



**Project #18-036
Denik Vooray Building
Located at 1200 West 2200 South**

REPORT SUMMARY...

Project Name: Denik Vooray Building
Proponent / Owner: Jon White / Jon and Darlene White Trust
Project Address: 1200 West 2200 South
Request: Design Review Permit
Current Zoning: Commercial (COM)
Type of Action: Quasi-Judicial
Hearing Date: Oct. 25, 2018
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission conditionally approve a Design Review Permit for project #18-036, Denik Vooray Building, in the Commercial (COM) zone located at 1200 West 2200 South, TIN #03-006-0046.

Current Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Residential Uses
<i>South:</i>	Outside of City Boundary	<i>West:</i>	COM: Residential Uses

Project Description

This is a proposal for a new single-story 34,560 SF office/retail/storage building for the online retailers Vooray and Denik. The proposal also includes site, parking, landscaping and streetscape improvements. The project site is 2.04 acres in size and currently vacant from buildings and trees.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits office, sales and associated shipping and receiving in the Commercial (COM) zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial uses and building types.

Setbacks

The Land Development Code (LDC) requirements for minimum setbacks in the COM zone are as follows (as measured from property lines):

Front: 10'
Side: 8'
Rear: 10'
Parking: 15'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (south): 20'
Side (east): 95'
Side (west): 95'
Rear (north): 26'
Parking (from 2200 S.): 15'

The project meets minimum setback requirements in the LDC as proposed.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is 2.04 acres (88,862 SF) in size with a proposed 34,560 SF building footprint that equals approximately 38% of the lot and complies with maximum lot coverage in the LDC.

Building Orientation & Site Layout

The LDC 17.12.020 requires the building to be oriented towards the adjacent street with convenient pedestrian entrances that provide weather protection and express a human scale. The LDC requires parking lots to be placed to the side or rear of the building to further convenience pedestrian travel and create a visual precedence focused on architecture over parking lots. The proposal shows a centered building on the site with a ring of parking lots around the rear perimeter and a small customer parking area sandwiched between each office area. As proposed, the project meets the building orientation and site layout requirements in the LDC.

Building Frontage and Elevations

The LDC 17.10.080 requires that at least 50% of the overall width of the property contains building mass. The code also indicates that blank walls exceeding 30 linear feet are prohibited. Acceptable breaks include windows, balconies, wall articulation or changes in color or materials. The LDC also requires a minimum of 30% transparency on ground floor street facing facades. Considering the property width of 490' and a building width of 300', the building frontage would equal approximately 61%. The proposal shows areas of buildings that exceed blank elevation allowances of 30 feet and lower than 30% in transparency on the south front and west corner façade. As conditioned with additional wall breaks every 30' and transparency at 30% on street facing facades, the project meets the requirements on the LDC.

Pedestrian Circulation

The LDC requires a pedestrian sidewalk connection between the building door and the adjacent street sidewalk with weather protection provided above public doors. The proposal includes multiple sidewalk connections to the building and the street. As proposed, the project complies with the LDC.

Parking Requirements

The LDC 17.31.040 requires one parking stall per every 300 SF of office area and one (1) stall per every 2000 SF of shipping/receiving space. The LDC also requires bike racks for new buildings in the COM zone. At approximately 8,000 SF of office/retail space and 26,000 SF of shipping/receiving space, the LDC would require 39 parking stalls. The proposed site plan shows 65 parking stalls. As conditioned with bike racks and a minimum of 39 parking stalls, the project meets the requirements in the LDC.

Open Space

The LDC 17.10.080 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar outdoor amenities. The 2.04-acre (88,862 SF) site would require 8,886 SF of both landscaping and usable outdoor space for a total of 17,772 SF of open area. The conceptual plan shows multiple landscaping and outdoor spaces around the site that total approximately 19% of the property. As conditioned with compliant open space, the project meets the requirements in the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. For 2.04 acres, 40 trees and 102 shrubs, flowers and

ornamental plants would be required as per the LDC. The submitted plan shows only conceptual landscaping areas. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.37.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Engineering	• Fire

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 10/14/18, posted on the City's website and the Utah Public Meeting website on 10/18/18, and mailed to property owners within 300 feet on 10/8/18.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The project shall provide 39 off-street parking stalls and a bike rack.
3. The project shall provide architectural wall breaks on the building every 30 linear feet as per the LDC standard.
4. The project shall provide 30% transparency along the south and west street facing facades.
5. All public pedestrian entrances shall have weather protection provided above.
6. Storm-water detention areas shall be placed outside of front and corner setbacks and visually screened with landscaping from view of public streets.
7. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 17,772 SF.
 - c) A total number 40 trees and 102 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
8. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
10. Exterior lighting shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.

11. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
12. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
13. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Minimum inside measurement of a double enclosure is 22 ft. wide and 10 ft. deep. Place bollards in the rear and on the front corners of enclosure to protect walls. No gates required.
 - b. *Engineering —contact 716-9160*
 - Provide water shares for new development per Utah Administrative Code R309-510-7.
 - City does not have any water mains in 2200 South. Development must extend water main down 1200 West from US 89 or must work out agreement to connect to private line in trailer court. Must verify fire flows and hydrant location per City fire marshal. Fire protection and services cannot be obtained from Nibley.
 - Sewer flows must be verified and submitted for approval by both City and Nibley based on current capacity City has in the Nibley sewer line.
 - Storm water detention/retention must be provided per Logan City Standards. The 90% storm must be retained onsite and retained through the use of Low Impact Design methods.
 - Dedicate right of way on 2200 South as needed to ensure a 66' right of way (33' from centerline of 2200 South).
 - Construct curb, gutter and sidewalk per City standards.
 - c. *Water —contact 716-9627*
 - The buildings water main needs to have its own RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or connections. Any landscape irrigation connected to Logan City water must have a high hazard backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them.
 - Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - All points of use of water must comply with the 2015 IPC and State of Utah Amendments, during and after construction.
 - d. *Fire —contact 716-9515*
 - Provide fire access site plan.
 - Fire Sprinklers and Alarms Required. Fire hydrant within 100 ft. of FDC required.
 - Access
 - (IFC 503.1.1) Fire Apparatus Access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the building.
 - Plan appears to have hard surface access on all sides of the building. Fire access roads shall be 20 ft. wide. Dead ends longer than 150 ft. shall be provided with a turn-around. Provide AutoCAD two track drawing indicating the following apparatus specifications on all fire access road and lanes: Inside turn 17 ft., Curb to Curb 32ft., and Wall to wall 36 ft.
 - Fire Water Flow
 - (IFC 507.1) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, building or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.3) Fire flow requirements for buildings or portions of building and facilities shall be determine by an approved method.

- Need to provide exact accumulative square footage of fire areas (fire wall separations?) and type of construction.
- According to Table B105.1(2) the required fire flow for Type V construction at 34,560 sq. ft. is 5,000 gpm at 20 psi. (If fire sprinklers are installed this may be reduced)
- According to Table B105.1(2) the required fire flow for Type IIB construction at 34,560 sq. ft. is 4,000 gpm at 20 psi. (If fire sprinklers are installed this may be reduced)
Reduction 1,500 gpm
- There are no current hydrants or water mains in the area of the project. The 10 "main currently ends at approx. 2044 S Hwy 89/91
- According to the Logan City Engineering Fire Flow model:
- Fire Hydrant #FH proposed FH -1(see Map on fire flow memo) flows 2,255 gpm at 20 psi -s
- Fire Hydrant #FH proposed FH -2 (see Map on fire flow memo) flows 1,982 gpm at 20 psi
- Fire Hydrant Locations
- (IFC 507.5.1) Fire Hydrants shall be located within 400 feet of the building as measured by an approved route around the exterior of the building.
- Fire hydrants are required within 400 ft. of all areas of the building as measured around the perimeter of the building. If Fire Sprinklers are installed a hydrant is required within 100 ft. of the Fire Department Connection (FDC).
- Table C102.1 requires 5,000 gpm to be delivered from 5 accessible fire hydrants.
- Table C102.1 required that 4,000 gpm to be delivered from 4 accessible fire hydrants.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project as conditioned is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project as conditioned provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides adequate off-street parking.
5. The project as conditioned meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
6. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
7. 1200 W. & 2200 S. provides access and is adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 9/24/18	Received By	Receipt Number 512439	Zone COM	Application Number PC 18-036
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME Denik - Vooray Building				
PROJECT ADDRESS 12th West 22nd South, Logan			COUNTY PLAT TAX ID # 03--006--0046	
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Jon White			MAIN PHONE # 435-757-7062	
MAILING ADDRESS 260 E 1400 N Suite B		CITY Logan	STATE UT	ZIP 84341
EMAIL ADDRESS jonwhite48@				
PROPERTY OWNER OF RECORD (Must be listed) Jon M & Darlene T White family trust			MAIN PHONE # 435-757-7062	
MAILING ADDRESS 260 E 1400 N Suite B		CITY Logan	STATE UT	ZIP 84341
EMAIL ADDRESS jonwhite48@me.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) An Office/Warehouse building with truck docks, employee parking for up to 3 tenants			Total Lot Size (acres) 2.04	
			Size of Proposed New Building (square feet) 34560	
			Number of Proposed New Units/Lots 3	
- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner		

