



**Project #19-002**  
**The Riverwalk at the Riverwoods**  
**Locate at 500 S Main**

**REPORT SUMMARY...**

*Project Name:* The Riverwalk at the Riverwoods  
*Proponent / Owner:* Logan Riverwalk Land Holdings, LLC  
*Project Address:* 500 S Main  
*Request:* Rezone from MU to COM  
Design Review Permit  
Conditional Use Permit  
*Current Zoning:* Mixed Use (MU)  
*Type of Action:* Legislative  
Quasi-Judicial  
*Hearing Date* January 10, 2018  
*Submitted By:* Aaron Smith, Planner II

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**RECOMMENDATION**

Staff recommends that the Planning Commission recommend **approval** for a rezone from Mixed Use (MU) to Commercial (COM). Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #19-002, The Riverwalk at the Riverwoods, for one 60,000 SF hotel, three (each) 5,000 SF commercial buildings, and a commercial parking lot located at approximately 500 South Main Street, TIN #02-054-0001, 0002, 0004. Staff recommends that the Planning Commission **conditionally approve a** Conditional Use Permit that allows up to 50% of the required parking stalls for the new hotel be placed in the front yard.

*Current Land use adjoining the subject property*

<i>North:</i>	COM & NR-6: Commercial Uses, Residential Uses	<i>East:</i>	NR-6: Residential Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

**Project Proposal**

This is a proposal to construct one (1) new 60,000 SF hotel, three (each) 4,800 SF commercial buildings, and a commercial parking lot on an approximately 6.94 acre site. The development is divided into three parcels through a boundary line adjustment, one for the hotel (3.19 acres), one for the commercial buildings (2.48 acres), and one for the commercial parking lot (1.27 acres). The development is a new phase of the Riverwoods development to the South and shares similar uses and development patterns. The development is connected through internal pathways and a riverside walkway that connects Main Street to 100 E. The development will be connected to the adjacent Riverwoods development via a pedestrian bridge over the Logan River. The proposal includes surface asphalt parking located around all buildings and fronting 100 E and 400 S, landscaping, underground storm-water retention and three driveway accesses.

**Hotel**

The proposed hotel contains 112 guest rooms. In order to improve the connection to the existing Riverwoods development and capitalize on the natural feature of the river, the hotel placement is along the northside of the Logan River. To allow this placement and accommodate front yard parking along 100 E, a Conditional Use Permit has been requested. The hotel is surrounded on three sides by asphalt parking. A proposed pathway and bridge along the Logan River connects the hotel to surrounding areas and the adjacent Riverwoods development.

### **Commercial Buildings**

The three commercial buildings front Main Street. Proposed parking for the buildings is primarily located behind the buildings with some parking located to the side yard. Two of the proposed buildings include a vehicular drive-through lane. The primary entrance for all commercial buildings is oriented towards the parking lot.

### **Commercial Parking**

The commercial parking lot is located in the northeast portion of the development and consists of 111 parking stalls. The parking lot has a 10' setback landscaping buffer along 100 E adjacent to parking stalls and a 5' setback and landscaping buffer along 400 E adjacent to a parking drive lane.

### **Rezone Request**

The applicant is requesting a rezone from Mixed Use (MU) to Commercial (COM). The Logan City Future Land Use Plan found inside the Logan City General Plan identifies the area as Mixed Use Center (MUC). The Mixed Use Center is described as having high concentrations of commercial and mandatory residential uses developed in a compact walkable pattern. By creating compact, pedestrian-oriented development, the City of Logan can concentrate growth inward and upward relieving pressures surrounding rural or more open areas. This development pattern is contrary to status-quo horizontal automobile-oriented larger development footprint patterns.

The Commercial zone is described in the Logan City General Plan as being designed for a wide-range of commercial uses and services intended to serve local and regional populations. Residential development is possible but not mandatory in the Commercial zone. The proposed project, while near to previous housing development at the Riverwoods, does not contain any residential housing. The proposed development's uses and development pattern regarding building massing, parking, setbacks, and design are more congruent with the Commercial zone.

### **Permitted Land Use**

The Commercial zone is described in the Land Development Code (LDC) as being located near high-capacity roads and served by mass-transit. Permitted land uses are wide-ranging and geared toward service-oriented industries. Hotel, retail, restaurant, and commercial parking are all permitted within the Commercial zone as per LDC 17.11.030.

### **Design Review Permit**

The LDC 17.43 requires Design Review Permit approval for new commercial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve or conditionally approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

### **Building Height**

The LDC 17.10.080 limits base building height to 40' in the Commercial zone. With an increased front yard setback of 40' or stepping the building mass back at a 2' horizontal to 1' vertical ratio, a max height of 55' is allowed. The proposed hotel is 49' with some roof forms reaching 55'. The proposed hotel's setback is 156' and meets the requirements for the 55' building height allowance. The commercial buildings are 25' in height and meet the development standard. As conditioned, the project complies with the requirements in the LDC.

### **Lot Coverage**

The LDC 17.10.080 limits lot coverage to a maximum of 60% (building(s) footprint). The project site is approximately 6.94 acres (302,586 SF) in size. The total proposed building footprints of the project is approximately 30,900 SF, or 10%. When considering each individual parcel, the hotel parcel has 12% coverage, the commercial buildings parcel has 13% coverage, and the

commercial parking parcel has 0% coverage. As proposed the project complies with the requirements in the LDC.

### **Building Design**

The LDC 17.12.020 states that commercial buildings should be designed to promote high-quality and aesthetically pleasing developments. The design standards consider building variation, materials, building mass, articulation, roof, placement, and orientation. The standards emphasize 4-sided architecture. Generally, the proposed buildings meet the design guidelines. The buildings have clear horizontal and vertical articulation, and massing with changes in material, changes in planes, and clear embellishments that divide up both the hotel and commercial buildings facades.

For design variation, no two directly adjacent commercial building should possess the same front façade. The LDC lists criteria to be considered varied. The proposed commercial buildings along Main Street are identical. To meet the code, the commercial buildings are required to differ by at least 3 of the 7 criteria listed in LDC 17.12.020. As conditioned, the project complies with the requirements in the LDC.

The Hotel proposes stucco, fiber cement siding, brick, integral colored concrete masonry units, and glass as building materials. The commercial buildings propose stucco, brick, and glass. These materials are all allowed in the Commercial zone.

Transparency requirements for the Commercial zone are as follows:

Ground Floor (Frontage):	30%
Ground Floor (Exposed sides):	30%
Upper Floors (Frontage):	20%

Proposed transparency for the project are:

#### **Hotel**

Ground Floor Northeast Elevation (Frontage):	26%
Ground Floor Northwest Elevation:	30%
Upper Floors (Frontage):	20%

#### **Commercial Buildings**

Ground Floor West Elevation (Frontage):	20%
Ground Floor South, North Elevations (Exposed sides):	27%
Ground Floor East Elevations:	28%

The proposed transparency for the hotel and commercial buildings do not meet minimum transparency requirements for the Commercial zone. Conditions of Approval for the project state that the 30% minimum transparency requirement will be required for all fronts and exposed sides. As conditioned, the project complies with the requirements in the LDC.

