



Project #19-025
Vrugg Holdings Westfield Warehouse
Located at 130 South 1100 West

REPORT SUMMARY...

Project Name: Vrugg Holdings Westfield Warehouse
Proponent / Owner: Hal Fronk
Project Address: 130 South 1100 West
Request: Design Review Permit
Current Zoning: Commercial Service (CS)
Type of Action: Quasi-Judicial
Hearing Date: August 8, 2019
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #19-025, Westfield Warehouse, in the Commercial Service (CS) zone located at 130 S 1100 West, TIN #05-107-0019.

Current Land use adjoining the subject property

<i>North:</i>	CS: Commercial Uses	<i>East:</i>	COM: Vacant
<i>South:</i>	NR-6: Residential Uses	<i>West:</i>	PUB: Public Uses

Project Proposal

This is a proposal for 12 new buildings and a total of 73 units on 18 building lots in the Westfield Subdivision located at approximately 130 South 1100 West. The proposed buildings contain between 3 and 10 units per building with unit sizes ranging from 1,965 SF to 3,514 SF. Seven (7) of the buildings front directly onto the adjacent street. Five (5) of the buildings are setback towards the rear with parking lots along the street frontage.

The 26-foot-tall proposed buildings are two-story with warehouse/shop space provided on the main floor and office space provided on the second floor. The building design has a roll-up garage style door on the rear façade and a flexible front façade that could be a roll-up garage style door or it could be designed as a glass commercial storefront entrance.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits office, warehousing, light manufacturing and machine shop land uses in the CS zoning district. Residential uses are prohibited in the CS zone. One caretaker unit per project can be established with a Conditional Use Permit in the CS zone. A Conditional Use Permit is not being requested at this time.

Setbacks

The Land Development Code (LDC) 17.10.120 & 17.12.040.C requirements for setbacks in the CS zone are as follows (as measured from property lines):

Front: 10' (opposite or adjacent to NR zones = 25')
Side: 5'
Rear: 10'
Parking: 15' (opposite or adjacent to NR zones = additional 10')

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front: 10-15'
Sides: 5'

Rear: 10'
Parking: 5'

As proposed, there are setback violations for parking lots and buildings adjacent/opposite the NR zoned areas to the south. The project does not account for the additional or enhanced setback requirements adjacent to NR zones. As conditioned with additional setbacks in these areas, the project meets minimum setback requirements of the LDC.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the CS zone. The total project site is 10.15 acres (442,134 SF) in size with proposed building footprints at 102,484 SF. The proposed layout creates a lot coverage of 23% and complies with maximum lot coverage in the LDC.

Building Orientation, Site Layout & Pedestrian Circulation

The LDC 17.12.030 requires the building to be oriented with the primary entrance generally oriented towards the street. The primary entrance shall be conveniently accessible by street sidewalks. The LDC 17.10.120 states that parking lots be located to the side and rear of the building.

The project proposes buildings with front facing facades and walkways connecting to the street. Five (5) of the buildings are located behind front-yard parking lots, something that is now prohibited in the CS zone. There are a few existing buildings in this development with front-yard parking lots that were built prior to the 2016 code change prohibiting front yard parking lots in the CS zone. As conditioned with building orientation towards the street and parking lots located in the rear or side yard, the project meets the requirements in the LDC.

Building Elevations

The LDC 17.12.060 indicates that blank walls exceeding 40 linear feet are prohibited. Acceptable breaks include windows, balconies, wall articulation or changes in color or materials. The steel building facades are proposed with wood accent articulation areas and upper floor balconies and windows that meet blank wall code requirements. The LDC also requires a minimum of 30% transparency on ground floor street facing facades. As conditioned with minimum wall breaks and transparencies, the project meets the requirements in the LDC.

Parking Requirements

The LDC 17.31.040 requires one parking stall per every 300 SF of office space, one stall per every 500 SF of shop space and one stall per every 2000 SF of warehousing space. Each building has approximately 700 SF of office and 1300 SF of shop/warehouse space (30% office & 70% warehouse). An overall average of this ratio based on a total square footages of 154,606, 219 parking stalls would be required (rounded up to 3.0 parking stalls per unit). The proposed project provides 241 parking stalls (3.3 parking stall per unit). The project also provides flexible yard areas (truck loading) that could provide some additional parking stalls based on individual business needs. Final parking compliance will be reviewed and approved with business license applications based on individual business space breakdowns. With 241 parking stalls provided, the project meets the parking requirements in the LDC.

Open Space

The LDC 17.19.070 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.35 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 10.15-acre (442,134 SF) site would require 44,213 SF of both landscaping and usable outdoor space for a total of 88,426 SF of open space. The conceptual site plan shows few landscaping and outdoor space details. As conditioned with detailed open space and landscaping totaling a minimum of 88,426 SF of the site, the project meets the requirements in the LDC.

Landscaping

The LDC 17.39 requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the CS zone. For 10.15-acres, 203 trees and 507 shrubs, flowers and ornamental plants would be required as per the LDC. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Fire	• Water
• Engineering	

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 7/27/19, posted on the City's website and the Utah Public Meeting website on 7/26/19, and mailed to property owners within 300 feet on 7/19/19.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. All buildings and all individual units are prohibited to conduct any sort of overnight accommodations, residential, motel, bed and breakfast or similar types of uses with this Design Review Permit. No caretaker units are allowed with this Design Review Permit.
3. All buildings adjacent to the NR zones along 200 South shall have a front yard setback of 25' and any parking areas allowed adjacent to the NR zoning shall have an additional 10' setback.
4. Parking lots shall be located in the rear or side yards as per LDC 17.10.120.
5. Parking requirements shall be reviewed and approved based on each individual business license. For a building permits to be approved, at least 3.0 parking stalls shall be provided per unit located within the building.
6. All building units shall have a sidewalk/walkway connection between the adjacent street and the building entrance.
7. Driveway spacing and design layout in front-yard areas shall be reviewed and approved by the City Engineer and Community Development Department prior to each building permit.
8. 30% transparency on the front façade and minimum wall breaks every 40 linear feet shall be required.
9. All public pedestrian entrances shall have weather protection provided.
10. A boundary line adjustment shall be made prior to each building permit so that each permit complies with setbacks, open space and other applicable city codes.

11. For each building permit issued, a proportionate amount of open space, landscaping and parking stalls shall be provided on a building-by-building basis.
12. An overall performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 442,134 SF.
 - c) A total number of 203 trees and 507 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
13. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
14. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
15. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
16. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
17. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
18. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
19. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Engineering —contact 716-9160*
 - Complex building groups with 4 or less units per building shall have individual water and sewer services.
 - Any existing water and sewer services that are not being used shall be capped at the City main lines
 - Original storm water design did not meet the current storm water design standards. Each site shall provide for any additional storage of storm water to meet current design standards. This shall include the retention of the 90% storm and the use of Low Impact Design elements.
 - No Civil sheets provided in review, additional comments will be made at Building Permit review.
 - Provide water shares for new development as per Utah Administrative Code R309-510-7.
 - Need to vacate existing PUE's and do Property Line Adjustments as required.
 - b. *Water —contact 716-9627*
 - Each unit (each business) must have its own water main and shut off with its own RP (ASSE1013) backflow assembly to prevent any backflow from one unit or business to another.
 - All landscape irrigation systems that feed from Logan City water must have high hazard assembly installed and tested.
 - Fire suppression systems must have a minimum DC (ASSE1015) installed and tested.
 - All water use must meet current IPC standards and Utah amendments.
 - c. *Fire —contact 716-9515*
 - Access roads and hydrants are existing throughout the development. Individual buildings will be considered with individual building permit applications.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides required off-street parking.
4. The project meets the goals and objectives of the CS designation within the Logan General Plan.
5. The proposed project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. The streets are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.