LOGAN LODGING SUBDIVISION

PART OF NORTHEAST QUARTER OF SECTION 17
TOWNSHIP 11 NORTH, RANGE 1 EAST

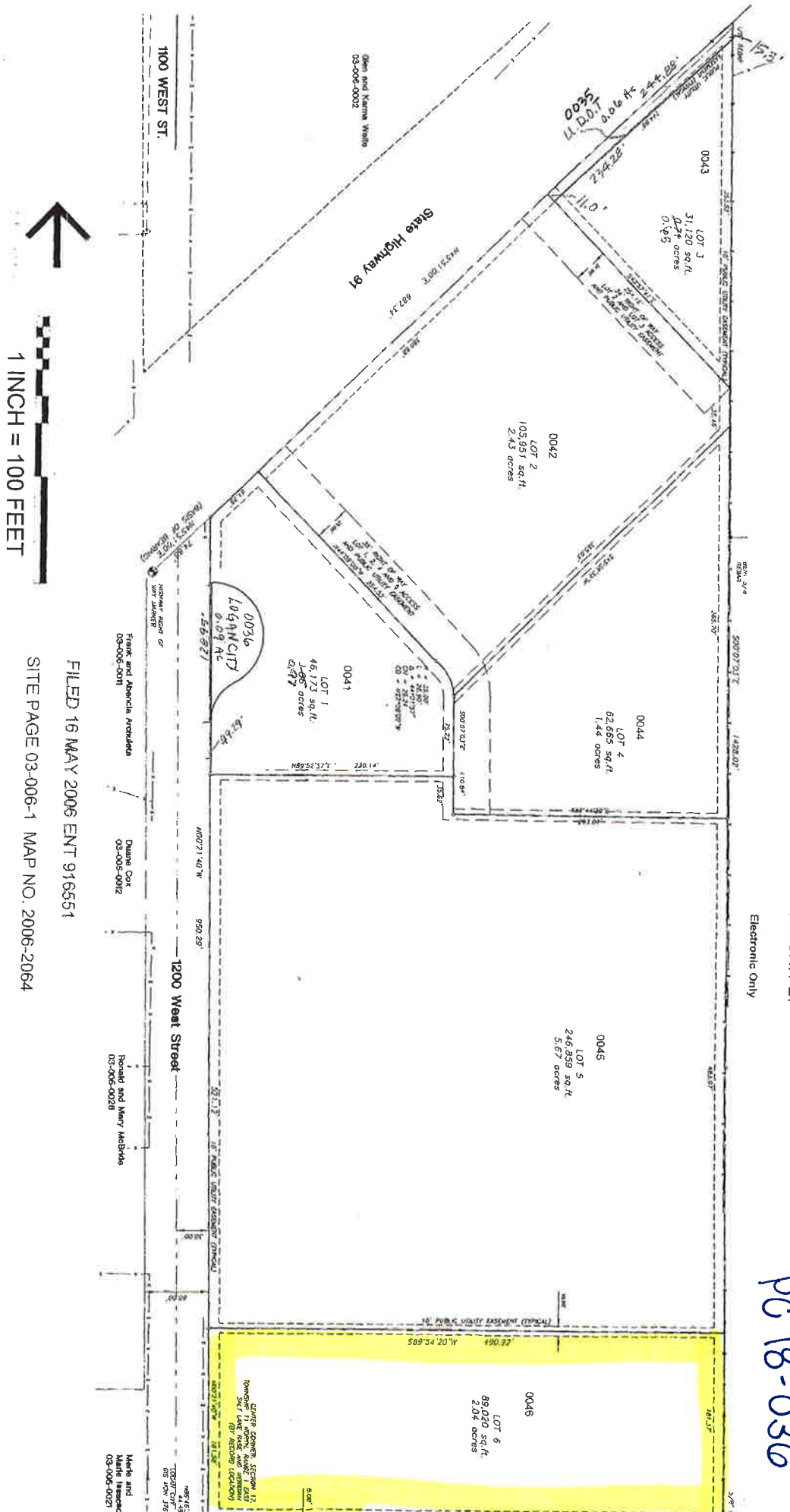
03-006

-2-

TAX UNIT 27

