



**Project #18-035
Michael Cooper Building
Located at 960 West 400 North**

REPORT SUMMARY...

Project Name: Michael Cooper Building
Proponent/Owner: Michael Cooper / Inland Business Forms
Project Address: 960 West 400 North
Request: Design Review Permit
Current Zoning: Commercial Service (CS)
Date of Hearing: October 25, 2018
Type of Action: Quasi-Judicial
Submitted By: Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission conditionally approve a Design Review Permit for Project #18-035 Michael Cooper Building, for a 7,508 SF commercial building located at approximately 460 West 400 North, TIN# 05-085-0010.

Land use adjoining the subject property

<i>North:</i>	CS: Commercial Uses	<i>East:</i>	CS: Commercial Uses
<i>South:</i>	CS: Commercial Uses	<i>West:</i>	CS: Commercial Uses

Request

The proponent is requesting to construct a new 7,508 SF commercial building with site improvements that include asphalt parking lots and landscaping. The metal two-story building is planned to have multiple office suites, mezzanine overlooks, light manufacturing and associated storage and shipping areas. The plan shows five (5) pedestrian doors with the main entryway being located on the north façade. Two (2) roll-up garage doors, one each on the east and west facades, are proposed with the project.

Zoning & Allowed Land Use

The Commercial Service (CS) zone is described in the Land Development Code (LDC) as filling a need between industrial and commercial zoning. It provides additional areas for light manufacturing, warehousing and other uses that support the construction trade. CS areas will have high-quality design and site features. CS zones are not intended for residential uses. Office, Contractor Supply and Light Manufacturing are all permitting land uses in the CS zoning district as per LDC 17.11.030.

Design Review Permit

The LDC 17.43 requires Design Review Permit approvals for new commercial and industrial developments to ensure high-quality design, layout and neighborhood compatibility. The Planning Commission may approve a Design Review Permit upon substantiating findings in conformance with Title 17 of the LDC.

Lot Coverage & Building Height

The LDC 17.10.120 limits lot coverage at a maximum of 60% (building(s) footprint) and building heights at 38' in the CS zone. The total project site is 0.70 acres (30,492 SF) in size with a total proposed building footprint at approximately 7,952 SF, lot coverage would equal 26%. The proposed building is 26' tall. As proposed, the project complies with the requirements in the LDC.

Building Design & Site Layout

The LDC 17.12.060 states that industrial and commercial service buildings should be designed to promote high-quality and aesthetically pleasing developments. Building design should complement the neighborhood character with interesting architectural features. Primary entrances should have a sheltering element and be conveniently connected to the street with a sidewalk. Parking lots should appear subordinate to architecture and be placed to the side or rear of the primary building. Parking lot layout should create a safe and functional circulation pattern. Parking areas should utilize perimeter landscaping in ways that help shade and buffer asphalt surfaces.

The application shows a building with an attractive front façade and primary entryway oriented towards 400 North. A parking lot is proposed in a noncomplying front yard area between the building and 400 North. As conditioned with adjustments in the site layout that move the parking lots to the side or rear yards, the project meets requirements in the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the CS zone are as follows (as measured from property lines):

Front:	10'
Side:	5'
Rear:	10'
Parking (front):	15'
Parking (side & rear)	5'

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front:	45'
Side:	43'
Rear:	12'
Parking (front):	10'
Parking (side & rear)	10'

As conditioned with adjustments in the front parking lot setback, the project meets minimum setback requirements of the LDC.

Pedestrian Circulation

The LDC 17.30.160 requires pedestrian circulation within a project and connecting to adjacent public streets. Pedestrian circulation should provide a safe, convenient and well-connected sidewalk network. The proposed project shows a sidewalk connection to 400 North and around the perimeter of the building. As proposed, the project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires one (1) parking stall per every 300 SF of office space and one (1) parking stall per every 2000 SF of warehouse/shipping space. The proposed building has approximately 5,500 SF of storage/shipping/open space and 2000 SF of office/mezzanine space. This building configuration would require three (3) warehouse and seven (7) parking stalls for a total of ten (10). The proposal includes 21 parking stalls on-site. As conditioned with a minimum of ten (10) parking stalls, the project meets the parking requirements in the LDC.

Open Space

The LDC 17.10.120 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaping areas, while useable outdoor space is typically decks, patios and other similar amenities. The 0.70-acre (30,492 SF) site would require 3,049 SF of open space and 3,049 SF of usable outdoor space for a total of 6,098 SF. The proposal only shows conceptual landscaping and open space areas. As conditioned with minimum open space requirements, the project complies with the LDC.

Landscaping

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the CS zone. For 0.70 acre, 14 trees and 35 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows only conceptual landscaping with approximate numbers. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

Staff Summary

The Planning Commission should consider the parking lot location in the front yard as being the main code compliance issue associated with this proposal. The pleasant building architecture and proposed commercial uses will provide additional character and vibrancy to this neighborhood comprised of similar buildings and land uses. This particular site is limited in size and flexibility once the building footprint, parking lot, open space and storm water detention ponds are all considered. Staff finds that the Planning Commission could utilized discretionary authority given as per LDC 17.43.080 for limited adjustments, but urges carefulness and prudence for overall fair and consistent permitting.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

<ul style="list-style-type: none"> ● Environmental ● Fire 	<ul style="list-style-type: none"> ● Water ● Engineering
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PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 10/14/18, posted on the City’s website and the Utah Public Meeting website on 10/18/18 and mailed out to adjacent property owners within 300’ on 10/8/18.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Asphalt surface parking lots shall be positioned to the side and rear of the building.
3. The primary entrance shall have a sheltering element above and a sidewalk connection to the adjacent street.
4. Building and parking lot setbacks shall be reviewed and approved prior to the issuance of a building permit as per the CS zone.
5. The project shall provide a minimum of 10 parking stalls.
6. The street sidewalk along 400 North and 950 West shall be completed with the project.
7. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
 - b) Open Space and Useable Outdoor areas shall total a minimum of 6,098 SF.
 - c) A total number 14 trees and 35 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
8. All dumpsters shall be placed outside of front setbacks and visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screened with dense vegetation from adjacent public street views.
10. All streets adjacent to or within the development shall be improved to current city standards and specifications.
11. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
12. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
13. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
14. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
15. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Minimum inside measurement of a single enclosure is 12 ft. wide and 10 ft. deep. Place bollards in the back and front corners of enclosure. No gates required.
 - b. *Water—contact 716-9622*
 - The buildings water main needs to have its own RP (ASSE1013) installed and tested on the water main as it enters the building before any branch offs or connections. Any landscape irrigation connected to Logan City water must have a high hazard backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them.
 - Fire suppression systems connected to Logan City water must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.
 - All points of use of water must comply with the 2015 IPC and State of Utah Amendments, during and after construction.
 - c. *Engineering – contact 716-9160*