### **Setbacks**

The LDC requirements for setbacks in the Commercial zone are as follows (as measured from property lines):

Front (Bld. Height 0'-40'):	10'
Front (Bld. Height 41'-55'):	40'
Side:	8'
Side Common Wall:	0'
Rear:	10'
Parking Front:	10'
Parking Side/Rear	5'

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Hotel	
Front (East):	156'
Side (South/Riverside)	60'
Side (North)	124'
Parking (East):	10'
Parking Side/Rear	10'

Commercial Buildings	
Front (West):	20'
Side (South):	60'
Side (North):	80'
Parking Front:	10'

Commercial Parking	
Parking Front (100 E):	10'
Parking Front (400 S):	5'

An area of conflict with the setbacks as proposed is the commercial parking lot along 400 S. The design proposes a 5' setback as opposed to a 10'. While the parking drive lane adjacent to 400 S is permitted, no parking stalls are permitted within the 10' setback along 400 E. As conditioned, the project complies with the requirements in the LDC.

### **Orientation**

The LDC allows for buildings to have primary entrances not oriented towards the street if the building façade facing the street has similar architectural features and visual interest as the primary entrance/façade. Both the hotel and commercial buildings strive to achieve this requirement. The primary area of concern for the commercial buildings is the lack of transparency on the Main Street facing façade. As conditioned, with increased transparency, the project complies with the requirements in the LDC.

### **Frontage**

The Commercial zone requires a minimum 50% building frontage at front setback. As proposed, the commercial buildings along Main Street meet the frontage requirement. Due to the hotel placement adjacent to the river, the building frontage along 100 E is 0% and parking is instead placed along 100 E. Through the Conditional Use Permit process that allows parking in the front yard in the Commercial zone, the lack of building frontage for the hotel is permissible. The commercial parking area along 100 E and 400 S contains no buildings and would require no building frontage. As conditioned, and with the approval of the Conditional Use Permit, the project complies with the requirements in the LDC.

### **Access & Circulation**

Vehicular driveway access is proposed on Main Street, 400 S, and 100 E. The access along 100 E and the access along Main Street connect to make a larger drive lane transecting the project site. The site plan shows sidewalk connections around the hotel and commercial buildings. There are pathways that connect between the commercial buildings, parking, and the hotel, as well as a riverside pathway along the southern edge of the development that connects 100 E to Main Street. The project is also connected to the existing Riverwoods development to the south by a pedestrian bridge. There is limited pedestrian access from Main Street to the commercial buildings, and no clear pedestrian pathway from the commercial parking area to either the hotel or commercial buildings other than the drive lane. As conditioned with

pedestrian pathways connecting from the commercial parking to the other project buildings, the project complies with the requirements in the LDC.

### ***Parking***

For the hotel, the LDC 17.31 requires vehicular parking at one (1) parking stall per guest room, plus associated uses. For the commercial buildings, the LDC 17.31 requires one (1) parking stall per 250 SF of general retail sales and service space. If all commercial space developed as fast-food restaurant space, parking would be required at 1 per 150 SF. The LDC requires bike racks in commercial areas. No bike racks are required for the hotel. The 112 guest room hotel requires 112 parking stalls. The three (3) commercial building with a total of 14,400 SF require 58-96 parking stalls based on use. The proposed hotel parcel provides 118 parking stalls. The proposed commercial buildings parcel provides 77 stalls. The commercial parking parcel provides a 111 parking stalls. As conditioned, the project complies with the requirements in the LDC.

### ***Open Space Area***

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space could consist of additional landscaping, decks, patios and walkways, but shall not include parking, driveways and storm-water facilities. The entire 6.94 acre site would require 30,250 SF of both open space and usable outdoor space for a total of 60,500 SF. The proposal includes conceptual open space and usable outdoor areas. As proposed, the total open space and usable outdoor space totals approximately 93,255 SF (30%). The project meets the open area requirements of the LDC as proposed.

### ***Landscaping***

The LDC 17.32 requires minimum plant material for overall visual aesthetics, ecological reasons, screening, and shading purposes. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the Commercial zone. For 6.94 acres, 138 trees and 347 shrubs, flowers and ornamental plants would be required as per the LDC. As conditioned with a landscaping plan, the project meets the requirements of the LDC.

### ***Lighting***

The LDC 17.30.090 requires adequate and appropriate site lighting that increases nighttime visibility, adds aesthetic quality, and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits pole height to 32 feet and luminaire fixtures to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. Exterior lighting has not yet been submitted. As conditioned, the project meets the requirements of the LDC.

### ***Conditional Use Permit***

The LDC 17.10.080 typically requires parking areas to be located to the side and rear in the Commercial zone to prioritize architecture over asphalt parking lots. The Commercial zone, through a Conditional Use Permit process, allows for the placement of up to 50% of the required parking stalls in the front of a building if findings can be made demonstrating the proposed site layout is compatible with adjoining properties, is consistent with surrounding land use and development patterns, provides enhanced pedestrian functionality and walkability in relationship to the adjoining street, will not compromise future projects or designs, and includes substantial landscaping adjacent to the parking area.

The hotel parking is designed with 33 front yard parking stalls (30% of required parking) to accommodate the placement of the hotel adjacent to the Logan River. An examination of the adjoining properties and surrounding land use shows that the proposed parking is compatible

with the existing Riverwoods projects to the south as that development contains three parking areas that front streets. There are two smaller parking areas along Main Street and 100 E fronting the street, and a large parking area fronting 700 S. The remaining parking at the Riverwoods is located in the side or rear yard. Residential development along 100 E consists of driveways for single family homes and some front yard parking for a multi-family development at 440 S 100 E. Commercial development west and north of the project area along Main Street primarily consist of side and rear parking with some front parking on the corner of 400 S and Main. The pedestrian walkability and connection to 100 E is not compromised by the front parking. The project features an enhanced connection to 100 E via a riverside pathway and sidewalk connections. Landscaping buffers along the parking are conditioned to include a berm and dense plant materials. As conditioned, the project meets the requirements of the LDC.

### **Staff Summary**

The rezone request is consistent with adjacent land uses and the proposed project is consistent with the intent of the Commercial zone as defined by the Logan City General Plan. The proposed project will provide enhanced access to commercial services in the community. The architecture and development pattern is consistent with development in the area, particularly the existing Riverwoods development to the south. The exception to allow the placement of the hotel along the river and not fronting 100 E is consistent with the site features and permissible through the Conditional Use Permit process to allow the parking to be located in front of the hotel. The development of commercial parking is permissible and does not interfere with future redevelopment of the area.

### **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Engineering	• Water
• Fire	• Light and Power
• Environmental	• GIS
• Forestry	• Business License

### **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comment had been received.

### **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 12/29/18 and the Utah Public Meeting website on 1/3/18. Public notices were mailed to all property owners within 300 feet of the project site on 12/21/18.

### **RECOMMENDED CONDITIONS OF APPROVAL – DESIGN REVIEW**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Building height is limited to 40', unless the 40' setback requirement is met to permit a building height of up to 55' in the Commercial zone.
3. All frontage and exposed sides shall meet 30% transparency requirement.
4. No two adjacent buildings may possess the same front/street-facing elevation.
5. A minimum of 112 parking stalls will be provided for the hotel, a minimum of 58 parking stalls and 6 bike rack spaces will be provided for the commercial buildings.
6. Parking for the commercial buildings will be located in the side or rear yard.
7. A minimum parking setback of 10' along 400 S is required.

