



**Project #19-010
Culver's
Located at 200 East 1400 North**

REPORT SUMMARY...

Project Name: Culver's
Proponent / Owner: Jered Plouzek / Nixon and Nixon Inc.
Project Address: 200 E 1400 N
Request: Design Review Permit
Current Zoning: Commercial (COM)
Type of Action: Quasi-Judicial
Hearing Date: June 14, 2018
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #19-010, Culvers, in the Commercial (COM) zone located at 200 E 1400 N, TIN #05-014-0008.

Current Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	MR-12: Residential Uses	<i>West:</i>	COM: Commercial Uses

Project Proposal

This is a proposal for a new 4,278 SF Culver's fast food restaurant. The proposal also includes landscaping improvements, a new 60-stall parking lot, drive-thru window and outdoor patio/dining area. The project site is a 1.13-acre property located at the southeast corner of the intersection of 200 East and 1400 North. The relatively flat site is currently vacant with grass ground-cover.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits both types of restaurants (fast food & general) in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front: 10'
Side: 8'
Rear: 10'
Parking: 15'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (north): 76'
Corner Side (west): 74'
Side (east): 45'
Rear (south): 118'
Parking: 10'

As proposed, the project meets minimum setback requirements of the LDC.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is 1.13-acres (49,222 SF) in size with a proposed 4,278 SF building that equals approximately 11% of the lot and complies with maximum lot coverage in the LDC.

Building Orientation, Site Layout & Pedestrian Circulation

The LDC 17.12.030 requires the building to be oriented with the primary entrance generally oriented towards the street. The primary entrance shall be conveniently accessible by street sidewalks and when feasible corner buildings shall have the primary entrance facing the corner. In situations when the primary entrance is not oriented towards the street, the street facing façade shall have similar architectural features as the primary entrance facade.

The LDC 17.10.080 states that parking lots be positioned to the side and rear of the building. In circumstances when the proposed project is compatible with adjacent property parking lots, up to 50% of the required parking stalls (12 parking stalls), can be approved in front of the building with enhanced pedestrian circulation and substantial landscaping. The adjacent properties to the west (Vitamin Retailer) and northwest (Credit Union) have parking lots located to the side and rear of the building. The adjacent property to the north (Hardware Store) has a parking lot in front of the building and the adjacent property to the east is vacant. Considering that only 12 parking stalls could be allowed in front of the building and two out of the three adjacent properties have parking in the side or rear of the building staff finds that a site layout with the building near and oriented toward the street with the parking lots in the side and rear is the best way to achieve code compliance. As conditioned with building orientation towards the street with a direct connection to the primary entrance and the parking lots located to the side or rear, the project meets the requirements in the LDC.

Building Elevations

The LDC 17.10.080 indicates that blank walls exceeding 30 linear feet are prohibited. Acceptable breaks include windows, balconies, wall articulation or changes in color or materials. The building facades are proposed with a combination of manufactured stone, EFIS, fiber cement board siding and brushed aluminum accents and trim. With articulation, fenestration, color and material changes, the project meets the blank wall requirements in the LDC as proposed. The LDC also requires a minimum of 30% transparency on ground floor street facing facades. The north façade has more than 30% and the east façade does. As conditioned with minimum transparency facing the street, the project meets the requirements in the LDC.

Parking Requirements

The LDC 17.38.070 requires one parking stall per every 75 SF of dining area for fast-food restaurants. With the restaurant dining room of approximately 1,750 SF, the LDC would require 24 parking stalls. The drive-thru isle is required to have a minimum of 8 stacking positions. A bike rack is required for restaurants. The proposal includes 60 parking stalls and the drive thru stacking could accommodate 8 cars but the last 2 cars in the drive-thru would block two parking stalls in the parking lot. No bike racks are shown. As conditioned with minimum parking stalls, drive thru capacities and a bike rack, the project meets the requirements in the LDC.

Open Space

The LDC 17.19.070 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.35 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 1.13-acre (49,222 SF) site would require 4,922 SF of both landscaping and usable outdoor space for a total of 6,446 SF of open space. The conceptual site plan shows few landscaping and outdoor space details. Based on assumptions of where landscaping would likely be placed, approximately 9,844 SF exists for potential open space. As conditioned with detailed open space and landscaping totaling a minimum of 9,844 of the site, the project meets the requirements in the LDC.

