



**Project #19-027
Old Mann Revival
Located at 185 East Cache Valley Blvd.**

REPORT SUMMARY...

Project Name: Old Mann Revival
Proponent / Owner: Tony Johnson
Project Address: 185 East Cache Valley Blvd
Request: Conditional Use Permit
Current Zoning: Commercial (COM)
Type of Action: Quasi-Judicial
Hearing Date: August 8, 2019
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Conditional Use Permit for Project #19-027, Old Mann Revival, in the Commercial (COM) zone located at 185 East Cache Valley Blvd., TIN #05-014-0077.

Current Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

Project Proposal

The applicant is proposed to convert the old vacant movie theater located at 185 East Cache Valley Blvd. into a new restaurant on the main floor and an approximately 10,000 net square feet of major event center on the second floor. The renovation includes new building additions, outdoor deck/entertainment space and parking and landscaping areas. The 2.0-acre site mainly consists of asphalt parking lot with minimal slope. The Land Development Code (LDC) 17.11.030 requires a Conditional Use Permit for a major entertainment event center.

CONDITIONAL USE PERMIT

The proponent is requesting a Conditional Use Permit for a major entertainment event center. The LDC defines a major entertainment event center as having 10,000 SF of assembly space intended for crowds of 300 people or more. The LDC 17.42 describes the purpose of conditional use permits as providing for discretionary consideration of applications in order to preserve neighborhood character and protect public health, safety and welfare. Impacts associated with this use are typically parking, traffic, and noise.

Parking & Traffic

The property currently has a 202 parking stalls. The proposed building additions and patio areas cover approximately 15 parking stalls, bringing the total down to 187 parking stalls. The proposal shows a restaurant(s) on the main floor with dining areas totaling approximately 4,000 SF. General restaurants are required by the LDC to provide one stall per every 150 SF of dining room space. This proposal would be required to provide 26 parking stalls based on first floor restaurant space. Major Entertainment Events are required by the LDC to provide an alternative parking plan for review and approval. As a point of reference, a minor event center is required one (1) parking stall per every three (3) people based on maximum occupancy. Standing room only maximum occupancy, as defined by the building code, is one person every 5 square feet. Seating room maximum occupancy is one person every 10 SF. Based on the minor event center standards, standing room maximum occupancy would require 666 parking stalls and seating room maximum occupancy would require 333 parking stalls. As another point of reference, Religious Institutions require 1 stalls per every four people at maximum occupancy.

This standard would require 500 stalls for standing room and 250 stalls for seating room maximum occupancy.

The surrounding streets, including 200 East, 1400 North, Main Street are categories and major collector and arterial streets and are designed and managed in ways to handle large volumes of traffic. As conditioned with the requirement of the applicant to submit an alternative parking plan for approval prior to a building permit, the project meets the parking requirements on the LDC.

Noise Impacts

The property is not directly adjacent to residential properties. The nearest resident is approximately 350 feet away from the proposed building. Any uses at the site would be subject to the noise ordinance in City Code which prohibits loud noise between the hours of 10:00 PM and 7:00 AM. The Mayor of Logan is the only one authorized to allow noise variances for certain events through explicit written permissions. Other impacts typically associated with a Conditional Use Permit may include lighting, dust, or other nuisances. There are not any proposed changes to the lighting.

Building Elevations

The existing building is being remodeled to conform with minimum building façade requirements concerning articulation and fenestration. The exterior patio and open deck space will be required to meet setback and design standards. As conditioned with building design and deck space additions complying with minimum LDC design standards, the project meets the requirements on the LDC.

Open Space

The LDC 17.19.070 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.35 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 2-acre (87,120 SF) site would require 8,712 SF of both landscaping and usable outdoor space for a total of 17,424 SF of open space. The conceptual site plan shows few landscaping and outdoor space details. As conditioned with detailed open space and landscaping totaling a minimum of 17,424 SF of the site, the project meets the requirements in the LDC.