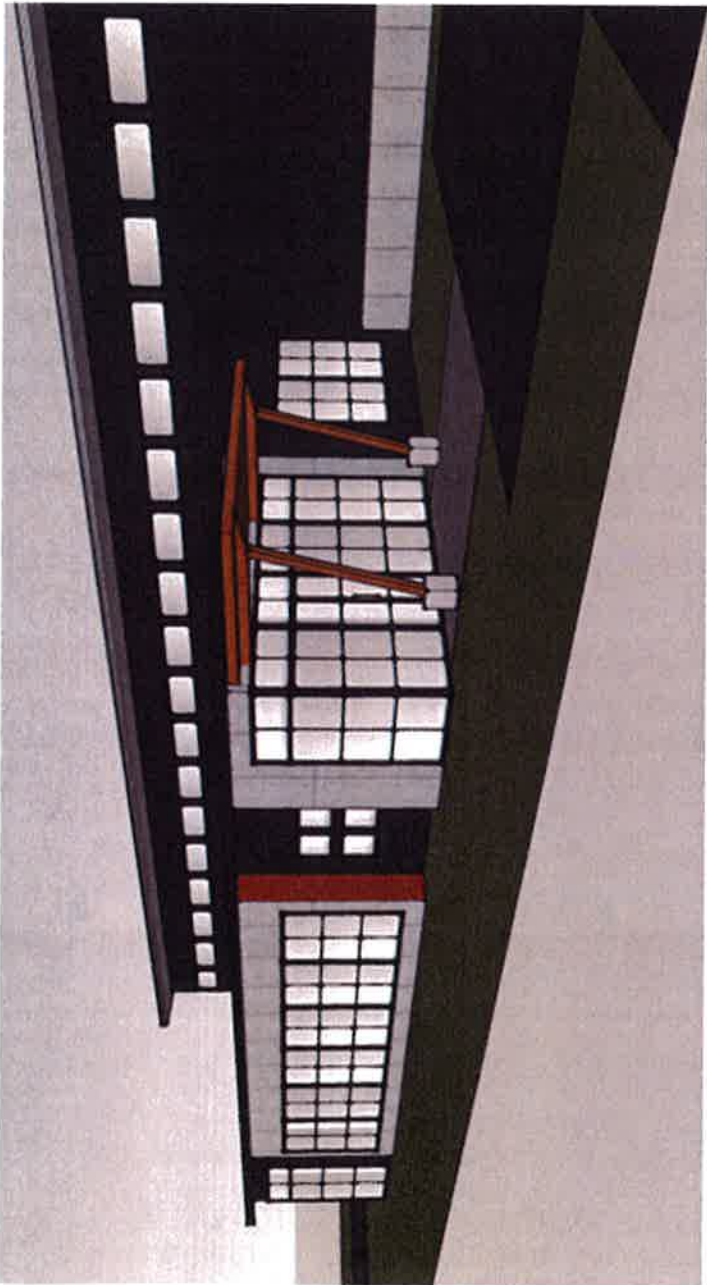
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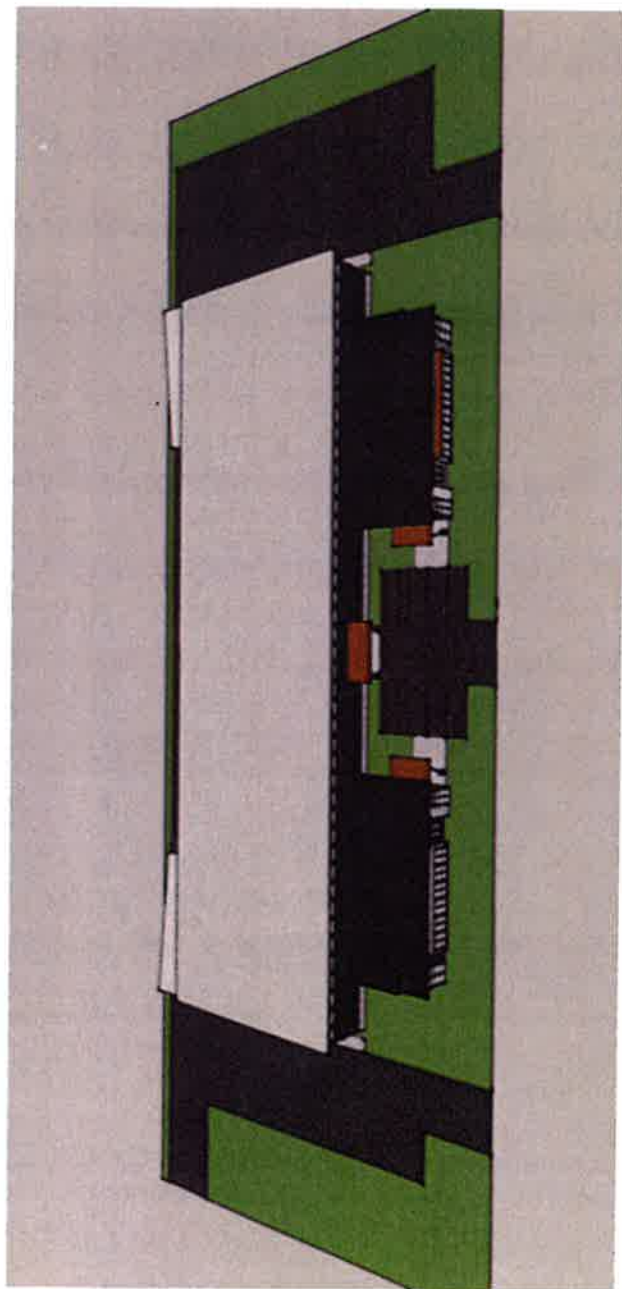
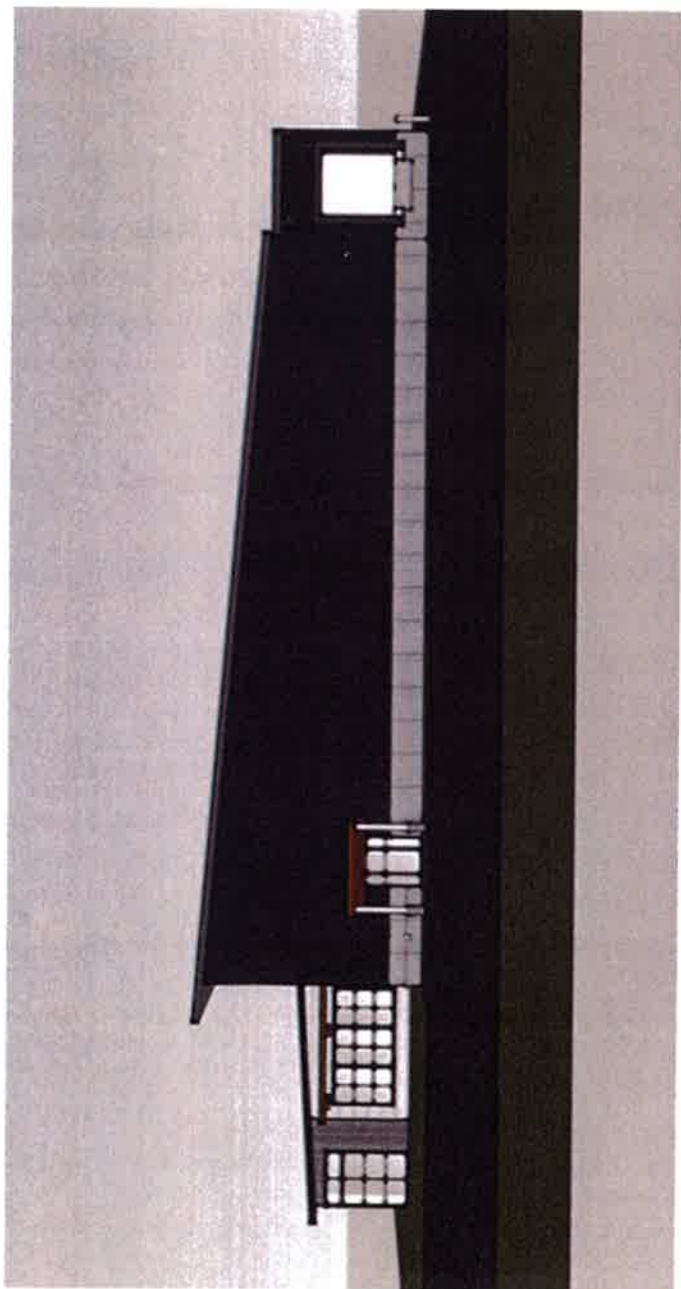
PC 18-036

