

**Project #19-011  
L.W.'s Car Wash  
Located at 975 W 200 N**

**REPORT SUMMARY...**

<i>Project Name:</i>	L.W.'s Car Wash
<i>Proponent / Owner:</i>	Brent Miller / Larsen Miller LLC
<i>Project Address:</i>	975 W 200 N
<i>Request:</i>	Design Review Permit
<i>Current Zoning:</i>	Commercial (COM)
<i>Type of Action:</i>	Quasi-Judicial
<i>Hearing Date</i>	April 11, 2019
<i>Submitted By:</i>	Aaron Smith, Planner II

**RECOMMENDATION**

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #19-011, L.W.'s Car Wash, for one 13,000 SF commercial building, and one 5,000 SF carwash located at approximately 975 W 200 N, TIN #05-094-0006, 05-094-0007.

*Current Land use adjoining the subject property*

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

**Project Proposal**

This is a proposal to construct one (1) new 13,000 SF commercial building and one (1) 5,000 SF carwash on an approximately 2.6 acre site. The site has been divided into two parcels through a boundary line adjustment. The western parcel is approximately 1.3 acres and is proposed to contain the commercial building. The eastern parcel is approximately 1.3 acres and proposed to contain the carwash. The site fronts three streets, 1000 W, 200 N, and 950 W. 1000 W and 200 N are both UDOT highways. Access to the site is proposed on 1000 N and 950 W. In addition to the two proposed buildings, site development includes surface parking, covered vacuum stations, RV dump station, and landscaping.

The proposed commercial building fronts 1000 W and includes a drive-through lane that wraps around the west side of the building. Total tenants in the space remains under consideration. The southernmost tenant space would include a drive-through window. The proposed 5,000 SF carwash includes 6 bays. The northern carwash wash bay is designed to accommodate recreational vehicles and large trucks. The covered vacuum station is located to the south of the carwash. The RV dump station is located north of the carwash.

Development is proposed to occur in two phases. A final phasing plan has not been submitted at this time. However, it is anticipated that the first phase will consist primarily of the carwash, vacuum stations, RV dump station, and access along 1000 N and 950 W. Phase two will consist of the commercial building and associated surface parking and landscaping. Both phases of the development are being considered as part of the design review.

**Land Use**

The Land Development Code (LDC) Table 17.11.030 permits retail, carwashes, and restaurants (fast food & general) in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses.

### ***Design Review Permit***

The LDC 17.43 requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

### **Site Plan**

#### ***Lot Coverage***

The LDC 17.10.080 limits lot coverage to a maximum of 60% (building(s) footprint). The project site is approximately 2.6 acres (113,815 SF) in size. The total proposed building footprints of the project is approximately 18,000 SF, or 16% lot coverage. When considering each individual parcel, the commercial building parcel has 23% coverage, and the carwash parcel has 9% coverage. As proposed the project complies with the requirements in the LDC.

#### ***Frontage***

The Commercial zone requires a minimum 50% building frontage at front setback. As this is a corner lot development, it is typical that one of the frontages is emphasized over the other. In this case, the proposed site plan emphasis 1000 W and fronts the proposed commercial building along that road. As proposed, the commercial building along 1000 W provides 64% building frontage at the front setback. When considering both the 1000 W and 200 N frontage and including both proposed buildings, the building frontage is 52%. As proposed the project complies with the requirements in the LDC.

#### ***Setbacks***

The LDC requirements for setbacks in the Commercial zone are as follows (as measured from property lines):

Front (Bld. Height 0'-40'):	10'
Side:	8'
Rear:	10'
Parking Front:	10'
Parking Side/Rear	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

#### **Commercial Building**

Front (West):	25'
Side (South)	16'
Side (North)	92'
Parking (South):	15'

#### **Carwash**

Front (South):	75'
Side (East):	50'
Side (North):	115'
Parking (South):	15'
Parking (East):	10'

As proposed, the project complies with the requirements in the LDC.

### **Access & Circulation**

Vehicular driveway access is proposed on 1000 W and 950 W. The access along 1000 W is limited to right-in and right-out vehicle movements due to the center median. Two accesses are proposed along 950 W. The project proposes a pedestrian access point from the commercial building to 200 N, but does not propose a pedestrian access to 1000 W. The nature and use of a carwash does not warrant pathway connections. As conditioned, with pedestrian pathways connecting from the commercial building to 1000 W, the project complies with the requirements in the LDC.

### **Parking**

For the commercial building, the LDC 17.31 requires one (1) parking stall per 250 SF of general retail sales and service space. If a portion of the commercial space developed as fast-food restaurant space, parking would be required at 1 per 150 SF. The 13,000 SF commercial building would require between 52-60 parking stalls based on use. The proposed commercial parcel provides 62 parking stalls. The drive-through lane is required to have a minimum of 8 stacking positions. The LDC requires bike racks in commercial areas.

The carwash use does not require parking stalls, but it is required to provide adequate vehicle stacking space. The stacking requirement for a self-serve bay is 1 stacking space, the requirement for an auto wash is 6 vehicle stacking spaces. The proposed carwash provides at least 9 vehicle stacking spaces for each auto wash, and at least 5 vehicle stacking spaces for the self-serve bays. The carwash parcel also provides 13 parking stalls.

An area of concern in regard to parking is the proposed parking and vacuum stations south of the carwash. No parking is allowed in the front yard without a Conditional Use Permit in the Commercial zone. In this instance, staff considers the vacuum station area to be a dedicated vehicle service use and not parking. The parking southwest of the carwash may be considered in the front yard of the carwash, however, the parking is located behind the south plane of the commercial building and could be considered in the side yard once the commercial building is constructed during phase 2. As conditioned, the project complies with the requirements in the LDC.

### **Open Space Area**

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and storm-water facilities. The entire 2.6 acre site would require 11,300 SF of both open space and usable outdoor space for a total of 22,600 SF. The proposal includes conceptual open space and usable outdoor areas. As proposed, the total open space and usable outdoor space totals approximately 22,800 SF (20%).

The development of open space should be proportional between the two parcels and development phases. Approximately 12,400 SF of the proposed open space is located within phase one carwash area. Approximately 12,400 SF of the proposed open space is located within phase two commercial building area. A detailed landscaping plan is required to determine final compliance with the open space and usable outdoor space requirement. As conditioned, the project meets the open area requirements of the LDC as proposed.

### **Landscaping**

The LDC 17.32 requires minimum plant material for overall visual aesthetics, ecological reasons, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the Commercial zone. For 2.6 acres, 52 trees and 130 shrubs, flowers and ornamental plants would be required

as per the LDC. The landscaping requirements should be proportional to the two phases. As conditioned with a landscaping plan, the project meets the requirements of the LDC.

### ***Lighting***

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project meets the requirements of the LDC.

### ***Building Design***

The LDC 17.12.020 states that commercial buildings should be designed to promote high-quality and aesthetically pleasing developments. The design standards consider building variation, materials, building mass, articulation, roof, placement, and orientation. The standards emphasize 4-sided architecture. Generally, the proposed buildings meet the design guidelines.

### ***Building Articulation***

The buildings have clear horizontal articulation and massing with changes in material, rooflines, and projections that divide up both the commercial building and carwash facades. One area that does not meet the articulation requirement is the south façade of the carwash. This façade will require additional articulation to break the wall plane. As conditioned, the project complies with the requirements in the LDC.

### ***Building Materials***

Both the commercial building and carwash propose MBI metal and stone veneer as the primary building materials. All proposed materials are all allowed in the Commercial zone.

### ***Transparency***

Transparency requirements for the Commercial zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed sides):	30%
Upper Floors (Frontage):	20%

Proposed transparency for the project are:

Commercial Building	
West Elevation (1000 W Frontage):	34%
East Elevation:	45%
South Elevation (200 N Exposed side):	20%
North Elevation:	20%

Carwash	
West Elevation:	45%
East Elevation:	45%
South Elevation (200 N Frontage):	0%
North Elevation:	0%

The proposed transparency of the south facades on both the commercial building and carwash do not meet the transparency requirements for the commercial zone. As conditioned, requiring

30% transparency on both south facades, the project complies with the requirements in the LDC.