8. A dense landscaping buffer will be constructed between the parking and the sidewalk along 400 S and 100 E. The buffer shall conform with Type "C" Separation LDC 17.32.070.B.
9. Interior pedestrian pathway connections shall be made throughout the site, including from the commercial parking area to the hotel and commercial buildings.
10. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Street trees required along public streets every 30'. Coordinate species and location with the City Forester.
  - b) Open Space and Useable Outdoor areas shall total a minimum of 60,500 SF.
  - c) A total number 138 trees and 347 shrubs, perennials and grasses shall be provided.
11. Any dumpsters near the street shall be visually screened or buffered with landscaping and/or fencing.
12. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the LDC.
14. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the LDC.
15. Surface storm-water retention and detention facilities shall be located in areas away from public streets and buffered from view.
16. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
  - a. *Water—contact 716-9622*
    - The buildings water mains need to have its own RP (ASSE1013) installed and tested on the water main as it enters each building before any branch offs or connections.
    - Any landscape irrigation connected to Logan City water must have a high hazard backflow assembly installed and tested.  
All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
    - Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
    - All points of use of water must comply with the 2015 IPC and State of Utah Amendments, during and after construction.
  - b. *Engineering—contact 716-9153*
    - Provide Storm water detention/retention per Logan City Storm Water Design Standards. This shall include the retention of the 90% storm event onsite utilizing Low Impact Design practices near buildings and in parking areas for the retention of the 90% storm event.
    - Provide water shares or an in-leu of fee for increased demand for proposed new development. Shares required shall be based on Utah Administrative Code R309-510-7 for both indoor and outdoor demands.
    - The current spacing between the development access to 100 East and 500 South is approximately 280'. Moving the existing access further south will not allow for adequate deceleration and stacking for vehicles making left hand turns into the proposed development and onto 500 South. Current access is located approximately same distance from 400 South. Keep existing access at its current location.
    - Any existing water and sewer service connections to the existing City Utility Mains shall be capped at the City Utility Main line(s).

- Proposed footbridge over the Logan River shall have a minimum of 3' clearance above the 1% Chance flood elevation.
  - Current development is located in a Special Flood Hazard Area, City is preparing documents for submittal to FEMA to remove modify this area. Until this is approved by FEMA any development in the Special Flood Hazard Area shall need to meet FEMA and City Flood design standards.
- c. *Fire —contact 716-9515*
- Provide fire access site plan per comments from the Fire Marshall. Fire Sprinklers and Alarms Required. Fire hydrant within 100 ft. of FDC required.
- d. *Business License —contact 716-9230*
- A business license for each business entity is required prior to operation.
- e. *Light and Power —contact 716-9722*
- PUE's- Public Utility Easements on all property lines (10' PUE on all property lines facing a road and a 5' PUE on all other property lines) as a recorded document and may be part of a Boundary Line Adjustment.
  - Logan City Light and Power requires a 1-Line Diagram, an Electrical Load Data Sheet, a digital site plan in Auto CAD (DWG) format
  - At application for a Building Permit or development of the site, the following will be required:
    - a. A One Line Diagram
    - b. An Electrical Load Data Sheet
    - c. A Digital Site Plan in Auto Cad format (DWG)
  - Contractors will be responsible to get power to their property, if not all ready there, as well as stubbing a conduit to neighboring properties.
- f. *Environmental —contact 716-9760*
- Dumpsters must be screened from the nearest public roads.
  - The minimum inside measurement on a double enclosure without gates, is 22 ft. wide and 10 ft. deep.
  - If the enclosures will have gates, the minimum inside measurement is 24 ft. wide and 10 ft. deep. Gates must be designed to fully open and then be held in the open position during the collection process.
  - Place bollards on the front corners and in the back of the enclosure to help protect the walls.
- g. *City Forester —contact 716-9755*
- North of the river we are trying to plant London Plane Trees in the park strip. Please allow 6 feet width at a minimum for the London Plane Trees. Planting should be spaced evenly every 30 feet. This information is applicable to the main street side of the property.

#### **RECOMMENDED CONDITIONS OF APPROVAL – CONDITIONAL USE PERMIT**

1. Per the Planning Commission findings regarding the Conditional Use Permit for front yard parking in a Commercial zone, up to 50% of the required parking stalls for the new hotel are allowed to be placed in the front yard.
2. A dense landscaping buffer will be constructed between the parking and the sidewalk along 100 E. The buffer shall conform with Type "C" Separation LDC 17.32.070.B.

#### **RECOMMENDED FINDINGS FOR APPROVAL FOR THE REZONE**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The location of the subject property is suitable for commercial developments because it is compatible with commercial areas to the north and south.
2. The subject property can fulfill the purpose of the General Plan and LDC by providing commercial services to city-wide populations because of its location and ease of access.



3. The subject property is in an area and surrounded by streets and infrastructure that can handle and appropriately serve Commercial developments.
4. The proposed Commercial zoning designation along with review and approval of Design Review Permits with sufficient open space, parking, walkable layout and landscaping will ensure neighborhood compatibility.

### **RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The conditioned project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The conditioned project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The conditioned project provides adequate off-street parking.
5. The project met the minimum public noticing requirements of the LDC and the Municipal Code.
6. 100 E and Main Street provides access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.

### **RECOMMENDED FINDINGS FOR APPROVAL FOR THE CONDITIONAL USE PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The conditioned project layout is compatible with adjoining properties, land use, and development patterns.
2. The conditioned project layout will provide enhanced pedestrian functionality and walkability in relationship to 100 E and Main Street.
3. The conditioned project layout will not compromise future projects or designs.
4. The conditioned project layout includes substantial landscaping adjacent to the parking area.
5. The conditioned project prioritizes building placement toward Main Street as the primary corridor.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



# APPLICATION FOR PROJECT REVIEW

☒ Planning Commission   ☐ Land Use Appeal Board   ☐ Administrative Review

Date Received <b>12-10-18</b>		Received By <b>RH</b>		Receipt Number		Zone <b>MU</b>		Application Number <b>PC 19-002</b>	
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input checked="" type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____									
PROJECT NAME <b>THE RIVERWALK AT THE RIVERWOODS</b>									
PROJECT ADDRESS <b>500 SOUTH MAIN</b>								COUNTY PLAT TAX ID # <b>0001 02 - 054 - 0002 0004</b>	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) <b>BRACEY ATKINSON</b>								MAIN PHONE # <b>435-755-2016</b>	
MAILING ADDRESS				CITY		STATE		ZIP	
<b>595 S. RIVERWOODS PKWY #400</b>				<b>LOGAN</b>		<b>UT</b>		<b>84321</b>	
EMAIL ADDRESS <b>BATKINSON@WASATCHGROUP.COM</b>									
PROPERTY OWNER OF RECORD (Must be listed) <b>LOGAN RIVERWALK LAND HOLDINGS LLC</b>								MAIN PHONE # <b>435-755-2077</b>	
MAILING ADDRESS				CITY		STATE		ZIP	
<b>595 S RIVERWOODS PKWAY 400</b>				<b>LOGAN</b>		<b>UT</b>		<b>84321</b>	
EMAIL ADDRESS <b>BSKINNER@WASATCHGROUP.COM</b>									
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) <b>MASTER PLANNED COMMERCIAL DEVELOPMENT TO CONSIST OF A HOTEL, 15,000 SQ FT OF RETAIL AND ADDITION PARKING</b> <b>Rezone mu-com</b> <b>CUP - parking in front yard in com zone.</b> <b>- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -</b>								Total Lot Size (acres) <b>2.6 ACRES</b> Size of Proposed New Building (square feet) 60,000 5,000 5,000 5,000 <b>75,000 ACCUMULATES</b> Number of Proposed New Units/Lots <b>3 LOTS / 4 BUILDINGS</b>	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.				Signature of Property Owner's Authorized Agent 					
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner					

**Council Workshop: Feb. 5**  
**Council hearing: Feb. 19**

## Plat Maps for Parcel 02-054-0001 - Cache County CORE



## MEMORANDUM

To: Bill Young, City Engineer  
Craig Humphries, Fire Marshall  
File

From: Cameron Draney, P.E.