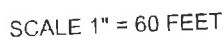


APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 7-8-19	Received By	Receipt Number 312889	Zone CS	Application Number PC 19-025
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME VRUGG HOLDINGS (Westfield Warehouse Complex)				
PROJECT ADDRESS 130 S 1100 W LOGAN				COUNTY PLAT TAX ID # 05-107-0019
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) HAL FRONK				MAIN PHONE # (435) 512-7024
MAILING ADDRESS		CITY	STATE	ZIP
302 MEADOW VIEW LN		NIBLEY	UT	84321
EMAIL ADDRESS fronkhal@yahoo.com				
PROPERTY OWNER OF RECORD (Must be listed) VRUGG HOLDINGS				MAIN PHONE # (435) 512-7024
MAILING ADDRESS		CITY	STATE	ZIP
302 MEADOW VIEW LN		NIBLEY	UT	84321
EMAIL ADDRESS fronkhal@yahoo.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Build out of remaining subdivision as light industrial/commercial flex space.				Total Lot Size (acres) 10.15
				Size of Proposed New Building (square feet) 102,484
				Number of Proposed New Units/Lots 73
				NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		

PART OF SEC. 32, T12N, R1E, SLM
ALSO, PART OF LOT 1, BLOCK 26,
PLAT "E", LOGAN FARM SURVEY
LOGAN CITY, CACHE COUNTY, UTAH

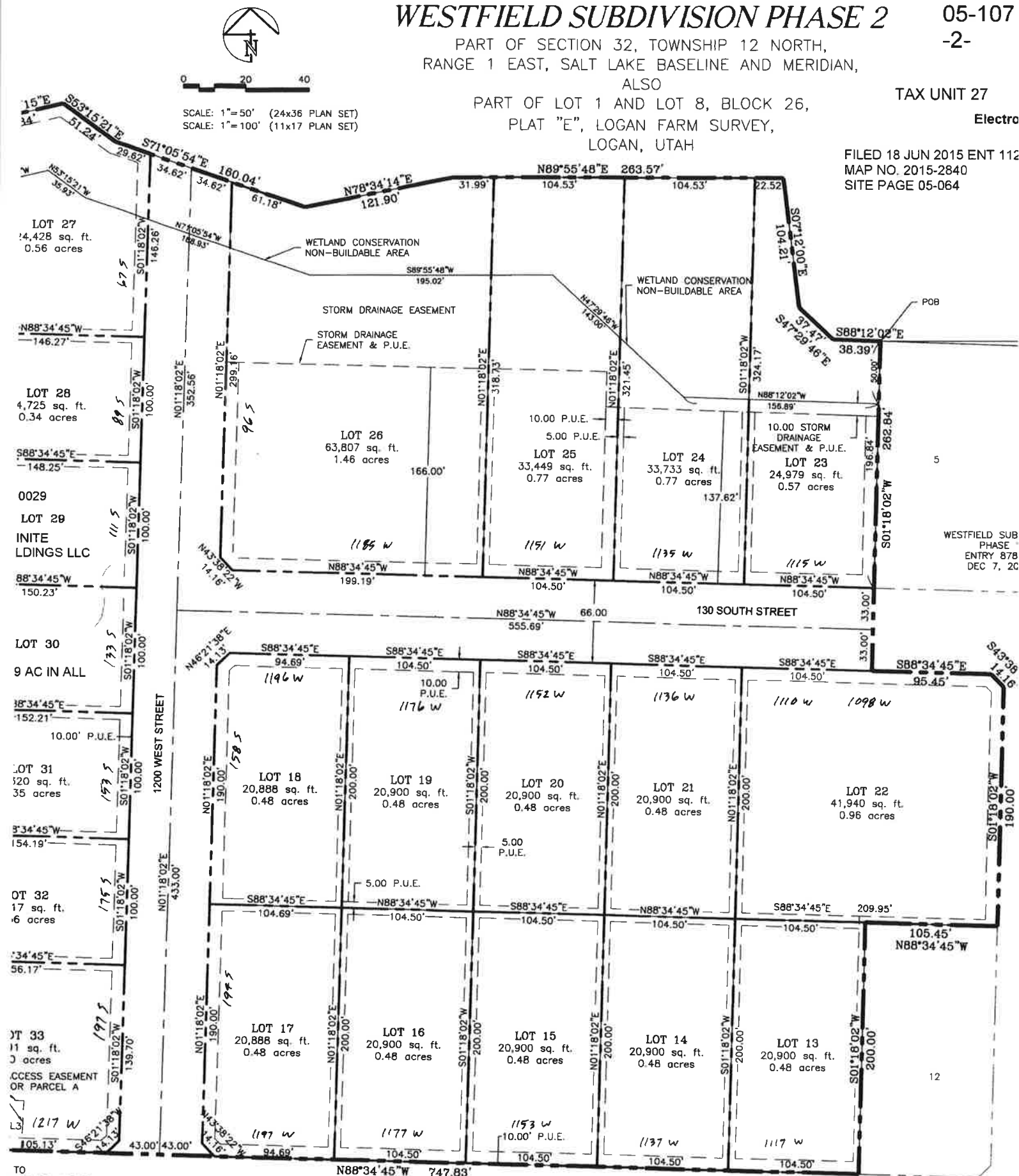


-2-

PART OF LOT 1 AND LOT 8, BLOCK 26,
PLAT "E", LOGAN FARM SURVEY,
LOGAN, UTAH

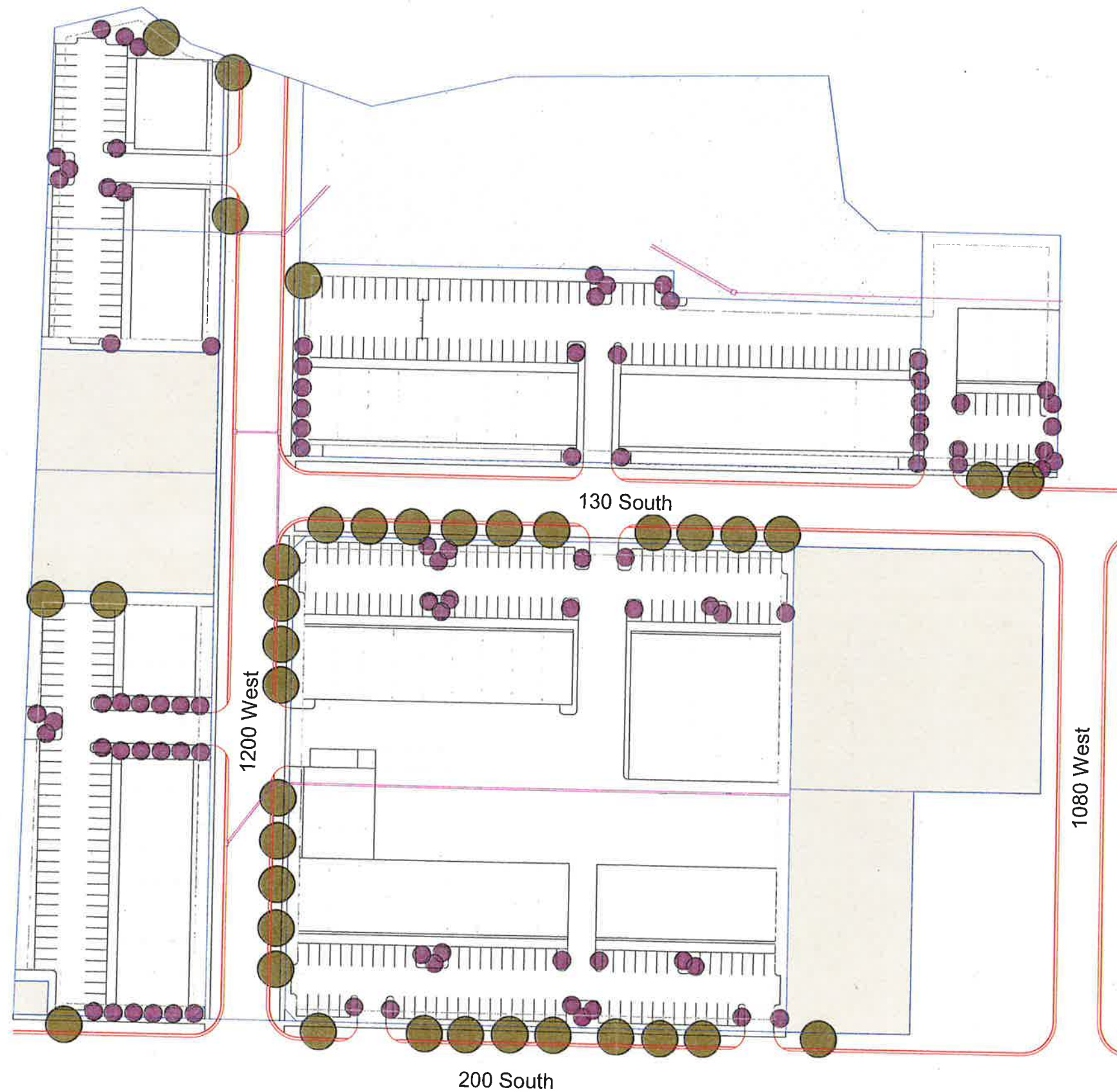
Electro

FILED 18 JUN 2015 ENT 112
MAP NO. 2015-2840
SITE PAGE 05-064



TO
OLD PROPERTY
OWNERS ASSOCIATION
AT "E"
JY

200 SOUTH STREET



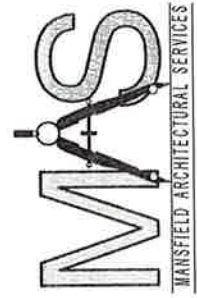
1	Site Plan Concept
100A	1" = 100'-0"



