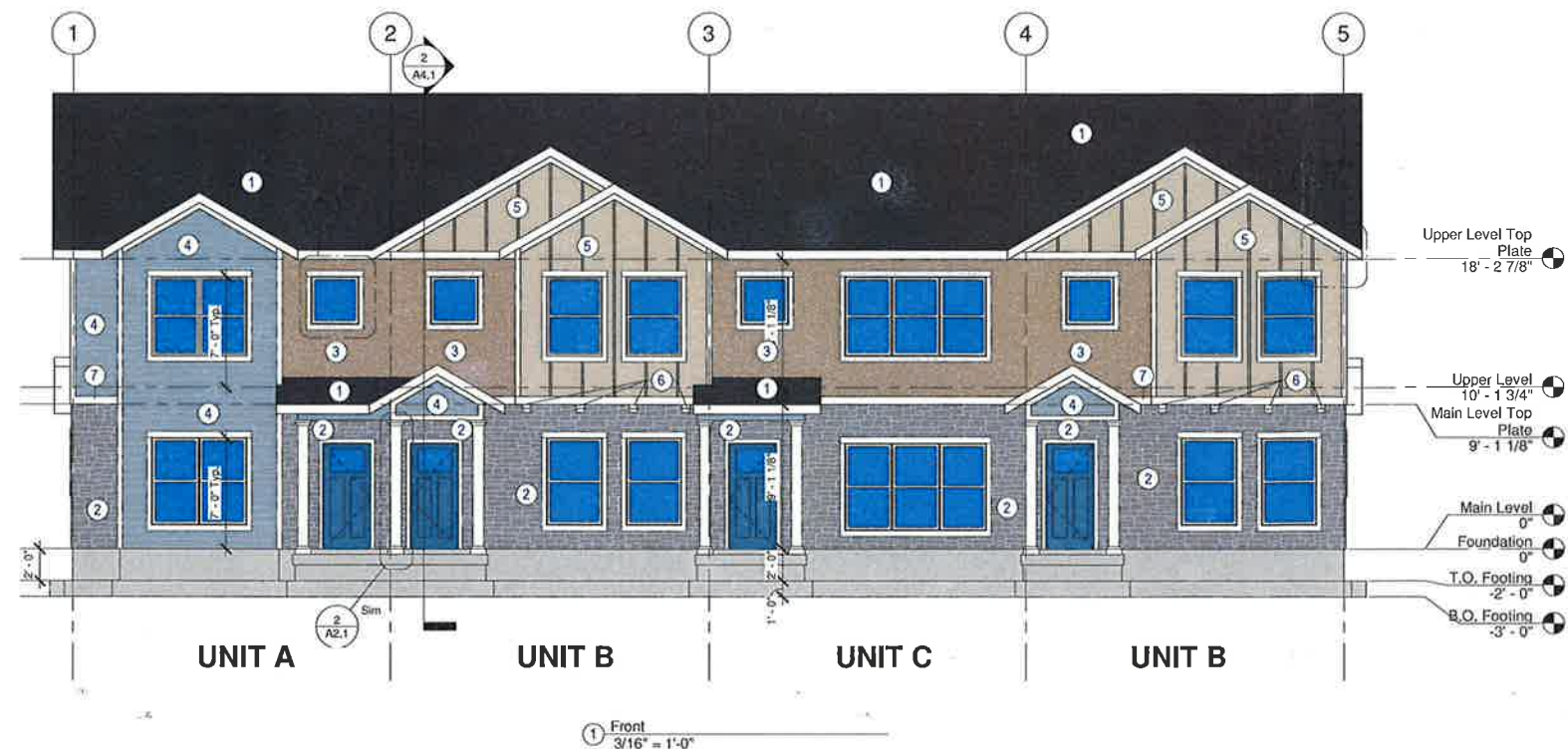
REVISIONS

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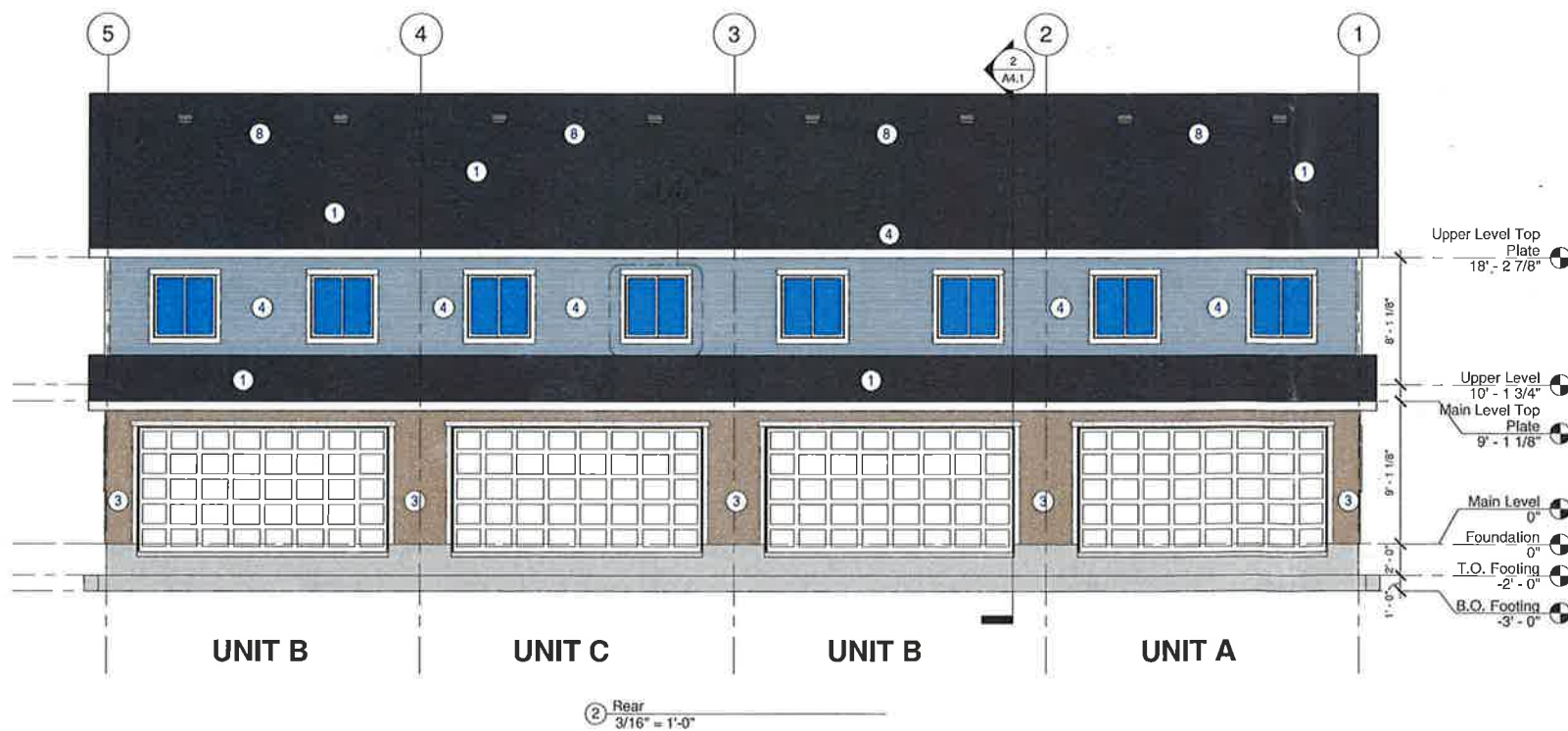
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DESIGN REVIEW
IT IS A REQUIREMENT OF THE STATE OF UTAH THAT ALL PROJECTS BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT. THE REVIEWER'S SIGNATURE AND SEAL ARE REQUIRED FOR THE PROJECT TO BE SUBMITTED FOR PERMITTING. THE REVIEWER'S SIGNATURE AND SEAL ARE NOT VALID IF THE REVIEWER IS NOT A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT.