### **Orientation**

The LDC allows for buildings to have primary entrances not oriented towards the street if the building façade facing the street has similar architectural features and visual interest as the primary entrance/façade. The commercial building fronts 1000 W but its primary entrance is oriented toward the interior parking. The 1000 W frontage mirrors the architectural details of the primary entrance in form and fenestration. As proposed, the project complies with the requirements in the LDC.

### **Building Height**

The LDC 17.10.080 limits base building height to 40' in the Commercial zone. The highest point of both the commercial building and carwash is 21'. As proposed, the project complies with the requirements in the LDC.

### **Staff Summary**

The proposed commercial building and carwash are congruent with the surrounding land use and architecture, and, as conditioned, meet the requirements for development in the Commercial zone. The proposed project will provide enhanced access to commercial services in the community.

### **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Water	• Fire
• Environmental	

### **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

### **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 3/30/19 and the Utah Public Meeting website on 3/29/19. Public notices were mailed to all property owners within 300 feet of the project site on 3/22/19.

### **RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Provide a phasing plan for the site development that details proportional development across phases, including open space and landscaping.
3. Provide a pedestrian pathway that connects the commercial building to 1000 W.
4. A minimum of 52 parking stalls, 8 stacking positions within the drive-through lane and a bike rack shall all be provided for the commercial building.
5. A minimum of 1 stacking space for self-serve bays and 6 stacking spaces for auto wash bays shall be provided for the carwash.
6. All parking along 200 N should be constructed during phase two and placed in the side yard of the commercial building.
7. A landscaping buffer will be constructed between the parking and the sidewalk along 200 N. The buffer shall conform with Type "B" Separations, LDC 17.32.070.B.

8. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Street trees required along public streets every 30'. Coordinate species and location with the City Forester.
  - b) 10% open space and 10% usable outdoor space.
  - c) Open Space and Useable Outdoor areas shall total a minimum of 22,760 SF.
  - d) A total number 52 trees and 130 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
  - e) The drive-thru shall be buffered and screened from 1000 W with shrubs and vegetation.
9. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
10. The south elevation of the carwash shall have horizontal articulation that meets the requirements of §17.12.020.4.a.
11. The south elevation of the carwash shall have minimum transparency of 30%.
12. The south elevation of the commercial building shall have a minimum transparency of 30%.
13. Any dumpsters near the street shall be visually screened or buffered with landscaping and/or fencing.
14. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
15. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
16. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
17. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
18. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. *Water—contact 716-9622*
    - The Car Wash's water main must have its own RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or connections. (This is for containment protection only.) The water main must then tee and serve the bathrooms, then other side of tee must have a RP(ASSE1013) to serve the car wash only. (point of use only).
    - Any landscape irrigation connected to Logan City water must have a high hazard backflow assembly installed and tested.  
All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
    - Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
    - All points of use of water must comply with the 2015 IPC and State of Utah Amendments, during and after construction.
    - The water supply for RV Dump must have its own RP (ASSE1013) installed and tested. Any water outlets down stream of this backflow assembly must be labeled "NONPOTABLE". (Point of use Protection). Indoors for freeze protection?
    - Commercial Units-- Each units water main must be separate and have their own RP (ASSE1013) installed and tested as it enters each unit.
    - Project shall comply with all Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow and cross connection prevention.

*b. Fire —contact 716-9515*

- Fire sprinkler, fire alarm systems may be required depending on future use and occupancy of tenant units.
- Provide AutoCAD two track drawing indicating the following apparatus specifications on all fire access road and lanes: Inside turn 17 ft., Curb to Curb 32ft., and Wall to wall 36 ft.
- The required fire flow of 3,000 gpm (VB Construction) shall be required via 3 accessible hydrants.
- Fire hydrant is required within 400 ft. of all areas of the building exterior. If fire sprinklers are installed a fire hydrant is required within 100 ft. of the fire sprinkler fire department connection (FDC).

*c. Environmental —contact 716-9760*

- The minimum inside measurement for a double enclosure without gates is 22 ft. wide and 10 ft. deep. If gates are desired it is 24 ft. wide. For collection efficiency, we would prefer no gates.
- Place bollards on the front corners and in the back of the enclosure to help protect the walls.

**RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The conditioned project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The conditioned project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The conditioned project provides adequate off-street parking.
5. 1000 W and 950 W provides access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.
6. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
7. The project met the minimum public noticing requirements of the LDC and the Municipal Code.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.