Landscaping

The LDC 17.39 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For 1.13-acres, 22 trees and 56 shrubs, flowers and ornamental plants would be required as per the LDC. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 3/30/19, posted on the City's website and the Utah Public Meeting website on 3/29/19, and mailed to property owners within 300 feet on 3/22/19.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The Planning Commission will determine the orientation (front) of the building based on the architectural features, primary entrances and floorplan of the building.
3. Parking stalls shall be located to the side or rear of the building.
4. A direct pedestrian connection shall be made between the primary entrance and the street.
5. 30% transparency is required on the front façade.
6. All public pedestrian entrances shall have weather protection provided above.
7. A minimum of 24 parking stalls, 8 stacking positions in the drive-thru isle and a bike rack shall all be provided.
8. Any sidewalks that cross the drive-thru isle shall have curb cuts and markings indicating a crossing.
9. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 9,844 SF.

- c) A total number 22 trees and 56 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
- 10. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
- 11. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
- 12. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
- 13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
- 14. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
- 15. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Parking in front of an enclosure is not recommended because of the potential for it to be blocked by parked vehicles. I suggest either the south-west or the south-east corner, facing north. A minimum 60 ft. straight on access is required. The minimum inside measurement for a double enclosure is 24 ft. wide and 10 ft. deep. Because of morning winds in this area, gates must be designed to fully open and then be held in the open position during the collection process. Place bollards to protect enclosure walls.
 - b. *Engineering —contact 716-9160*
 - All building locations on 200 East shall be set back to allow for 2 additional 12 foot lanes entering the 1400 North intersection in the future. Additional right of way may be necessary for park strip and sidewalk and corner clip at intersection for signal pole relocation.
 - Access to 200 East to be shared with the adjacent property's access at south property line. If agreement cannot be reached between property owners, City Public Works Department will work with Developer to determine alternate connection location or restrictions to access point.
 - Need to address drainage ditch along south property line and ensure adequate pipe size for all storm water and irrigation water which currently flows in this ditch. This is in addition to any storm water collection and discharge from developed site which may be discharged into this ditch.
 - Shared access to 1400 North shall be designed and restricted to a right in and right out only access.
 - Provide onsite detention/retention for storm water in accordance with Logan City Standards. This includes the retention of the 90% storm event onsite utilizing Low Impact Design methods.
 - Comply with all City requirements for water shares, storm water and water maintenance agreements.
 - Record a PUE of 10' behind all frontage property and a 10' PUE for the existing City water line on property if not already recorded. A PUE shall also be recorded on all interior property lines (5' or 10' depending if PUE exists on adjacent parcels).
 - Pavement section on 1400 North and 200 East shall be for an arterial type road per City Standards.
 - c. *Water —contact 716-9627*
 - This unit needs to have its own RP (ASSE1013) installed and tested on the water main as it enters this unit before any branch offs or connections.
 - Landscape irrigation must have a high hazard backflow assembly installed and tested.

- Fire suppression systems must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - All points of use of water must comply with the 2015 IPC and State of Utah Amendments, during and after construction
- d. Fire —contact 716-9515
- Fire sprinkler and fire alarm systems are required if the occupant load is greater than 100 in an A2 occupancy. Fire hydrants are required (one within 100 ft. of FDC).
 - *(IFC 503.1.1) Fire Apparatus Access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the building.*
 - Plan appears to have hard surface access around the building.
 - Provide AutoCAD two track drawing indicating the following apparatus specifications on all fire access road and lanes: Inside turn 17 ft., Curb to Curb 32ft., and Wall to wall 36 ft.
 - Fire Water Flow
 - *(IFC 507.1) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, building or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.3) Fire flow requirements for buildings or portions of building and facilities shall be determine by an approved method.*
 - Required Flow: (Need to provide exact accumulative square footage and type of construction).
 - According to Table B105.1(2) the required fire flow for Type VB construction of 4,278 sq. ft. is 1,750 gpm at 20 psi. (If fire sprinklers are installed this may be reduced, not less than 1,000 gpm @ 20 psi)
 - Available Flow: According to the Logan City Engineering Fire Flow model:
 - Fire Hydrant #FH01311 (approx. 230 East 1400 North) flows 3,254 gpm at 20 psi
 - The 8" Mainline (approx. 208 East 1400 North) flows 3,361 gpm at 20 psi
 - Fire Hydrant Locations
 - *(IFC 507.5.1) Fire Hydrants shall be located within 400 feet of the building as measured by an approved route around the exterior of the building.*
 - *(IFC table C102.1) Required number and spacing of hydrants.*
 - The required fire flow of 1,750 gpm (VB Construction) shall be required via 1 accessible hydrants.
 - A fire hydrant is required within 100 ft. of the fire sprinkler fire department connection (FDC).