- The original construction plans show a water service off of 400 N just east of the sewer lateral. Submitted plans show service line and fire line coming in for 950 West. If the current service line is not being used, it must be capped at the City Main water line.
 - Provide onsite storm water detention and/or retention per Logan City storm water standards. This includes the retention of the 90% storm event onsite. The 90% storm shall be retained through the use of Low Impact Design methods (i.e. vegetative swales, sumps, Bio-retention ponds or swales, rain water harvesting, etc.).
 - Provide City with private water utility agreement for the fire line to the building.
 - Construct sidewalk and approaches per City standards.
 - Provide water shares or in-leu fee for new development per Utah Administrative Code R309-510-7.
- d. Fire – contact 716-9515
- Provide fire access site plan.
 - Fire Sprinklers and Alarms Required. Fire hydrant within 100 ft. of FDC required.
 - Access
 - *(IFC 503.1.1) Fire Apparatus Access shall extend to within 150 feet of all portions of the facility as measured by an approved route around the exterior of the building.*
 - Plan appears to have hard surface access on all sides of the building. Fire access roads shall be 20 ft. wide. Dead ends longer than 150 ft. shall be provided with a turn-around. Provide AutoCAD two track drawing indicating the following apparatus specifications on all fire access road and lanes: Inside turn 17 ft., Curb to Curb 32ft., and Wall to wall 36 ft.
 - Fire Water Flow
 - *(IFC 507.1) An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises upon which facilities, building or portions of buildings are hereafter constructed or moved into or within the jurisdiction. (IFC 507.3) Fire flow requirements for buildings or portions of building and facilities shall be determine by an approved method.*
 - Need to provide exact accumulative square footage and type of construction.
 - According to Table B105.1(2) the required fire flow for Type V construction at 12,200 sq. ft. is 3,000 gpm at 20 psi. (If fire sprinklers are installed this may be reduced, not less than 1500 gpm)
 - According to Table B105.1(2) the required fire flow for Type IIB construction at 12,200 sq. ft. is 2,250 gpm at 20 psi. (If fire sprinklers are installed this may be reduced, not less than 1,500 gpm)
 - According to the Logan City Engineering Fire Flow model:
 - Fire Hydrant #FH00257 (approx. 955 W 400 N) flows 4,038 gpm at 20 psi
 - Fire Hydrant #FH01424 (approx. 340 N 950 W) flows 3,638 gpm at 20 psi
 - Fire Hydrant Locations
 - *(IFC 507.5.1) Fire Hydrants shall be located within 400 feet of the building as measured by an approved route around the exterior of the building.*
 - Fire hydrants are required within 400 ft. of all areas of the building as measured around the perimeter of the building. If Fire Sprinklers are installed a hydrant is required within 100 ft. of the Fire Department Connection (FDC)

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides off-street parking in compliance with the LDC..
5. The project meets the goals and objectives of the CS designation within the Logan General Plan by providing high quality projects designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

Planning Commission Land Use Appeal Board Administrative Review

Date Received 9/14/18	Received By RH	Receipt Number	Zone CS	Application Number PC 18-035
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Type of Application (Check all that apply):

Design Review Conditional Use Subdivision Zone Change Administrative Design Review
 Code Amendment Appeal Variance 4950' Design Review Other _____

PROJECT NAME
Michael Cooper Building

PROJECT ADDRESS
960 West 400 North Logan, UT

COUNTY PLAT TAX ID #
05 - 085 - 0010

AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete)
Michael R Cooper

MAIN PHONE #
435-757-2599

MAILING ADDRESS
P.O. Box 266 CITY *Providence* STATE *UT* ZIP *84332*

EMAIL ADDRESS
mcooperut@hotmail.com

PROPERTY OWNER OF RECORD (Must be listed)
Inland Business Forms P/S By Craig Larson

MAIN PHONE #
435 757 1795

MAILING ADDRESS
21935 Van Buren Ste 3 CITY *Grand Terrace* STATE *CA* ZIP *92313*

EMAIL ADDRESS
Craig@ibbprinting.net

DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED
(Include as much detail as possible - attach a separate sheet if needed)

** See Attached Sheet*

Total Lot Size (acres)
.70 acres

Size of Proposed New Building (square feet)
7,508 sq Foot Print

Number of Proposed New Units/Lots
6

- NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.

Signature of Property Owner's Authorized Agent
[Signature]

I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.

Signature of Property Owner
[Signature]



September 13, 2018

Application for Project Review

Description of proposed project for Michael R Cooper Building.

Approximately 7,500 square foot steel building built on .70 acres at 960 West 400 North Logan, UT within the Copper Springs Business Park, Lot 10.

EXTERIOR:

Reaching an exterior height of 24 feet with 26 feet height in the front entry way.
Full glass front entry extruding from the main structure with stucco wrapped sides.
Vertical off-white steel siding.
Attractive metal awnings frame the top of each window.
Low grow height plants cover the front and sides of the building with taller plantings adorning the perimeter.
Side 10x12 overhead doors allows for deliveries, storage and shipments.
21 parking stalls.
Easy access on and off the main roads and around the building.
Exterior access to fire riser facilitating the interior fire suppression system.
Three other exterior personal doors for access to warehouse.

INTERIOR MAIN FLOOR:

7,500 square which includes the following:
Open two-story glass entry way with open stair case to second level.
Three office suites.
Elevator with equipment room.
One men's and one women's restrooms with janitor closet.
1335 sf production area.
2200 sf receiving, warehouse and shipping areas
350 sf storage area

SECOND FLOOR:

4,359 square foot second level which includes the following:
384 sf mezzanine overlooking below.
Three office suites.
One men's and one women's restrooms.
1320 sf second level mezzanine storage from the warehouse side.
Emergency stair case exit to ground level.
Break Room.

OCCUPENTS: To house all of Michael R Cooper, LLC Companies.
Michael R Cooper, General Contractor. Building and Development.
Cooper Take Offs. A material estimating company.
Hide and Sleep Wallbeds. Storage and assembly of wallbeds.
Great Basin Graphics, LLC. Graphic design, screen printing and embroidery.