# APPLICATION FOR PROJECT REVIEW

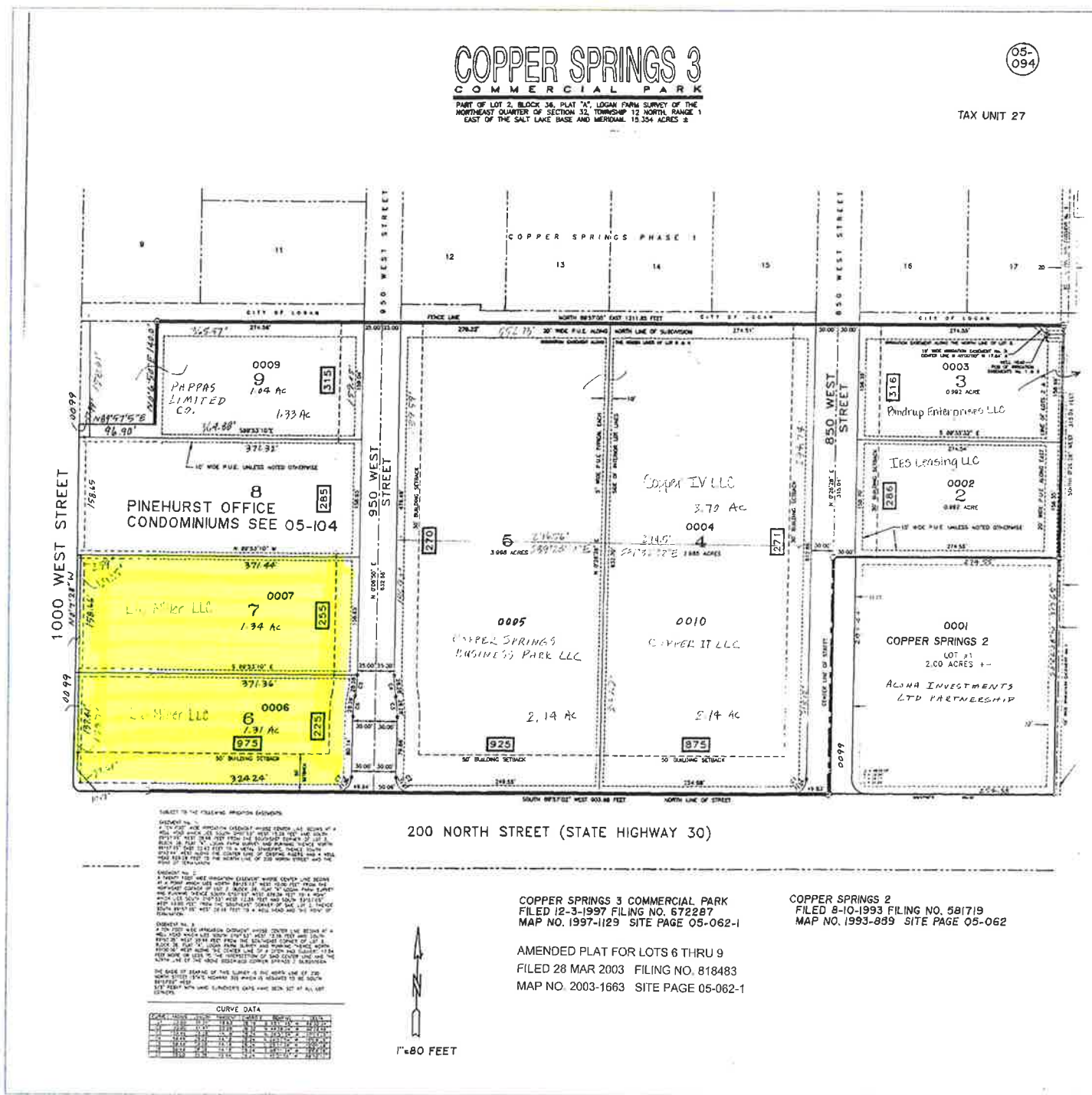
600<sup>th</sup>

☒ Planning Commission    ☐ Land Use Appeal Board    ☐ Administrative Review

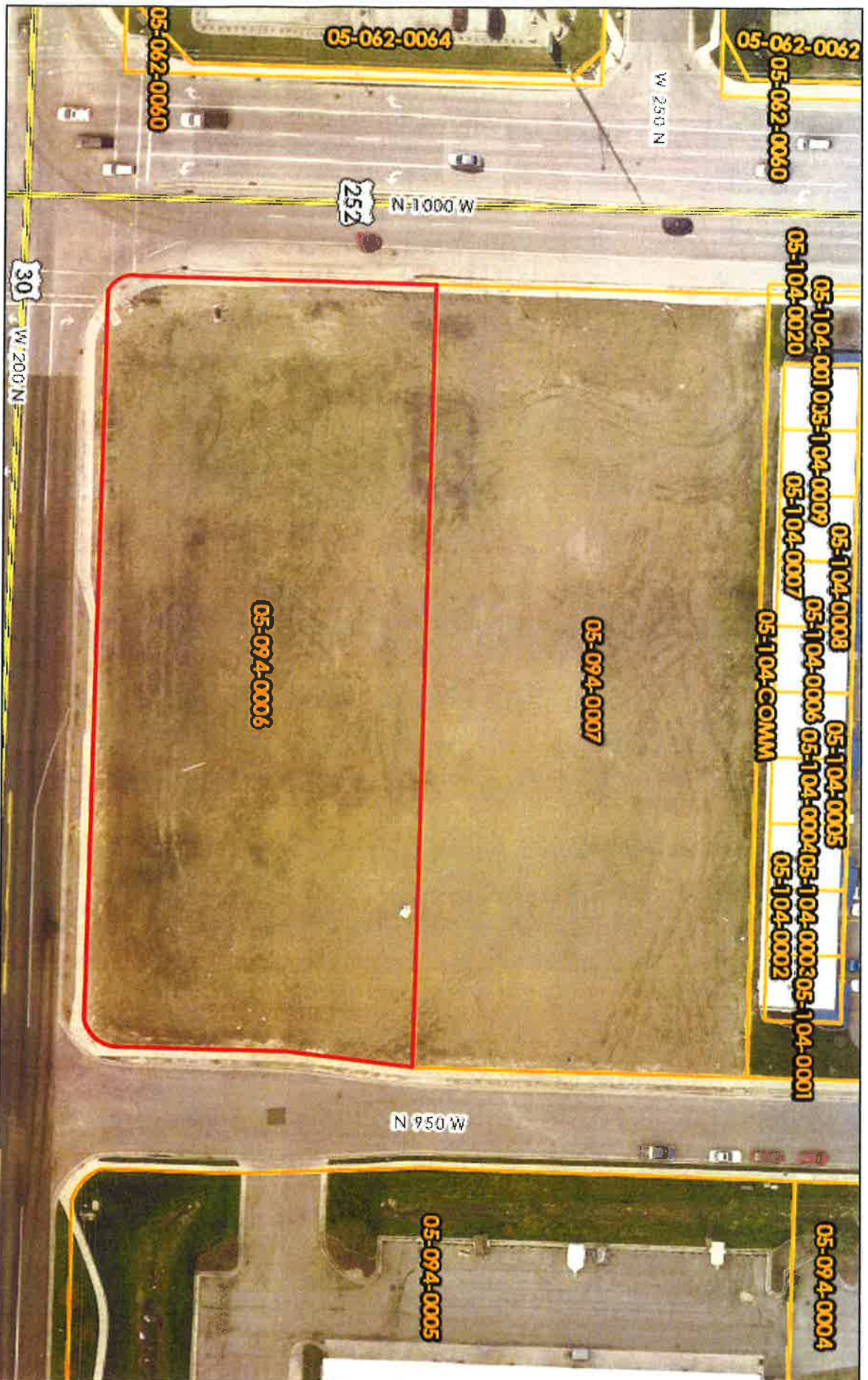
Date Received <b>3-11-19</b>	Received By	Receipt Number	Zone <b>COM</b>	Application Number <b>PG 19-011</b>
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME <b>L.W.'s Car Wash</b>				
PROJECT ADDRESS <b>975 W 200 N Logan, UT</b>				COUNTY PLAT TAX ID # <b>05-094-0006;-0007</b>
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) <b>Brent Miller</b>				MAIN PHONE # <b>435-757-0473</b>
MAILING ADDRESS <b>Box 512</b>		CITY <b>Logan</b>	STATE <b>Ut.</b>	ZIP <b>84323-0512</b>
EMAIL ADDRESS <b>brentm@lwmler.com</b>				
PROPERTY OWNER OF RECORD (Must be listed) <b>Larsen Miller</b>				MAIN PHONE # <b>435-753-8350</b>
MAILING ADDRESS <b>1050 W. 200 N</b>		CITY <b>Logan</b>	STATE <b>Ut.</b>	ZIP <b>84321</b>
EMAIL ADDRESS <b>kents@lwmler.com</b>				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed)				Total Lot Size (acres)
				Size of Proposed New Building (square feet) <b>18,000<sup>2</sup> FT</b>
				Number of Proposed New Units/Lots
				- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		