Date: August 10, 2018

RE: 514 South Main Street - Logan Riverwalk Development

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Logan City has developed a calibrated water model that is used to evaluate the ability to deliver water in accordance to Utah State Code (R309-105-9. Minimum Water Pressure). In accordance with these rules, we are required to meet the following requirements for new development:

1. Pressures not less than 20 psi during conditions of fire flow and fire demand experienced during peak day demand.
2. Pressures not less than 30 psi during peak instantaneous demand (without fire flows)
3. Pressures not less than 40 psi during peak day demand (without fire flows)
4. The addition of new development can not reduce the residual pressure at any service connection in the system to below 20 psi under any conditions.

Table 1 summarizes our peaking factors and demands for the referenced project used in the impact evaluation.

Table 1 - Summary of Model Parameters

Description	Value	Source
Peak Day Factor	1.8	Culinary Water System Master Plan (CWSMP), April 2007, pg 2-9.
Peak Hour	2.4	CWSMP, April 2007, pg 2-9.
Instantaneous Peak Factor	3.5	Review of system wide SCADA.
Lowest Water Demand Factor	0.5	Review of system wide SCADA
Fire Flow Required	2000 gpm	Estimated (Actual per IFC Table B105.1)
Water Demand of Project	(not provided) gpm	Estimated Average Day

The evaluation assumes that all of the flows come directly off of the existing City water system at the given locations. This evaluation does not include any losses in hydrant lines, service lines, fire lines, private lines, or any piping other than the City's distribution system.

## Results

Tables 2- 3 summarize the modeled results at the existing identified fire hydrants.

**Table 2 - Results at existing FH00643 at approx 514 South Main St (south corner of lot)**

Condition	With PRVs	
	gpm	psi
Peak Day	NA	91 (static)
Fire Flows*	2,000	74
Maximum Avail Flows	4,920	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

**Table 3 - Results at existing FH01822 at approx 450 South 100 East (west side)**

Condition	With PRVs	
	gpm	psi
Peak Day	NA	92 (static)
Fire Flows*	2,000	79
Maximum Avail Flows	6,141	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

Tables 4-5 summarize the modeled results available at the City main lines in the street.

**Table 4 - Results at existing 10" mainline at approx 560 South Main St**

Condition	With PRVs	
	gpm	psi
Peak Day	NA	92 (static)
Fire Flows*	2,000	76
Maximum Avail Flows	5,164	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

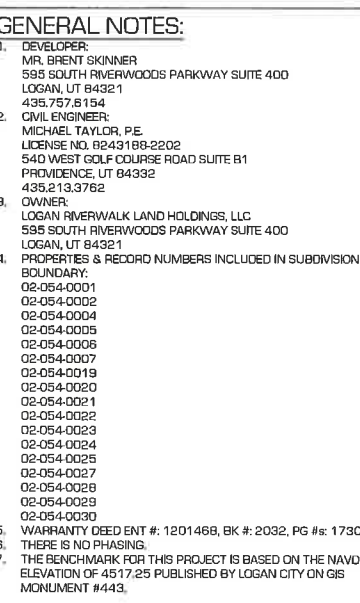
**Table 5 - Results at existing 12" mainline at approx 450 South 100 East**

Condition	With PRVs	
	gpm	psi
Peak Day	NA	93 (static)
Fire Flows*	2,000	84
Maximum Avail Flows	9,267	20

\* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

This information provides three points from which the developer's consultant can create a pressure versus flow curve to match the actual values. The actual design fire flow must be obtained from the Fire Marshall prior to completing the hydraulic analysis.





LOGAN RIVERWALK LAND HOLDINGS, LLC  
BY: \_\_\_\_\_  
ITS: \_\_\_\_\_



**civilsolutionsgroupinc.**

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[info@civilsolutionsgroup.net](mailto:info@civilsolutionsgroup.net)  
[www.civilsolutionsgroup.net](http://www.civilsolutionsgroup.net)

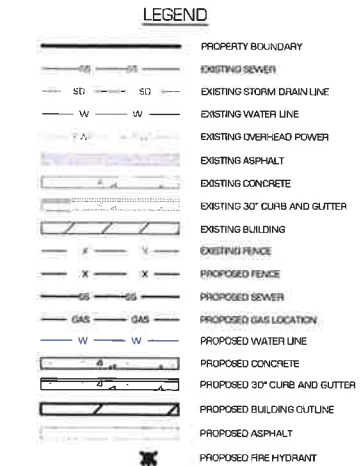
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1 OF 1

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SCALE: 1"=40'



- TOTAL PARKING PROVIDED: 306 STALLS
  - EXTRA PARKING: 111 STALLS
  - HOTEL: 116 STALLS
  - RETAIL: 77 STALLS
- PROJECT AREA = 6.95 ACRES
- STORMWATER WILL BE DETAINED UNDERGROUND AND THEN RELEASED INTO CITY SYSTEM AT CONTROLLED RATE PER LOGAN CITY STORMWATER DEPT. THE 5TH PERCENTILE STORM VOLUME (0.6-INCHES) WILL ALSO BE RETAINED.
- PROJECT BOUNDARY CONSISTS OF THE FOLLOWING PARCELS:
  - 02-054-0001
  - 02-054-0002
  - 02-054-0004
  - 02-054-0005
  - 02-054-0006
  - 02-054-0007
  - 02-054-0019
  - 02-054-0020
  - 02-054-0021
  - 02-054-0022
  - 02-054-0023
  - 02-054-0024
  - 02-054-0025
  - 02-054-0027
  - 02-054-0028
  - 02-054-0029
  - 02-054-0030

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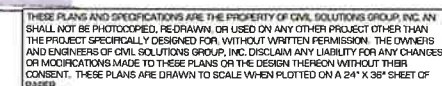
PROJECT #: 707-1502  
DRAWN BY: A. OCHSENBEIN  
PROJECT MANAGER: M. TAYLOR  
ISSUED: 9.7.2018



## DESIGN REVIEW



SCALE: 1"=40'