100A

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Westfield Warehouse Complex



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ARCHITECT
steven.mansfield@usu.edu



LEGEND

UNIT TYPE	SQUARE FOOTAGE	QUANTITY
UNIT A	MAIN FLOOR = 1,346	38
	2ND FLOOR = 714	
	TOTAL = 2,060	
UNIT B	MAIN FLOOR = 1,251	30
	2ND FLOOR = 714	
	TOTAL = 1,965	
UNIT C	MAIN FLOOR = 2,800	3
	2ND FLOOR = 714	
	TOTAL = 3,514	
UNIT D	MAIN FLOOR = 2,704	2
	2ND FLOOR = 714	
	TOTAL = 3,418	

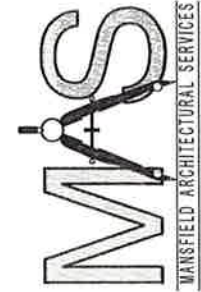
78,280 SQ. FT.

58,950 SQ. FT.

10,542 SQ. FT.

6,836 SQ. FT.

TOTAL NUMBER OF UNITS = 73
TOTAL SQUARE FOOTAGE = 154,606



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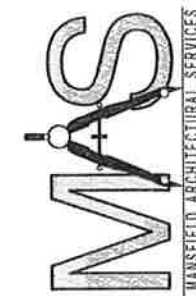
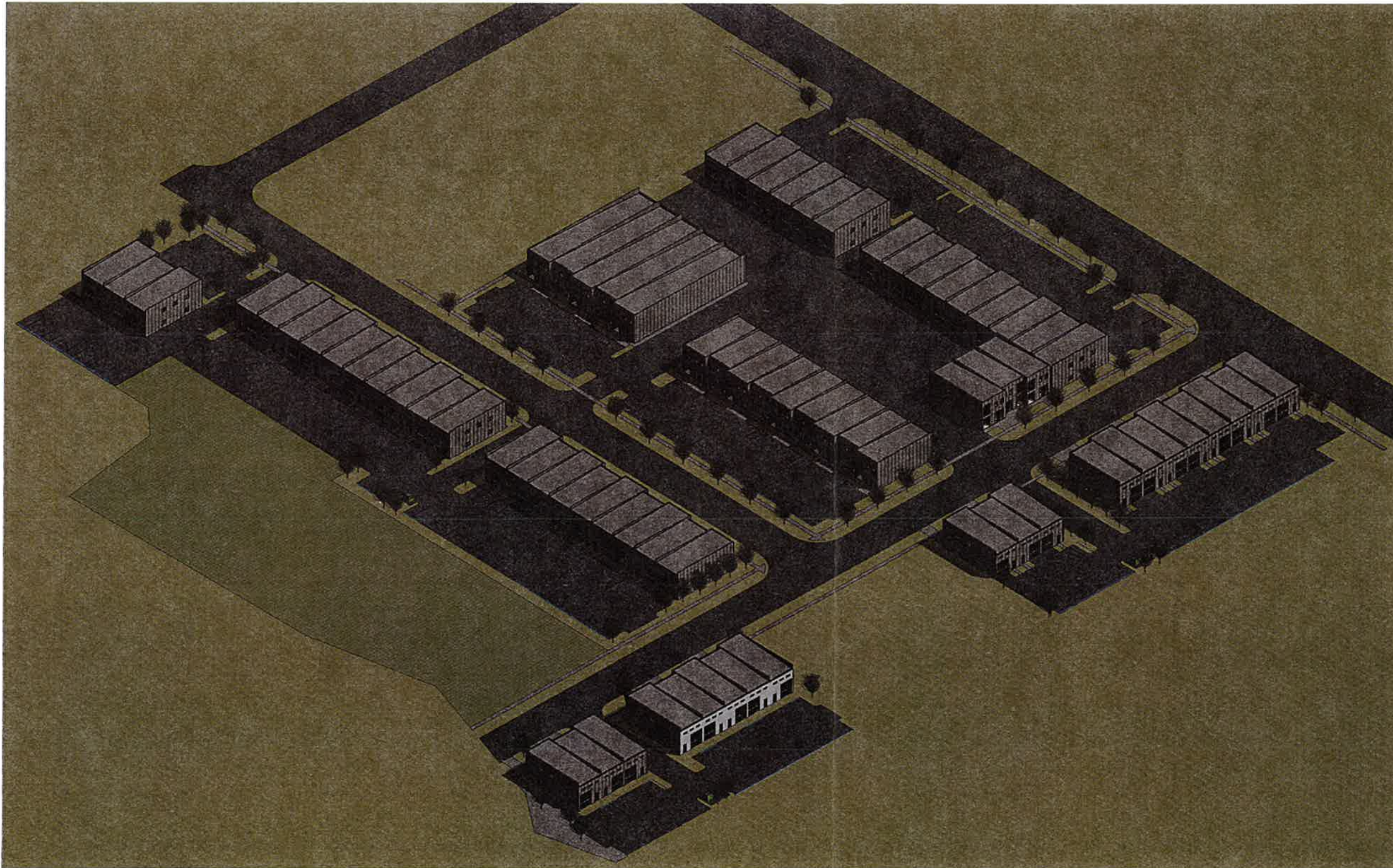


100B

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1 Proposed Site Plan

100B 1" = 100'-0"



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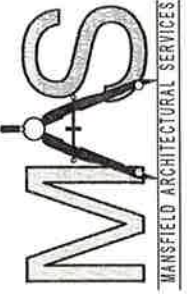
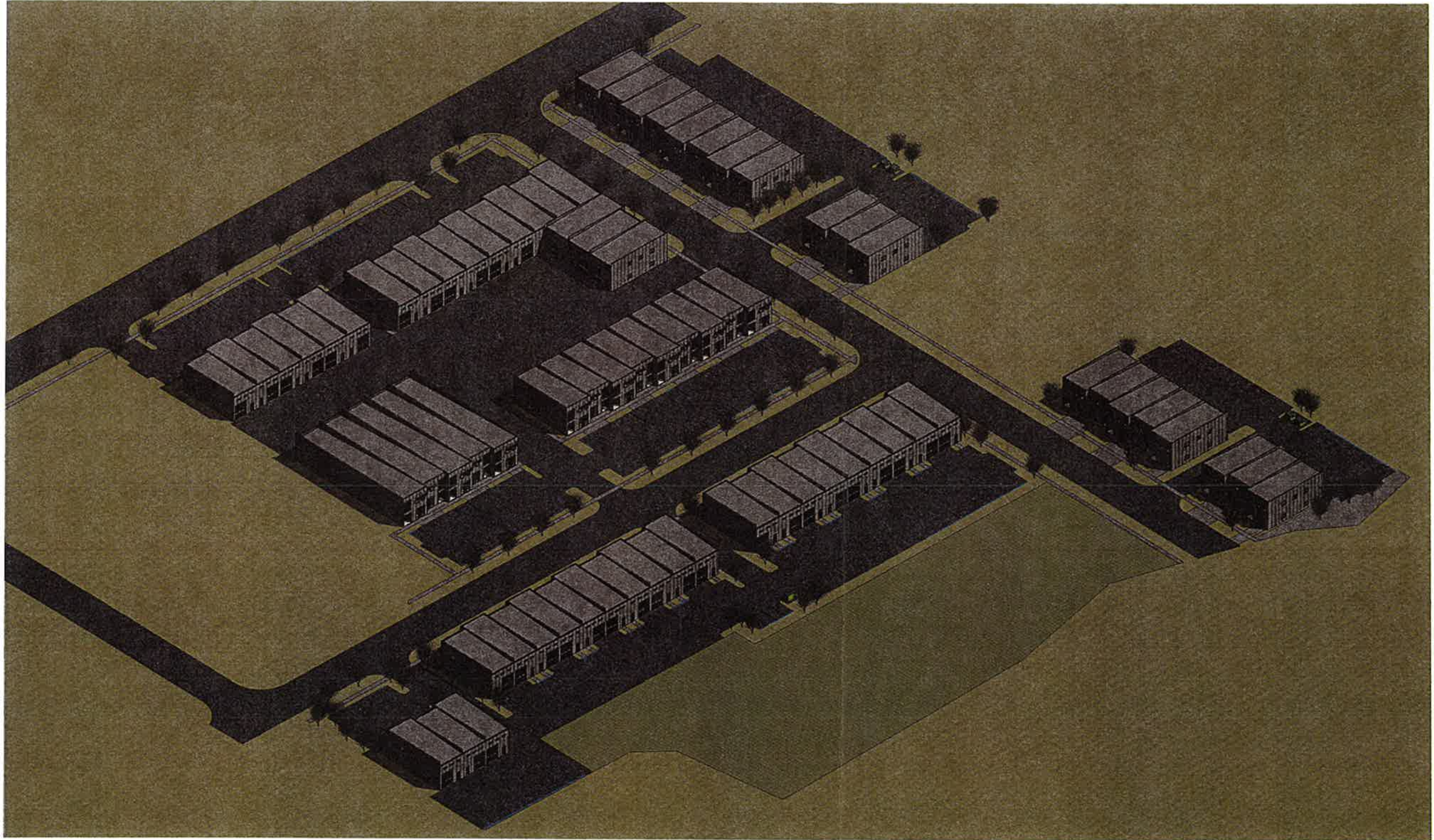
Westfield Warehouse Complex