Landscaping

The LDC 17.39 requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For 2-acres, 20 trees and 100 shrubs, flowers and ornamental plants would be required as per the LDC. Existing and preserved trees and shrubs may count towards requirement totals. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 7/27/19, posted on the City's website and the Utah Public Meeting website on 7/26/19, and mailed to property owners within 300 feet on 7/19/19.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Conditional Use Permit and are available in the Community Development Department.
2. Unless otherwise specifically authorized by the Mayor, noises associated with the Major Event Center shall fully comply with the Logan City Noise Ordinance and cease between the hours of 10:00 PM and 7:00 AM
3. 26 parking stalls shall be provided for the restaurant uses located on the main floor.
4. An alternative parking plan shall be submitted and approved prior to the building permit being issued that details the parking demand and available supply for the major entertainment event center.
5. Minimum transparency requirements of 30% for street facing ground floor areas and minimum wall breaks every 40 linear feet are required on areas of the building façade being remodeled.
6. All public pedestrian entrances shall have weather protection provided.
7. A landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 17,424 SF.
 - c) A total number of 20 trees and 100 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
 - d) Parking lot landscaping shall be provided as per LDC in and adjacent to paved parking areas.
8. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
10. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
13. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
14. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Water—contact 716-9627*
 - Each unit (each business) must have its own water main and shut off with its own RP (ASSE1013) backflow assembly to prevent any backflow from one unit or business to another.
 - All landscape irrigation systems that feed from Logan City water must have high hazard assembly installed and tested.
 - Fire suppression systems must have a minimum DC (ASSE1015) installed and tested.
 - All water use must meet current IPC standards and Utah amendments.
 - b. *Fire—contact 716-9515*
 - Fire sprinkler, fire alarm systems may be required depending on future use and occupancy of tenant units. Fire hydrants are required (one within 100 ft. of FDC if fire sprinklers are installed).

RECOMMENDED FINDINGS FOR APPROVAL FOR THE CONDITIONAL USE PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:



1. The proposed building and site developments are consistent with the ordinance and regulations associated with the COM zoning district.
2. The Conditional Use Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. As conditioned the proposed project provides parking in conformance with Title 17.
4. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
5. 200 East provides access and is adequate in size and design to sufficiently handle traffic and utility demands related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