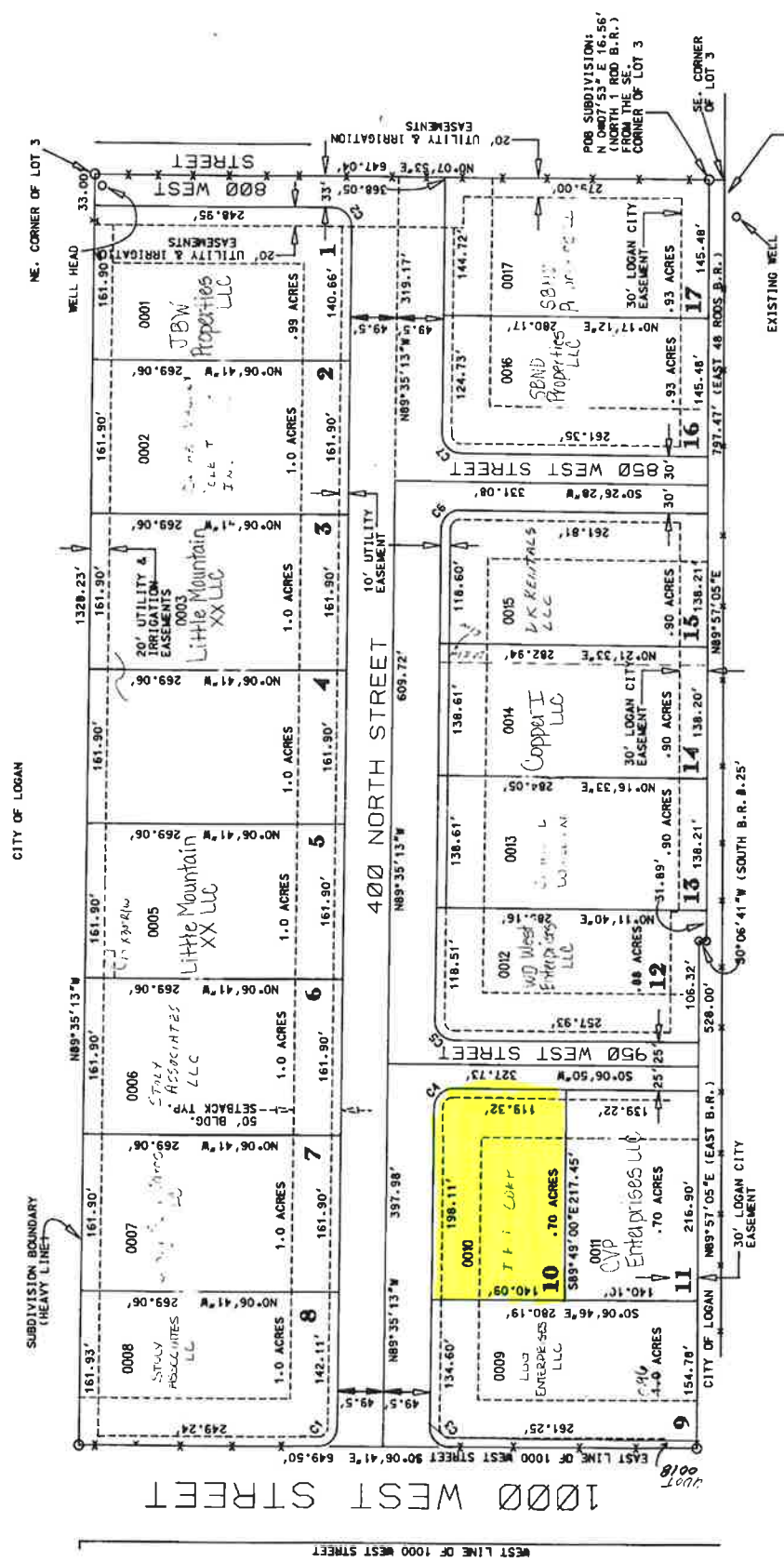
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COPPER SPRINGS INDUSTRIAL PARK

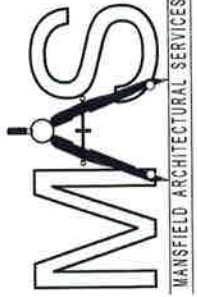
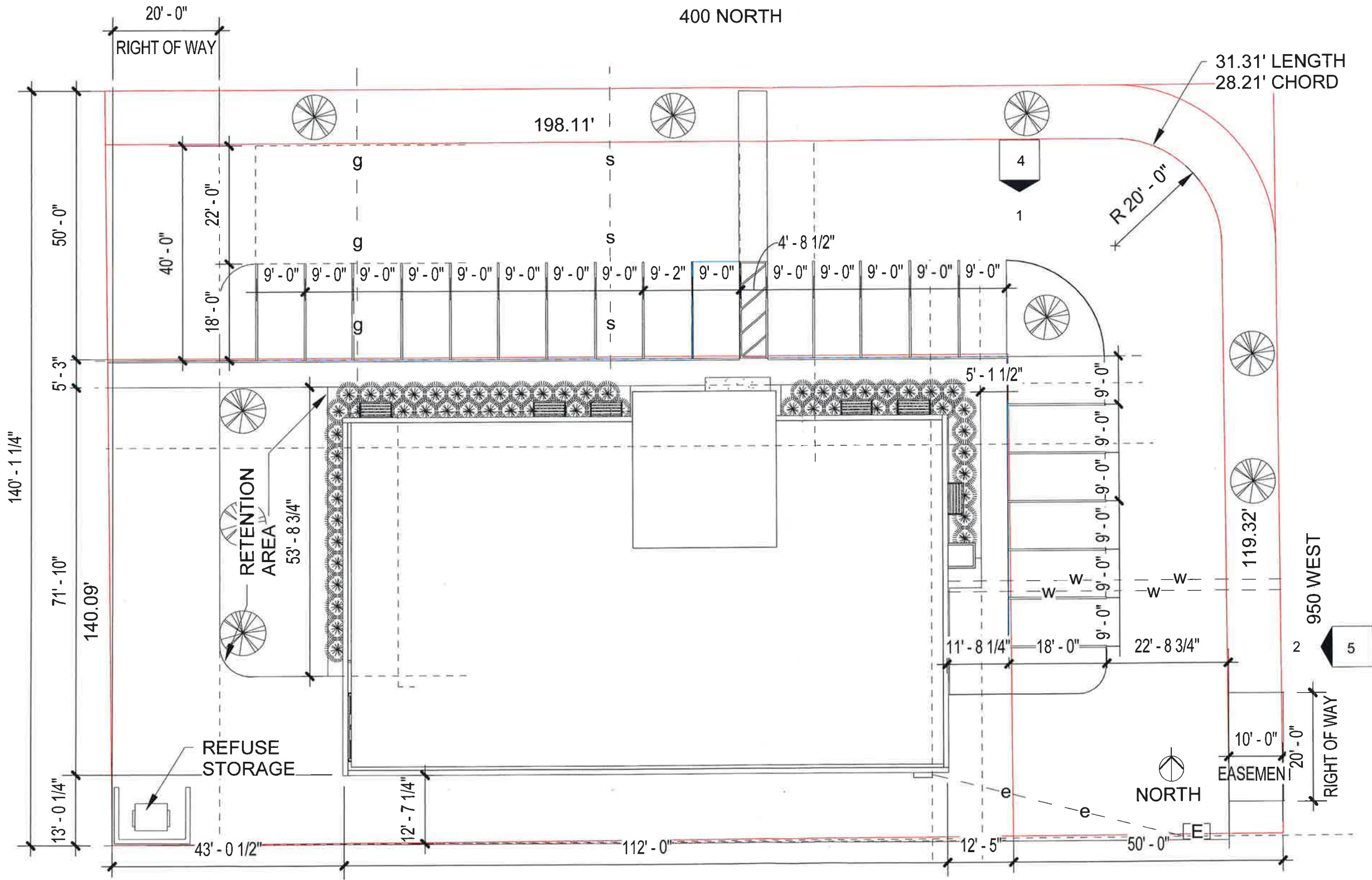
TAX UNIT 27