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT



The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides required off-street parking.
4. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
5. The proposed project complies with maximum height, density and building design, open space standards and is in conformance with Title 17.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 1400 North and 200 East provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.



APPLICATION FOR PROJECT REVIEW

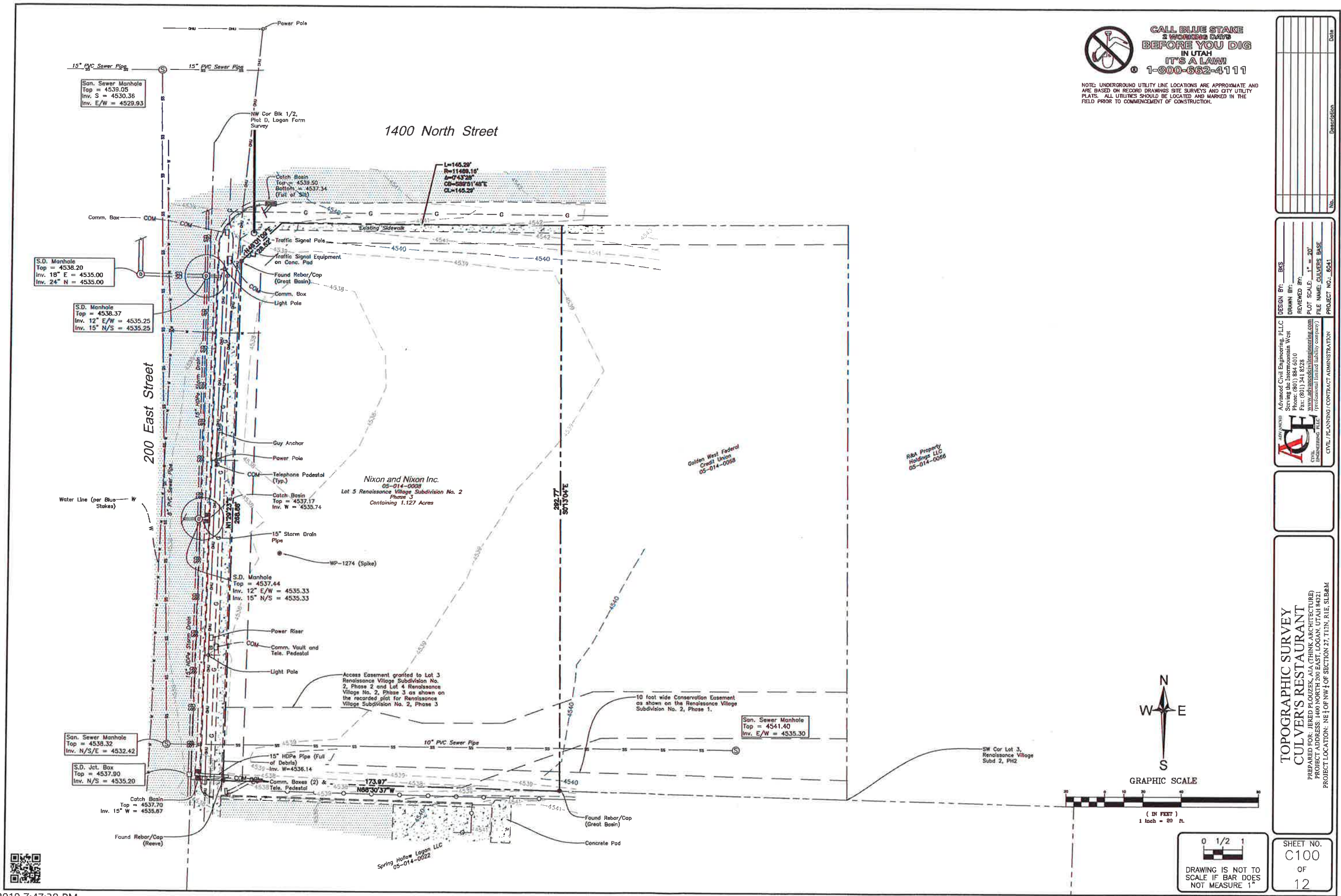
☒ **Planning Commission** ☐ **Land Use Appeal Board** ☐ **Administrative Review**