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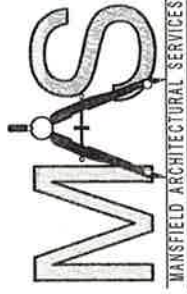
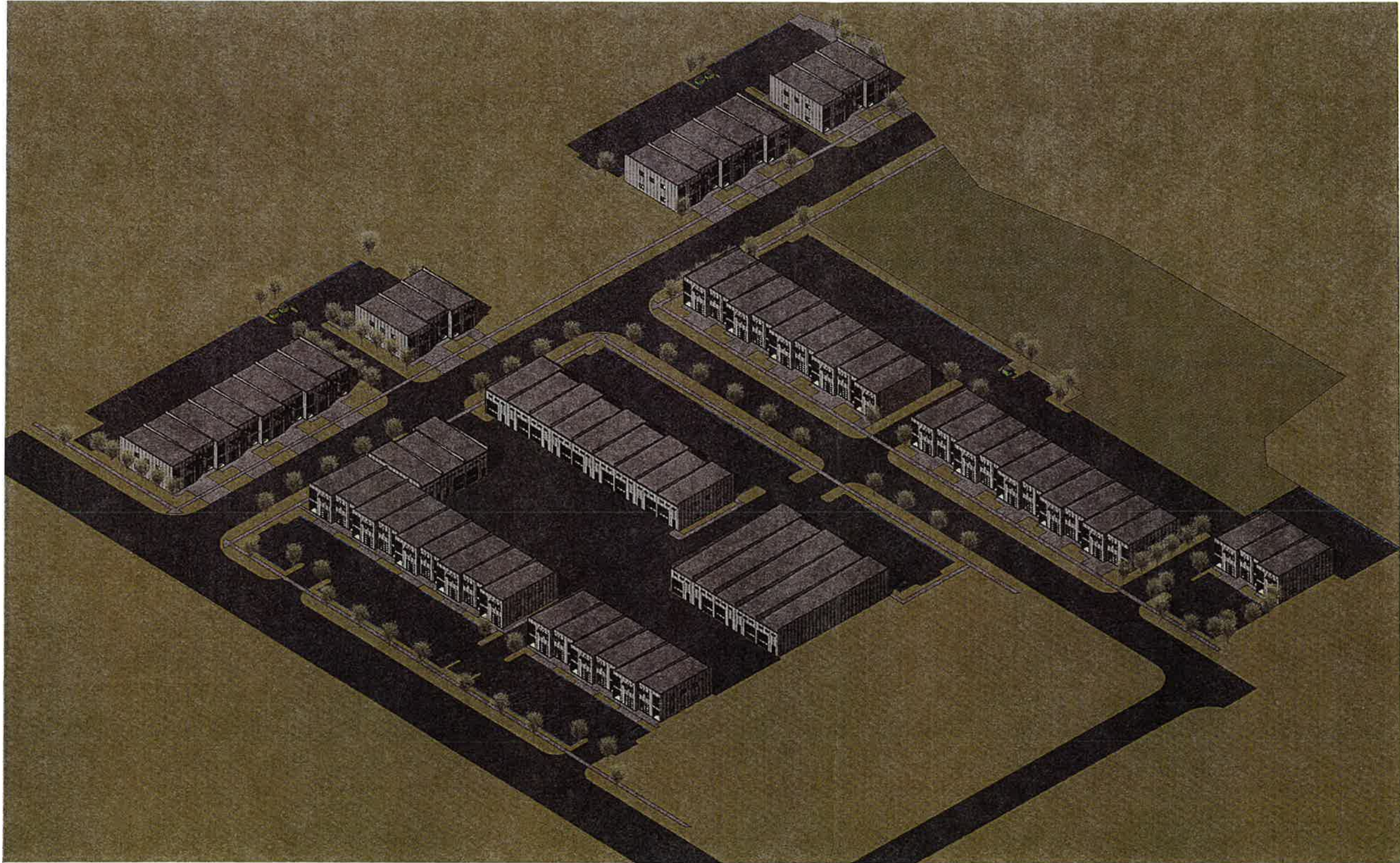
1 North West View
101



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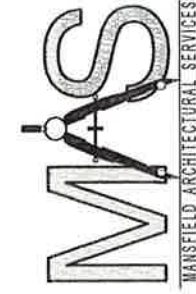
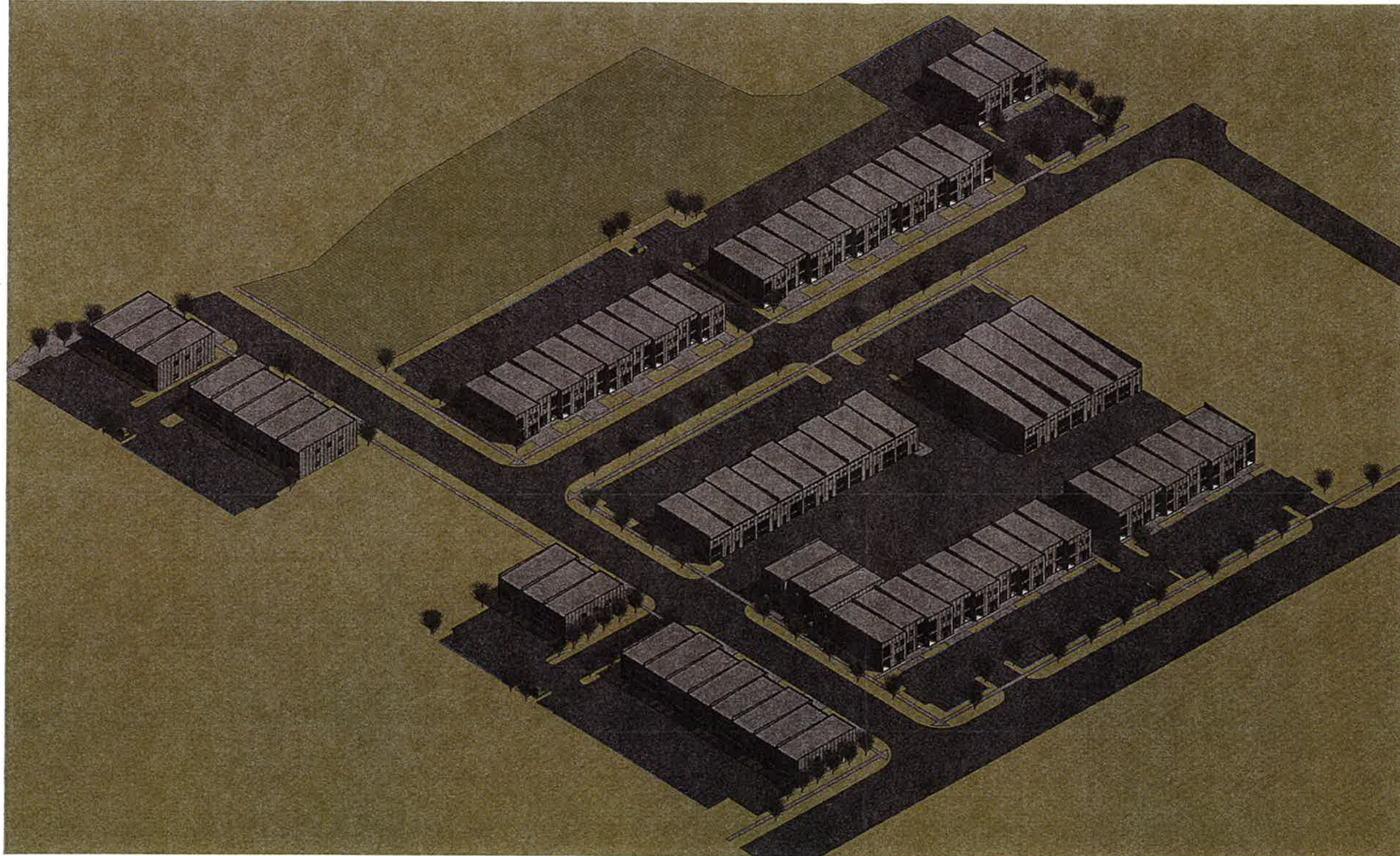




