



**Project #18-037
Gossner Grade A Warehouse
Located at 1105 North 1000 West**

REPORT SUMMARY...

Project Name: Gossner Grade A Warehouse
Proponent/Owner: Travis Johnson / Gossner Grade A Warehouse
Project Address: 1105 North 1000 West
Request: Design Review Permit
Current Zoning: Industrial (IP)
Date of Hearing: October 25, 2018
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission conditionally approve a Design Review Permit for Project #18-037 Gossner Grade A Warehouse, for a 70,000 SF industrial building located at approximately 1105 North 1000 West, TIN# 05-050-0002; -0007.

Land use adjoining the subject property

<i>North:</i>	IP: Industrial Uses	<i>East:</i>	IP: Industrial Uses
<i>South:</i>	IP: Industrial Uses	<i>West:</i>	Outside of City Boundary

Request

The proponent is requesting to construct a new 70,000 SF industrial warehouse and cold-storage building for Grade A milk processing and packaging. The flat-roofed metal building could be considered a northern addition to the Gossner’s Food facility and is planned to match the existing buildings in color and design. The plan shows nine (9) emergency egress pedestrian doors and a series of roll-up loading dock garage doors on the rear facade.

Zoning & Allowed Land Use

The Industrial (IP) zone is described in the Land Development Code (LDC) as being a major production and employment zone. Industrial areas will have well-designed buildings and attractive campus-style landscaping and site features. Impact mitigation and buffers may be required through innovative site layout and design to assure compatibility and minimal negative effects. IP zones are not intended for residential uses. Production, Storage and Warehousing are all permitting land uses in the IP zoning district as per LDC 17.11.030.

Design Review Permit

The LDC 17.43 requires Design Review Permit approvals for new industrial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

Lot Coverage & Building Height

The LDC 17.10.130 limits lot coverage at a maximum of 50% (building(s) footprint) and building heights at 48’ in the IP zone. The total project site, including the building footprint, loading dock areas, access driveway and landscaping areas is approximately 5.0 acre (217,000 SF) in size. With a proposed building footprint at approximately 70,000 SF, lot coverage would equal 32%. The proposed building is 32’ tall. As proposed, the project complies with lot coverage and building height requirements in the LDC.

Building Design & Site Layout

The LDC 17.12.060 states that industrial buildings should be designed to promote high-quality and aesthetically pleasing developments. Building design should complement the neighborhood character with interesting architectural features. Primary entrances should have a sheltering element and be conveniently connected to the street with a sidewalk. Parking lots should appear subordinate to architecture and be placed to the side or rear of the primary building. Parking lot layout should create a safe and functional circulation pattern. The application shows a loading dock areas to the rear of the building only. As submitted, the project meets the requirements in the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the IP zone are as follows (as measured from property lines):

Front:	20'
Side:	20'
Rear:	10'
Parking (front):	20'
Parking (side & rear)	15'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front:	188'
Side (north):	400'
Side (south):	0' (common wall)
Rear:	172'
Parking (front):	NA
Parking (side & rear)	20'

As conditioned with a boundary line adjustment eliminating the property line through the proposed building, the project meets minimum setback requirements of the LDC.

Pedestrian Circulation

The LDC 17.30.160 requires pedestrian circulation within a project and connecting to adjacent public streets. Pedestrian circulation should provide a safe, convenient and well-connected sidewalk network. The proposed project does not show sidewalk connections. As conditioned with sidewalk connections, the project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires one (1) parking stall per every 2000 SF of warehouse space. The proposed building has approximately 60,000 SF of warehouse space. This building would require 30 parking stalls. The proposal does not define parking stalls on-site. As conditioned with a minimum of 30 parking stalls, the project meets the parking requirements in the LDC.