Date Received <i>March 11</i>	Received By <i>RH</i>	Receipt Number	Zone <i>Com</i>	Application Number <i>PC 19-010</i>
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME Logan Culver's				
PROJECT ADDRESS 1400 North 200 East				COUNTY PLAT TAX ID # 05 - 014 - 0008
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Jered Plouzek - Think Architecture				MAIN PHONE # 801-261-0059
MAILING ADDRESS 5151 S 900 E, Ste 200		CITY Salt Lake City	STATE UT	ZIP 84117
EMAIL ADDRESS jplouzek@thinkaec.com				
PROPERTY OWNER OF RECORD (Must be listed) Nixon and Nixon Inc				MAIN PHONE # 435-752-5000
MAILING ADDRESS 150 E 400 N		CITY Logan	STATE UT	ZIP 84321
EMAIL ADDRESS kent.dunkley@century21.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Restaurant with outdoor seating. Exterior finishes include stone, eifs and cementitious siding.				Total Lot Size (acres) 1.13
				Size of Proposed New Building (square feet) 4,278
				Number of Proposed New Units/Lots
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		



CALL BLUE STAKE
2 WORKING DAYS
BEFORE YOU DIG
IN UTAH
IT'S A LAW!
1-800-662-4111

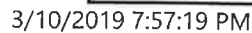
NOTE: UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE AND ARE BASED ON RECORD DRAWINGS, SITE SURVEYS AND CITY UTILITY PLATS. ALL UTILITIES SHOULD BE LOCATED AND MARKED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION.



TOPOGRAPHIC SURVEY
CULVER'S RESTAURANT

PREPARED FOR: JERED PLOZEK, AIA (THINK ARCHITECTURE)
PROJECT ADDRESS: 1400 NORTH 200 EAST, LOGAN, UTAH 84321
PROJECT LOCATION: NE 1/4 OF NW 1/4 OF SECTION 27, T12N, R1E, S12E&M

SHEET NO.
C100
OF
12



Parking Requirements:

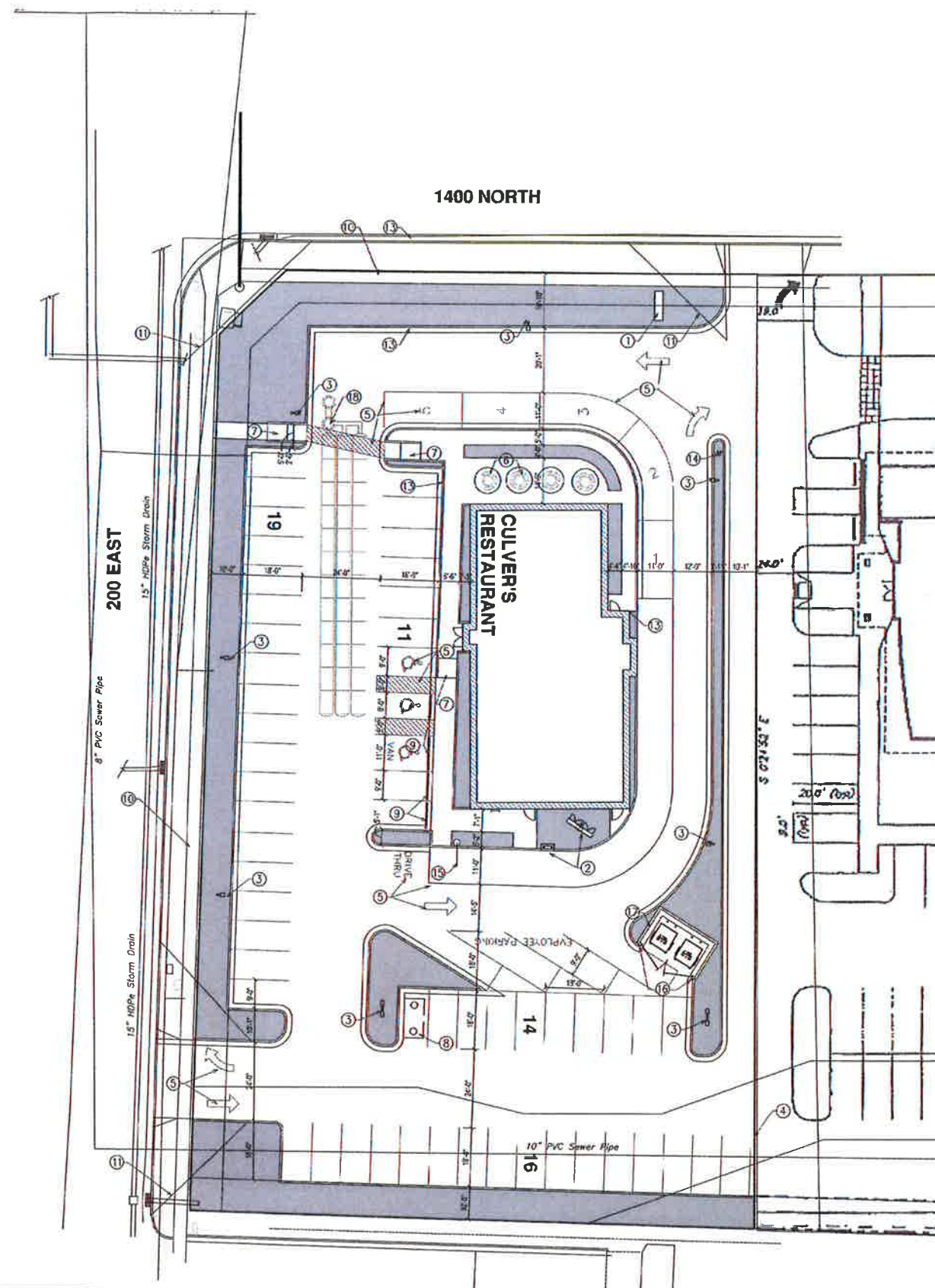
Fast Food (1/75 sf dining): 1,758 sf / 75 = 24 stalls required
60 Stalls Provided