A SUBDIVISION OF PART OF LOT 3, BLOCK 36, PLAT "A", LOGAN FARM SURVEY OF THE NE. 1/4 OF SECTION 32, T.12 N., R.1 E. OF THE SALT LAKE BASE & MERIDIAN

Scale 1" = 100 Feet



POINT OF RECORD: WEST 6.29 CHAINS & NORTH 10.00 CHAINS B.R. FROM THE SE. CORNER OF THE NE. 1/4 OF SECTION 32

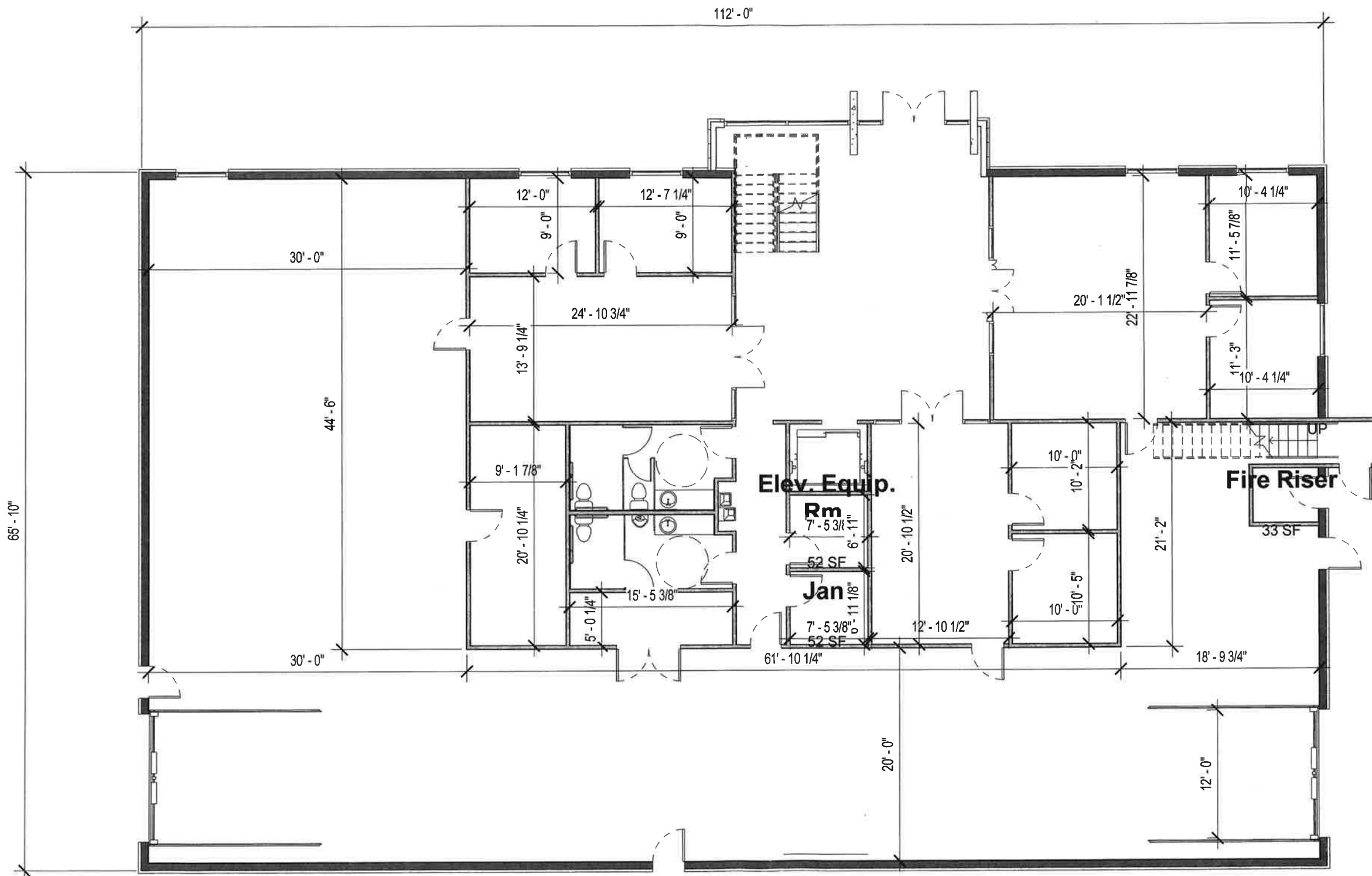


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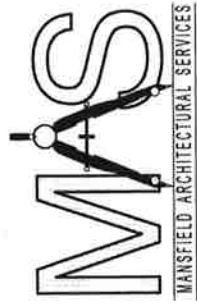
Michael Cooper Building