# Plat Maps for Parcel 05-094-0006 - Cache County CORE



# Parcel Map



3/12/2019, 8:43:07 AM



Override 1



State Roads



Cache Parcels

Parcel Tax ID Label

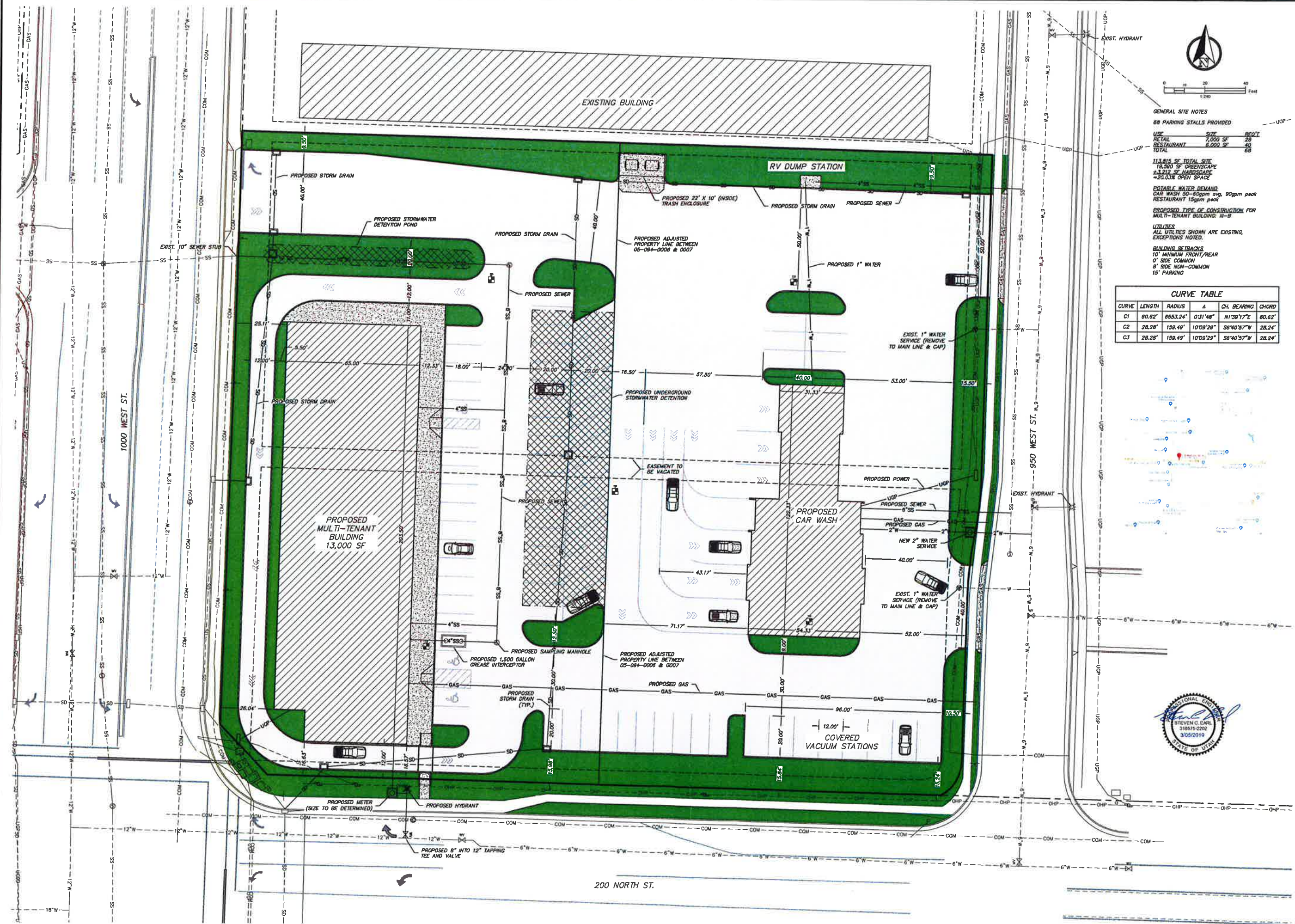


Municipal Boundaries

County Centerline

County Boundary





<i>CURVE</i>	<i>LENGTH</i>	<i>RADIUS</i>	<i>Δ</i>	<i>CH. BEARING</i>	<i>CHORD</i>
<i>C1</i>	<i>60.62'</i>	<i>8553.24'</i>	<i>0°31'48"</i>	<i>N1°39'17"E</i>	<i>60.62'</i>
<i>C2</i>	<i>28.28'</i>	<i>159.49'</i>	<i>10°09'29"</i>	<i>S6°40'37"W</i>	<i>28.24'</i>
<i>C3</i>	<i>28.28'</i>	<i>159.49'</i>	<i>10°09'29"</i>	<i>S6°40'57"W</i>	<i>28.24'</i>

**DESIGN REVIEW  
SITE PLAN**

**COPPER SPRINGS RETAIL**  
05-094-0006 & 05-094-0007  
975 W 200 NORTH  
Logan, UT 84321



**Cache • Landmark**

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**Engineers**  
**Surveyors**  
**Planners**

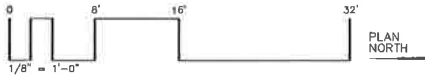
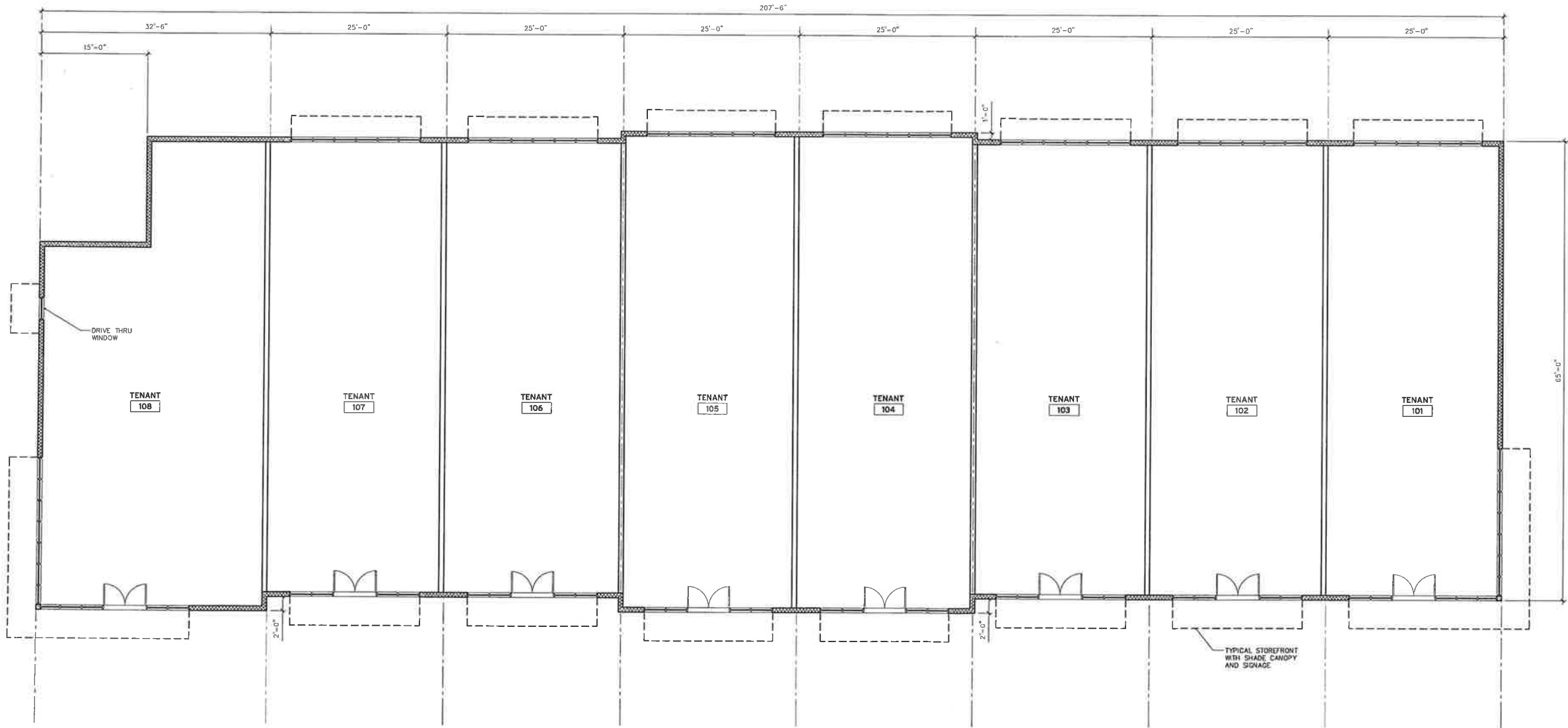
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95 W. Golf Course Rd.  
Suite 101  
Logan, UT 84321  
435.713.0099

DATE: 5 MARCH 2010  
SCALE: 1" = 20'  
DESIGN BY: S. EARL  
CHECKED BY: L. ANDERSON  
APPROVED BY: S. EARL  
PROJECT NUMBER: 18108LWM  
SHEET:



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- PLAN GENERAL NOTES**
- A. GRADING SHOWN ON THIS PLAN IS ILLUSTRATIVE, REFER TO GRADING PLAN FOR FINAL GRADES, SLOPE, FINAL GRADE AWAY FROM BUILDING MIN. OF 6" IN FIRST 10' FROM BUILDING.
  - B. G.C. TO COORDINATE WITH ALL PLANS INCLUDING FLOOR PLANS, STRUCTURAL, AND ELECTRICAL DRAWINGS.
  - C. SEE ROOF PLAN FOR ROOF GUTTERS AND DOWNSPOUT LOCATIONS.
  - D. ALL COLORS TO BE APPROVED BY ARCHITECT.
  - E. ALL VISIBLE EXPOSED FLASHING TO BE KYNAR FINISHED.
  - F. ALL ROOF PENETRATIONS (VENTS, STACKS, ETC.) TO BE PAINTED. ALL EXPOSED EXTERIOR WOOD SURFACES TO BE STAINED, TWO COATS MIN. ONE COAT - SHOP PRE-STAINED IS ACCEPTABLE- FINAL COAT TO BE FIELD APPLIED, NOT SHOWN ON THIS PLAN FOR CLARITY. REFER TO MECHANICAL PLANS.
  - G. PROVIDE KYNAR FLASHING ABOVE ALL HORIZONTAL WOOD TRIM AND BACKING BLOCKS. (WINDOWS, DOORS, LIGHTS ECT.) FLASHING TO HAVE 4" MIN. VERTICAL LEG, AND HORIZONTAL LEG TO PROJECT PAST TRIM WITH A DRIP EDGE- FIELD VERIFY DEPTH.
  - H. ALL PIPING, EQUIPMENT, ELECTRICAL PANELS, ETC. SHOWN ON THIS SHEET REFERENCE ONLY. REFER TO DISCIPLINE SHEET FOR INFORMATION AND INSTRUCTIONS.
  - I. PROVIDE SWPPP PLAN & CONSTRUCTION MITIGATION PLAN PER CIVIL.
  - K. ALL SURFACES SHALL BE PAINTED OR SEALED / STAINED, U.O.N.

