



**Project #18-034**  
**Woodmoore Pointe Townhomes**  
**Located at 1800 South 1100 West**

**REPORT SUMMARY...**

*Project Name:* Woodmoore Pointe Townhomes  
*Proponent/Owner:* Sterling Land Holdings LLC / Wesethel, LLC  
*Project Address:* Approximately 1800 South 1100 West  
*Request:* Subdivision & Design Review Permit  
*Current Zoning:* MR-9  
*Date of Hearing:* October 11, 2018  
*Type of Action:* Quasi-Judicial  
*Submitted By:* Russ Holley, Senior Planner

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**RECOMMENDATION**

Staff recommends that the Planning Commission conditionally approve a Subdivision and Design Review Permit for Project #18-034 Woodmoore Pointe Townhomes, for 150 townhome units on individual building lots located at approximately 1800 South 1100 West; TIN #03-005-0003.

*Land use adjoining the subject property*

<i>North:</i>	MR-12 Multi-Family Residential	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	NR-6 Single Family Residential	<i>West:</i>	NR-6 Single Family Residential

***Request***

The proponent is requesting to subdivide and develop 150 townhomes on a 16.69 acre property. The property is currently vacant and fronts both onto 1800 South and 1100 West along the north and east side of the parcel. The generally flat property has a canal that bisects the site along with an area of standing water, currently being considered for wetland mitigation, near the south border. Both 1800 South and 1100 West streets do not have curb, gutter and sidewalk along the property frontage. The property has primarily been used for agricultural and grazing purposes in the past.

***Zoning***

The MR-9 zone is described in the Land Development Code (LDC) as providing transitional areas between higher intensity commercial and lower intensity residential. A variety of housing types and designs are encouraged to promote neighborhood stability and a sense of community. This zone allows townhome structure types and densities are limited to 9 units per acre of land. The LDC 17.08.040 permits residential uses with a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit inside the MR-9 zone.

***Subdivision Permit***

The Land Development Code (LDC) 17.40 requires subdivision permits to be in accordance with zoning district standards to ensure orderly development patterns, block connectivity and to preserve traditional neighborhood character. In the MR-9 zone, building lots are required to be a minimum area of 4,000 SF for single-family detached homes. When subdividing townhomes, the LDC does not require a minimum lot size, only compliance to maximum density. With a subdivision request and the addition of new interior property lines, building setbacks will be reviewed on an individual building lot basis. The applicant is requesting 150 building lots with a reminder open-space property for community amenities and landscaping. The net density of the project is proposed at 8.98 homes per acre of land.

### ***Design Review Permit***

The LDC 17.43 requires Design Review Permit approvals for new multi-family developments to ensure high-quality design and layout. This proposal includes 150 townhomes in a variety of structure sizes. Most of the proposed structures are 4-unit townhome buildings, with a few 6-unit townhome buildings. The MR-9 zone permits townhome structure types as per LDC 17.08.030.

### ***Street Grid Connectivity, Building Orientation & Site Layout***

The LDC 17.30.190 requires that subdivisions with greater than 20 lots have at least three (3) street connections or stubs for future connections. The LDC street connectivity requirement ensures reasonable traffic distribution, very efficient utility network layout, better walkability and the continuation of traditional core neighborhoods with homes placed along tree-lined streets creating blocks. This proposal includes the creation of additional blocks and three (3) street connections, two are made with the extension of 1900 South street to 1100 West street east/west through the property. The third street connection is made with the extension of 1280 West street north/south from 1800 South to 1900 South. A stub currently exists onto the private street inside the mobile home park to the south that may traverse delineated wetland areas. There is vacant land zoned NR-6, located south of this property that will have street connectivity challenges as a result of this project. The Planning Commission will need to determine if additional street connectivity to these areas is important. As conditioned, the project meets street connectivity requirements in the LDC.

The LDC 17.09.040 states that buildings shall be placed near the street and oriented with front facades and primary pedestrian entrances facing the adjacent street or common courtyards unless unique site conditions prohibit it. This requirement enhances the traditional neighborhood character by placing quality architecture features, such as porches and stoops, along the street. This pattern produces better walkability and pedestrian accessibility. Some of the townhomes are proposed with front porches and doors on the front façade facing the street with the garage on the rear façade facing and accessed via a rear alleyway, while others are shown with both the front porch and garage on the front façade facing the adjacent street. Some of the buildings are oriented sideways to the street, with perpendicular alleyway intersections. The side façades, in these cases, do not contain doors or porches. Parking is proposed within the garage and/or adjacent driveway. The proposed overall site layout creates a well-connect street and alleyway network throughout the site. As conditioned with better building orientation to the street and minimum street connectivity, the projects meets the requirements in the LDC.

### ***Building Design***

The LDC 17.09.040 states that front facing garage(s) (measured from door edge to edge), shall not exceed 50% of the total building façade width. MR-9 zones are required to have minimum street-facing façade design variations from adjacent and opposite buildings to enhance neighborhood character and create visual interest (restrict "cookie-cutter" buildings). The LDC identifies eight (8) different categories and requires that at least four (4) out of the eight (8) be noticeably different. The eight (8) categories listed are building color, materials, roofline, height (number of floors), fenestration, architectural style, articulation and porch design. The LDC 17.09.040 limits building length in the MR-9 zone to 150' when adjacent to NR zones and 200' when not located adjacent to NR zones. LDC 17.09.040 states that buildings longer than 100' shall have at least one significant wall break that is 8' deep and 20' feet wide that runs the full height of the building to break up the overall mass of structures.

