



**Project #19-026
University Village Pad A
Located at 1400 N 600 E**

REPORT SUMMARY...

Project Name: University Village Pad A
Proponent / Owner: Melanie Child / Auburn Manor Holding Company
Project Address: 1400 N 600 E
Request: Design Review Permit
Current Zoning: Commercial (COM)
Type of Action: Quasi-Judicial
Hearing Date: August 8, 2019
Submitted By: Aaron Smith, Planner II

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #19-026, University Village Pad A, for one 5,620 SF commercial building at approximately 1400 N 600 E, TIN #04-086-0017.

Current Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	PUB: Commercial Uses
<i>South:</i>	COM: Health care/Commercial Uses	<i>West:</i>	COM: Commercial Uses

Project Proposal

This is a proposal to construct one (1) new 5,620 SF commercial building on an approximately 3.7 acre parcel. The parcel is associated with the University Village development and contains surface parking for adjacent uses, and an existing 3,500 sf commercial building. The project site is the southeast portion of the parcel. The project site is approximately 39,000 sf. The site fronts two streets, 1400 N and 600 E. Both street provide existing access points. In addition to the proposed building, site development includes a redesign of the 1400 N access and surface parking, a drive-through lane, and landscaping.

Land Use

The project area is zoned Commercial (COM). While final tenants have not been determined, it is anticipated that a bank, restaurant, or commercial uses will go into the new building. The Land Development Code (LDC) Table 17.11.030 permits general retail and commercial, banks, and restaurants (fast food & general) in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses.

Design Review Permit

The LDC 17.43 requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

Site Plan

Lot Coverage

The COM zone lot coverage is limited to a maximum of 60% (building footprint). The proposed 5,620 SF building covers approximately 14% of the project site. As proposed, the project complies with the requirements in the LDC.

Frontage

The Commercial zone requires a minimum 50% building frontage at front setback. The building is placed on the corner and fronts both adjacent street frontages. As proposed, the project complies with the requirements in the LDC.

Setbacks

The LDC requirements for setbacks in the Commercial zone are as follows (as measured from property lines):

Front (Bld. Height 0'-40'):	10'
Side:	8'
Rear:	10'
Parking Side/Rear:	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (South):	50'
Side (East):	32'
Side (West):	390'
Rear (North):	180'
Parking Side (East):	8'

As proposed, the project complies with the requirements in the LDC.

Access & Circulation

Existing vehicular driveway access is located on 1400 N and 600 E. The access along 1400 N is proposed to be redesigned and the drive/turn into the project site extended further to the north. This extension removes several existing parking stalls and moves the landscaped parking isle endcap further north. The change to the 1400 N access will reduce congestion near the ingress/egress point to the development and improve site circulation overall. No changes are proposed to the 600 E access. The project proposes a pedestrian access point from the commercial building to 1400 N. This pedestrian access will help to connect the new building to the primary 1400 N corridor. As proposed, the project complies with the requirements in the LDC.

Parking

For the commercial building, including banks, the LDC 17.31 requires one (1) parking stall per 250 SF. If a portion of the commercial space developed as fast-food restaurant space, parking would be required at 1 per 150 SF. The 5,620 SF commercial building would require between 22-30 parking stalls based on use. As the site plan proposes the elimination of existing parking stalls and shares parking with adjacent uses, the overall parking need that was permitted with the original development has been considered while calculating parking. The existing grocery store, retail spaces, and restaurants were permitted with 327 required parking stalls. With an additional 30 parking stalls required for the new building, 357 parking stalls must be provided over the entire University Village site. There are currently 453 stalls over the entire site. With the elimination of 23 parking stalls by the placement of new building, 430 parking stalls will remain on the site. The majority of the existing stalls are accessible to the new development, and the remaining stalls are sufficient to ensure parking for adjacent uses. The LDC requires bike racks in commercial zones. As conditioned, with bike racks, the project complies with the requirement of the LDC.

The drive-through lane is required to have a minimum of 3 stacking positions for a bank teller or 8 stacking positions for a restaurant. The proposed drive-through lane provides 14 stacking positions. As proposed, the project complies with the requirements in the LDC.