1 Site Plan - 11x17
 1 1" = 20'-0"



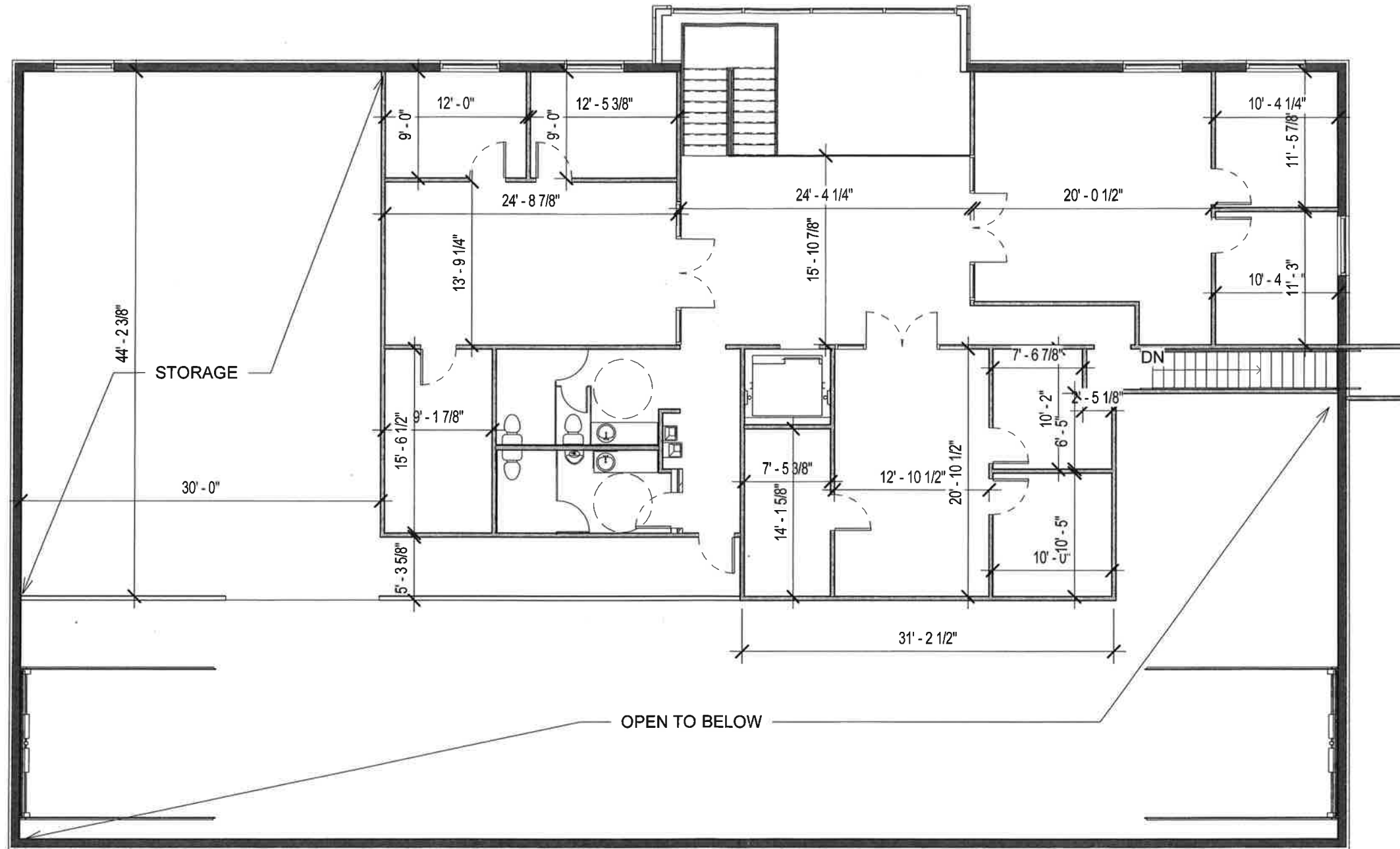
1	Main Floor - 11x17
2	3/32" = 1'-0"



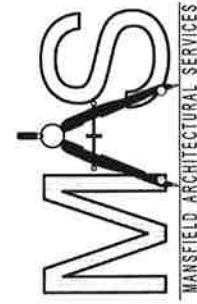
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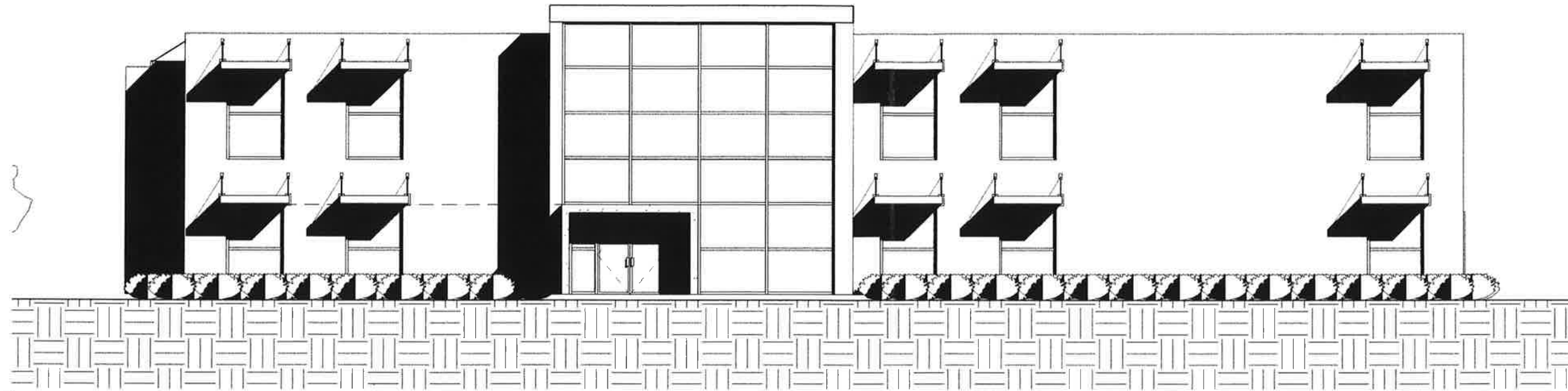
1	Second Floor - 11x17
3	3/32" = 1'-0"