Landscaping

10% Usable Open Space: 49,092 sf x 0.1 = 4,909 sf
10% Usable Outdoor Space: 49,092 sf x 0.1 = 4,909 sf
9,341 sf Soft Scope Provided
603 sf Patio (Outdoor Dining)
9,941 sf Open Space

KEYED NOTES

- ① MONUMENT SIGN (UNDER SEPERATE PERMIT)
- ② DRIVE THRU ORDER BOARD
- ③ SITE LIGHTING (TYPICAL)
- ④ PROJECT LIMIT LINE
- ⑤ 4" PAINTED PARKING LINES AND LETTERING
- ⑥ DINING PATIO
- ⑦ ACCESSIBLE CONCRETE RAMP
- ⑧ GREASE TRAP
- ⑨ PLASTIC CURB STOP - COLOR: BLUE
- ⑩ EXISTING CURB / GUTTER / WALK TO REMAIN
- ⑪ VISION TRIANGLE
- ⑫ REMOVE EXISTING CURB / GUTTER
- ⑬ NEW CONC CURB / GUTTER / WALK / DRIVE
- ⑭ FIRE HYDRANT
- ⑮ VEHICLE HEIGHT DETECTION
- ⑯ PIPE BOLLARD
- ⑰ JUMPSTIER ENCLOSURE
- ⑱ UNDERGROUND WATER RETENTION
- ⑲ EXISTING SEWER LINE
- ⑳ EXISTING WATER LINE



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CULVER'S

1400 NORTH 200 EAST
LOGAN, UTAH

CLIENT:
SPENCER YOUNG

CLIENT APPROVAL:

PROJECT NO.
19038

DATE:
28 FEBRUARY 201

SHEET TITLE
PRELIMINARY SITE PLAN

SHEET NUMBER
SD100





STANDARD AWNINGS	
QUANTITIES:	
11 - CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D	
3 - CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D	
2 - CANVAS AWNINGS @ 5'-6" H x 6'-0" W x 2'-0" D	
18 - TOTAL	
CANVAS AWNING COLOR SPECIFICATIONS:	
SOLID CANVAS AWNING	
COLOR: SUNBRELLA, ROYAL BLUE	
STYLE: 4617	