Open Space Area

The LDC requires 10% open space and an additional 10% useable outdoor space in the COM zone. The LDC generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and storm-water facilities. The entire 39,000 SF site would require 3,900 SF of both open space and usable outdoor space for a total of 7,800 SF. The proposal includes conceptual open space and usable outdoor areas. As proposed, the total open space and usable outdoor space totals approximately 10,000 SF (25%). As conditioned, the project complies with the open space requirements of the LDC as proposed.

Landscaping

The LDC 17.32 requires minimum plant material for overall visual aesthetics, ecology, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For the .89 acre project site, 18 trees and 45 shrubs, flowers and ornamental plants are required. Interior parking lot landscaping is required. The site plan proposes new parking lot landscaping areas. These areas are required to have a minimum of 2 trees and a 50% plant material coverage at plant maturity. As conditioned, with a landscaping plan, the project complies with the requirements of the LDC.

Dumpster Enclosure

The dumpster enclosure shall have minimum dimensions of 10 feet in depth, and an opening of at least 12 feet in width for a single bin enclosure. The enclosure shall be surrounded by a 6-foot-high masonry or concrete wall with screened gates. The enclosure materials shall match the color and/or the materials of the main structure. As conditioned the project complies with the requirements of the LDC.

Lighting

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet, and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project complies with the requirements of the LDC.

Building Design

The LDC 17.12.020 states that commercial buildings should be designed to promote high-quality and aesthetically pleasing developments. The design standards consider building variation, materials, building mass, articulation, roof, placement, and orientation. The standards emphasize 4-sided architecture.

Pedestrian entrances are required to have weather protection. The proposed building design does not include weather protection above pedestrian entrances. As conditioned, with weather protection above pedestrian entrances, the project complies with the requirements in the LDC.

Building Articulation

The buildings have clear horizontal articulation with changes in color, material, and projections that divide up the building's facades. Varied roof or parapet forms are required to break up the scale of the building. As conditioned, the project complies with the requirements in the LDC.

Building Materials

The primary material on the building is masonry. The proposed masonry units contrast in color and texture. All proposed materials are all allowed in the Commercial zone. As proposed, the project complies with the requirements in the LDC.

Transparency

Transparency requirements for the COM zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed sides):	30%

Proposed transparency for the project are:

South Elevation (1400 W Frontage):	39%
North Elevation (Towards Parking):	54%
East Elevation (600 W Exposed side):	38%
West Elevation:	14%

As proposed the project complies with the requirements in the LDC.

Orientation

The LDC required 4-sided architecture that emphasizes similar architectural features on all sides of the building. The building fronts 1400 W and provides entrances on both the parking and 1400 N side of the building. The 1400 W frontage mirrors the architectural details of the primary entrance in form and fenestration. As proposed, the project complies with the requirements in the LDC.

Building Height

Building height in the COM zone are limited to 40'. The highest point of the building is 18'. As proposed, the project complies with the requirements in the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were received from the following departments or agencies:

• Water/Cross Connection	• Engineering
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 3/30/19 and the Utah Public Meeting website on 3/29/19. Public notices were mailed to all property owners within 300 feet of the project site on 3/22/19.

RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. A bike rack shall be installed.
3. Pedestrian entrances shall have overhead weather protection.
4. The parapet form shall be designed to provide variation.

5. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) A minimum of 3,900 SF of both open space and usable outdoor space, for a total of 7,800 SF, shall be provided
 - b) A total of 18 trees and 45 shrubs, flowers and ornamental plants shall be provided.
 - c) Interior parking lot landscaping areas are required to have a minimum of 2 trees and a 50% plant material coverage at plant maturity.
6. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
7. The dumpster enclosure shall have minimum dimensions of 10 feet in depth, and an opening of at least 12 feet in width for a single bin enclosure. The enclosure shall be surrounded by a 6-foot-high masonry or concrete wall with screened gates. The enclosure materials shall match the color and materials of the main structure.
8. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
9. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
10. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
11. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
12. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. Water/Cross Connection—contact 716-9627**
 - i. Each unit will need to have its own water main with shut off and its own RP (ASSE1013) backflow assembly installed and tested.
 - ii. All landscape irrigation systems feed from Logan City water must have high hazard backflow protection.
 - iii. Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested.
 - iv. All water use must meet current IPC.
 - b. Engineering —contact 716-9153**
 - i. Provide water shares for increased water demand
 - ii. Provide storm water retention onsite for 90% storm event. If existing site storm water detention/retention system does not meet current standards balance shall also be stored on pad site.
 - iii. Separate water services

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. As conditioned, the project conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The project provides adequate off-street parking.
5. 1400 N and 600 E provides access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.

6. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received JULY 8, 2019	Received By PH	Receipt Number	Zone com	Application Number PC 19-026
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME A University Village Pad 11				
PROJECT ADDRESS 1400 N 600E Logan, Utah			COUNTY PLAT TAX ID # 04-086-0017	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Melanie Child			MAIN PHONE # 801-741-4552	
MAILING ADDRESS 358 Rio Grande Suite 200 SLC, Utah		CITY SLC	STATE Utah	ZIP 84101
EMAIL ADDRESS mchild@amsource.com				
PROPERTY OWNER OF RECORD (Must be listed) Auburn Manor Holding Company			MAIN PHONE #	
MAILING ADDRESS 4020 SIERRA COLLEGE BLVD, ROCKLIN, CA		CITY ROCKLIN	STATE CA	ZIP 95677
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) A NEW 5,620 SF COMMERCIAL BLDG.			Total Lot Size (acres)	
			Size of Proposed New Building (square feet) 5620 SF	
			Number of Proposed New Units/Lots	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner 	

Parcel Map



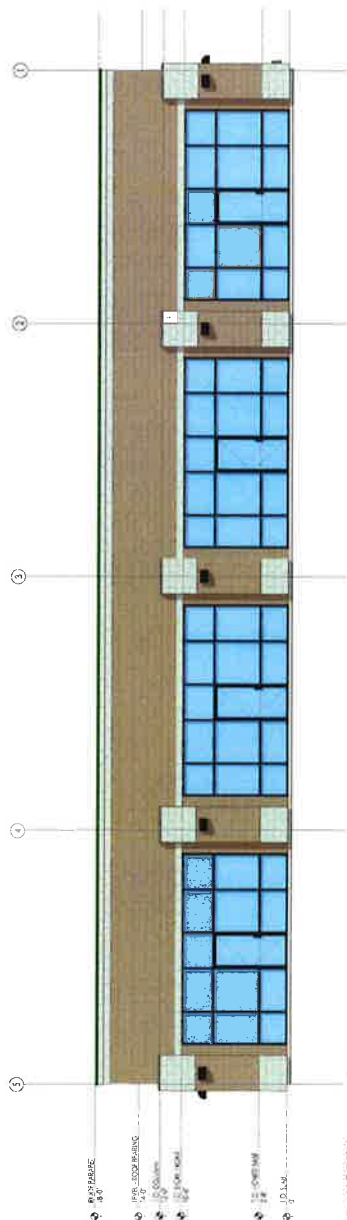
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- Parcel Tax ID Label
- County Centerline
- County Boundary
- State Roads
- Municipal Boundaries
- Cache Parcels