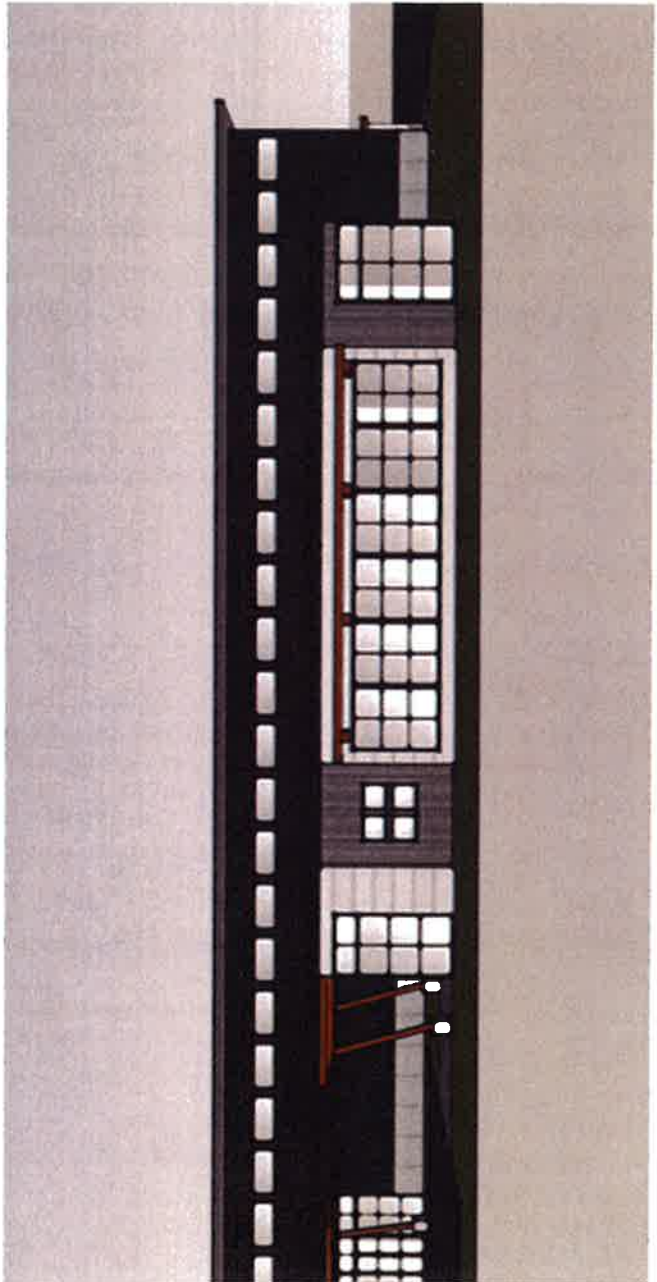
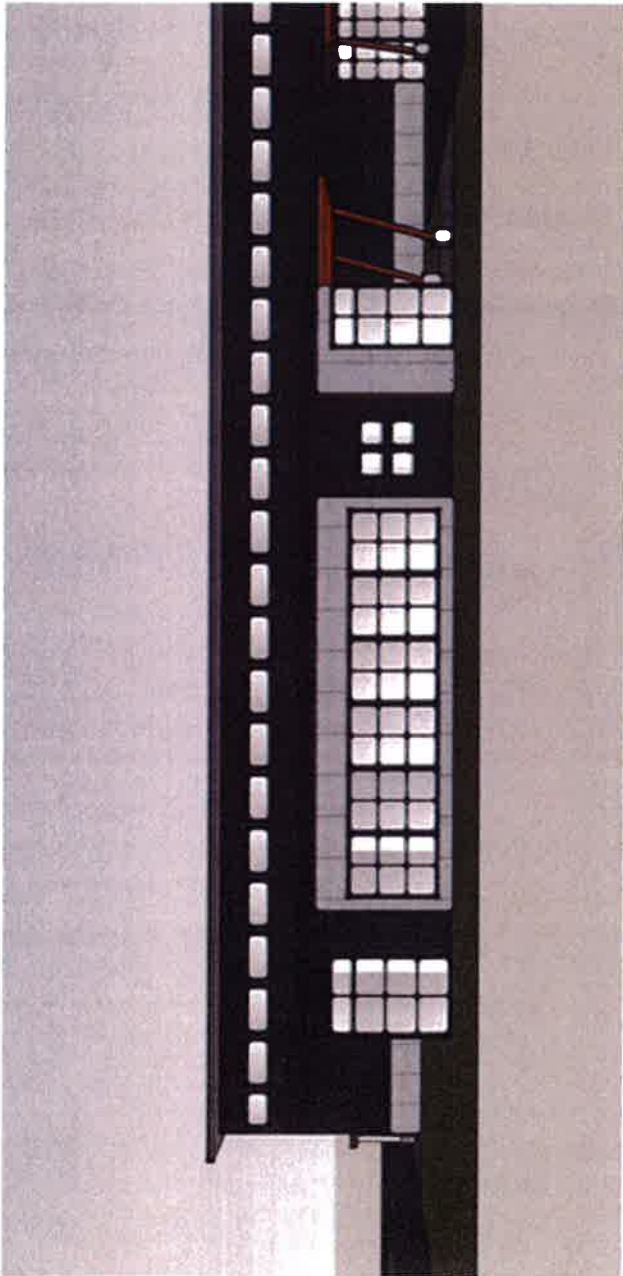