— LEADERS IN SUSTAINABLE ENGINEERING AND PLANNING








LOGAN RIVERWALK SUBDIVISION  
DESIGN REVIEW  
500 SOUTH MAIN STREET  
LOGAN, UT

PROJECT #:	707-1502
DRAWN BY:	A. OCHSENBEIN
PROJECT MANAGER:	M. TAYLOR
ISSUED:	9.7.2018





### EXTERIOR MATERIALS LEGEND

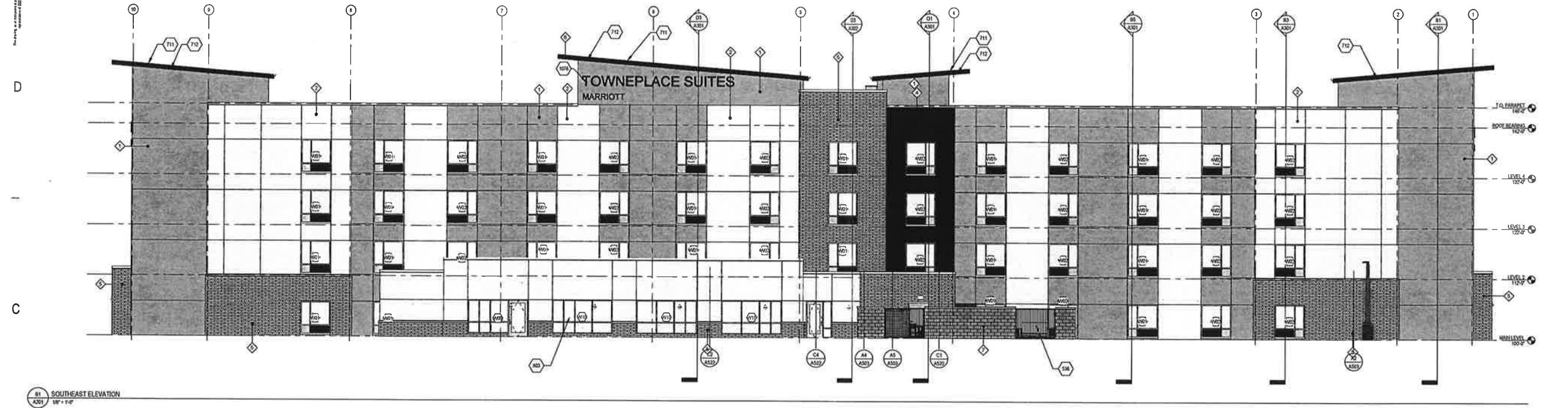
	<p>6150C00B5 COLOR BENJAMIN MOORE "MAJOR BLUE" NO. 1027</p>	<p>TEXTURE: FINE FINISH</p>		<p>BRICK MANUFACTURER INTERSTATE BRICK STYLE FULL FIN BRICK SIZE: 4" X 8" HOLLAND BRICK COLOR: POWDER</p>
	<p>6150C00B5 COLOR BENJAMIN MOORE "NOVEMBER RAIN" HGS 2143-60 (JULY 1981)</p>	<p>TEXTURE: FINE FINISH</p>		<p>PREFINISHED PARANET CAP FLASHING (COLOR TO MATCH HOST WALL FINISH COLOR)</p>
	<p>6150C00B5 COLOR WATP 00 2715 - WHITE DIAMOND</p>	<p>TEXTURE: FINE FINISH</p>		<p>INTERVAL COLORED C.M.U. (C.S.R.A.)</p>
	<p>FIBER CEMENT SIBING MANUFACTURER: NOVIBRA STYLE: ROUGH DARK SERIES BET. 17" MP PANELS VATCHOUT SCORE COLOR: PREFINISHED NIGHT SHINE EDGBO-CUS</p>			

ELEVATION GENERAL NOTES:

- A SEE SHEET AN-1 FOR DOOR AND WINDOW TYPES.  
B COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.  
C MECHANICAL CONNECTION TO COMBINE FAS FLATES FOR DIFFERENT VENT AND EXHAUST OF  
EXTENSION OF BUILDING.  
D STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN OR ELEVATIONS BUT NOT LENGTH  
SHALL BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.  
E NO STUCCO PANEL SHOULD EXCEED 100 SQ. FT. FOR VERTICAL APPLICATION.  
F NO STUCCO PANEL SHOULD EXCEED 150 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGLUAR  
APPLICATIONS.  
G NO STUCCO PANEL LENGTH-TO-WIDTH RATIO SHOULD EXCEED 3/4" TO 1" IF DOWN PANEL,  
A STUCCO CONTROL JOINT SHOULD BE PLACED AT EACH HORIZONTAL LINE, FLOOR SUBSTRATE  
CHANGES.  
H BUILDING SEQUENCE IS SHOWN FOR ENGINEERING AND DESIGN RELATED PURPOSES ONLY.  
I FINAL SEQUENCE IS TO BE COMPLETED BY A MARSHOTT APPROVED MANUFACTURER  
AND SUBMITTED TO THE CITY OF CHICAGO FOR REVIEW AND APPROVAL.  
J FOLLOW MANUFACTURERS REQUIREMENTS FOR CONTROL A EXPANSION JOINT  
LOCATIONS, COORDINATE WITH ARCHITECT.

**KEY NOTES:**

- |      |  |
|------|--|
| 104  | BUILDING ADDRESS NUMBERS MOUNTED AT FRONT ENTRANCE. NUMBERS SHALL BE A MINIMUM OF 4 INCHES AND OF CONTRASTING COLOR FROM BACKGROUND. |
| 303  | CONCRETE FOUNDATION WALL. SEE STRUCTURAL   |
| 512  | STEEL FRAMED GARAGE-PRINTED  |
| 536  | WROUGHT IRON/STEEL. POWDER COATED  |
| 666  | STAIN GRADE LUMBER EXTERIOR TRELLIS  |
| 711  | STANDING SEAM METAL ROOF PER MANUFACTURER. COLOR BY OWNER  |
| 712  | PRE-FINISHED METAL FASCIA AND SOFFIT TO MATCH STANDING SEAM ROOF   |
| 803  | ALUMINUM STOREFRONT WINDOW SYSTEM. SEE STOREFRONT ELEVATIONS   |
| 901  | EIFS AESTHETIC REVEAL. SEE SHEET A507  |
| 1078 | BUILDING SIGNAGE BY OWNER  |



81 SOUTH EAST ELEVATION  
A301 1/4" = 1'-0"



**A1 NORTHWEST ELEVATION**  
A201 1/8" x 1/4"

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LOGAN RIVERWALK MARRIOTT TOWNEPLACE  
500 SOUTH MAIN STREET  
LOGAN, UTAH 84321



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3115 EAST LION LANE, #2  
HOLLADAY, UTAH 84121  
BEECHERWALKER.COM

PROJECT NUMBER  
720.1803

OWN BY	CRD
--------	-----

0.004 0.005 0.006 0.007 0.008 0.009 0.010

90% MARRIOTT  
REVIEW

\_\_\_\_\_

EXTERIOR

### ELEVATIONS

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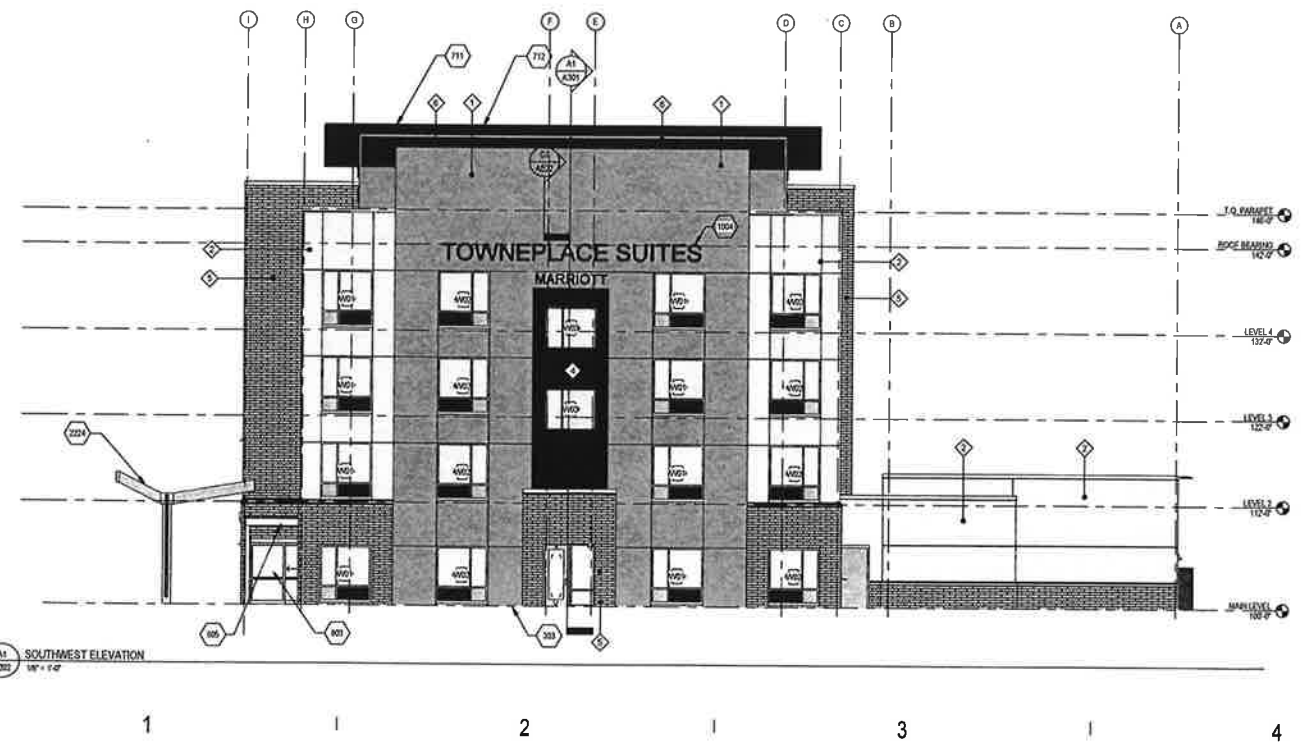
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A201