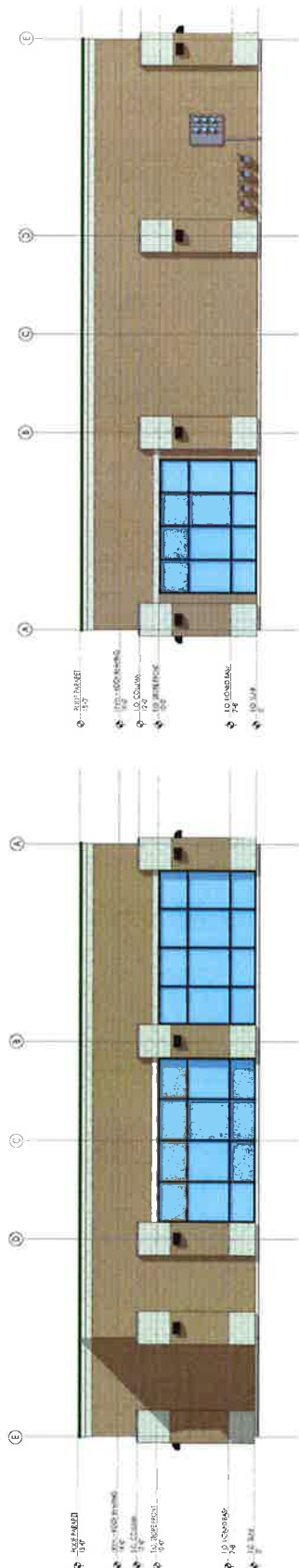


University Village Retail

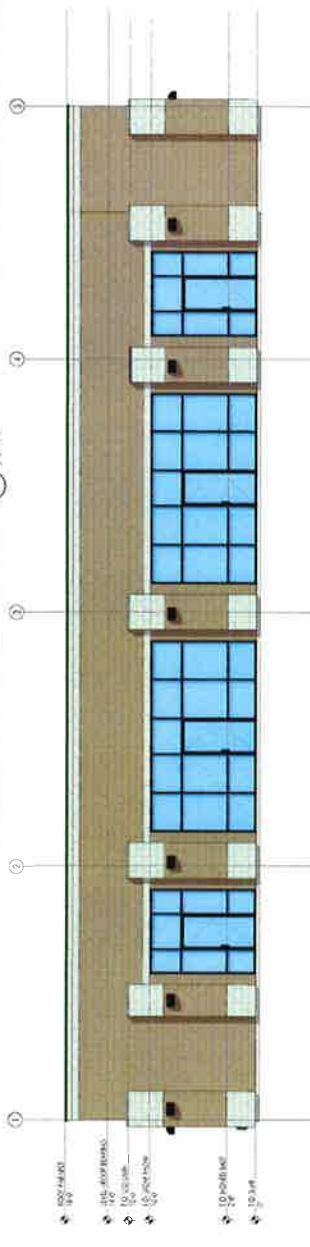
ELEVATION GLAZING SUMMARY			
	GLAZED ELEVATION	GLAZED AREA	ACTUAL GLAZING
ROOF ELEVATION	000.00 SQ. FT.	0.00	0.00
WALL ELEVATION	100.00 SQ. FT.	1.00	1.00
FLOOR ELEVATION	000.00 SQ. FT.	0.00	0.00
CEILING ELEVATION	000.00 SQ. FT.	0.00	0.00
INTER ELEVATION	000.00 SQ. FT.	0.00	0.00
TOTAL ELEVATION	100.00 SQ. FT.	1.00	1.00