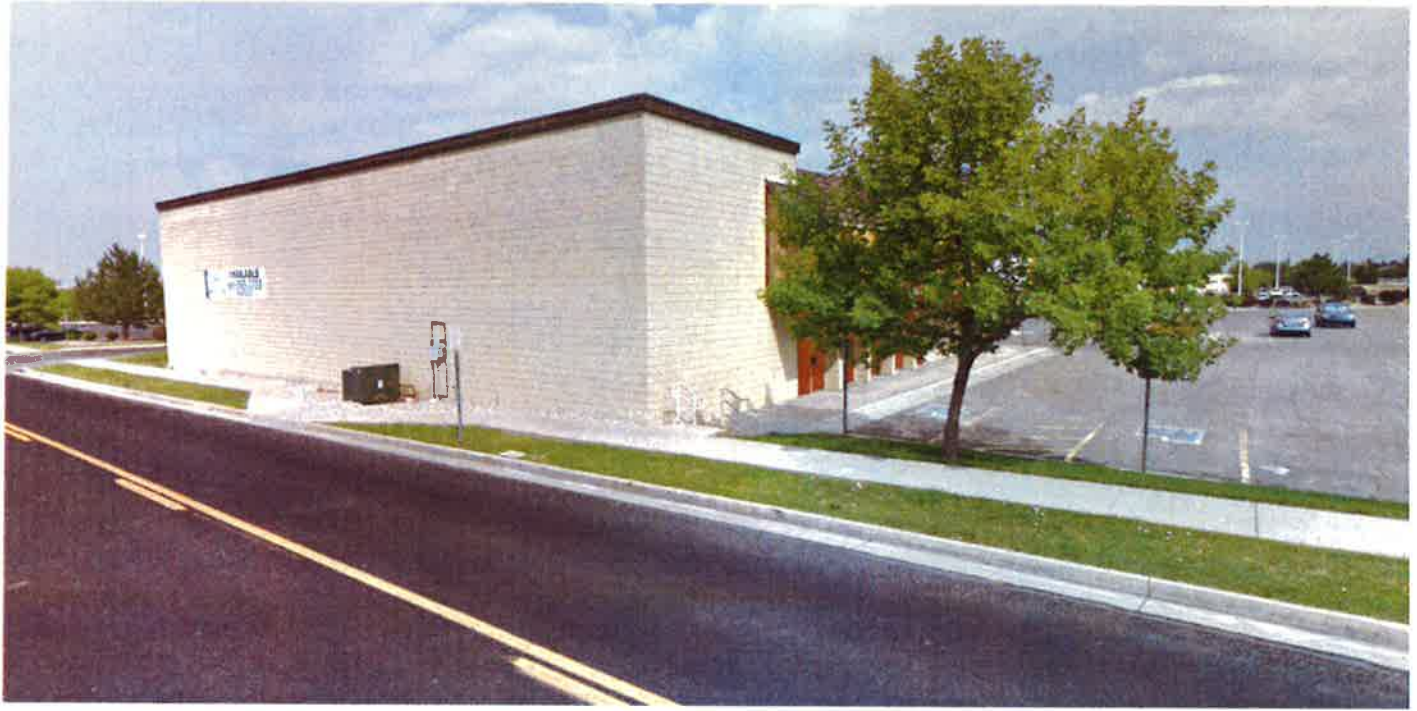


APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 7-8-19	Received By RH	Receipt Number 312890	Zone COM	Application Number PC 19-027
Type of Application (Check all that apply): <input type="checkbox"/> Design Review <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME The Old Mann Revival				
PROJECT ADDRESS 185 E. Cache Valley Blvd.				COUNTY PLAT TAX ID # 05 - 014 - 0077
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Alliance Acquisitions, LLC - Tony Johnson, manager				MAIN PHONE # 435 764-2200
MAILING ADDRESS 255 South Main, Logan UT		CITY Logan	STATE UT	ZIP 84321
EMAIL ADDRESS tony.johnson@amlutah.com				
PROPERTY OWNER OF RECORD (Must be listed) same				MAIN PHONE #
MAILING ADDRESS		CITY	STATE	ZIP
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Rehabilitate existing building to contain two (2) restaurants on main floor and event center/meeting space with outdoor deck on the upper floor.				Total Lot Size (acres) 2 Size of Proposed New Building (square feet) Existing building Number of Proposed New Units/Lots
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		