EXTERIOR MATERIALS:	
STONE:	
MFR: CORONADO	
STYLE: OLD COUNTRY LEDGE	
COLOR: CHARLESTON (40%)	
COLOR: SHASTA (60%)	
EIFS:	
MFR: PAREX	
FINISH: MEDIUM SAND	
MAIN FIELD: MATCH SHERWIN WILLIAMS SW7038 TONY TAUPE	
PILASTER/CORNICE: MATCH SHERWIN WILLIAMS SW7508 TIKI HUT	
FIBER CEMENT BOARD:	
MFR: JAMES HARDIE	
STYLE: HARDIEPLANK LAP SIDING, 7.25" CEDAR MILL	
COLOR: KHAKI BROWN	

- General Notes:
1. TOP OF PARAPET TO BE CLAD WITH UNA-CLAD STEEL REGAL BLUE
 2. DO NOT DRYSTACK CULTURED STONE






Think
Architecture

Architecture
 Interior Design
 Landscape Architecture
 Land Planning
 Construction Management

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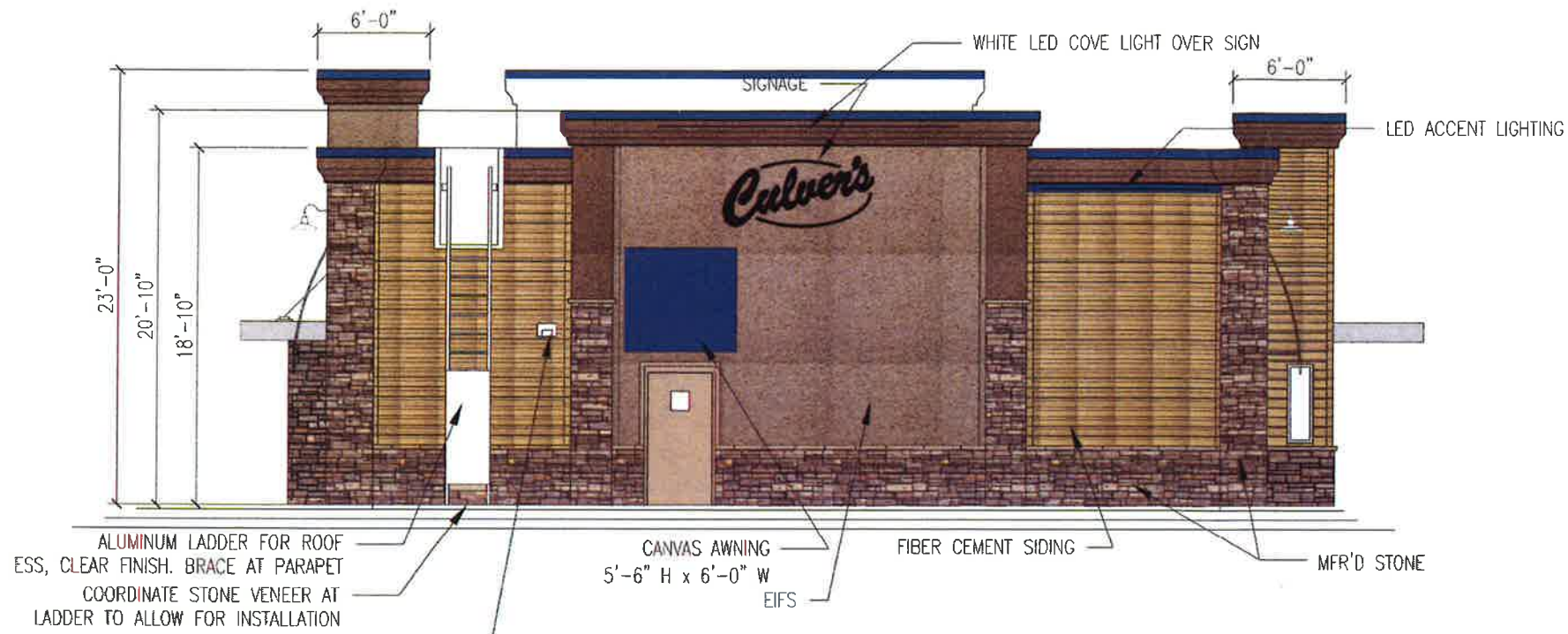


CULVER'S

1400 NORTH 200 EAST

LOGAN, UTAH

CLIENT: SPENCER YOUNG	PROJECT NO. 19038	SHEET TITLE NORTH AND WEST EXTERIOR ELEVATIONS
	DATE: 28 FEBRUARY 2019	SHEET NUMBER SD 301
CLIENT APPROVAL:		