A201

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EXTERIOR MATERIALS LEGEND		
	STUCCO/EIFS COLOR: BENJAMIN MOORE "MANOR BLUE" NO. 1627	TEXTURE: FINE FINISH
	STUCCO/EIFS COLOR: BENJAMIN MOORE "NOVEMBER RAIN" NO. 214240 (2/11/14)	TEXTURE: FINE FINISH
	STUCCO/EIFS COLOR: WATP 08 2115 - WHITE DIAMOND	TEXTURE: FINE FINISH
	FIBER CEMENT BOARD MANUFACTURER: NICHISA STYLE: ROUGH GRAB SERIES SIZE: 18\"/>	

	BRICK MANUFACTURER: INTERSTATE BRICK STYLE: SIZE: 4\"/>
	PREFINISHED PARAPET CAP FLASHING (COLOR TO MATCH HOST WALL FINISH COLOR)
	INTEGRAL COLORED CMU (C.S.B.A.)

- ELEVATION GENERAL NOTES:
- SEE SHEET A811 FOR DOOR AND WINDOW TYPES.
  - COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
  - MECHANICAL CONTRACTOR TO COORDINATE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
  - STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS BUT NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.
  - NO STUCCO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATION.
  - NO STUCCO PANEL SHOULD EXCEED 108 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.
  - NO STUCCO PANEL LENGTH-TO-WIDTH RATIO SHOULD EXCEED 2-1/2\"/>

- KEYNOTES:
- 203 CONCRETE FOUNDATION WALL, SEE STRUCTURAL
  - 536 WROUGHT IRON FENCING, POWDER COATED
  - 605 STAIN GRADE LUMBER EXTERIOR TRELLIS
  - 711 STANDING SEAM METAL ROOF PER MANUFACTURER, COLOR BY OWNER
  - 712 PRE-FINISHED METAL FASCIA AND SOFFIT TO MATCH STANDING SEAM ROOF
  - 803 ALUMINUM STOREFRONT WINDOW SYSTEM, SEE STOREFRONT ELEVATIONS
  - 1004 MIRROR LP-500
  - 1078 BUILDING SIGNAGE BY OWNER
  - 1501 PTAC LOUVER FINISH COLOR TO MATCH EXTERIOR WALL MATERIAL, COLOR, TYPE
  - 2224 CANOPY PRIMARY ROOF DRAWN

LOGAN RIVERWALK MARRIOTT TOWNEPLACE  
500 SOUTH MAIN STREET  
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HOLLADAY, UTAH 84143  
BEOCH@BWAUT.COM

PROJECT NUMBER  
220.1910

DWN BY  
BB

CHG BY  
GJS

90% MARRIOTT  
REVIEW

EXTERIOR  
ELEVATIONS

DRAWING NUMBER  
**A202**

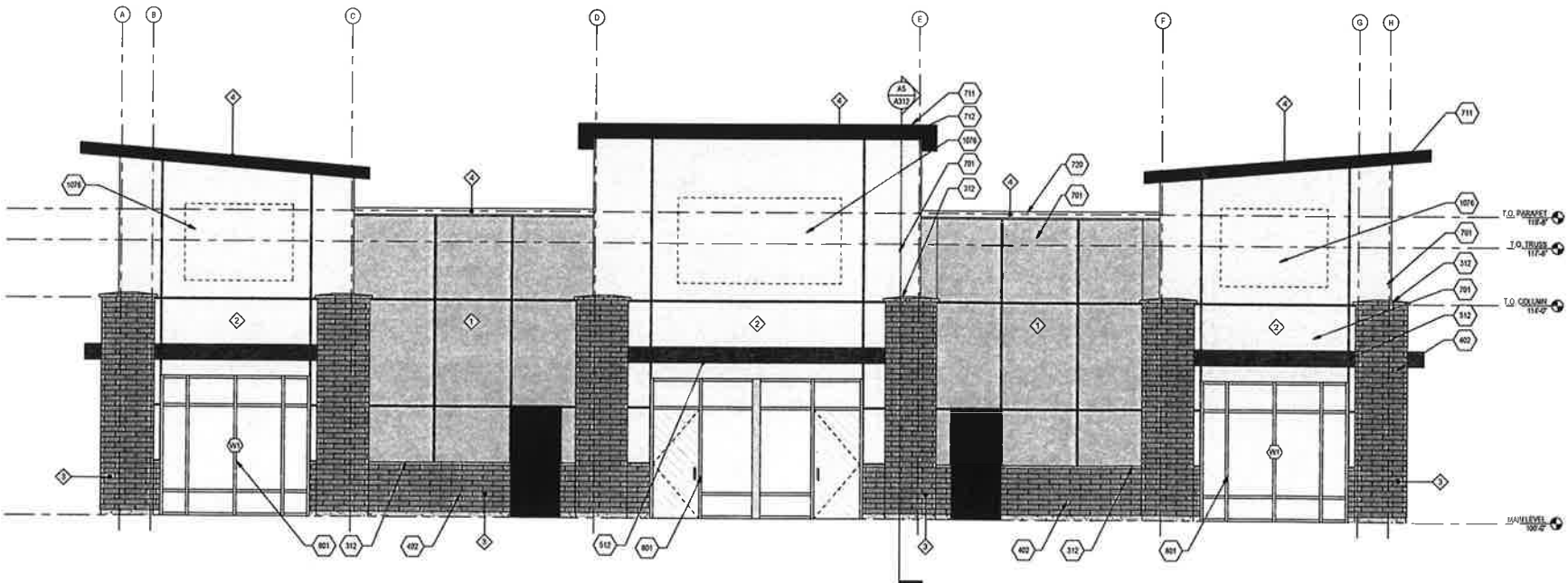
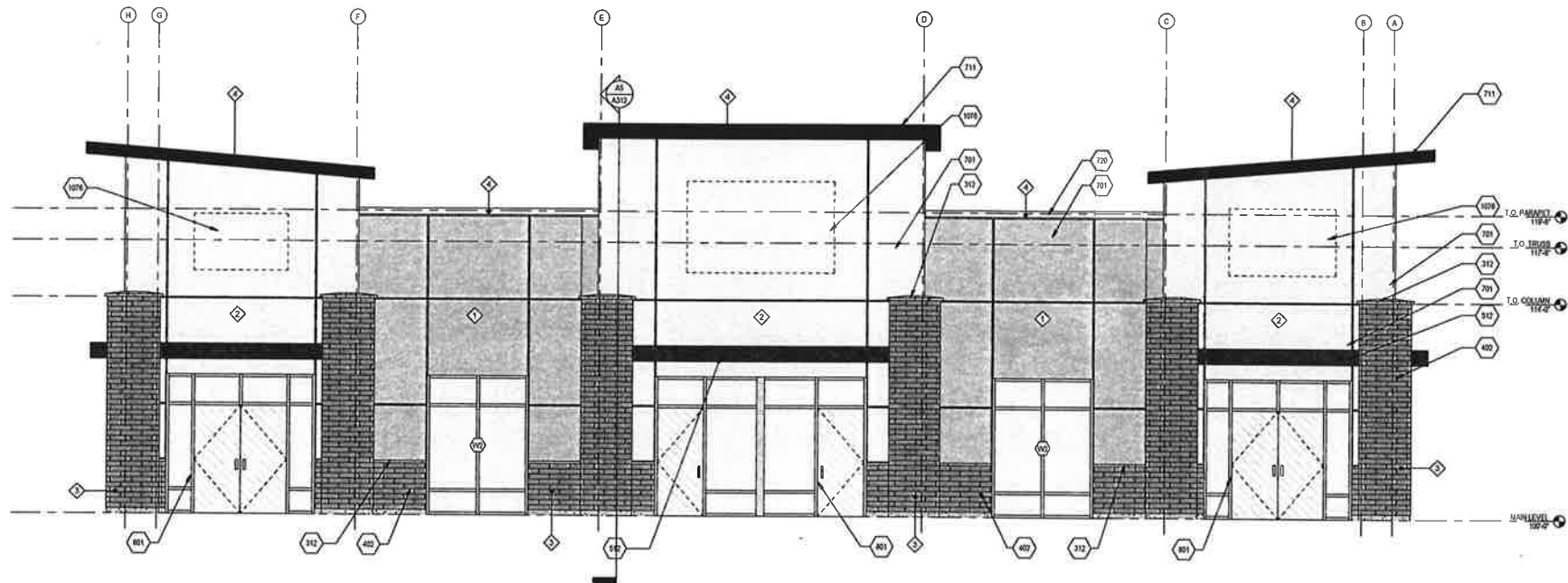
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C1 EAST ELEVATION  
1/8" = 1'-0"