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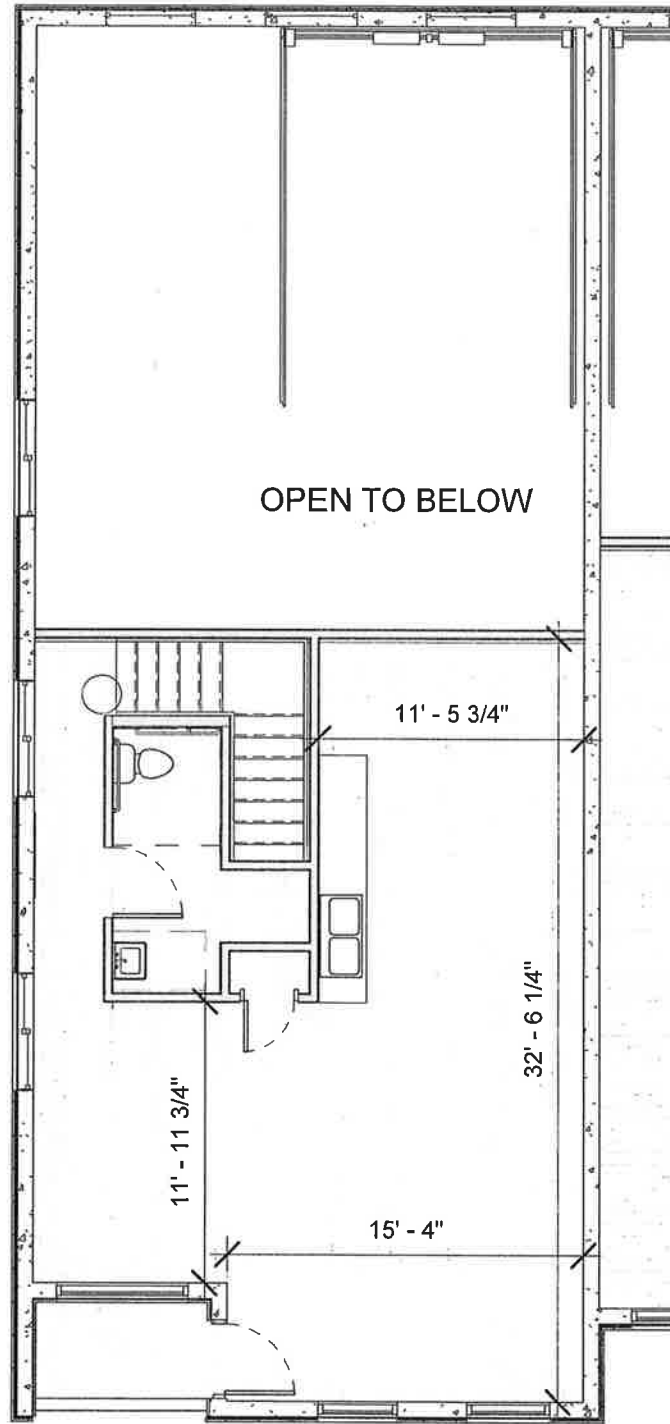
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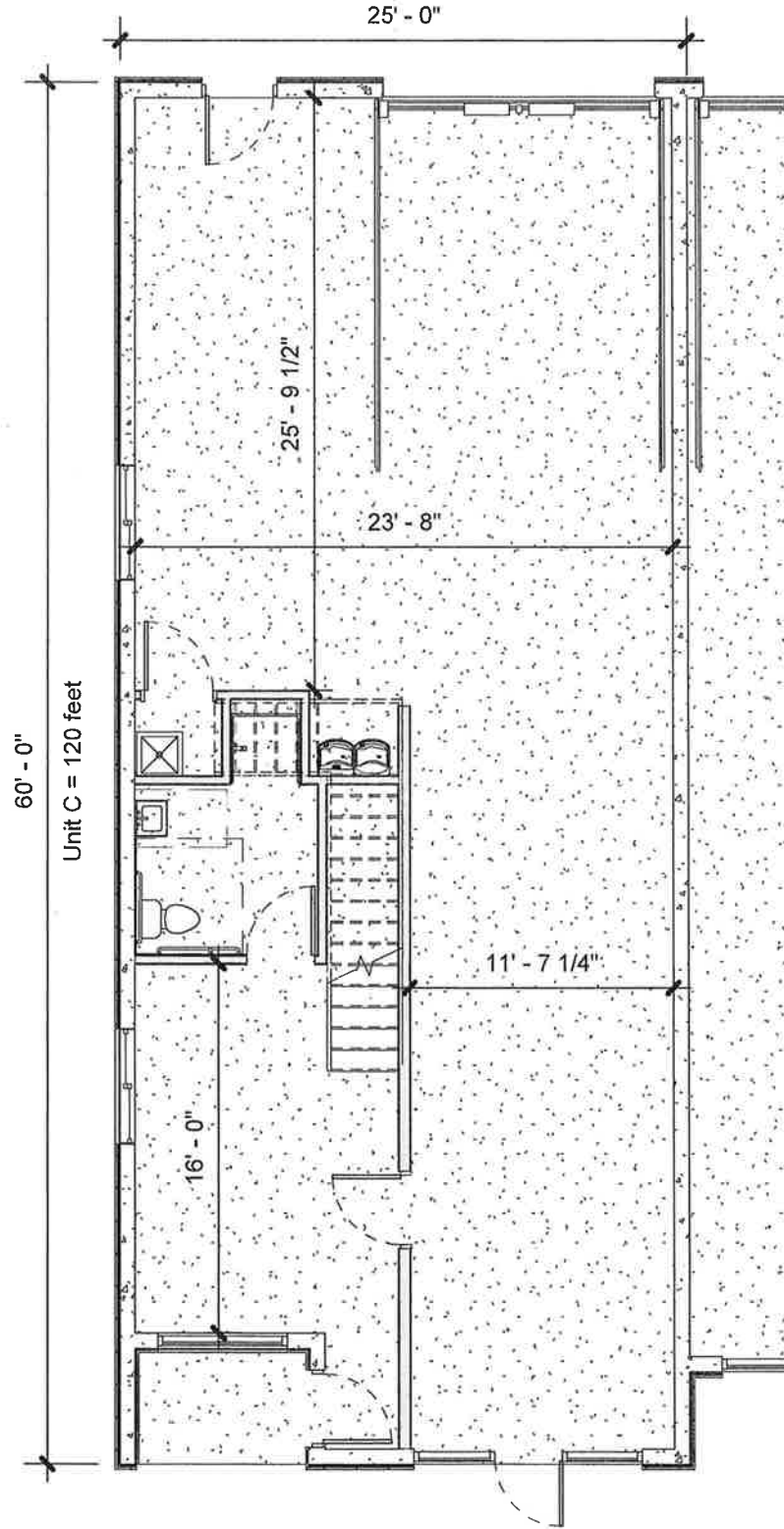
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Typical Unit A Second Floor Plan