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Keyed Notes - Elevations	
Mark	Note Text
1	Asphalt Shingles; See Roof Plan
2	Stone Veneer
3	Stucco over (2) Layers Grade D Felt
4	Cement Fiber 6\" Lap Horizontal Siding over (1) Layer Grade D Felt
5	Board and Batten Cement Fiber Siding over (1) Layer Grade D Felt
6	Decorative Chamfered Corbel (AAP # CORCH-6-10-18RS)
7	6\" Trim Band
8	Roof turtle vent; see sheet A6.0 for req. amount



KEARL 4-PLEX

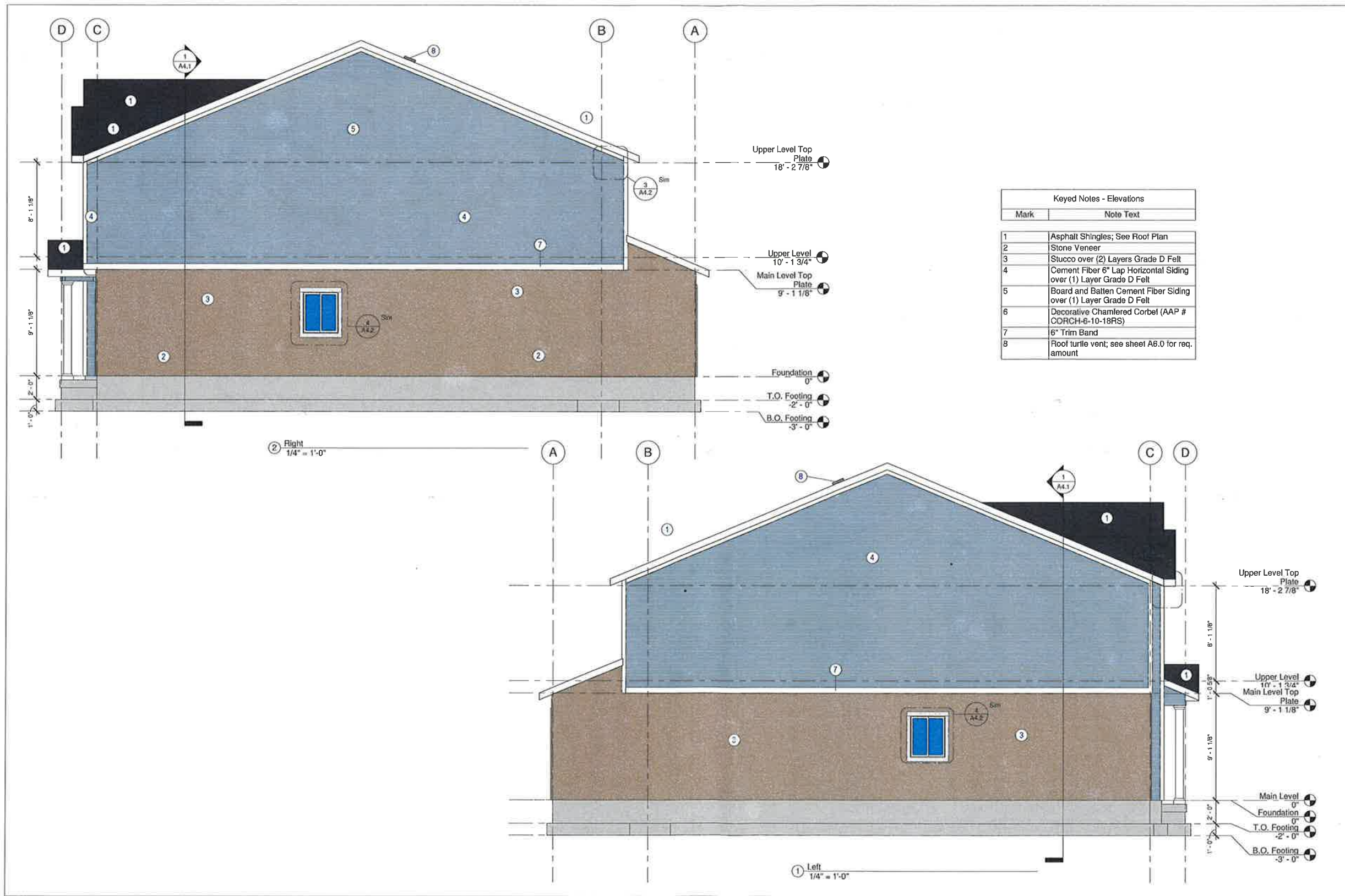
4-PLEX
LOGAN

SPANNING TITLE
Elevations

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7/30/2019
10:27:59 AM

SHEET #
A3.1

PERMIT SET





WESTATES
companies

KEARL 4-PLEX

4-PLEX
LOGAN

PRINT DATE:
7/30/2019
10:28:00 AM

SHEET #
A3.2

PERMIT SET