Of the 150 total townhomes, 44 townhomes are shown as front-facing garages adjacent to streets with a 16' wide garage door on a 25' wide townhome (This equals 64% of the façade width). The remaining 106 townhomes have rear-loading garages (non-street facing) with front porches and facades either facing the adjacent street or landscaped common courtyards. The

façade designs shown the exact same unit type adjacent to one another in several cases, but overall building design compositions vary in all areas but one adjacent to the new 1280 West street near the northwest corner (two all “B” buildings adjacent). The project is shown with 35 townhome buildings containing either 4-units or 6-units. None of the buildings are shown longer than 200’ and the buildings shown adjacent to the NR zoning to the south and west are less than 150’ long. Out of the 35 buildings, 12 are proposed at a length of more than 100’, with the longest shown at 160’. The proposal shows minimal wall breaks along some of the buildings but none at least 8’ deep by 20’ wide. As conditioned significant wall breaks, building design façade variation minimums and garage width maximums, the project complies with the LDC.

### **Setbacks**

The Land Development Code (LDC) requirements for setbacks in the MR-9 zone are as follows (as measured from property lines):

Front:	15’
Side:	8’
Rear:	10’
Canal Bank:	15’

The following setbacks are proposed for the building(s) (as measured from the exterior property lines of the project site):

Front:	0’
Side:	0’
Rear:	0’
Canal Bank:	NA (piped)

As conditioned with each townhome lot being considered and amendment for LDC setback compliance, the project meets minimum setback requirements of the LDC.

### **Lot Coverage**

The LDC 17.10.080 limits lot coverage at a maximum of 70% (building(s) footprint) in the MR-9 zone. The total project site is 16.69 acres (727,016 SF) in size with total proposed building footprints at approximately 157,500 SF, lot coverage would equal 22%, complying with the requirements in the LDC.

### **Pedestrian Circulation**

The LDC 17.30.160 requires pedestrian circulation throughout neighborhood streets and within a project amenity or open space area for walkability and access. Pedestrian circulation should take a visually predominate role with safe, convenient and well-connected sidewalk networks. The site layout generally shows good pedestrian sidewalk connectivity between streets, buildings and amenity areas. The townhomes, with proposed front facing garages, show driveways doubling as sidewalks which could present conflicts when parked vehicles obstruct the path and reduce the visual predominance of pedestrian sidewalks leading to front porches. As conditioned with separate sidewalk connections between buildings, amenities and adjacent streets, the proposed project meets the requirements in the LDC.

### **Parking Stall Requirements**

The LDC 17.31.040 requires two (2) parking stalls per every dwelling unit. The proposal includes a total of 300 parking stalls located within garages. The driveways, if more than 20’ in length from the street or alley edge, can be considered for additional parking. As conditioned with a minimum of 300 parking stalls and driveway setback length, the project meets the parking requirements in the LDC.

### ***Open Space***

The LDC 17.07.090 requires 20% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as native vegetation or landscaped areas, while useable outdoor space is typically decks, patios and other similar amenities. The 16.69-acre (727,016 SF) site would require 145,403 SF of landscaping and 72,701 SF of usable outdoor space for a total of 218,104 SF of open area. The proposal only shows conceptual landscaping and open space areas. As conditioned with minimum open space requirements, the project complies with the LDC.

### ***Landscaping***

The LDC 17.32 requires minimum landscaping for overall visual aesthetics, ecological reasons, visual screening, shading purposes and enhancement of the outdoor experience. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the MR-9 zone. For 16.69 acre, 333 trees and 834 shrubs, flowers and ornamental plants would be required as per the LDC. The proposed project shows only conceptual landscaping with approximate numbers. As conditioned with a detailed landscaping plan meeting minimum plant numbers, the project complies with the LDC.

### ***Lighting***

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0 foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

### ***Staff Summary***

The Planning Commission will need to consider the specific issues associated with this project site, including the street grid layout, wetland areas and adjacent land uses prior to requiring full code compliance. Additional street grid connectivity should be considered, especially where adjacent vacant future growth areas will be limited by this project. Once streets are established, building orientation, alleyway alignment, front-facing garage door width, setbacks and façade variation become interconnected. Staff finds that full code compliance with building orientation may be difficult given the shape of the wetlands and location of the 1280 West intersection near the corner of the project site, but more could be done to better prioritize street-facing building orientation within the site layout. Numerous buildings are oriented sideways to the street and the layout seems to struggle with a design balance between front-facing garage units and alleyway accessed units. Front-facing garage doors on such narrow townhome structures make code compliance with garage width almost impossible and create driveway groupings onto a street that are unsafe and visually dominate, something the code discourages. With townhome structures, wall breaks can be created along unit lines. Open space and amenities, with the exception of the tot-lot area, are scattered into numerous smaller spaces throughout the project. Staff contemplates whether they would be better utilized and more meaningful to the residents if they were consolidated into fewer larger areas? Staff finds that the Planning Commission could utilized discretionary authority given to the decision-making body as per LDC 17.43.080 for limited adjustments to the requirements on this project, but cautions the Commission to thoroughly justify any adjustments with unique findings for overall fairness and consistency for future community development projects.