2
105

1/8" = 1'-0"



Typical Unit A Main Floor Plan

1
105

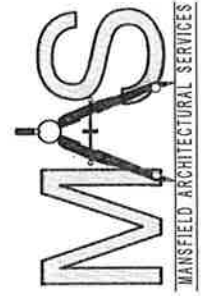
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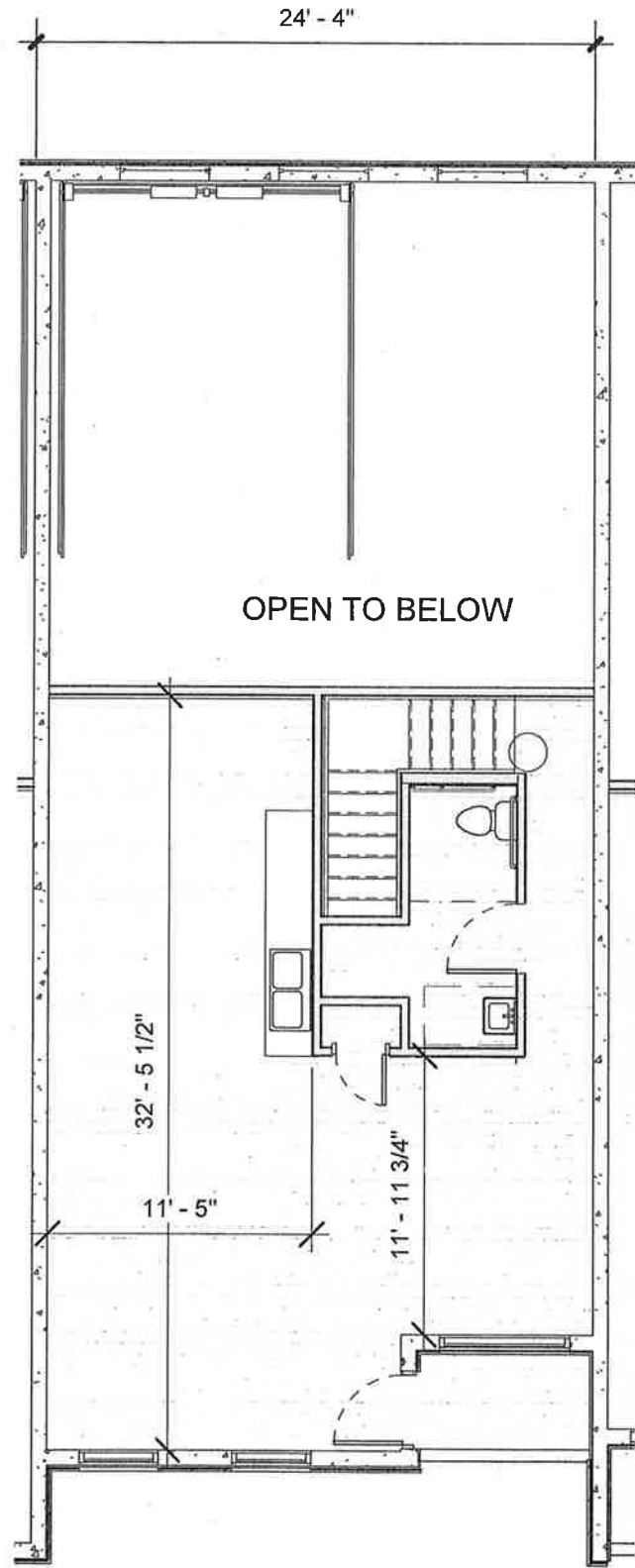
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Westfield Warehouse Complex



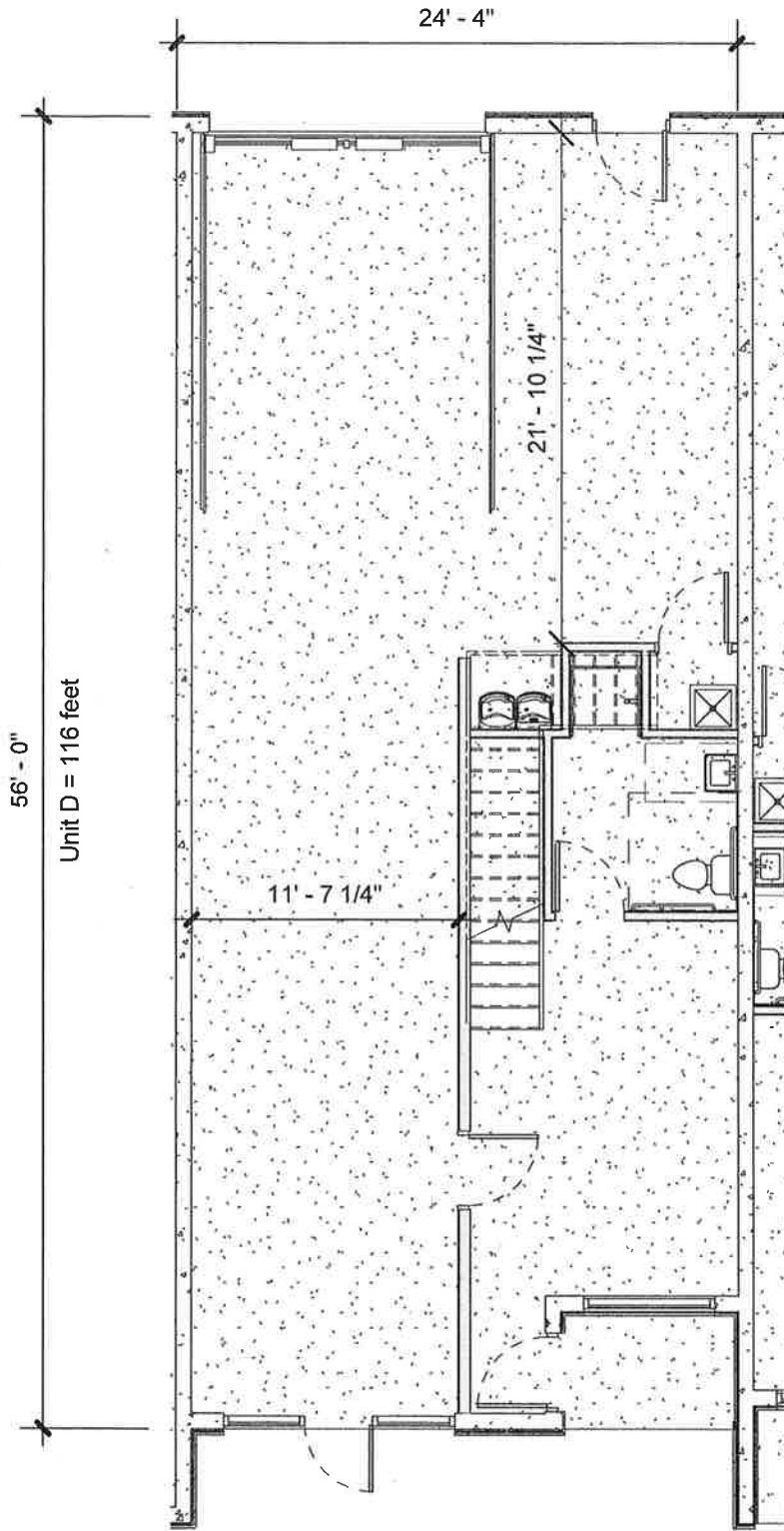
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Typical Unit B Second Floor Plan

2
106

1/8" = 1'-0"