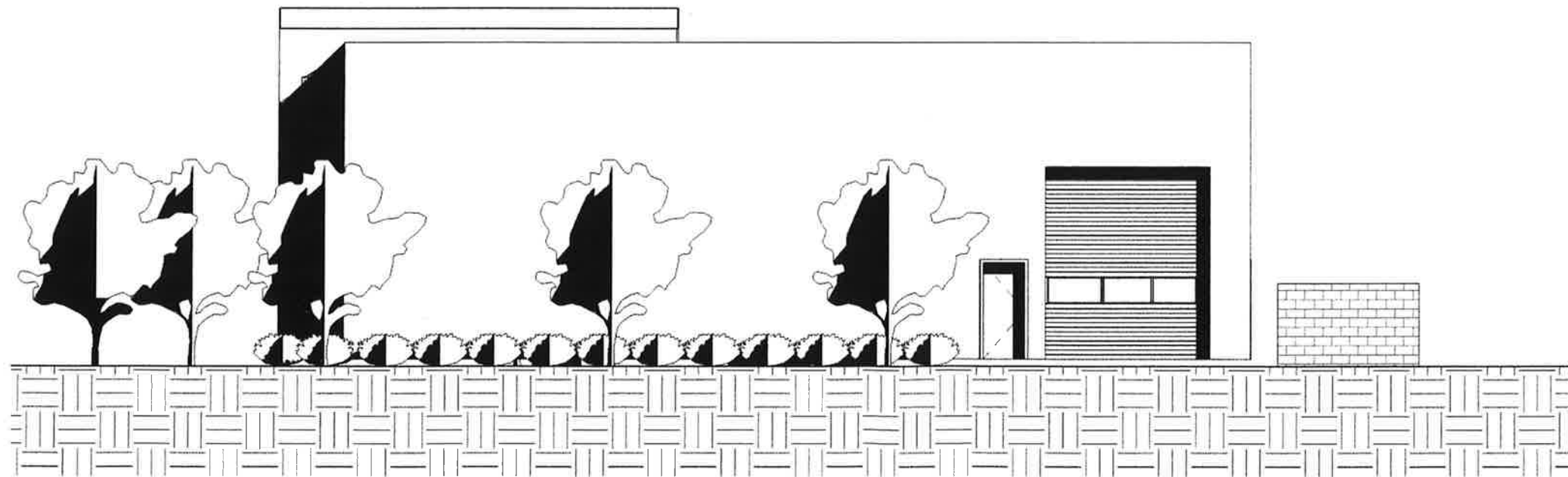
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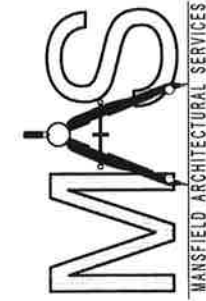




1	North - 11x17
4	3/32" = 1'-0"



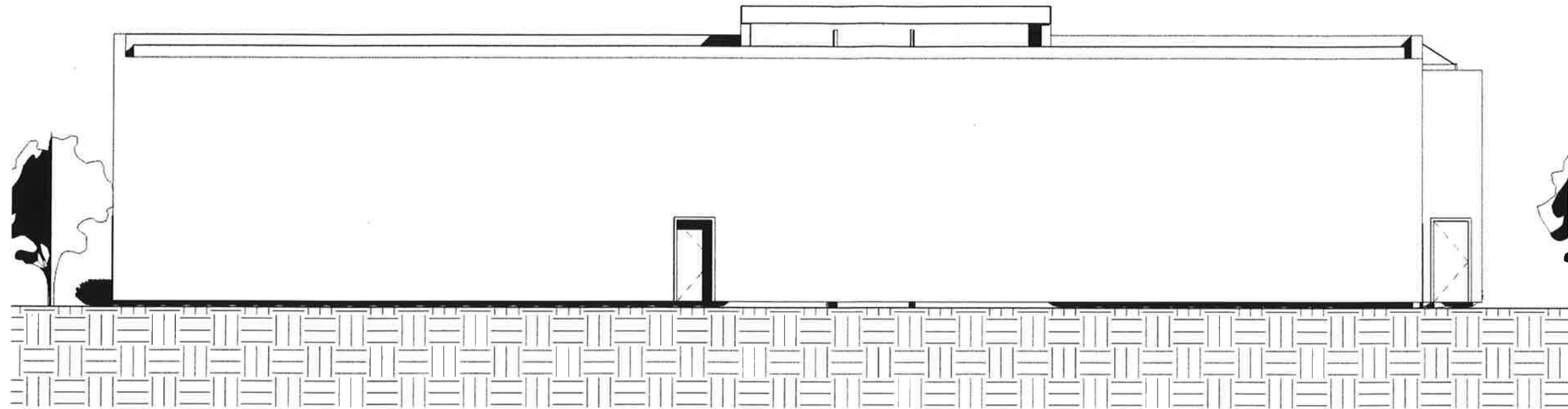
2	West - 11x17
4	3/32" = 1'-0"