### **AGENCY AND CITY DEPARTMENT COMMENTS**

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Fire	• Engineering

## **PUBLIC COMMENTS**

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

## **PUBLIC NOTIFICATION**

Legal notices were published in the Herald Journal on 9/30/18, posted on the City's website and the Utah Public Meeting website on 10/4/18 and mailed out to adjacent property owners within 300' on 9/21/18.

## **RECOMMENDED CONDITIONS OF APPROVAL**

*This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.*

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. 150 building lots and remainder open space is approved with this subdivision. The areas labeled as remainder and/or open space shall be listed as non-buildable and only contain landscaping or accessory subdivision amenities.
3. The final plat for the subdivision shall be recorded within one year unless an extension of time is granted as per LDC. The subdivision may be phased as per LDC regulations.
4. Building setbacks shall be reviewed and approved on an individual lot basis and comply with the MR-9 requirements of 15' front yard, 8' side yard, 0' common wall side and 10' rear yard.
5. Townhome buildings within the MR-9 shall have a maximum occupancy of one family or no more than three (3) unrelated people within each dwelling unit.
6. Buildings adjacent to NR zones shall be limited to 150' in length and all buildings shall not exceed 200' in length.
7. A minimum of three street connections shall be provided for neighborhood and street grid connectivity.
8. Buildings placed adjacent to streets shall be oriented with primary entrances and front facades oriented towards the street.
9. Forward-facing garage door widths along street frontages shall not exceed 50% of the overall building width.
10. For every 100' of building length along a street, there shall be one (1) significant wall break that is at least 8' in depth and 20' in width and continue the entire height of the building.
11. No two adjacent buildings shall have the same street facing façade design and must vary at least four (4) out of the eight (8) design categories listed in the LDC 17.09.040.
12. All buildings placed adjacent to streets shall have convenient and delineated sidewalk connecting the building to the street. Pedestrian circulation shall be provided throughout open space and amenity areas of the project.
13. Alleyways do not require sidewalks with the one exception of the central north/south alley aligning with the intersection of 1800 South and Emme Street.
14. A minimum of 2 parking stalls per unit shall be provided. If intended for parking, driveways shall be a minimum of 20' in length.
15. A performance landscaping plan, prepared in accordance with §17.32 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
  - a) Street trees along all adjacent streets provided every thirty (30) feet on center unless otherwise noted by the City Forrester.
  - b) Open Space and Useable Outdoor areas shall total a minimum of 218,104 SF.

- c) A total number 333 trees and 834 shrubs, perennials and grasses shall be provided. 25% of the trees shall be evergreen.
16. All dumpsters shall be placed outside of front setbacks and visually screened or buffered from public streets by using fencing, walls and landscaping. Dumpsters should be placed adjacent to alleyways where possible in accordance with Environmental Department requirements.
  17. Storm-water retention/detention surface ponds or basins shall be positioned outside of the front setback and screen with dense vegetation from street views.
  18. All streets adjacent to or within the development shall be improved to current city standards and specifications.
  19. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
  20. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
  21. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
  22. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
  23. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
    - a. *Environmental—contact 716-9760*
      - Provide approximately 10 to 12 different double front-load dumpster sites.
      - A minimum 60 ft. straight on access to the dumpsters is required.
      - Minimum inside measurement of a double enclosure is 22 ft. wide and 10 ft. deep. No gates required.
      - Place bollards in the back and on the corners to protect the walls.
      - Any distance requiring the trucks to back up over 150 feet will need a turnaround at the end.
    - b. *Water—contact 716-9622*
      - All landscape irrigation connected to Logan City water must have high hazard backflow protection and be tested.
      - All points of use of water must comply with 2015 IPC and Utah amendments during and after construction.
      - Water meter setters must meet current Logan City standards.
    - c. *Engineering – contact 716-9160*
      - City will perform a traffic impact study of development impacts to 1800 South with primary focus at access points to 1800 South from the development. The study will also require a UDOT Level III traffic impact study for the intersection of 1800 South and SR-252 (1000 West). This impact study will be done by the City but will be paid by the developer.
      - 1850/1900 South shall be considered a Minor Collector per Master Plan and shall be a 66 foot right of way.
      - Plat has indicated that there are wetlands per the National Wetland Inventory. Developer shall conduct a wetland delineation of site with US Army Corps approval. Any wetlands in right of way to be deeded to City shall be mitigated as approved by the US Army Corps prior to plat recording.
      - Provide water shares for increased demand to City system for both indoor and outdoor uses per Utah Administrative Code R309-510-7.
      - Storm Water shall be designed and constructed per Logan City Standards. This shall include Low Impact Design features for onsite containment throughout the development for the 90% storm event.