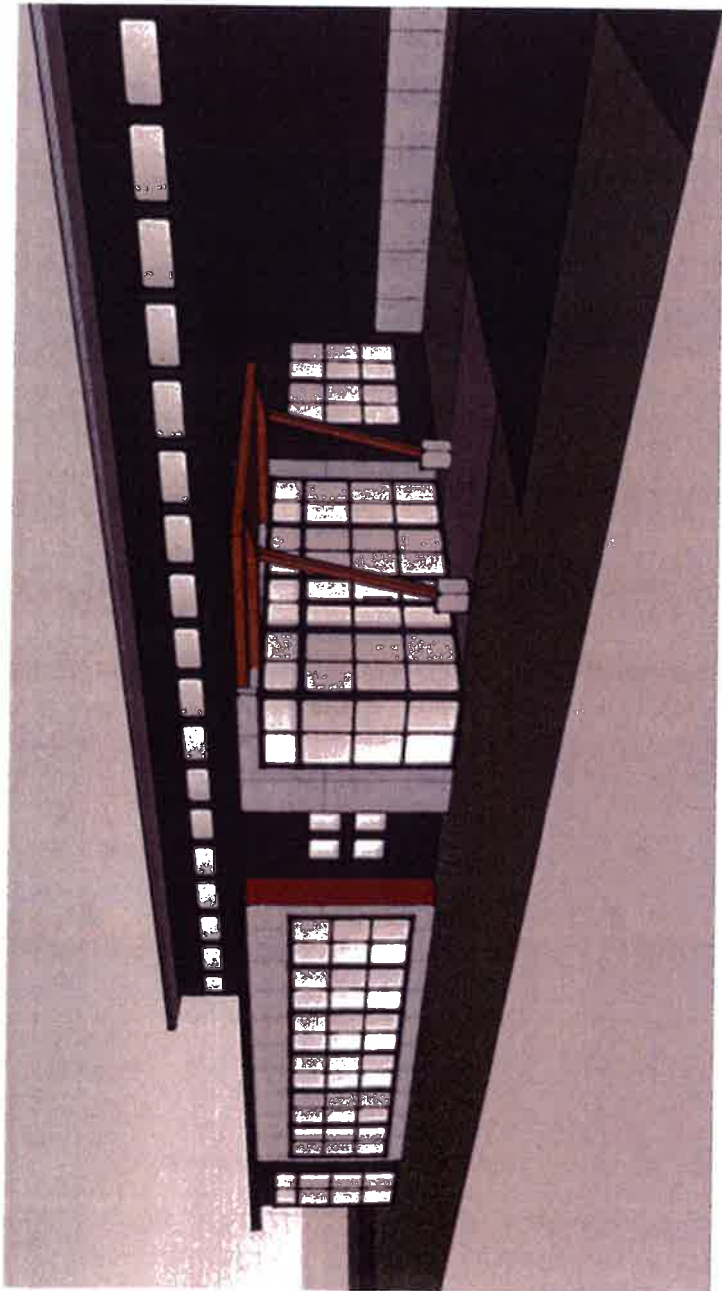
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