1 NORTH ELEVATION



2 EAST ELEVATION



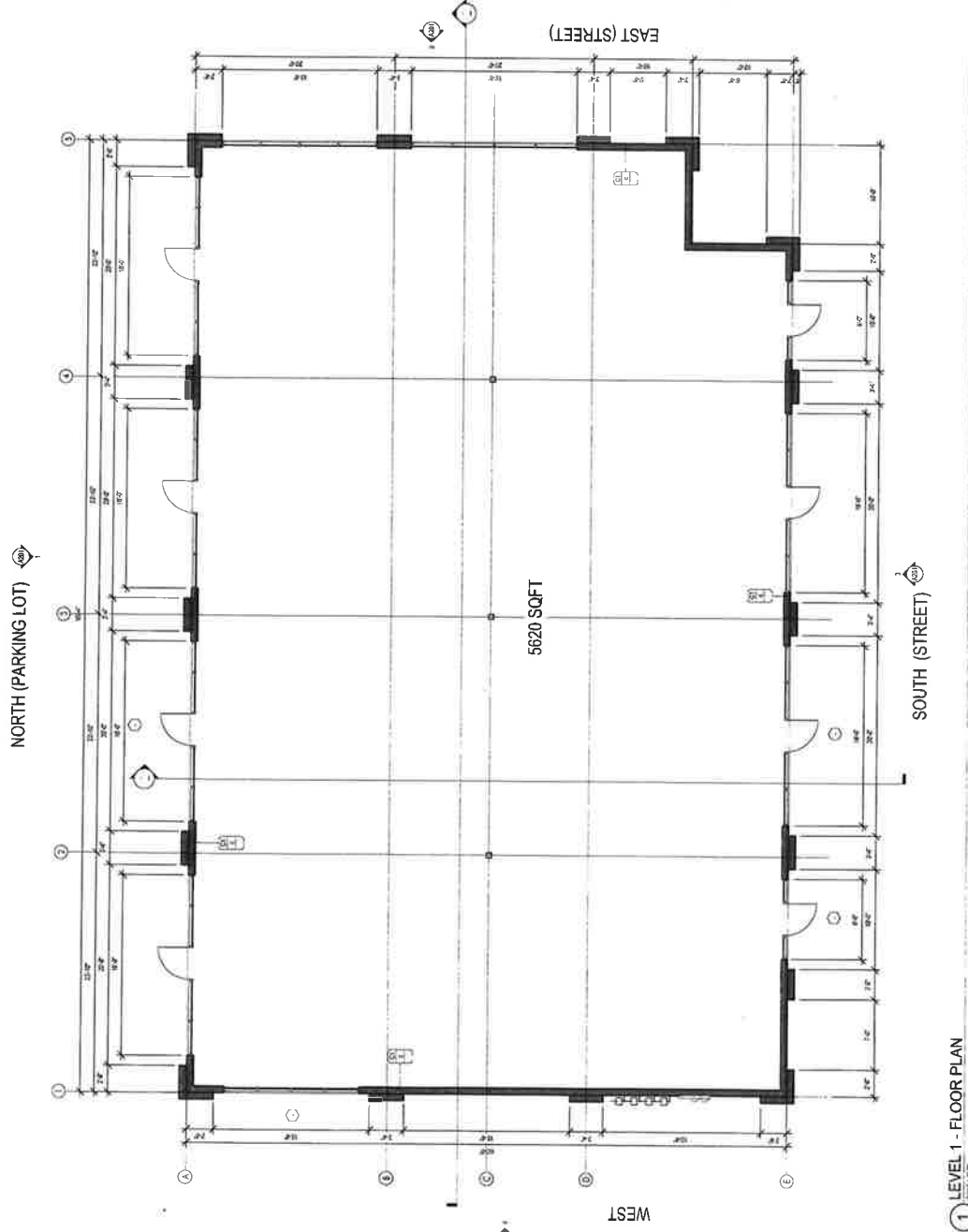
3 SOUTH ELEVATION

FLOOR PLAN LEGEND	
SYMBOL	DESCRIPTION
	POURED IN PLACE CONCRETE
	CMU WALL
	SPIGOT WALL

FLOOR PLAN GENERAL NOTES	
1. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE WALL UNLESS NOTED OTHERWISE.	
2. ALL WALLS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE (IBC).	
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WALL TAG LEGEND	
WALL MATERIAL TYPE	WALL TYPE NUMBER (SEE WALL TAGS)
WOOD	1
METAL	2
MASONRY	3
CONCRETE	4

SCHEDULE NOTES	
1. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE WALL UNLESS NOTED OTHERWISE.	
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USE	AREA	RATION	STALLS REQUIRED
RETAIL	3,000 SQFT	1 STALL / 250 SQFT	12
RESTAURANT	2,620 SQFT	1 STALL / 150 SQFT	18
TOTAL	5,620 SQFT		30

UNIVERSITY VILLAGE - PAD A

**1400 NORTH 600 EAST
LOGAN, UTAH 84341**

[illegible]

PROJECT NO:	19386
DRAWN BY:	JHF
CHECKED BY:	TLD
DATE:	JUNE 21, 2019

CONCEPTUAL PLAN

CP-1

McNEIL ENGINEERING
Economic and Sustainable Designs, Professionals You Know and Trust
8610 South Sandy Parkway, Suite 200 Sandy, Utah 84070 801.255.7700 mcneilingengineering.com

Civil Engineering • Consulting & Landscape Architecture
Structural Engineering • Land Surveying & HDS

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NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.