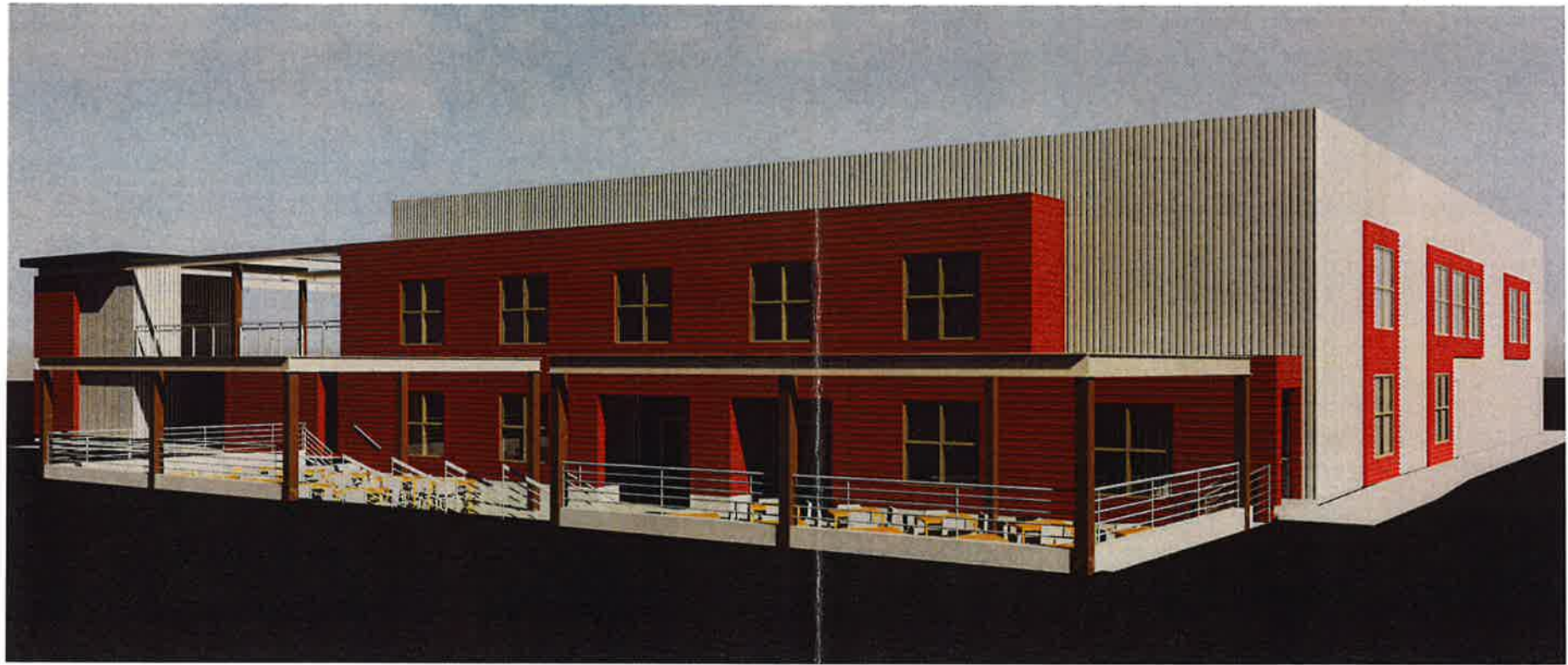


D

C

B

A



Cache Movie Theater

PROJECT
OWNERS
PROJECT
ADDRESS

Tony Johnson

DESCRIPTION:

DATE:

MARK:

DESIGNED

DRAWN

CHECKED

ISSUED

Designer

Author

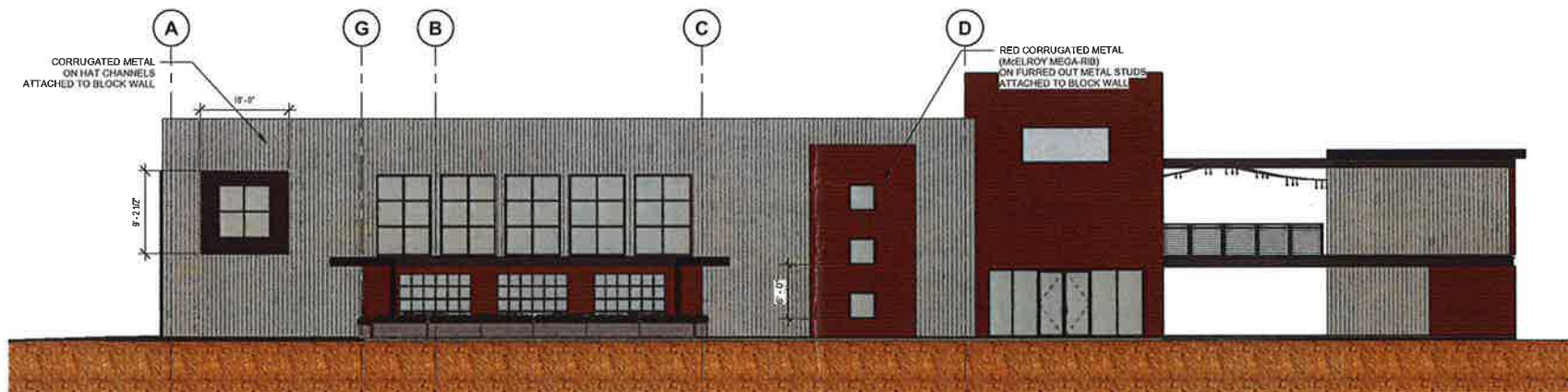
Checker



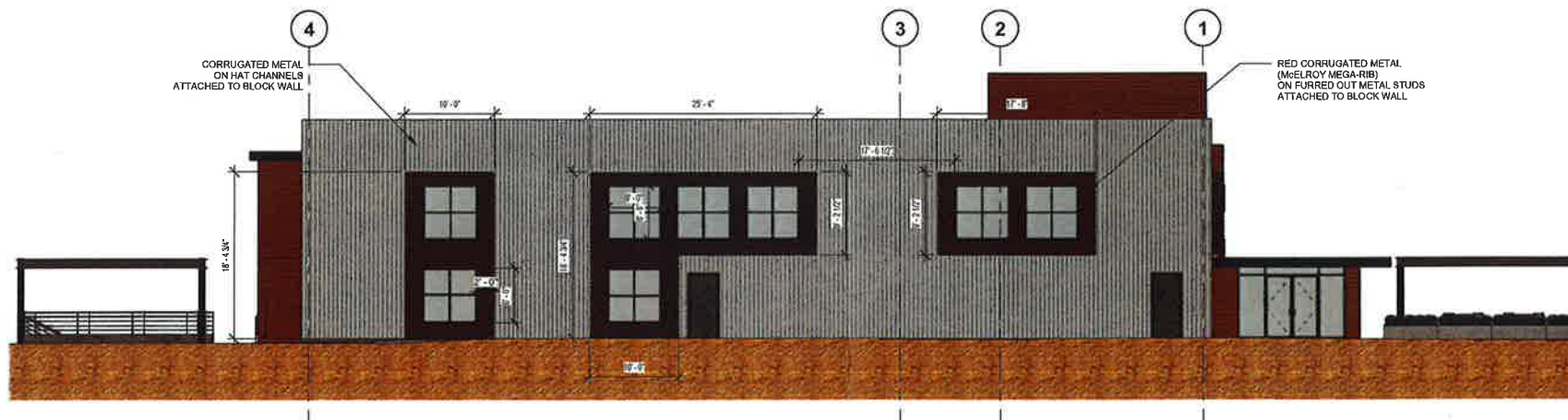
Exterior
Renderings

A900