Open Space

The LDC 17.10.120 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The 5.0-acre (217,800 SF) site would require 21,780 SF of open space and 21,780 SF of usable outdoor space for a total of 43,560 SF. The proposal only shows conceptual landscaping and open space areas. As conditioned with minimum open space requirements, the project complies with the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the IP zone. However; the LDC 17.12.060.C.2. specifically exempts food-grade buildings from landscaping plant totals as Federal Food and Drug Administration regulations prohibit certain plant materials within certain proximities of food grade buildings for health safety reasons. As conditioned, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

Staff Summary

The Planning Commission should consider the overall property and determine a reasonable project site area for open space compliance. The applicant has indicated that future phases will occur on this property, so it is important to require incremental code compliance for proportionality and development expectations. Staff finds that the Planning Commission could utilized discretionary authority given as per LDC 17.43.080 for limited adjustments, but urges carefulness for overall fair and consistent permitting.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none"> ● Engineering ● Fire 	<ul style="list-style-type: none"> ● Water
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 10/14/18, posted on the City’s website and the Utah Public Meeting website on 10/18/18 and mailed out to adjacent property owners within 300’ on 10/8/18.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. A boundary line adjustment shall be submitted and approved prior to a building permit that either eliminates the property line through the middle of the proposed building or moves it to a position outside of building setbacks.
3. Building and parking lot setbacks shall be reviewed and approved prior to the issuance of a building permit as per the CS zone.
4. The project shall provide a minimum of 30 parking stalls either on-site or within the overall Gossner campus for this building addition.
5. Pedestrian entrances shall have a sheltering weather protection provided.

6. Pedestrian sidewalks shall be provided that connect building(s) to adjacent streets for overall pedestrian circulation.
7. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 217,800 SF.
 - c) Landscaping areas along 1000 West shall be continued in width and number of plants along the frontage area of this building addition.
8. All dumpsters shall be placed outside of front setbacks and visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screened with dense vegetation from adjacent public street views.
10. All streets adjacent to or within the development shall be improved to current city standards and specifications.
11. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
12. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
14. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
15. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Water—contact 716-9622*
 - All currently adopted backflow rules shall apply during and after construction for all points of use of water.
 - Proper backflow protection is required on the water supply, fire suppression system, landscape irrigation.
 - If connecting to existing protected systems or install and test new backflow assemblies on new services.
 - This can be determined on plan reviews.
 - b. *Engineering – contact 716-9160*
 - Dedicate a 66' right of way on 1300 North. Construction of 1300 North to be done based on agreement between Gossner and City. Agreement must be executed prior to building permits being issued. When 1300 North is constructed current access to site will be closed. Construction of 1300 North shall include all utilities per agreement. If this agreement is not reached for 1300 North, City will require that 1200 North be dedicated and constructed.
 - No comments made on utilities by City at this time. No information provided for review. Comments will be made with building permit review.
 - Provide City with water shares or in-leu of fee for increased water demand.
 - Provide storm water detention/retention per Logan City design standards. The 90% storm shall be retained on site near the development through the use Low Impact Design methods (i.e. vegetative swales, bio-retention ponds or swales, sumps, rain water harvesting, etc.)
 - Provide private utility agreements for all new water lines installed.
 - c. *Fire – contact 716-9515*

- Fire Sprinklers and Alarms Required. Fire hydrant within 100 ft of FDC required.
- Access
- (IFC 503.1.1) Fire Apparatus Access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the building.
- Plans indicate a future access road a significant distance to north of the proposed new building. Fire access roads in buildings with high piled storage shall be within 150 ft of portions of the exterior of the building. Access roads shall be 20 ft. wide. Dead ends longer than 150 ft. shall be provided with a turn-around. Will a temp. access road be provided until the property is build out? Provide AutoCAD two track drawing indicating the following apparatus specifications on all fire access road and lanes: Inside turn 17 ft., Curb to Curb 32ft., and Wall to wall 36 ft.
- Fire Water Flow
- (IFC 507.1) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, building or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.3) Fire flow requirements for buildings or portions of building and facilities shall be determine by an approved method.
- Need to provide exact accumulative square footage of fire areas (fire wall separations?) and type of construction.
- According to Table B105.1(2) the required fire flow for Type V construction at 70,000 sq ft is 7,250 gpm at 20 psi. (If fire sprinklers are installed this may be reduced)
- According to Table B105.1(2) the required fire flow for Type IIB construction at 70,000 sq ft is 5,500 gpm at 20 psi. (If fire sprinklers are installed this may be reduced)
- What is the plan for the existing fire main and hydrants between the existing and proposed buildings?
- According to the Logan City Engineering Fire Flow model:
- Fire Hydrant #FH02137 (approx. 1200 N 1000W) flows need flow results gpm at 20 psi
- Fire Hydrant Locations
- (IFC 507.5.1) Fire Hydrants shall be located within 400 feet of the building as measured by an approved route around the exterior of the building.
- Fire hydrants are required within 400 ft of all areas of the building as measured around the perimeter of the building. If Fire Sprinklers are installed a hydrant is required within 100 ft of the Fire Department Connection (FDC).
- Table C102.1 requires 7,250 gpm to be delivered from 8 accessible fire hydrants.
- Table C102.1 required that 5,500 gpm to be delivered from 6 accessible fire hydrants.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC..
5. The project meets the goals and objectives of the CS designation within the Logan General Plan by providing high quality projects designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