**hoffman**  
hoffman architects llc  
1308 south 1700 east #202  
salt lake city, utah 84108  
801.583.3400  
www.hhoffman.com



11 MARCH 2019  
CONCEPTS

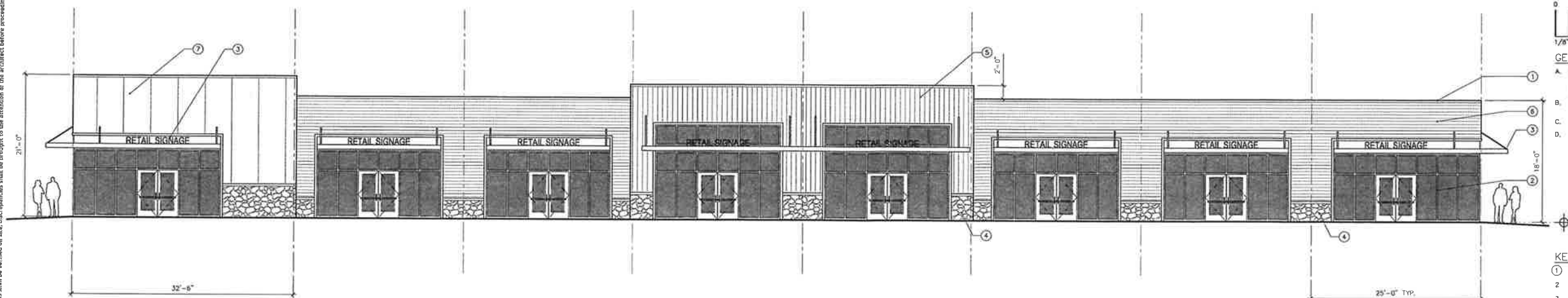
**L.W. MILLER  
RETAIL BUILDING  
975 WEST 200 NORTH  
LOGAN, UTAH 84321**

DESIGNED: H H DRAWN: OEB REVIEWED: H H 2019-14

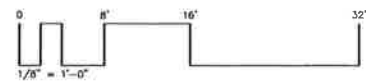
**FLOOR PLAN A101**

**A1 FLOOR PLAN**

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**C1 SOUTH ELEVATION**  
AS NOTED

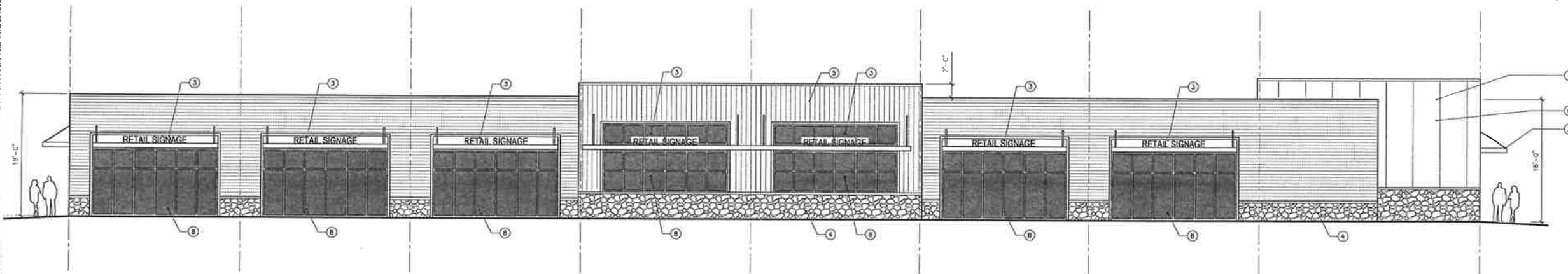


**GENERAL NOTES**

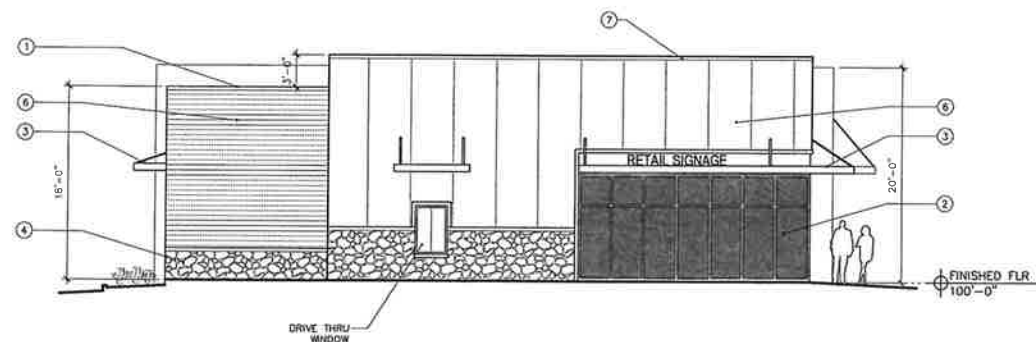
- DIMENSIONS SHALL BE TO EDGE OF CONCRETE, EDGE OF MASONRY, CENTER OF COLUMNS, EDGE OF ROUGH FRAMING, CENTER OF DOORS AND WINDOWS IN STUD WALLS AND EDGE OF MASONRY OPENINGS IN MASONRY WALLS - UNLESS NOTED OTHERWISE.
- VERIFY ALL CONDITIONS PRIOR TO WORK, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- GRADING SHOWN IS ILLUSTRATIVE. REFER NOTES FOR GRADING.
- VERIFY STRUCTURAL FOUNDATION PER STRUCTURAL PLAN.

**KEYED NOTES**

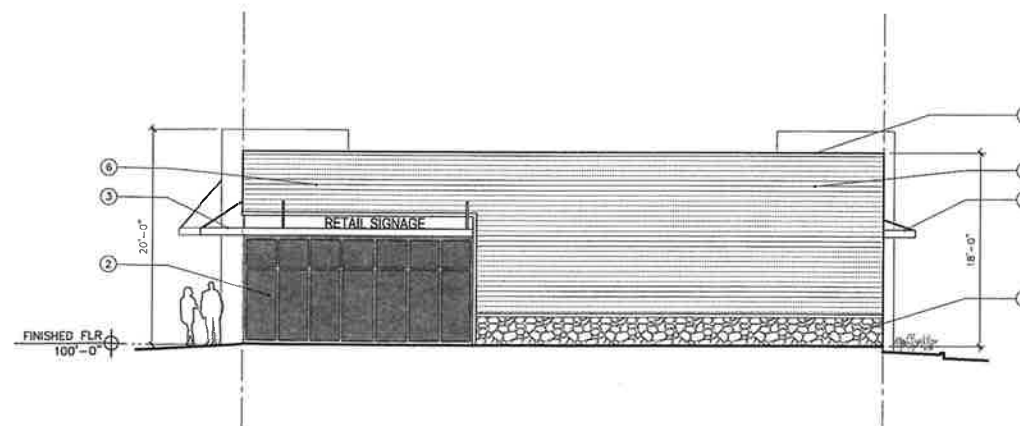
- 26 GA. GI FLASHING, PREFINISHED.
- STOREFRONT GLAZING.
- STEEL SUNSHADE DEVICE WITH SIGNAGE OPTIONS.
- STONE VENEER.
- MBCI METAL BUILDING SIDING, COLOR RUSTIC RED, 7.2 PANEL PROFILE.
- MBCI METAL BUILDING SIDING, COLOR LIGHT STONE, PBD PANEL PROFILE.
- INSULATED METAL PANEL, SPRAY ON FINISH.
- GLAZING / SPANDREL GLAZING AS NEEDED.