- Provide CC&R's for a Home Owners Association to maintain Storm Water onsite post construction Best Management Practices and all common areas.
- Lane offsets on 1200 West through 1800 South shall not exceed 2'
- All utilities/infrastructure shall be designed and constructed per City Standards
- Geotech report shall be done and provide as a minimum the California Bearing Ratio (CBR) of the road pavement subgrade and the HISTORICAL HIGH-WATER TABLE. The minimum pavement section of all public roads shall be 3"-asphalt, 4" untreated base course, and 12" granular borrow. Pavement section may be greater if in the determination the Geotech Engineer the subgrade CBR dictates a greater pavement section.

*d. Fire – contact 716-9515*

- Install fire apparatus turnarounds on all dead-end roads and driveways longer than 150 feet from a fire apparatus access point, (which is within 150 of all points on buildings as measured by an approved route around the exterior). Provide site plan. IFC 503
- Install all fire apparatus access roads to accommodate the following fire apparatus specifications: Inside turn 17 ft., curb to curb 32 ft., wall to wall 36 ft. Provide CAD drawing indicating two track. IFC 503
- All roads shall be maintained with 20 ft. clear with for emergency apparatus access. Roads without sufficient width to allow parking shall be signed "No Parking". IFC 503
- Install fire hydrants such that all points of buildings, as measured by an approved route around the exterior is within 600 feet of a fire hydrant. Provide site plan. IFC 507
- Provide a completed fire flow water supply analysis. 507

## **RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT**

*The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:*

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the conditioned building design, site layout, materials, landscaping, building orientation, heights and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The Planning Commission did not consider the building adjacent to the street along 1300 East because of the larger setback.
4. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
5. The proposed project provides off-street parking in compliance with the LDC..
6. The project meets the goals and objectives of the MR-20 designation within the Logan General Plan by providing high quality projects designed in way for easy circulation of both pedestrian and vehicles.
7. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
8. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
9. The surrounding streets provide access, utilities and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.





# APPLICATION FOR PROJECT REVIEW

☒ Planning Commission    ☐ Land Use Appeal Board    ☐ Administrative Review **PC 18-034**

Date Received		Received By		Receipt Number		Zone		Application Number	
<input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Code Amendment		<input type="checkbox"/> Conditional Use <input type="checkbox"/> Appeal		<b>Type of Application (Check all that apply):</b> <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Variance		<input type="checkbox"/> Zone Change <input type="checkbox"/> 4950' Design Review		<input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Other _____	
PROJECT NAME Woodmoore Pointe									
PROJECT ADDRESS 1800 South 1100 West, Logan, UT 84321							COUNTY PLAT TAX ID # 03 - 005 - 0003		
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Sterling Land Holdings, LLC Janet / Jeff							MAIN PHONE # 435-752-1480 ext. 2002		
MAILING ADDRESS 50 East 2500 North Ste 101		CITY North Logan		STATE UT		ZIP 84341			
EMAIL ADDRESS janet@visionaryhomes.com									
PROPERTY OWNER OF RECORD (Must be listed) Wesethel, LLC							MAIN PHONE # 925-989-9980		
MAILING ADDRESS 3361 North River Dr.		CITY Eden		STATE UT		ZIP 84310-5008			
EMAIL ADDRESS zollinger512@gmail.com									
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed)  <b>150-unit subdivision (MR-A zone)</b>							Total Lot Size (acres) <b>16.69</b>		
							Size of Proposed New Building (square feet)		
							Number of Proposed New Units/Lots <b>150 Units</b>		
<b>NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL</b>									
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.				Signature of Property Owner's Authorized Agent 					
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.				Signature of Property Owner <b>Richard Zollinger</b>					



# Parcel Map



9/12/2018, 9:56:44 AM



Override 1



State Roads



Cache Parcels

Parcel Tax ID Label



Municipal Boundaries

County Centerline

County Boundary

WOODMORE POINTE SUBDIVISION  
PRELIMINARY PLAT  
SECTION 17, TOWNSHIP 11 NORTH, RANGE 1 EAST



- NOTES**
1. PROPERTY TAX IDENTIFICATION # 01-405-0003
  2. WARRANTY DEED ENT # 1047318, BK # 1675, PG #s: 0413 & 0412
  3. ZONE: MIXED RESIDENTIAL (MR-9)
  4. PROPOSED NUMBER OF BUILDINGS: 150
  5. PROPOSED NUMBER OF PHASES: 8
  6. ALL UTILITIES SHOWN WITHIN THE BOUNDARY ARE PROPOSED.
  7. COMMON AREA (EXCLUDES LOTS): 9.85 ACRES
  8. TOWNHOME LOTS: 150
  9. TOWNHOME TOTAL AREA: 3.63 ACRES
  10. PUBLIC RIGHT-OF-WAY AREA: 2.55 ACRES
  11. ALL COMMON AREAS ARE PUBLIC UTILITY EASEMENTS
  12. BUILDING SETBACKS:
    - 12.1. FRONT: 15'
    - 12.2. CORNER: 15'
    - 12.3. SIDE - COMMON WALL: 0'
    - 12.4. SIDE - NON COMMON WALL: 8'
    - 12.5. REAR: 10'
    - 12.6. CANAL: 15'