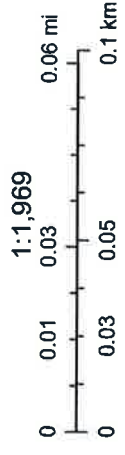
Planning Commission Land Use Appeal Board Administrative Review

Date Received 9/24/18	Received By RH	Receipt Number	Zone IP	Application Number PC 18-037
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME GOSNER GRADE "A" WAREHOUSE				
PROJECT ADDRESS 1105 N. 1000 W., Logan UT 84321			COUNTY PLAT TAX ID # 050-050-0002 05-050-0007	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) GOSNER FOODS INC			MAIN PHONE # (435) 227-2500	
MAILING ADDRESS PO BOX 3247		CITY Logan	STATE UT	ZIP 84321
EMAIL ADDRESS				
PROPERTY OWNER OF RECORD (Must be listed) GOSNER FOODS INC			MAIN PHONE # (435) 227-2500	
MAILING ADDRESS Same		CITY	STATE	ZIP
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) 60,000 SQ. FT. WAREHOUSE ADDITION & 10,000 SQ. FT. COLD STORAGE ADDITION. BOTH BUILDINGS WILL WILL MATCH THE EXISTING BUILDINGS ON SITE. A PRIVATE DRIVE WILL BE BUILT ON THE NORTH SIDE			Total Lot Size (acres) 9	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -			Size of Proposed New Building (square feet) 70,000 SF	
			Number of Proposed New Units/Lots 1	
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.			Signature of Property Owner's Authorized Agent 	
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.			Signature of Property Owner	