STANDARD AWNINGS

QUANTITIES:
 11 - CANVAS AWNINGS @ 6'-7" H x 8'-0" W x 2'-0" D
 3 - CANVAS AWNINGS @ 6'-7" H x 6'-0" W x 2'-0" D
 2 - CANVAS AWNINGS @ 5'-6" H x 6'-0" W x 2'-0" D
 16 - TOTAL

CANVAS AWNING COLOR SPECIFICATIONS:
 SOLID CANVAS AWNING
 COLOR: SUNBRELLA, ROYAL BLUE
 STYLE: 4617

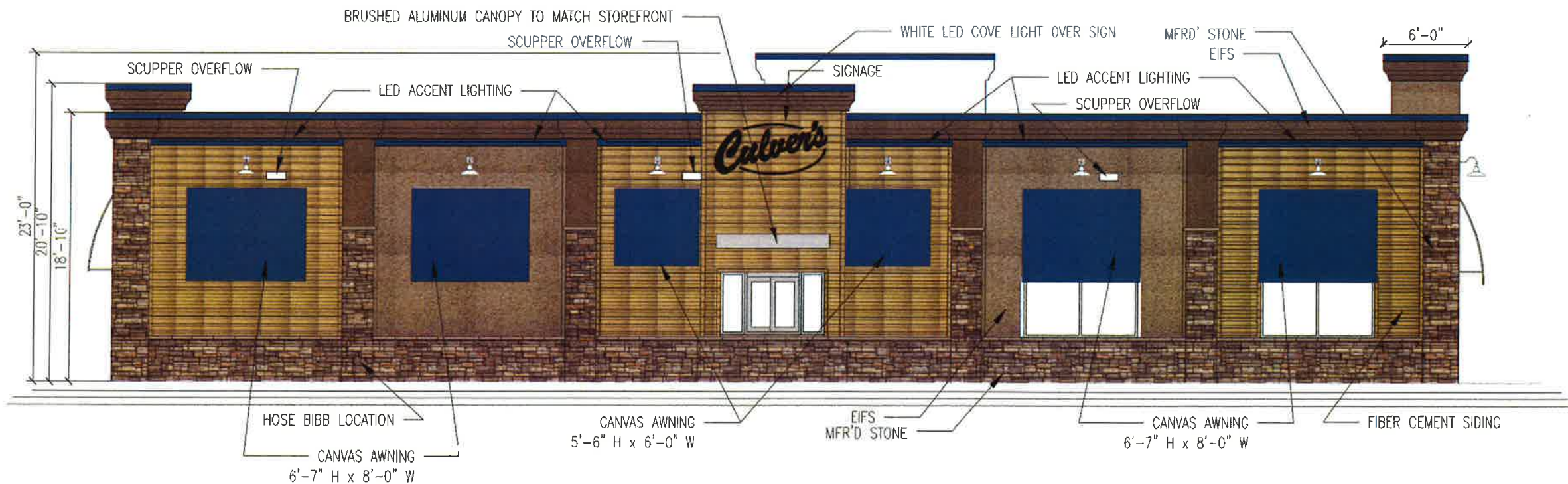
EXTERIOR MATERIALS:

STONE:
 MFR: CORONADO
 STYLE: OLD COUNTRY LEDGE
 COLOR: CHARLESTON (40%)
 COLOR: SHASTA (60%)

EIFS:
 MFR: PAREX
 FINISH: MEDIUM SAND
 MAIN FIELD: MATCH SHERWIN WILLIAMS SW7038 TONY TAUPE
 PILASTER/CORNICHE: MATCH SHERWIN WILLIAMS SW7509 TIKI HUT

FIBER CEMENT BOARD:
 MFR: JAMES HARDIE
 STYLE: HARDIEPLANK LAP SIDING, 7.25" CEDAR MILL
 COLOR: KHAKI BROWN

General Notes:
 1. TOP OF PARAPET TO BE CLAD WITH UNA-CLAD STEEL REGAL BLUE
 2. DO NOT DRYSTACK CULTURED STONE



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CULVER'S

1400 NORTH 200 EAST
 LOGAN, UTAH

CLIENT:
SPENCER YOUNG

CLIENT APPROVAL:

PROJECT NO. 19038	SHEET TITLE SOUTH AND EAST EXTERIOR ELEVATIONS
DATE: 28 FEBRUARY 2019	SHEET NUMBER SD 302