**B1 NORTH ELEVATION**  
AS NOTED



**A1 WEST ELEVATION**  
AS NOTED



**A3 EAST ELEVATION**  
AS NOTED



hoffman architects llc  
1308 south 1700 east #202  
salt lake city, utah 84108  
801.583.3400  
www.hhoffman.com



11 MARCH 2019  
CONCEPTS

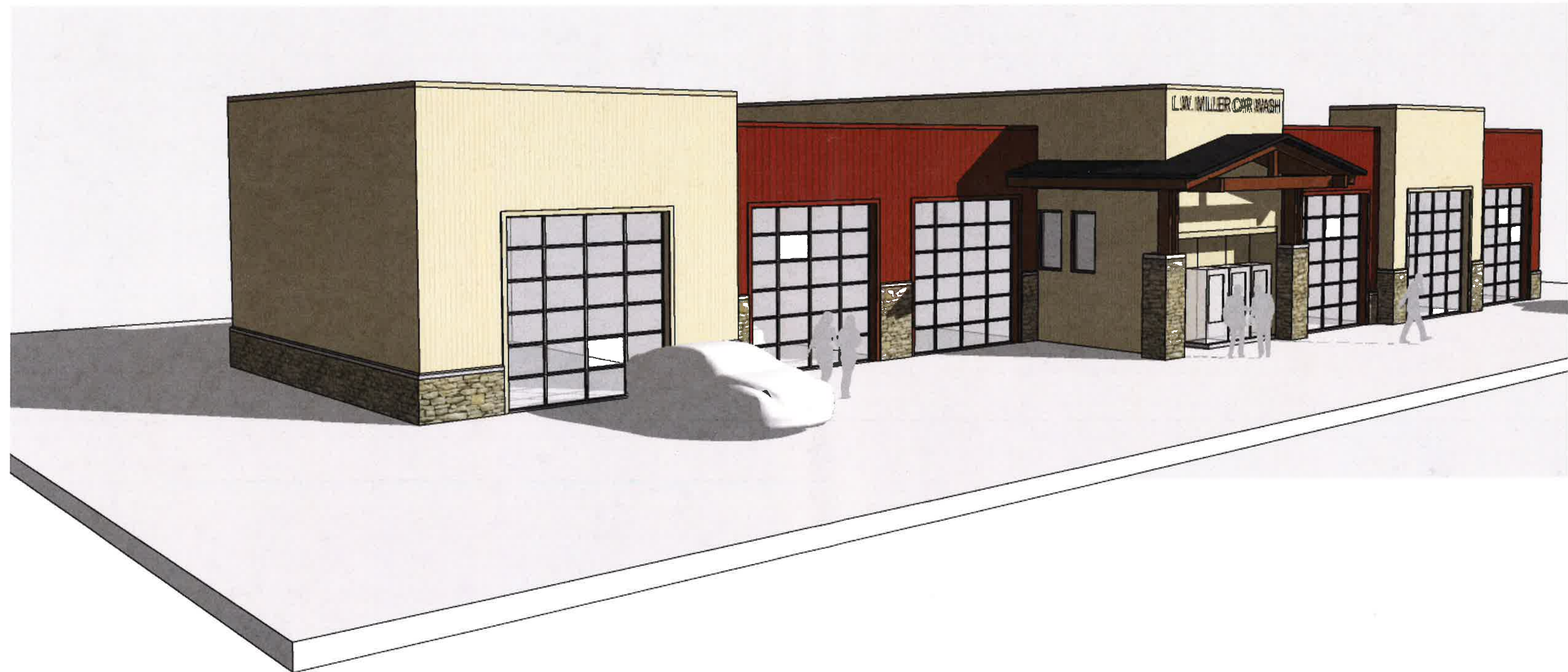
**L.W. MILLER  
RETAIL BUILDING**  
975 WEST 200 NORTH  
LOGAN, UTAH 84321

DESIGNED: H H DRAWN: OEB REVIEWED: H H 2019-14

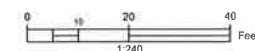










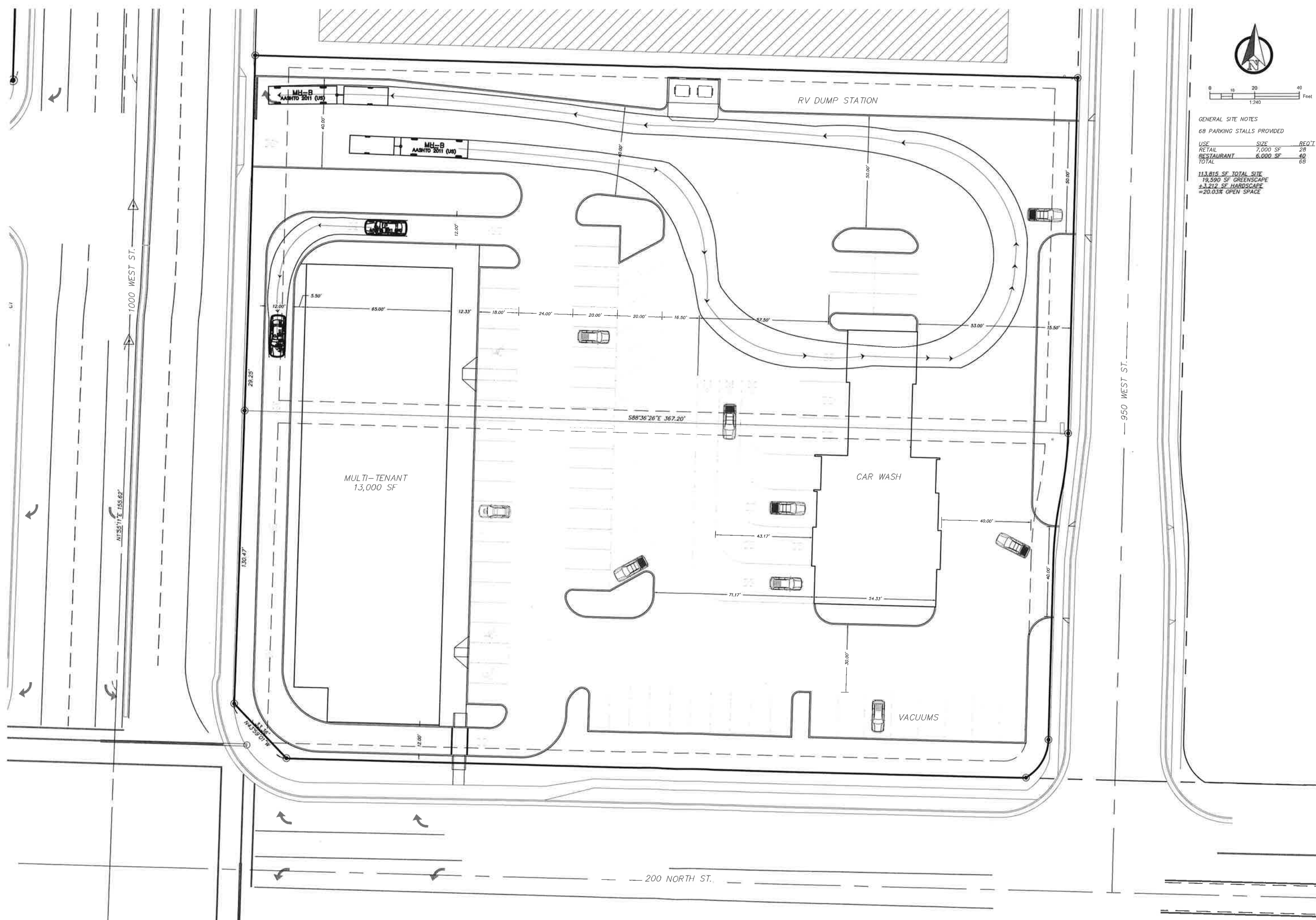


GENERAL SITE NOTES

68 PARKING STALLS PROVIDED

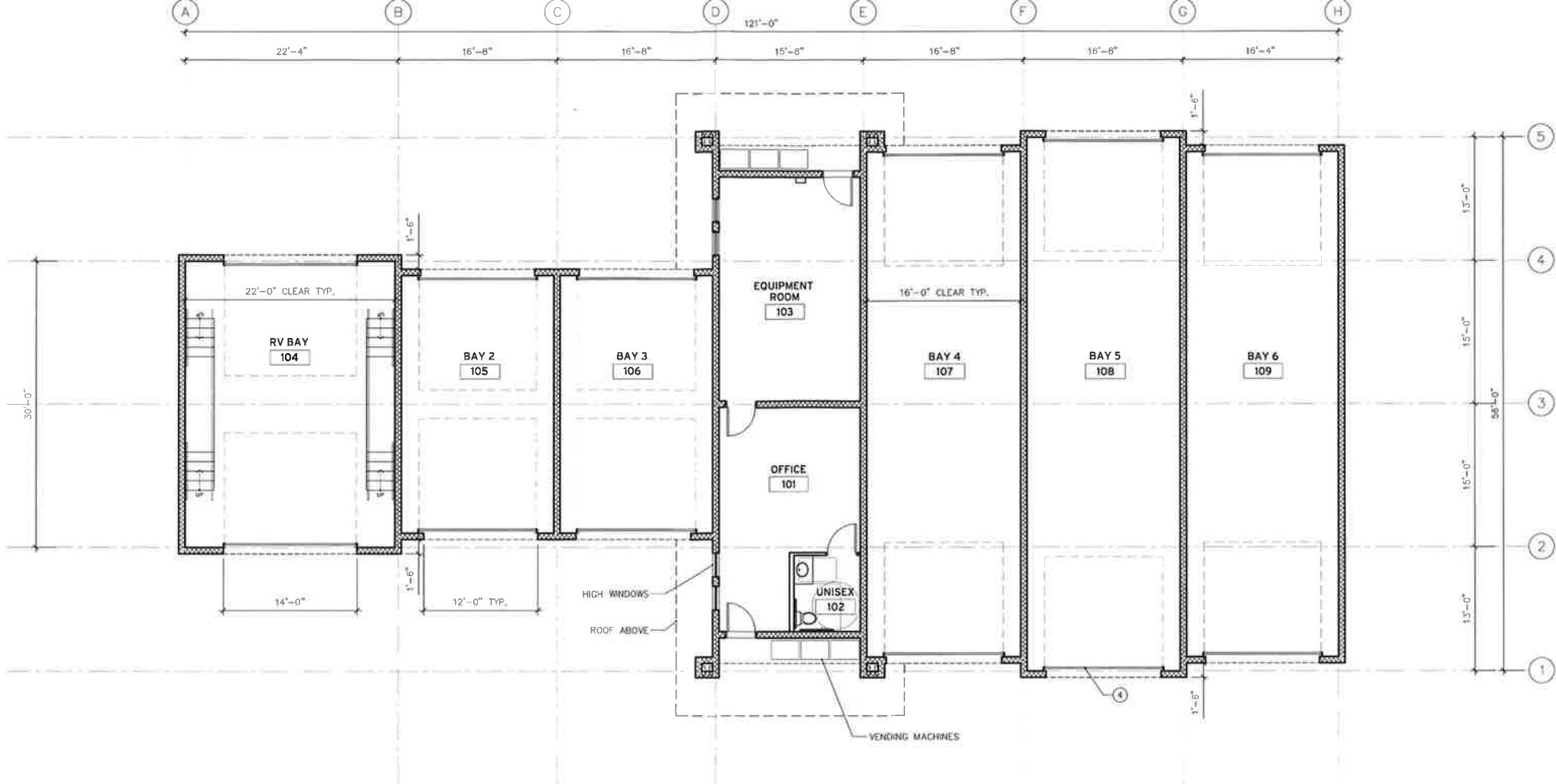
USE	SIZE	REQ'T
RETAIL	7,000 SF	28
RESTAURANT	6,000 SF	40
TOTAL		68

113,815 SF TOTAL SITE  
19,590 SF GREENSPACE  
±3,212 SF HARDSCAPE  
=20.03% OPEN SPACE



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C1 FLOOR PLAN  
1/4" = 1'-0"



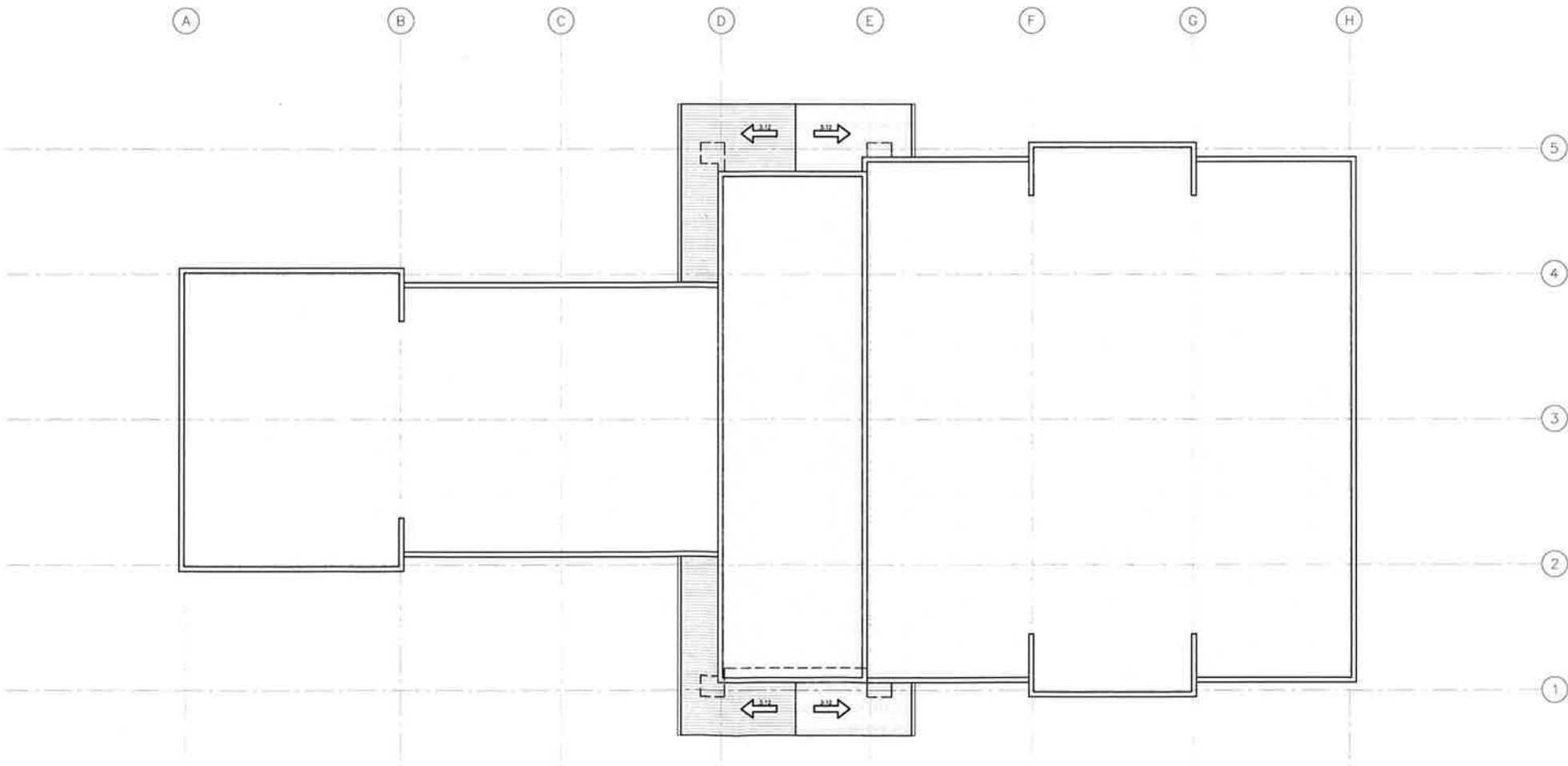
PLAN GENERAL NOTES

- GRADING SHOWN ON THIS PLAN IS ILLUSTRATIVE, REFER TO THE GRADING PLAN FOR FINAL GRADES, SLOPE FINAL GRADE AWAY FROM BUILDING IN FIRST 10' FROM BUILDING.