Parcel Map



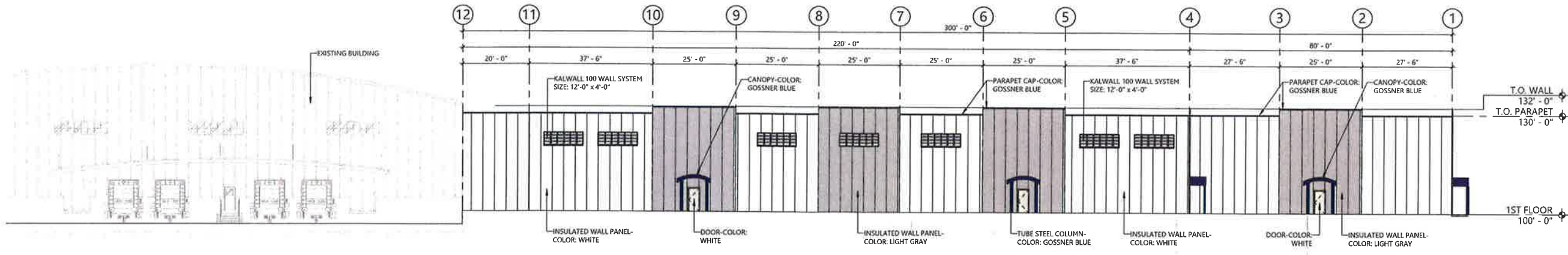
9/24/2018, 11:03:29 AM



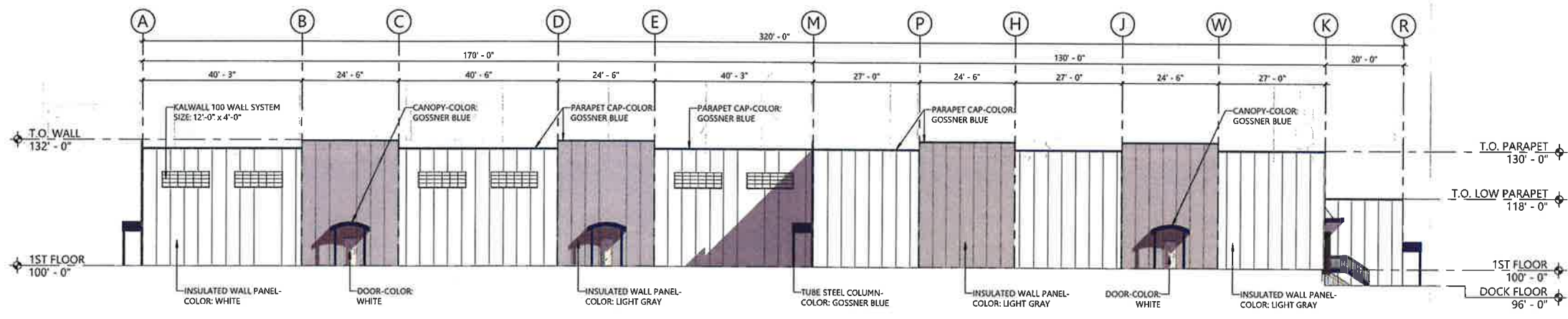
- Parcel Tax ID Label
- County Centerline
- State Roads
- Municipal Boundaries
- County Boundary
- Cache Parcels

CARTWRIGHT PROJECT #	
DATE:	
DRAWN BY:	Author
CHECKED BY:	Checker
APPROVED BY:	Approver

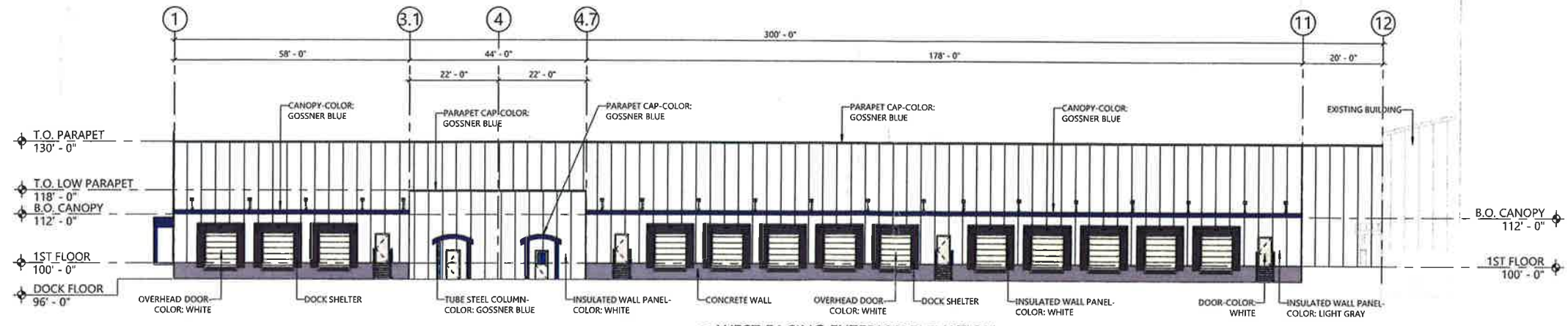
DATE	REVISIONS DESCRIPTION



D3 EAST FACING EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



B3 NORTH FACING EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"