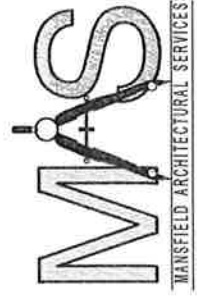
Typical Unit B Main Floor Plan

1
106

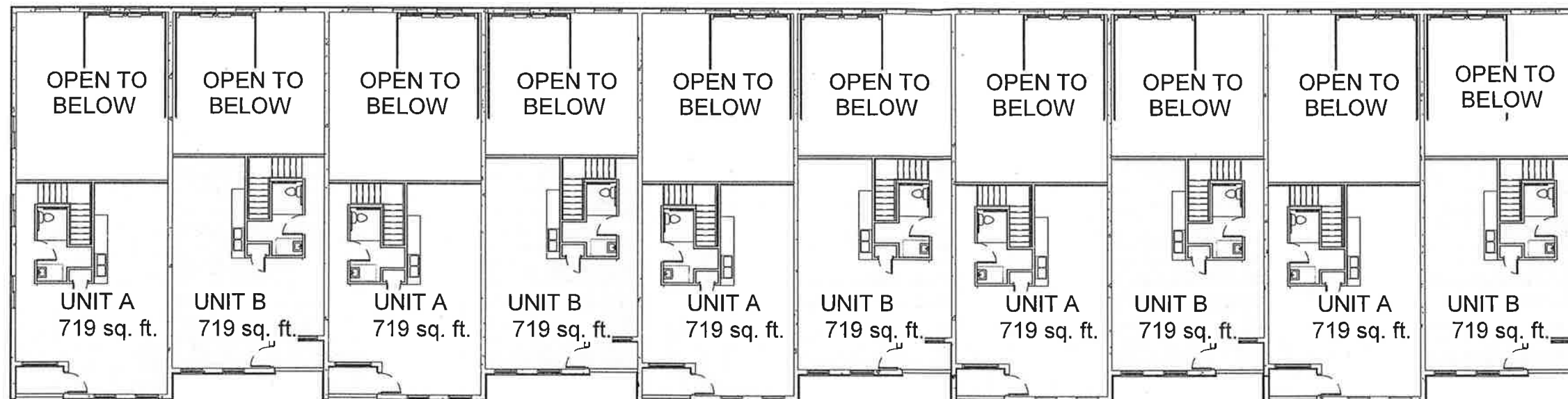
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Westfield Warehouse Complex

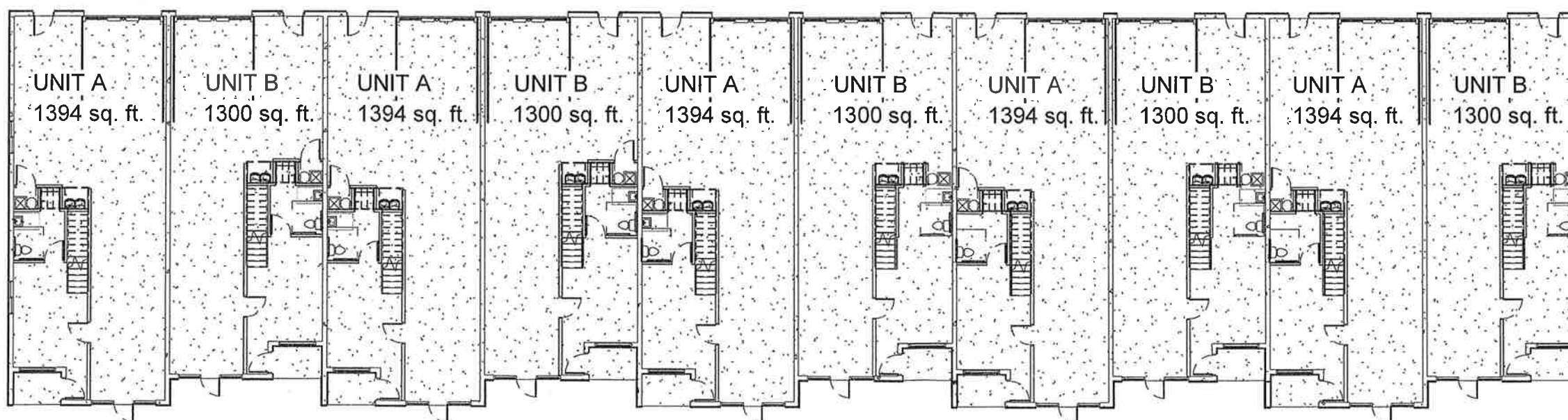


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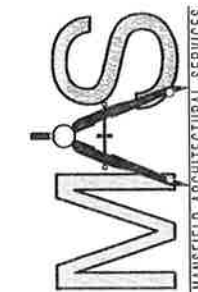
Typical Second Floor

2	Plans
200	1" = 20'-0"



Typical First Floor

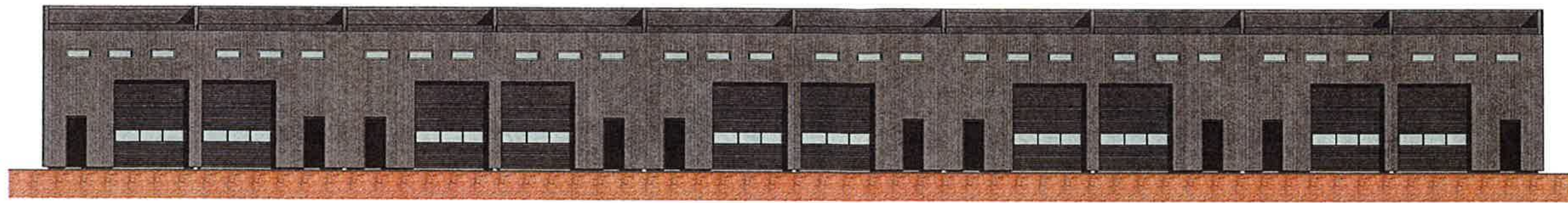
1	Plans
200	1" = 20'-0"