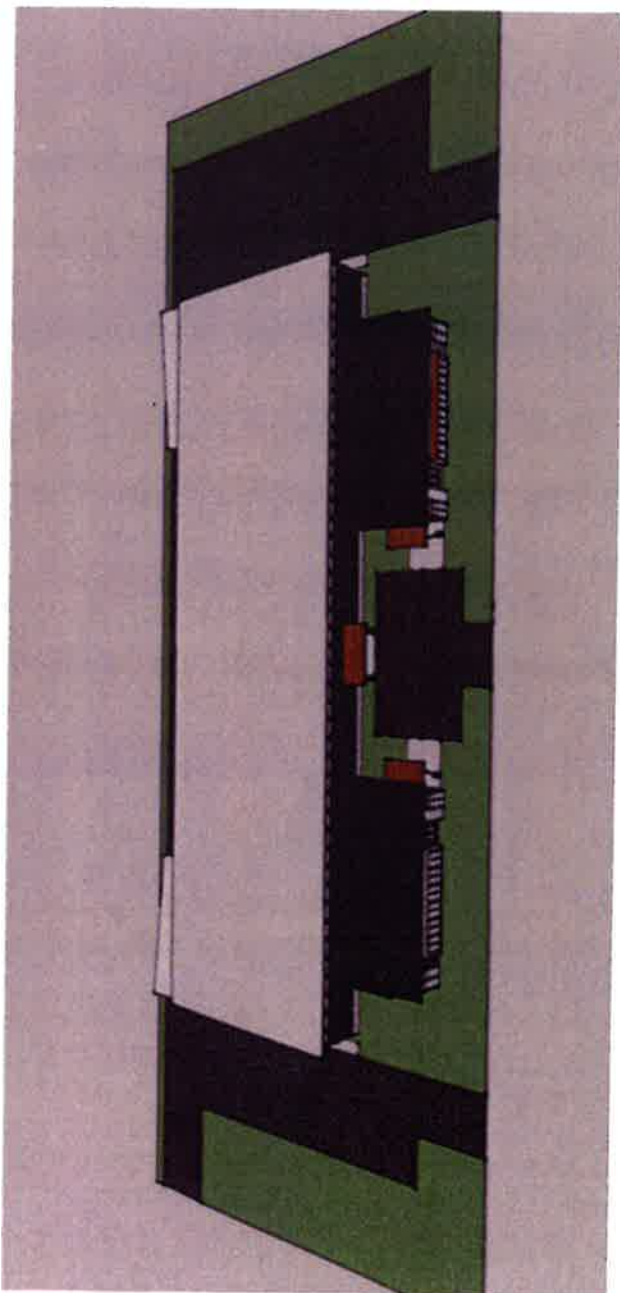
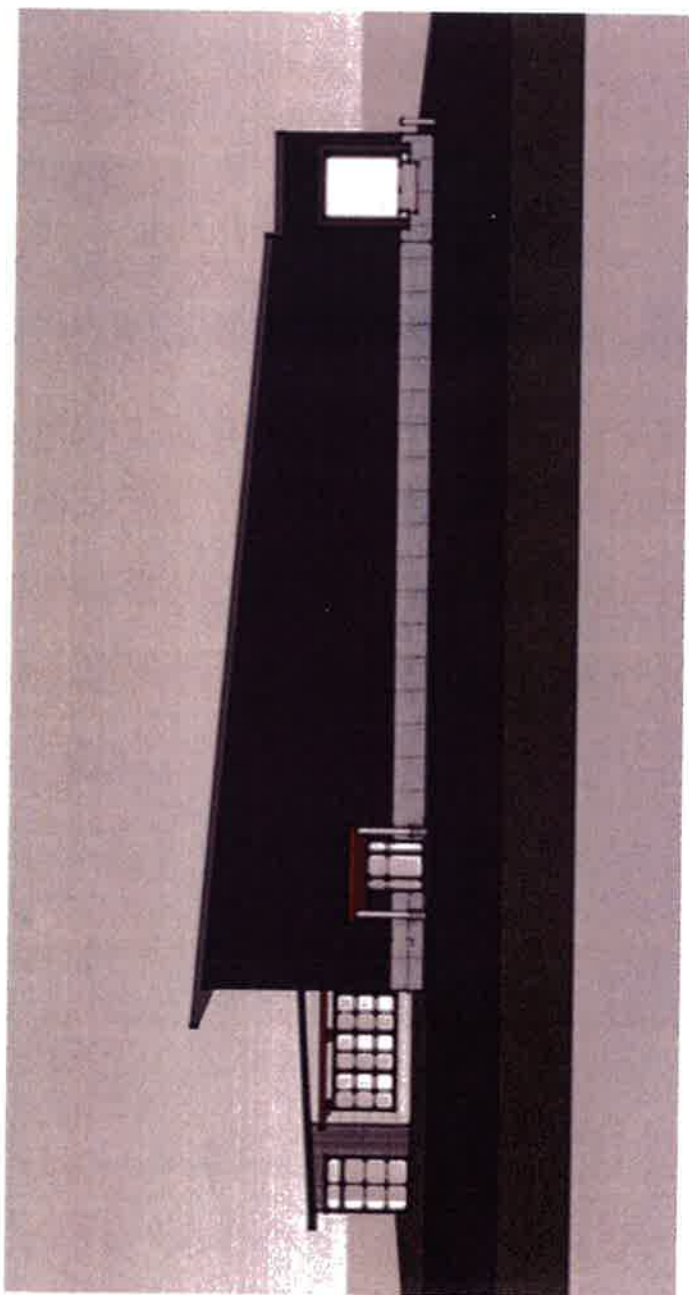
SITE PAGE 03-006-1 MAP NO. 2006-2064