- G.C. TO COORDINATE WITH ALL PLANS INCLUDING FLOOR PLAN, STRUCTURAL, AND ELECTRICAL DRAWINGS.
- SEE ROOF PLAN FOR ROOF GUTTERS AND DOWNSPOUTS.
- ALL COLORS TO BE APPROVED BY ARCHITECT.
- ALL VISIBLE EXPOSED FLASHING TO BE KYNAR FINISHED.
- ALL ROOF PENETRATIONS (VENTS, STACKS, ETC.) TO BE PROVIDED WITH KYNAR FLASHING. ALL EXPOSED EXTERIOR WOOD SURFACES TO BE STAINED, COATS MIN. ONE COAT - SHOP PRE-STAINED IS ACCEPTABLE. COAT TO BE FIELD APPLIED, NOT SHOWN ON THIS PLAN FOR CLARITY, REFER TO MECHANICAL PLANS.
- PROVIDE KYNAR FLASHING ABOVE ALL HORIZONTAL WOOD AND BACKING BLOCKS, (WINDOWS, DOORS, LIGHTS ECT.) TO HAVE 4" MIN. VERTICAL LEG, AND HORIZONTAL LEG TO PAST TRIM WITH A DRIP EDGE - FIELD VERIFY DEPTH.
- ALL PIPING, EQUIPMENT, ELECTRICAL PANELS, ETC. SHOWN FOR REFERENCE ONLY. REFER TO DISCIPLINE SHEET FOR INFORMATION.
- PROVIDE SWPPP PLAN & CONSTRUCTION MITIGATION PLAN.
- ALL SURFACES SHALL BE PAINTED OR SEALED / STAINED.