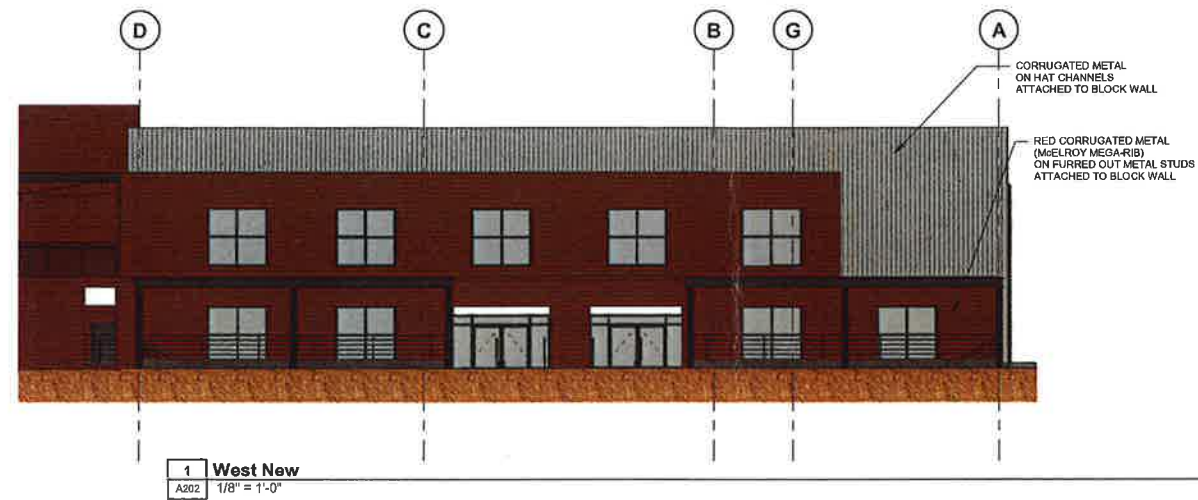
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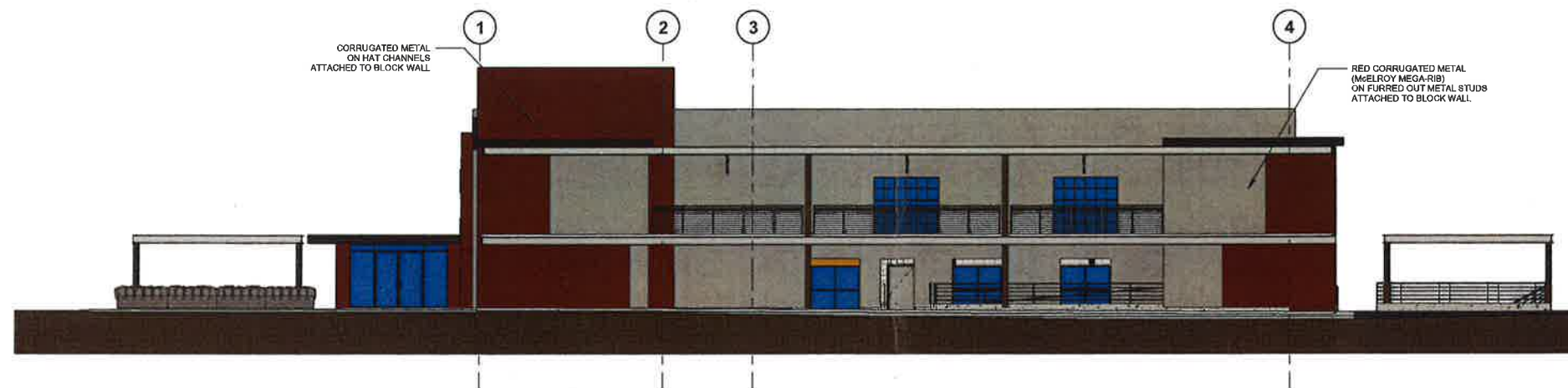
1	East New
A201	1/8" = 1'-0"