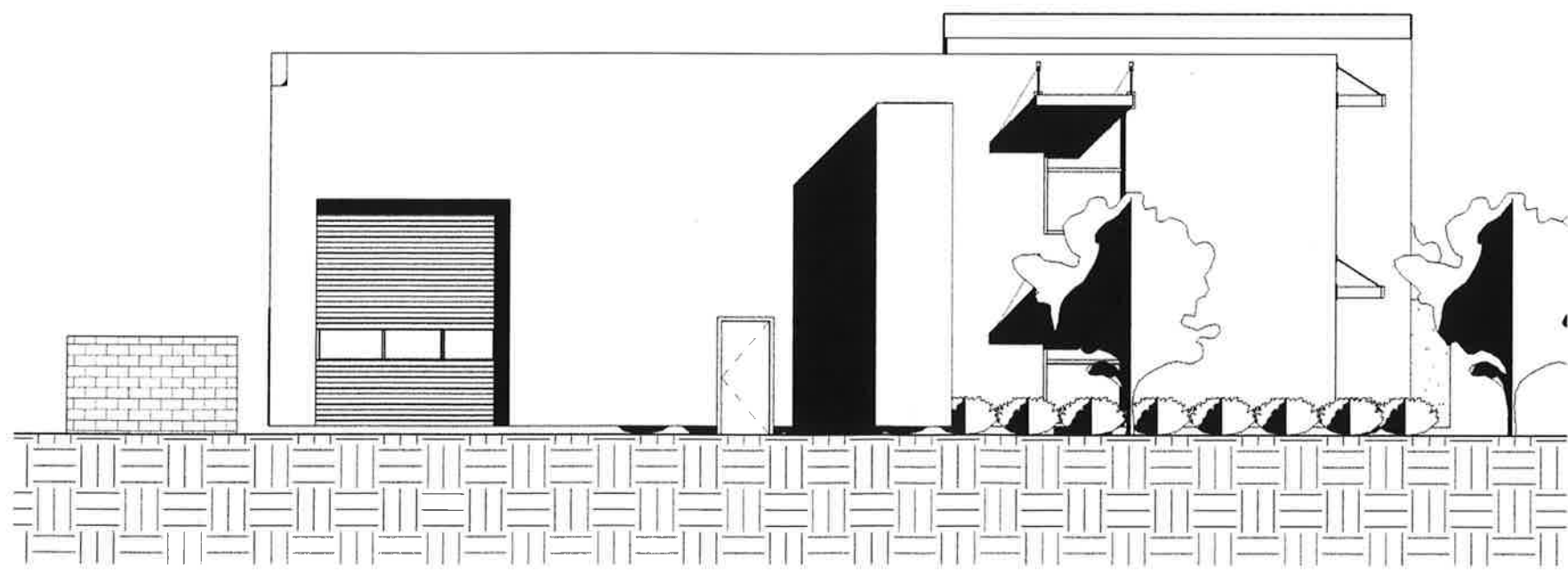
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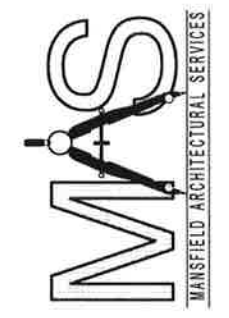




1	South - 11x17
5	3/32" = 1'-0"



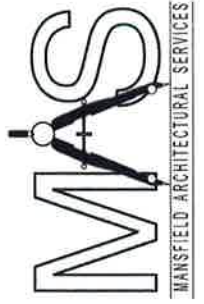
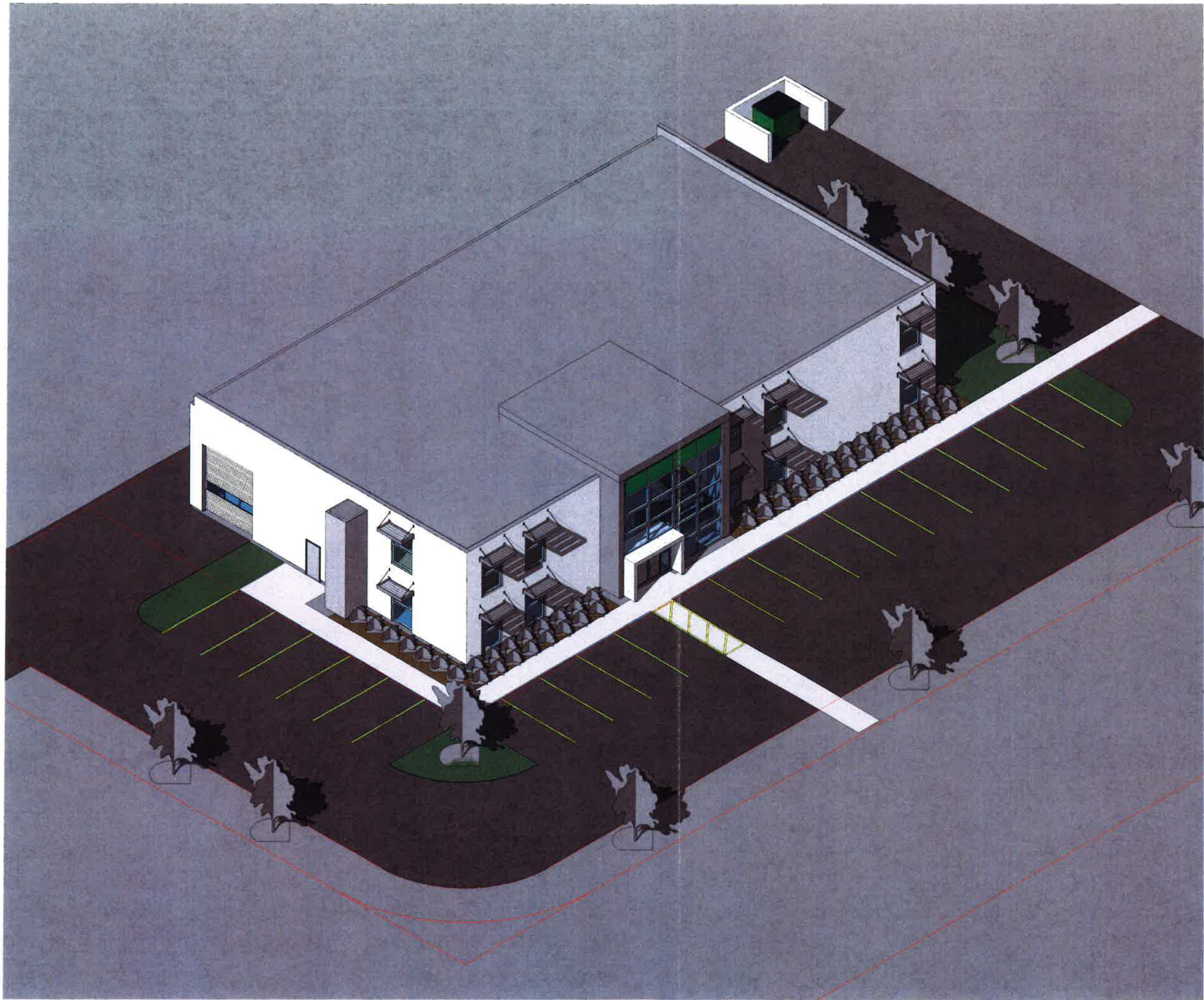
2	East - 11x17
5	3/32" = 1'-0"