- CONTACTS**
1. SUBDIVIDER: VISIONARY HOMES, JEFF JACKSON  
1.1. ADDRESS: 50 EAST 2500 NORTH, NORTH LOGAN, UTAH 84341  
1.2. PHONE #: 435-218-4768
  2. OWNER: WESETHEL, LLC, PAUL HESS  
2.1. ADDRESS: 639 EAST VIA CORTINA, HUNTSVILLE, UTAH 84317  
3. CIVIL ENGINEER: CIVIL SOLUTIONS GROUP, MICHAEL E. TAYLOR, PE  
3.1. LICENSE #: 8243189-2202  
3.2. ADDRESS: 540 WEST GOLF COURSE ROAD, STE B1, PROVIDENCE, UTAH 84332  
3.3. PHONE #: 435-890-4498

**OWNER CERTIFICATE**

I, THE UNDERSIGNED, DO HEREBY AFFIRM THAT I AM THE RECORD OWNER OF THE SUBJECT PROPERTY PROPOSED ON THIS MAP FOR SUBDIVISION, AND I CONSENT TO THE FILING OF THIS PRELIMINARY PLAT MAP.

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

CACHE VALLEY | P: 435.213.3762  
SALT LAKE | P: 801.216.3192  
UTAH VALLEY | P: 801.874.1432  
info@civilsolutionsgroup.net  
www.civilsolutionsgroup.net

**PRELIMINARY PLAT**

WOODMOORE POINTE SUBDIVISION

LOCATION: 1800 SOUTH 1100 WEST, LOGAN, UTAH 84321

PROPERTY OF: WESETHEL, LLC

PREPARED FOR: VISIONARY HOMES

REVISION BLOCK	
NO.	DATE DESCRIPTION

SCALE: 1" = 60'