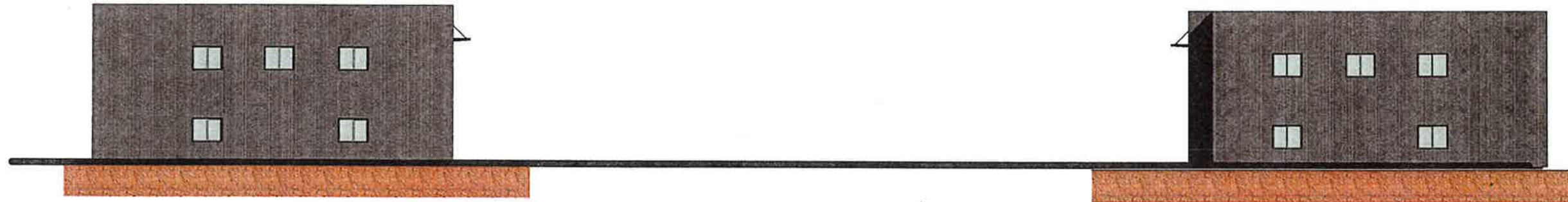
Westfield Warehouse Complex



200

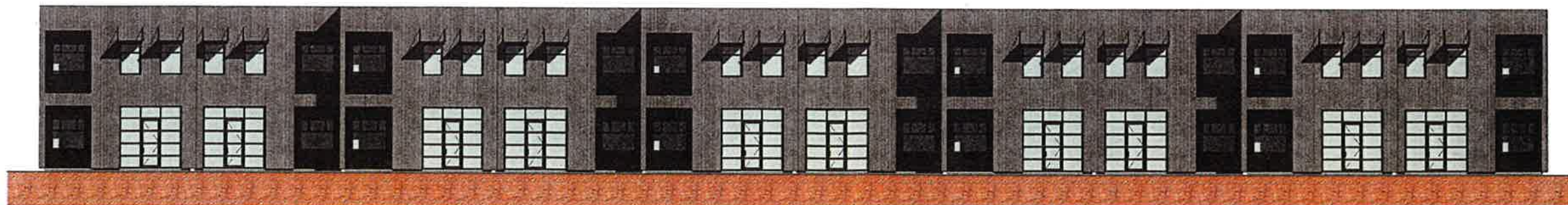


4	Typical Rear Elevation
201	1" = 20'-0"

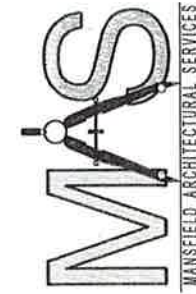


2	Typical Left Elevation
201	1" = 20'-0"

3	Typical Right Elevation
201	1" = 20'-0"



1	Typical Front Elevation
201	1" = 20'-0"

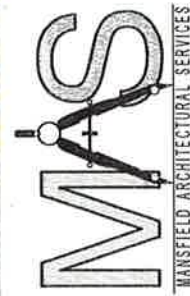
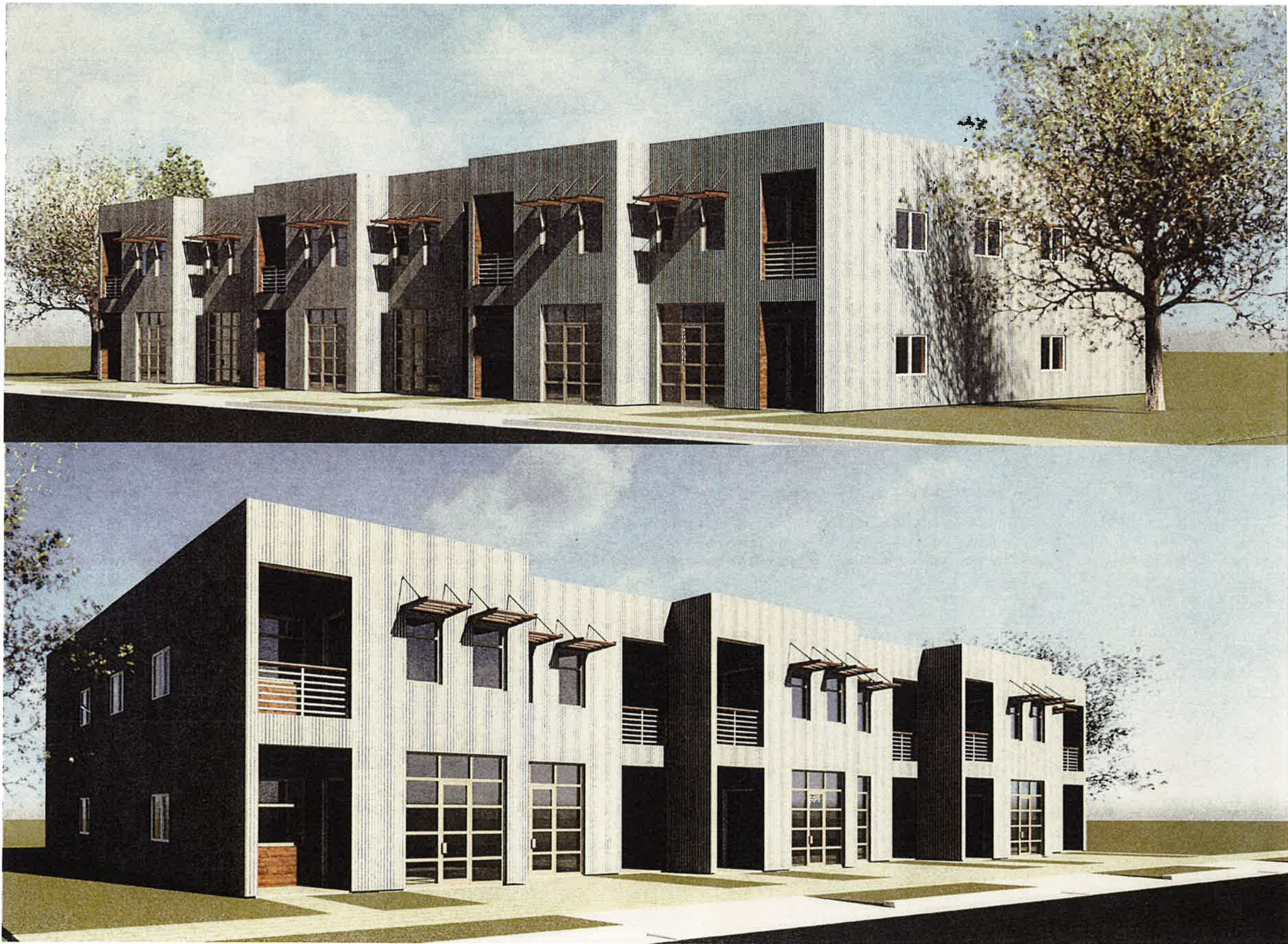


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Westfield Warehouse Complex



201



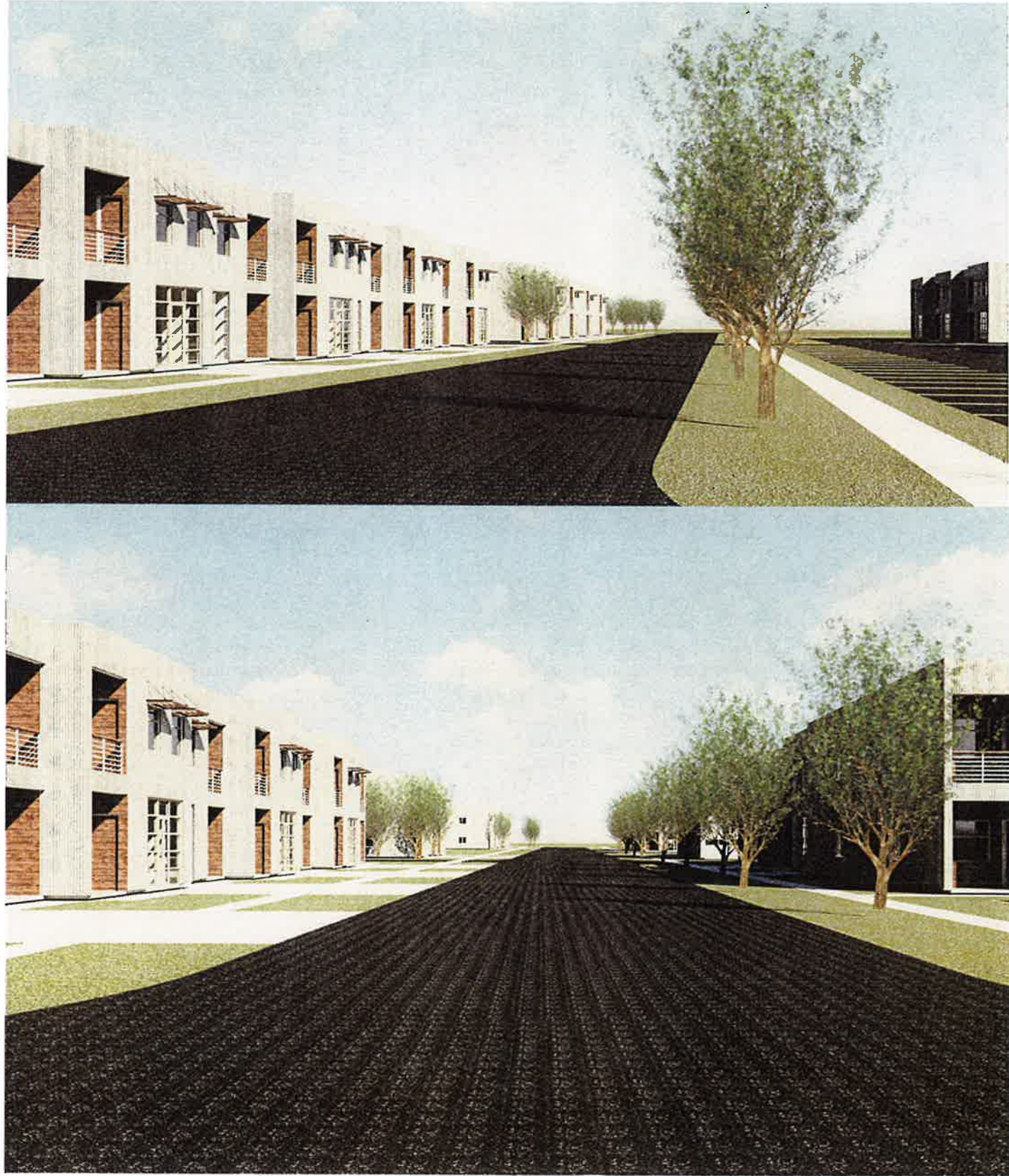
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202

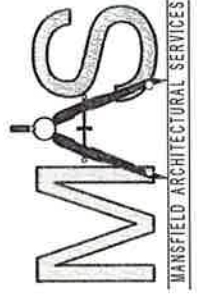
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