A3 WEST FACING EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

GOSSNER FOODS GRADE "A" EXPANSION

LOGAN, UTAH

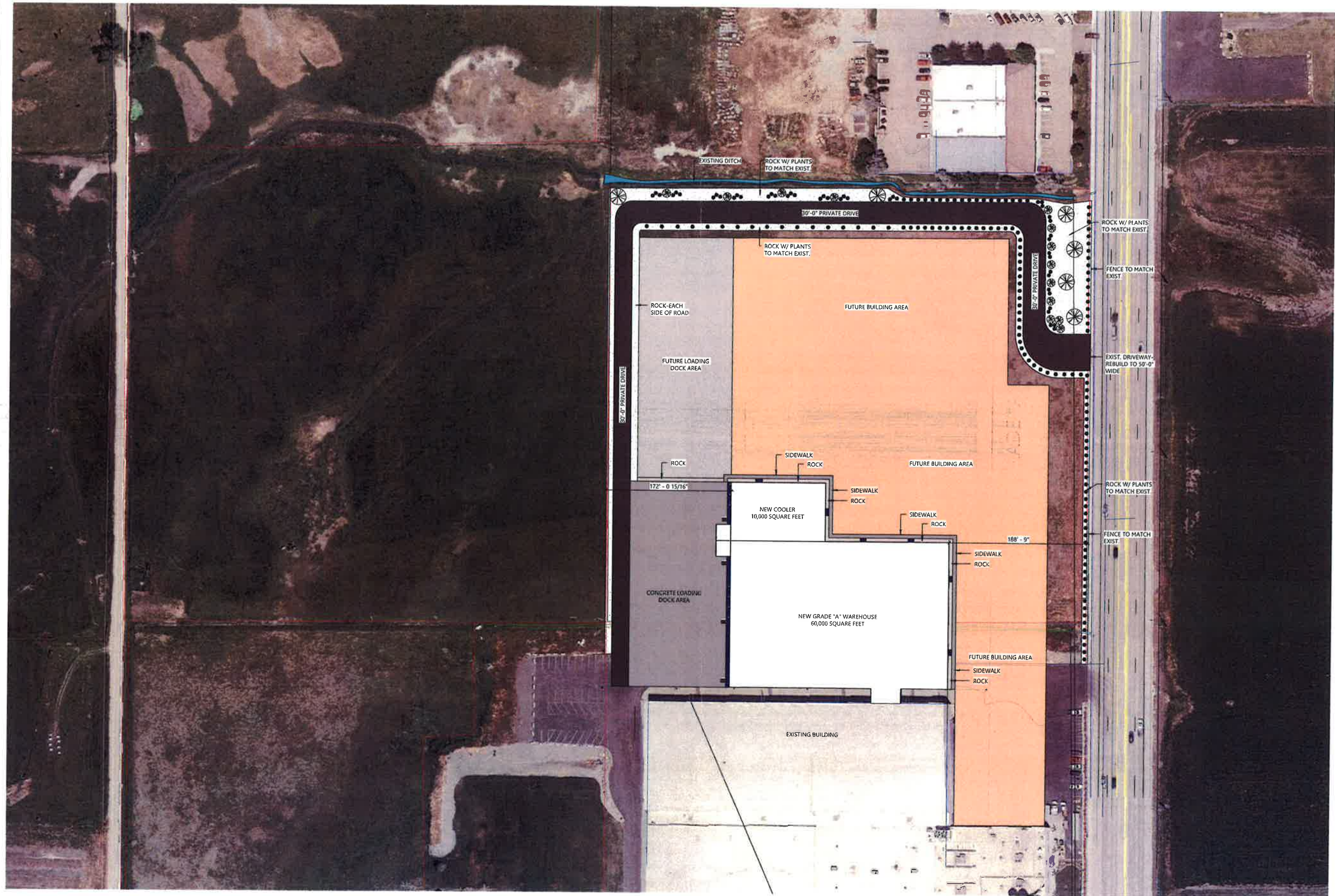
CARTWRIGHT PROJECT #	
DATE	
DRAWN BY:	Author
CHECKED BY:	Checker
APPROVED BY:	Approver

REVISIONS	
DATE	DESCRIPTION

ARCHITECTURAL
SITE PLAN

AS101

DESIGN REVIEW



A3 ARCHITECTURAL SITE PLAN
SCALE: 1" = 60'-0"