2	South New
A201	1/8" = 1'-0"



1	West New
A202	1/8" = 1'-0"



2	North New
A202	1/8" = 1'-0"

Cache Movie Theater

Tony Johnson

PROJECT	OWNERS
PROJECT	PROJECT
ADDRESS	ADDRESS

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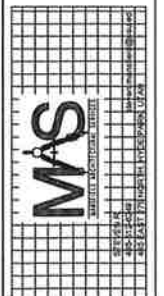
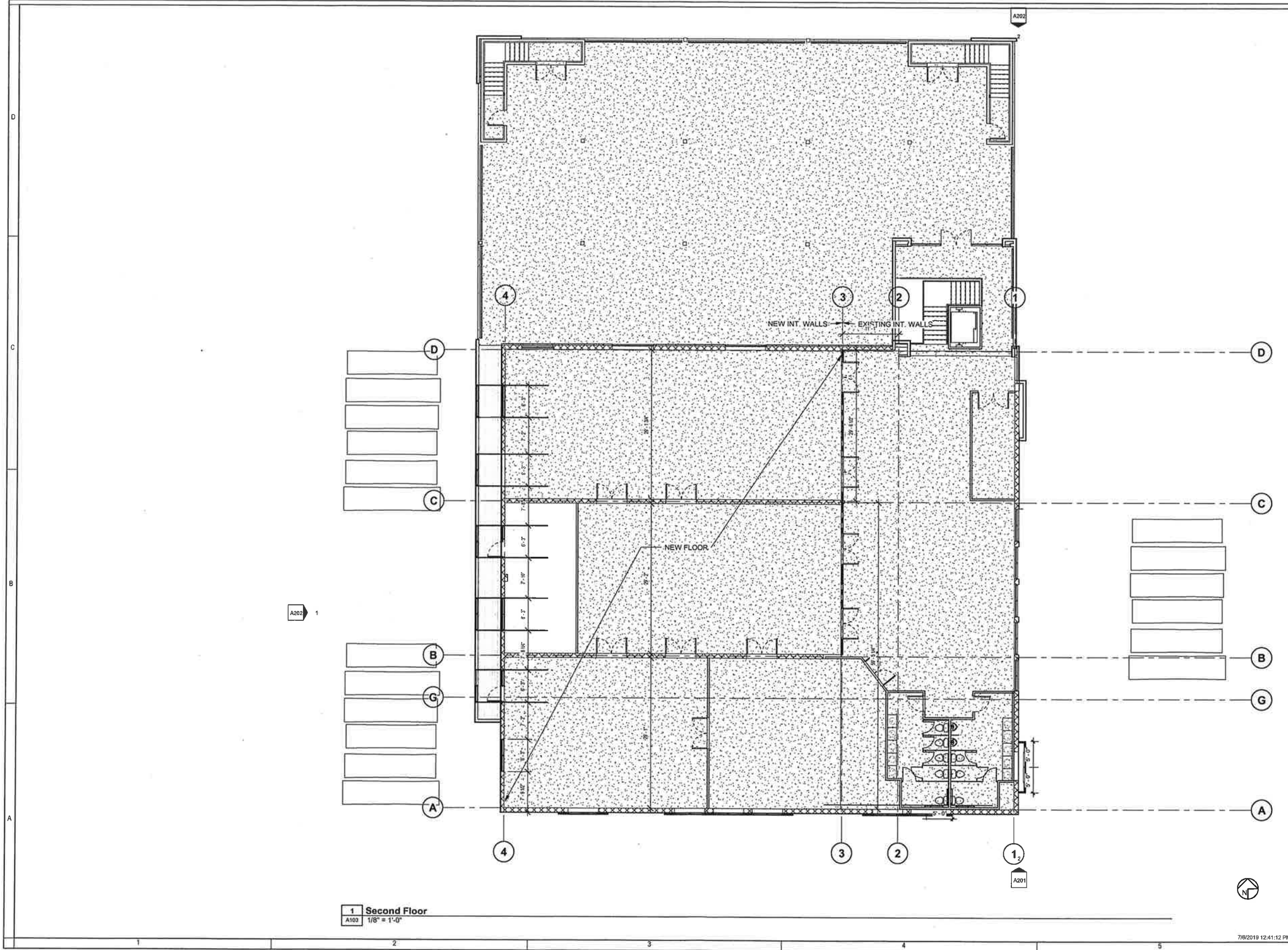
DESIGNED BY: Designer
DRAWN BY: Author
CHECKED: Checker
ISSUED:



New Elevations

A202

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Cache Movie Theater

OWNER
Tony Johnson

MARK:	DATE:	DESCRIPTION:

DESIGNED BY:	Designer
DRAWN BY:	Author
CHECKED BY:	Checker
ISSUED BY:	



New Second Floor
A103