DATE: 8/24/2018

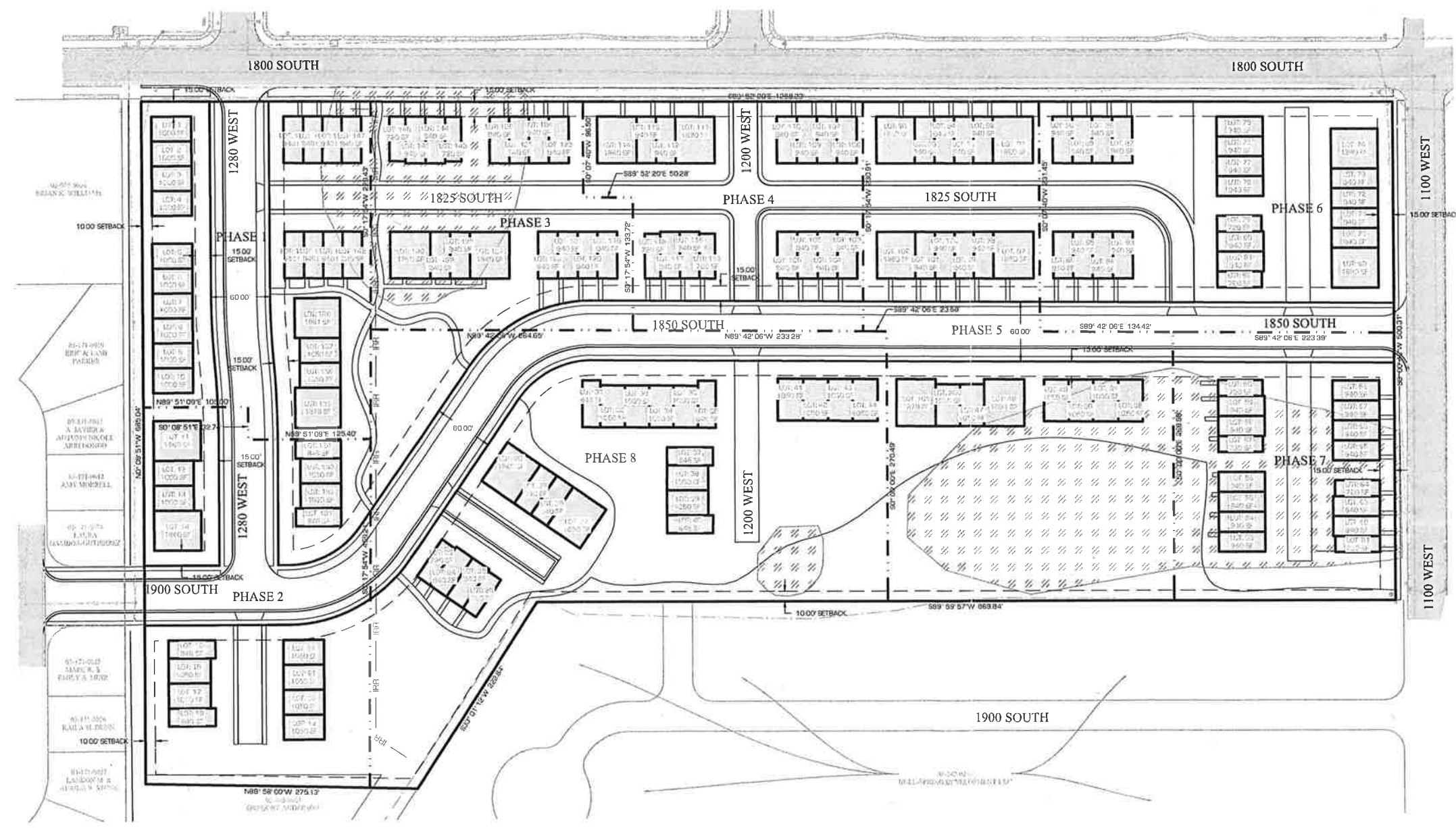
DRAWN BY: C. BOWN

PROJECT #: 18-131

SHEET 1 OF 4



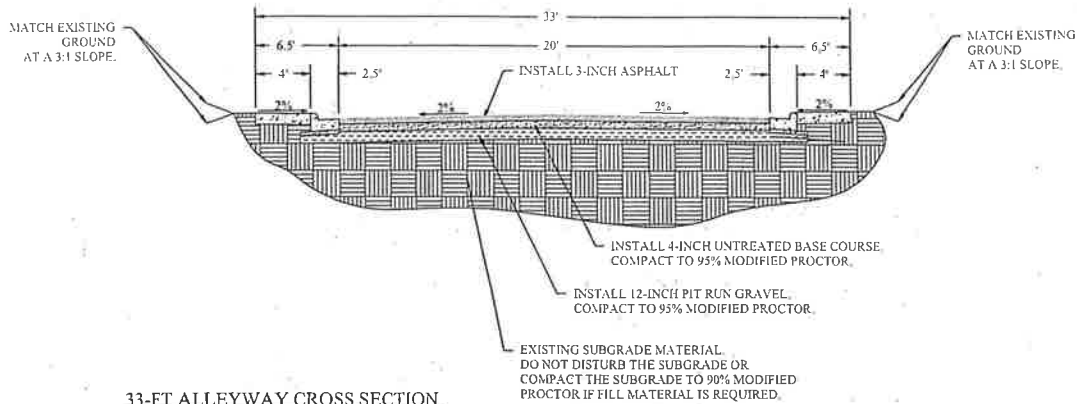
VICINITY MAP  
NTS.



- LEGEND**
- EXISTING WATER LINE
  - EXISTING SEWER LINE
  - EXISTING STORM DRAIN LINE
  - EXISTING FENCELINE
  - EXISTING CONTOUR
  - EXISTING ASPHALT
  - EXISTING CONCRETE
  - EXISTING UTILITY POLE
  - EXISTING FIRE HYDRANT
  - EXISTING SEWER MANHOLE
  - EXISTING DRAIN MANHOLE
  - EXISTING ELECTRICAL BOX
  - EXISTING COMMUNICATIONS BOX
  - EXISTING COMMUNICATIONS PEDESTAL
  - EXISTING WATER METER
  - PROPOSED ASPHALT
  - PROPOSED CONCRETE
  - PROPOSED SANITARY SEWER MANHOLE
  - PROPOSED SEWER LINE
  - PROPOSED WATER LINE
  - PROPOSED STORM DRAIN LINE
  - PROPOSED STORM DRAIN MANHOLE
  - PROPOSED 5'X6' WATER METER VAULT
  - PROPOSED FIRE HYDRANT
  - EXISTING WETLAND AREA PER NWI
  - SETBACK LINE
  - PROPOSED IRRIGATION LINE



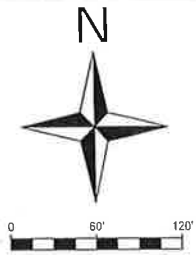
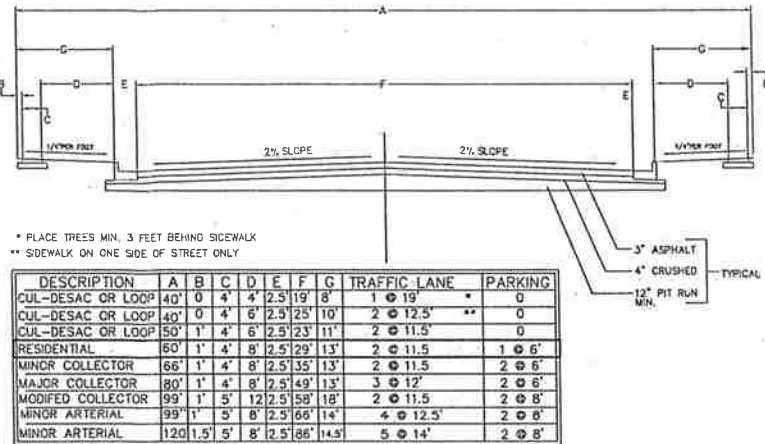
WOODMORE POINTE SUBDIVISION  
PRELIMINARY PLAT  
SECTION 17, TOWNSHIP 11 NORTH, RANGE 1 EAST



33-FT ALLEYWAY CROSS SECTION

- NOTES:
1. CURB SHALL BE 30" STANDARD CURB AND GUTTER.
  2. INSTALL 4" ROAD BASE OR GRAVEL UNDER THE CURB AND EXTEND ROAD BASE AND PIT RUN GRAVEL 1-FOOT BEHIND CURB.
  3. THE CONTRACTOR SHALL COMPACT ALL IMPORTED MATERIAL TO 95% MODIFIED PROCTOR.
  4. THE CONTRACTOR SHALL BUILD THE ROAD ACCORDING TO THE CONSTRUCTION PLAN ELEVATIONS AS PROVIDED BY CONSTRUCTION STAKING METHODS.