DENIK - VOORAY BUILDING
DESIGN REVIEW
SCALE: 1"=20'

LEGEND

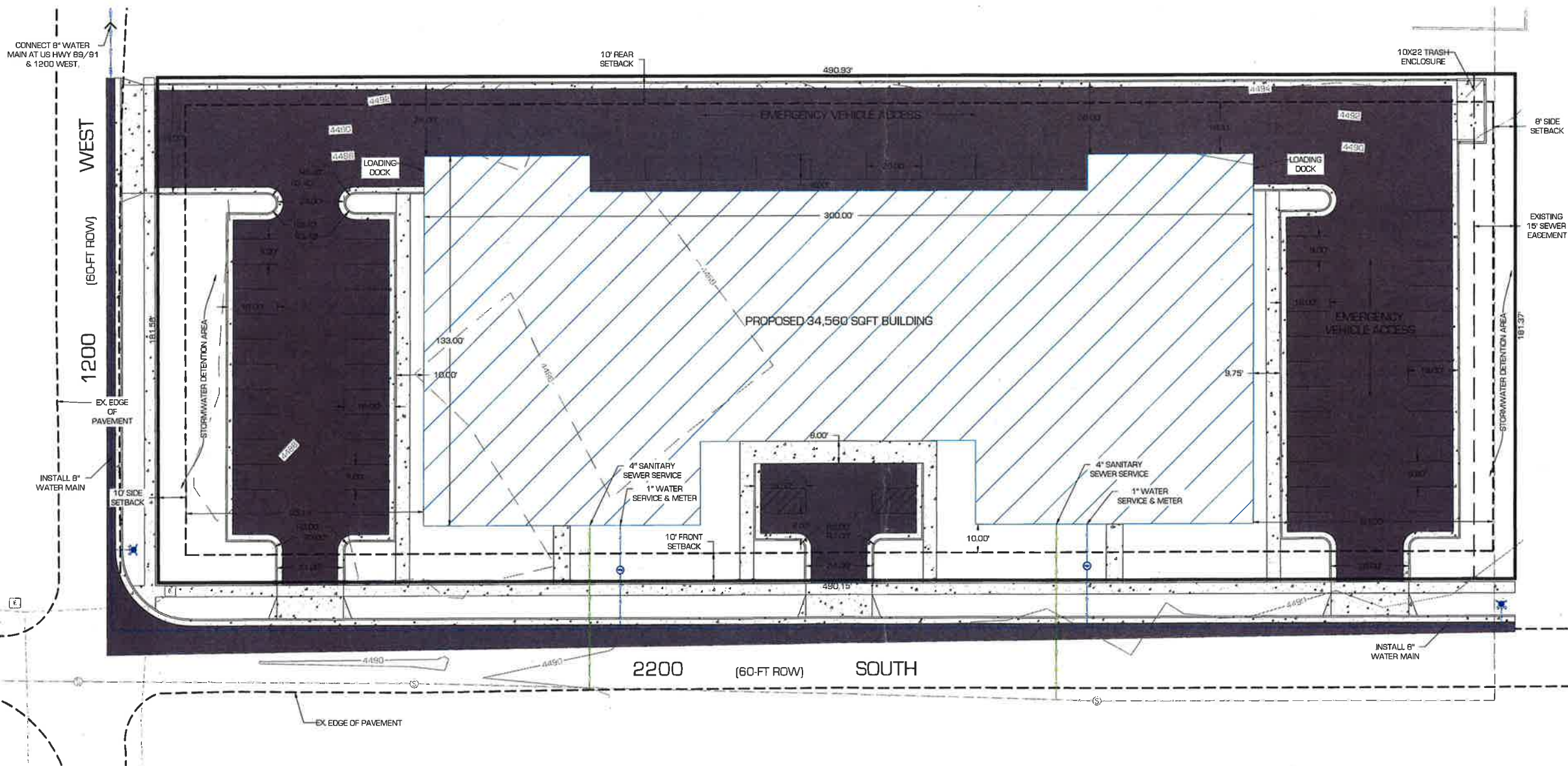
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|--|---------------------------|
| | PROPERTY BOUNDARY |
| | EXISTING SEWER |
| | EXISTING STORM DRAIN LINE |
| | EXISTING WATER LINE |
| | EXISTING OVERHEAD POWER |
| | EXISTING CONCRETE |
| | EXISTING 30\"/> |
| | EXISTING BUILDING |
| | EXISTING FENCE |
| | PROPOSED FENCE |
| | PROPOSED SEWER |
| | PROPOSED GAS LOCATION |
| | PROPOSED WATER LINE |
| | PROPOSED CONCRETE |
| | PROPOSED 30\"/> |
| | PROPOSED BUILDING OUTLINE |
| | PROPOSED ASPHALT |
| | PROPOSED FIRE HYDRANT |

GENERAL NOTES:

- PARKING:
 - PROVIDED: 65 STALLS (4 ADA)
 - REQUIRED: 17 STALLS
- PROJECT AREA = 2.04 ACRES
- ALL STORMWATER FROM THE PROJECT WILL BE DETAINED IN TWO DETENTION PONDS LOCATED ON THE EAST AND WEST SIDE OF THE PROJECT AND THEN RELEASE AT A CONTROLLED RATE INTO THE LOGAN CITY STORMWATER SYSTEM. THE 90TH PERCENTILE (0.60 - INCHES) WILL ALSO BE RETAINED.
- PRE-EXISTING BOUNDARY PARCEL: CS-008-0046
- THERE IS AN UNMAAPPED LAND DRAIN LINE THAT BISECTS THE PROPERTY IN THE EAST-WEST DIRECTION THAT WILL NEED TO BE RELOCATED. LOCATION UNKNOWN.
- ZONE: COMMERCIAL (COM)
- SETBACKS:
 - 10' FRONT & REAR
 - 8' SIDE YARD (0' SHARED) WALL
 - PARKING 15' FROM STREET
- PROPERTY BOUNDARIES SHOWN HAVE BEEN SURVEYED.

LANDSCAPING SUMMARY:

- OPEN SPACE REQUIREMENT: 10%
- OPEN SPACE PROVIDED: 19%
- SITE TREES: 41 TREES WITH 5 OR MORE SPECIES
- SITE SHRUBS: 102 SHRUBS
- STREET TREES: APPROXIMATELY 22 TREES (EVERY 30-FEET ON CENTER)



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DENIK - VOORAY BUILDING
DESIGN REVIEW
500 SOUTH MAIN STREET
LOGAN, UT

[illegible]

PROJECT #:	18-292
DRAWN BY:	C. BOWN
PROJECT MANAGER:	M. TAYLOR
ISSUED:	9/24/2018



DESIGN REVIEW

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