A1 WEST ELEVATION  
1/8" = 1'-0"



#### EXTERIOR MATERIALS LEGEND

◇	STUCCO COLOR: BENJAMIN MOORE "PEBBLE BEACH" NO. 1597 TEXTURE: FINE FINISH
◇	STUCCO COLOR: BENJAMIN MOORE "NOVEMBER RAIN" NO. 2143-60 (CLR13415) TEXTURE: FINE FINISH
◇	BRICK MANUFACTURER: INTERSTATE BRICK STYLE: FULL TOWN BRICK SIZE: 4"X12" NORMAN BRICK COLOR: PONTIAC
◇	PRE-FINISHED PARAPET CAP FLASHING (COLOR TO MATCH HOST WALL FINISH COLOR)

#### ELEVATION GENERAL NOTES:

- SEE SHEET A601 FOR DOOR AND WINDOW TYPES.
  - COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
  - MECHANICAL CONTRACTOR TO COORDINATE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
  - STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS BUT NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.
  - NO STUCCO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATION.
  - NO STUCCO PANEL SHOULD EXCEED 100 SQ. FT. FOR HORIZONTAL, CORNER, OR ANGULAR SECTIONS.
  - NO STUCCO PANEL LENGTH TO WIDTH RATIO SHOULD EXCEED 3:1 TO 1" IN GIVEN PANEL.
  - A STUCCO CONTROL JOINT SHOULD BE PLACED AT EACH HORIZONTAL FLOOR SUBSTRATE FRAMING CHANGE.
- #### KEY NOTES:
- PRECAST CONCRETE CAP SEE DETAIL.
  - BRICK VENEER SEE ELEVATIONS.
  - STEEL FRAMED CANOPY PAINTED TO MATCH COLOR SCHEME.
  - EIFS FINISH, SEE BUILDING ELEVATIONS.
  - STANDING SEAM METAL ROOF PER MANUFACTURER, COLOR BY OWNER.
  - PRE-FINISHED METAL FASCIA AND SOFFIT TO MATCH STANDING SEAM ROOF.
  - PRE-FINISHED METAL PARAPET CAP FLASHING.
  - PREMANUFACTURED WINDOW SYSTEM, SEE WINDOW SCHEDULE.
  - BUILDING SIGNAGE BY OWNER.

LOGAN RIVERWALK RETAIL  
500 SOUTH MAIN STREET  
LOGAN, UTAH 84301

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PROJECT NUMBER  
Project Number  
OWN BY  
Author  
CHD BY  
Checker  
PLAN REVIEW