TYPICAL STREET X-SECTION  
PLAN NO. 2695



NOTES

1. EACH TOWN HOME BUILDING WILL BE SERVICED BY 1 - 4" SEWER SERVICE.
2. EACH TOWN HOME BUILDING WILL BE SERVICED BY A 2" WATER METER VAULT.
3. STORM WATER
- 3.1. ALL STORM WATER FROM THE SITE WILL BE COLLECTED INTO LARGE STORM WATER DETENTION AREAS LOCATED ON THE SOUTH SIDE OF THE PROPERTY (SEE KEY NOTE 7).
4. WETLAND AREA SHOWN ON THE SOUTH OF THE MAP IS PER NATIONAL WETLAND INVENTORY. ACTUAL WETLAND DELINEATION IS PENDING.

1 SHEET KEY NOTES

1. PROPOSED LOGAN CITY DRIVEWAY APPROACH
2. PROPOSED 8" WATER LINE
3. PROPOSED 8" SANITARY SEWER LINE
4. PROPOSED FIRE HYDRANT
5. PROPOSED 33-FT PRIVATE LANE (PER DETAIL THIS SHEET)
6. PROPOSED 60-FT LOGAN CITY "RESIDENTIAL" STREET CROSS-SECTION (PER DETAIL THIS SHEET)
7. PROPOSED STORM DRAIN DETENTION AREA
8. EXISTING CANAL TO BE PIPED (SEE KEY NOTE 10)
9. PROPOSED PLAYGROUND AREA
10. PROPOSED BURIED CANAL

LEGEND

- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING FENCELINE
- EXISTING CONTOUR
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING SEWER MANHOLE
- EXISTING DRAIN MANHOLE
- EXISTING ELECTRICAL BOX
- EXISTING COMMUNICATIONS BOX
- EXISTING COMMUNICATIONS PEDESTAL
- EXISTING WATER METER
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED 3'X6' WATER METER VAULT
- PROPOSED FIRE HYDRANT
- EXISTING WETLAND AREA PER NWI
- SETBACK LINE
- PROPOSED IRRIGATION LINE

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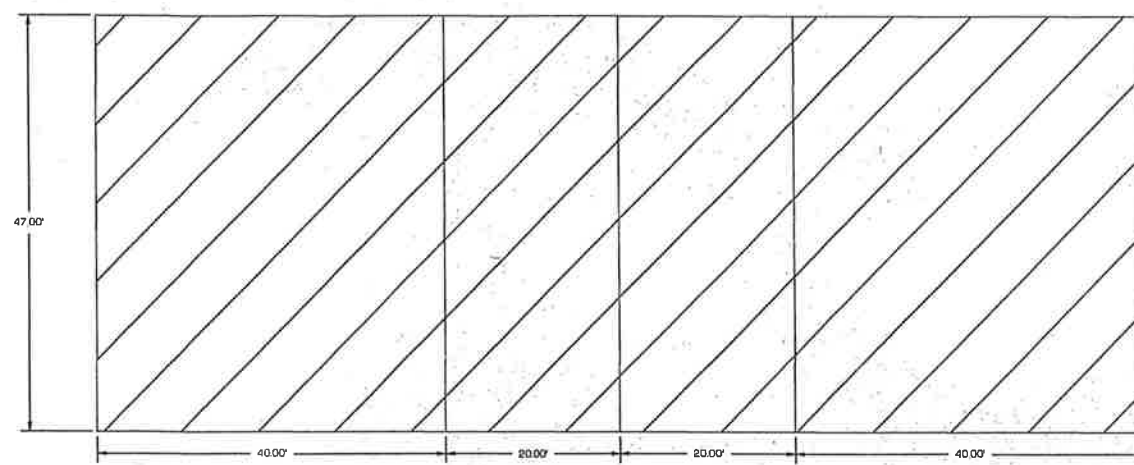
PRELIMINARY PLAT

WOODMOORE POINTE SUBDIVISION  
LOCATION: 1800 SOUTH 1100 WEST, LOGAN, UTAH 84321  
PROPERTY OF: WESETHEL, LLC  
PREPARED FOR: VISIONARY HOMES