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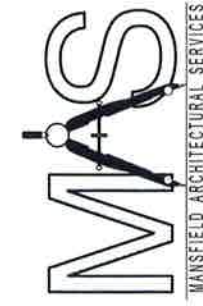
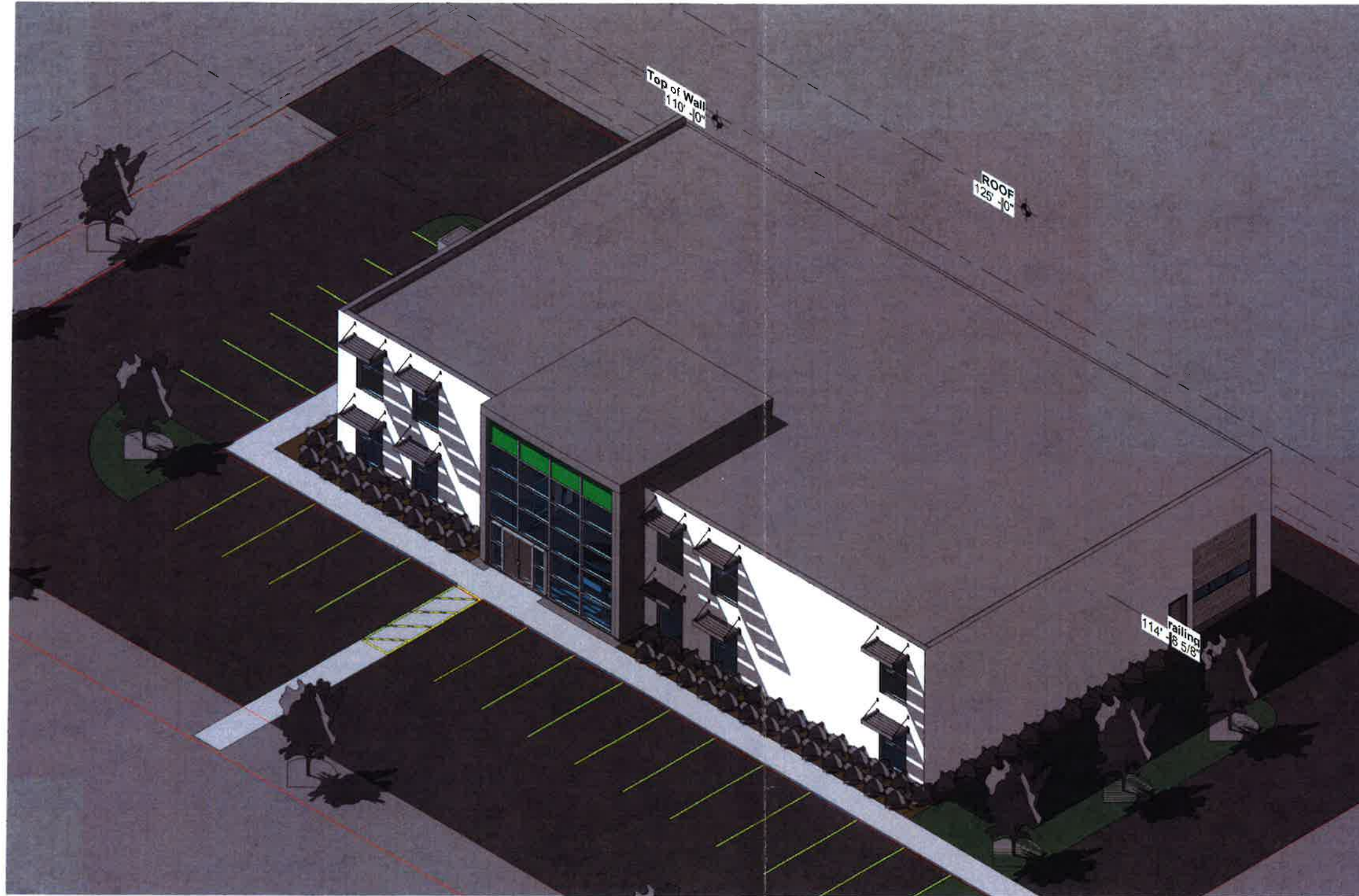




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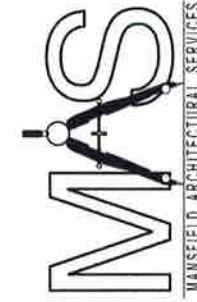
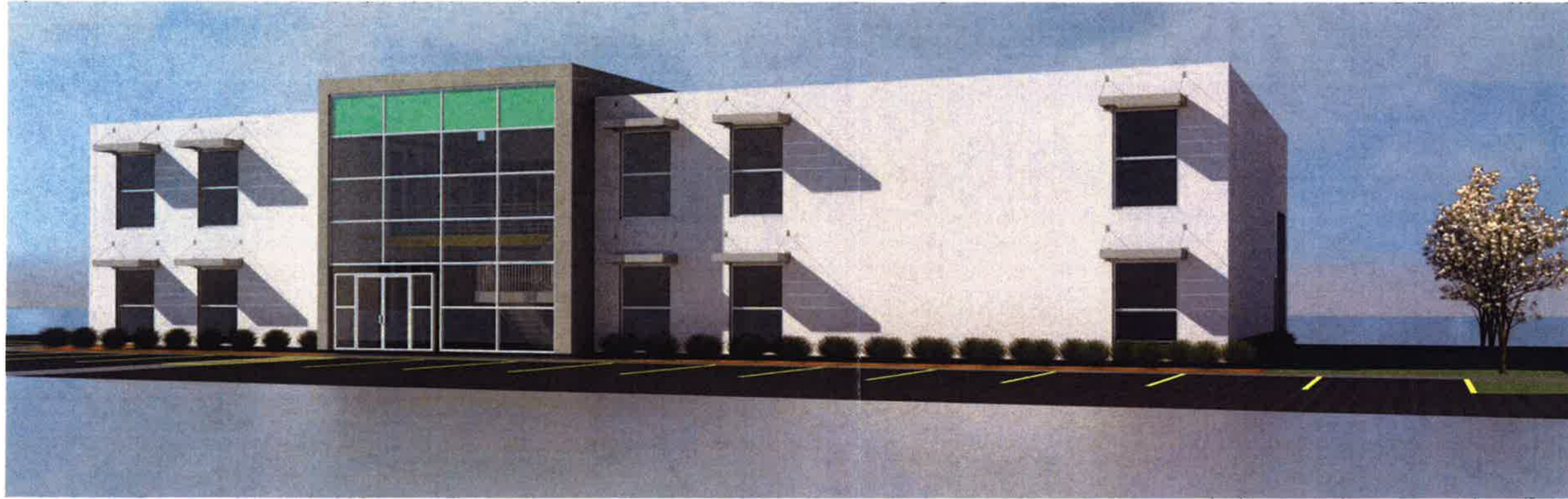




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