EXTERIOR  
ELEVATIONS

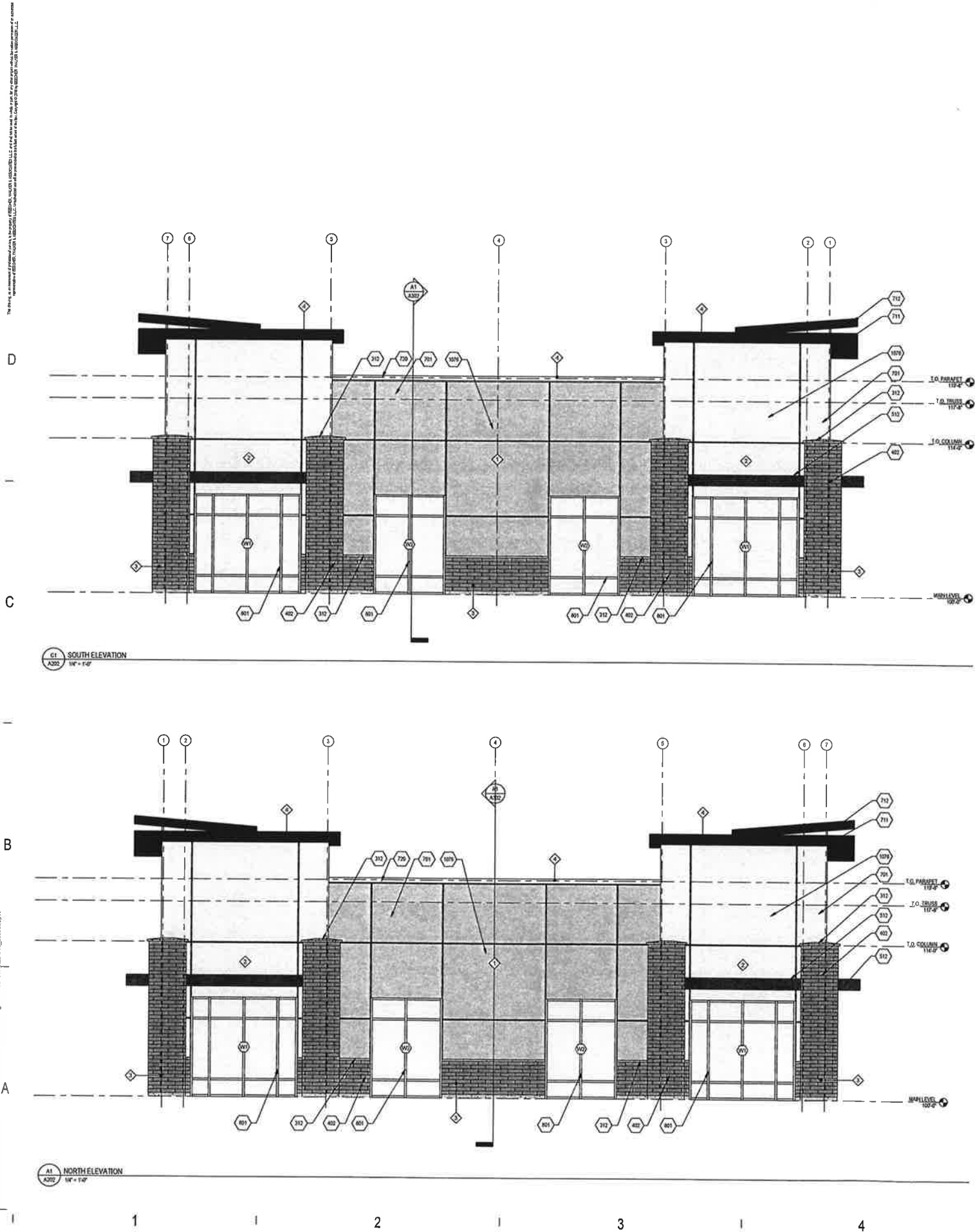
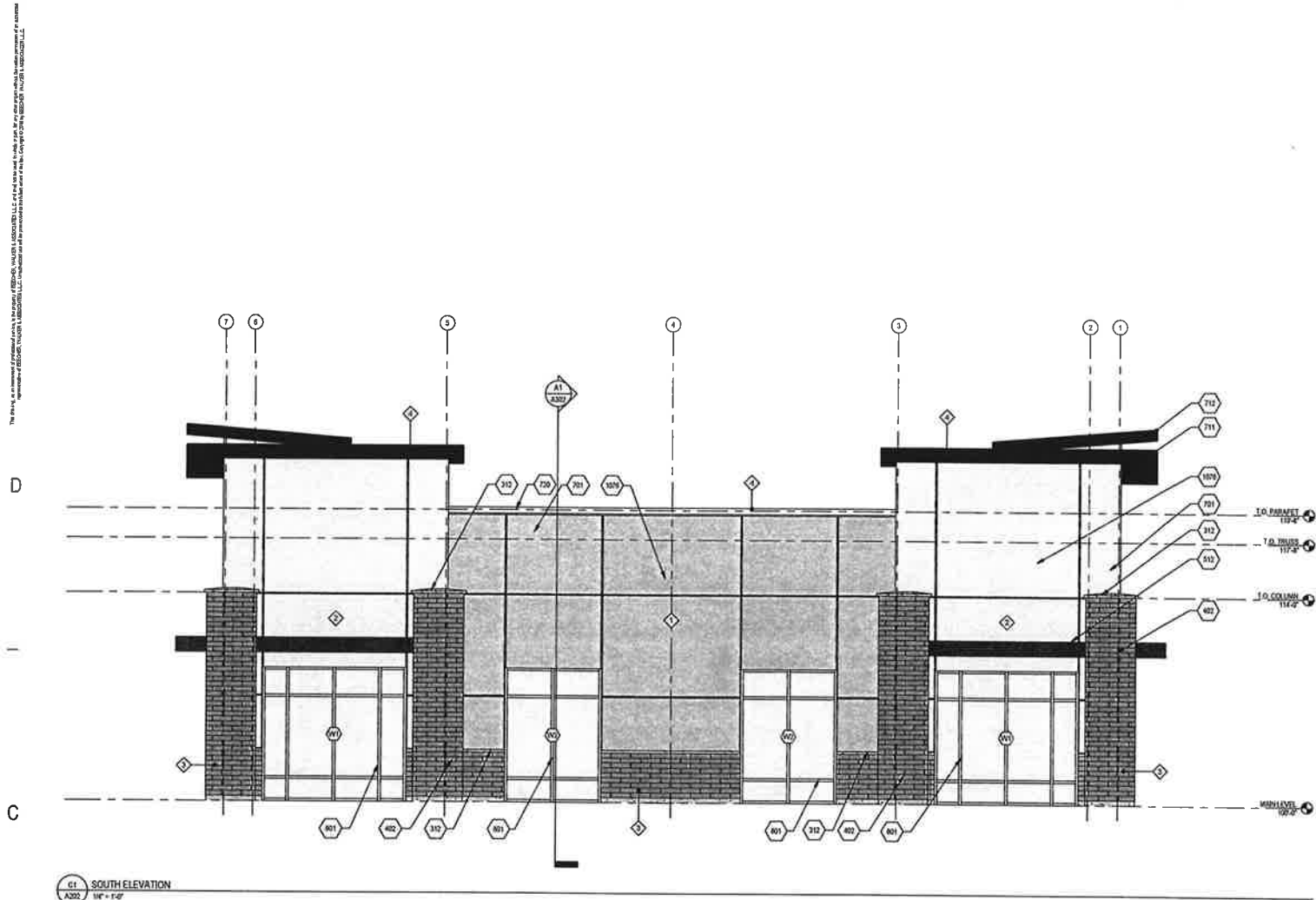
DRAWING NUMBER

A201

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EXTERIOR MATERIALS LEGEND		
	STUCCO/BSFS COLOR: BENJAMIN MOORE "PERLE BEACH" NO. 1597	TEXTURE: FINE FINISH
	STUCCO/BSFS COLOR: BENJAMIN MOORE "NOVEMBER RAIN" NO. 2145-60 (CLR13415)	TEXTURE: FINE FINISH
	BRICK MANUFACTURER: INTERSTATE BRICK STYLE: FULL TWIN BRICK SIZE: 4"x12" NORMAN BRICK COLOR: PEWTER	
	PREFINISHED PARAPET CAP FLASHING (COLOR TO MATCH HOST WALL FINISH COLOR)	

ELEVATION GENERAL NOTES:	
A.	SEE SHEET A861 FOR DOOR AND WINDOW TYPES.
B.	COORDINATE WINDOW HEIGHTS WITH WINDOW SCHEDULE.
C.	MECHANICAL CONTRACTOR TO COMBINE FACE PLATES FOR DRYER VENT AND EXHAUST ON EXTERIOR OF BUILDING.
D.	STUCCO CONTROL JOINTS TO BE PLACED AS SHOWN ON ELEVATIONS BUT NO LENGTH SHOULD BE GREATER THAN 18 FT. IN EITHER DIRECTION BETWEEN JOINTS.
E.	NO STUCCO PANEL SHOULD EXCEED 144 SQ. FT. FOR VERTICAL APPLICATION.
F.	NO STUCCO PANEL SHOULD EXCEED 100 SQ. FT. FOR HORIZONTAL, CURVED, OR ANGULAR SECTIONS.
G.	NO STUCCO PANEL LENGTH-TO-WIDTH RATIO SHOULD EXCEED 3:1/2 TO 1 IN GIVEN PANEL.
H.	A STUCCO CONTROL JOINT SHOULD BE PLACED AT EACH HORIZONTAL FLOOR SUBSTRATE FRAMING CHANGE.

KEY NOTES:	
312	PRECAST CONCRETE CAP SEE DETAIL
402	BRICK VENEER, SEE ELEVATIONS
512	STEEL FRAMED CANOPY PAINTED TO MATCH COLOR SCHEME
701	EPS FINISH, SEE BUILDING ELEVATIONS
711	STANDING SEAM METAL ROOF PER MANUFACTURER, COLOR BY OWNER
712	PRE-FINISHED METAL FASCIA AND SOFFIT TO MATCH STANDING SEAM ROOF
720	PRE-FINISHED METAL PARAPET CAP FLASHING
801	PREHMANUFACTURED WINDOW SYSTEM, SEE WINDOW SCHEDULE
1076	BUILDING SIGNAGE BY OWNER

REV.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		

LOGAN RIVERWALK RETAIL  
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PROJECT MANAGER  
Project Number  
DRAWN BY  
Author  
CHKD BY  
Checker

A PLAN REVIEW

EXTERIOR  
ELEVATIONS

DRAWING NUMBER  
**A202**