PLAN KEYED NOTES

- 26 GA. GI FLASHING, PREFINISHED,
- COLUMN, PER STRUCTURAL,
- OUTLINE OF ROOF ABOVE,
- AUTOMATIC ROLLING SHUTTERS,

A1 ROOF PLAN  
1/4" = 1'-0"



hoffman architects llc  
1308 south 1700 east #202  
salt lake city, utah 84108  
801.583.3400  
www.hoffman.com

22 FEBRUARY 2019  
REVIEW

L.W. MILLER  
CAR WASH  
975 WEST 200 NORTH  
LOGAN, UTAH 84321

DESIGNED: H H DRAWN: OEB REVIEWED: H H

FLOOR PLAN

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08'16'

1/8" = 1'-0"

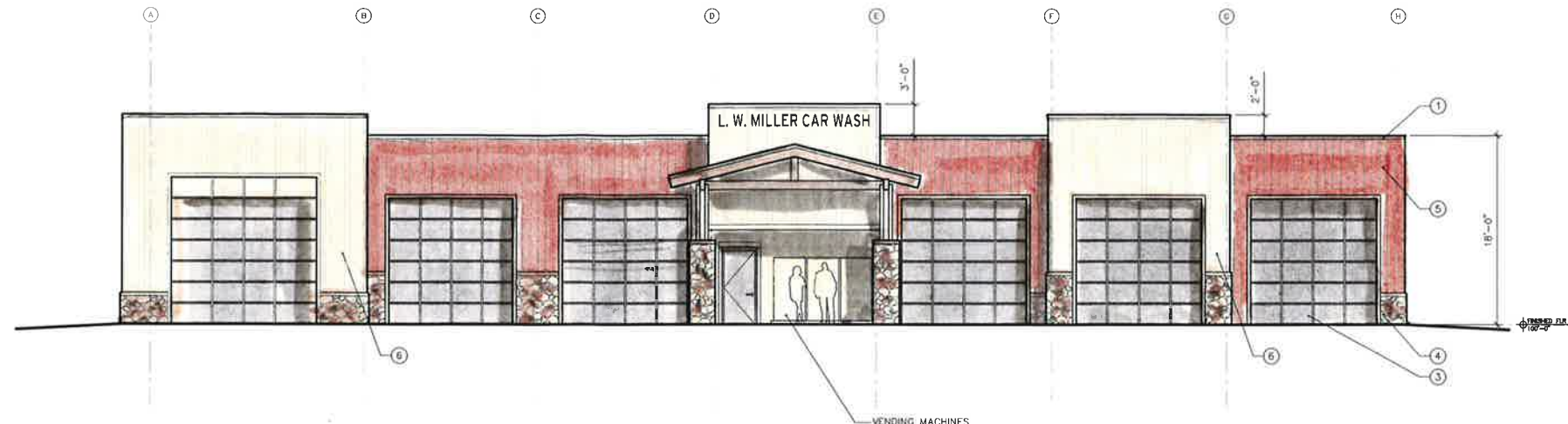
GENERAL NOTES

A. DIMENSIONS SHALL BE TO EDGE OF CONCRETE, EDGE OF CENTER OF COLUMNS, EDGE OF ROUGH FRAMING, CENTER AND WINDOWS IN STUD WALLS AND EDGE OF MASONRY OR MASONRY WALLS - UNLESS NOTED OTHERWISE.

B. VERIFY ALL CONDITIONS PRIOR TO WORK, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

C. GRADING SHOWN IS ILLUSTRATIVE. REFER NOTES FOR GRADING.

D. VERIFY STRUCTURAL FOUNDATION PER STRUCTURAL PLAN.



KEYED NOTES

1 26 GA. GI FLASHING, PREFINISHED.

2 COLUMN, PER STRUCTURAL.

3 AUTOMATIC ROLLING SHUTTERS.

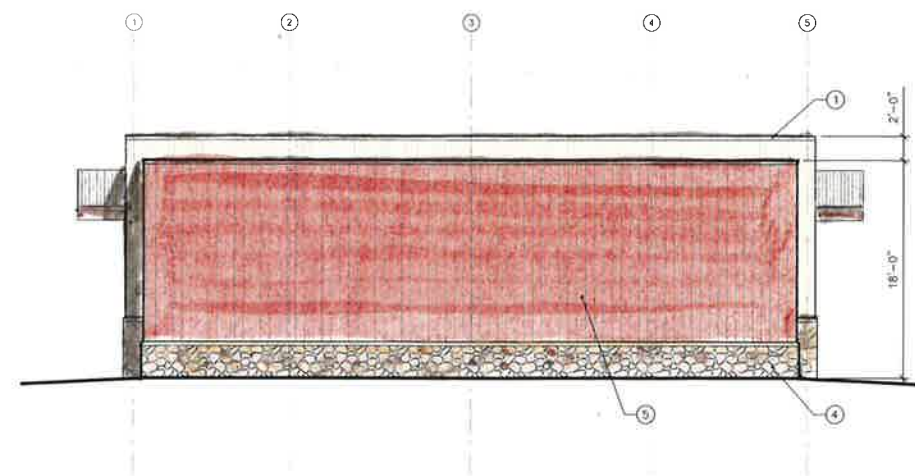
4 STONE VENEER.

5 MBCI METAL BUILDING SIDING, COLOR RUSTIC RED, 7.2 PAINT.

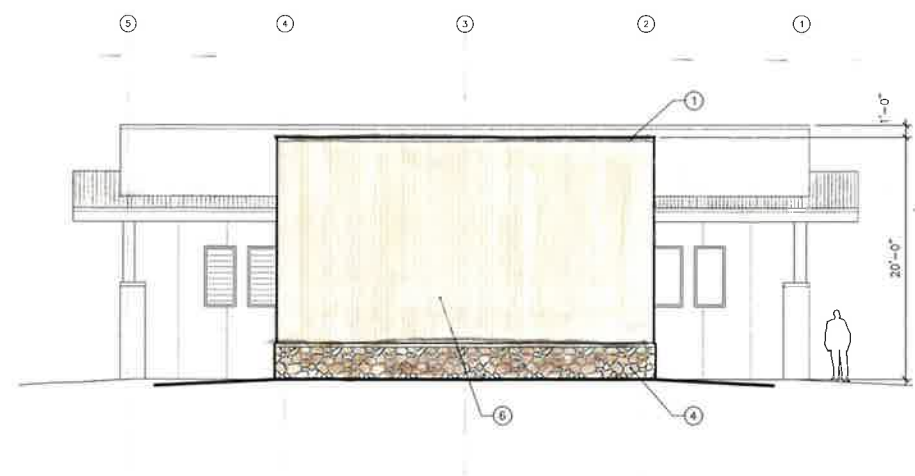
6 MBCI METAL BUILDING SIDING, COLOR LIGHT STONE, PBD PAINT.

7 CORRUGATED METAL ROOFING, BONDERIZED.

C3 WEST & EAST ELEVATION  
AS NOTED



A1 SOUTH ELEVATION  
AS NOTED



A4 NORTH ELEVATION  
AS NOTED

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EXTERIOR  
ELEVATIONS



A2