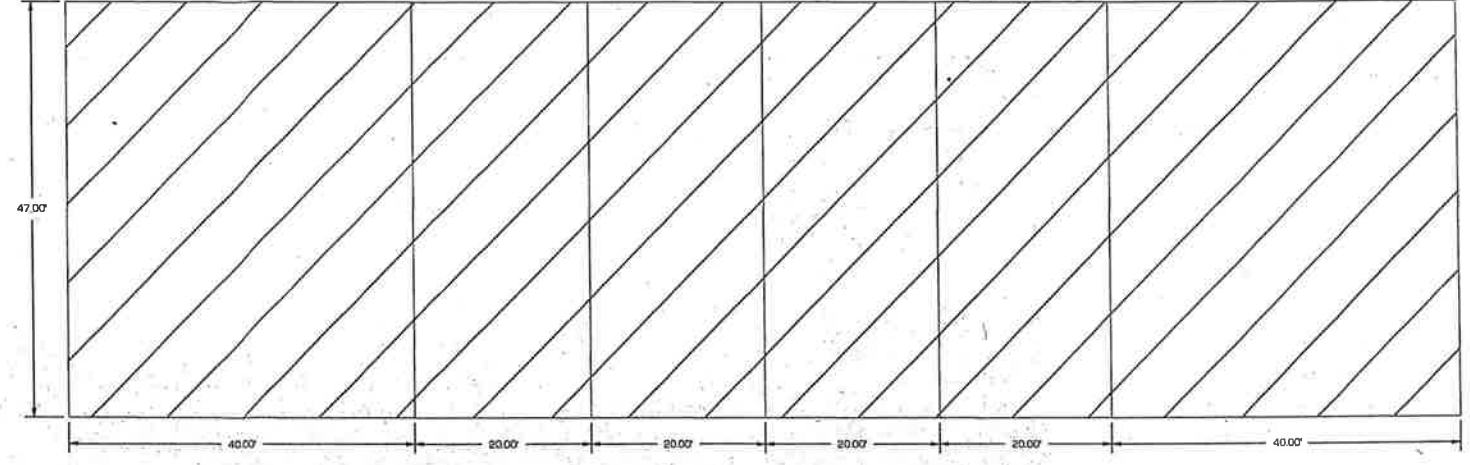
REVISION BLOCK	NO.	DATE	DESCRIPTION

SCALE: 1" = 60'		DRAWN BY: C. BOWN	
DATE: 9/23/2018		PROJECT #: 18-131	

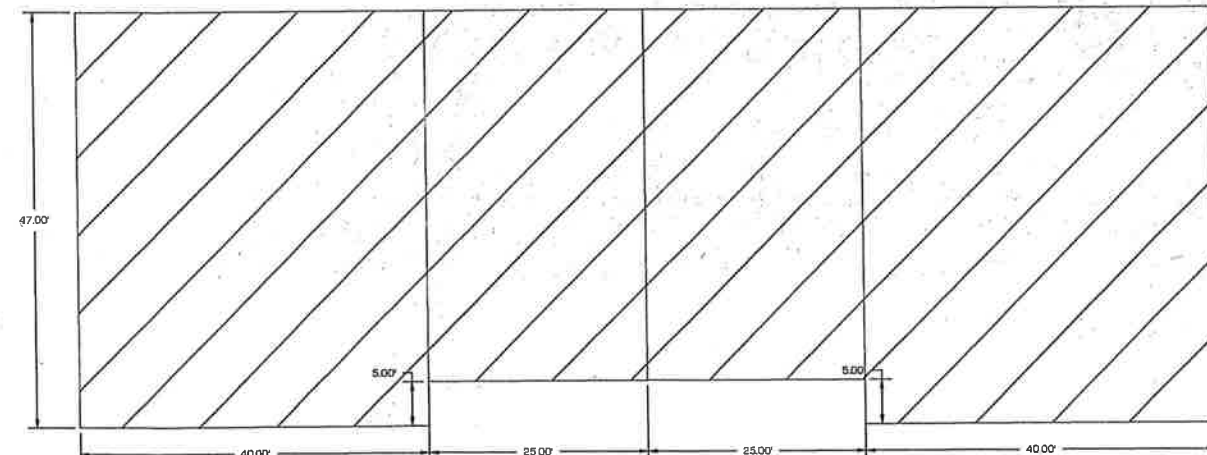
WOODMORE POINTE SUBDIVISION  
PRELIMINARY PLAT  
SECTION 17, TOWNSHIP 11 NORTH, RANGE 1 EAST



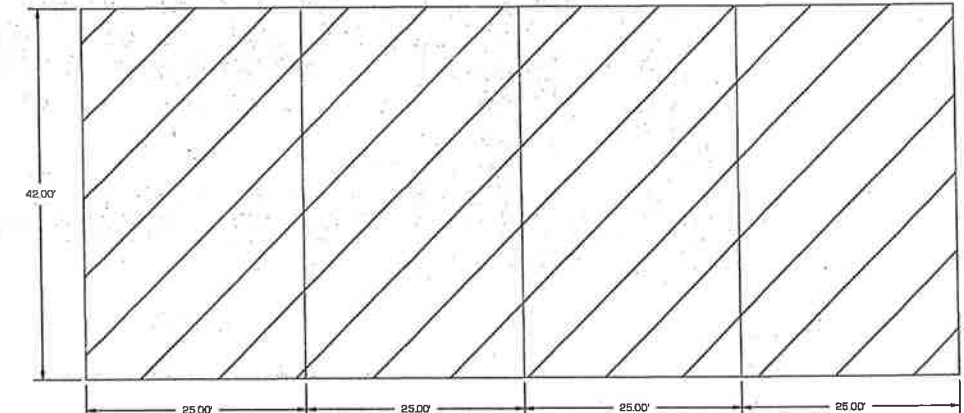
ECCE BUILDING



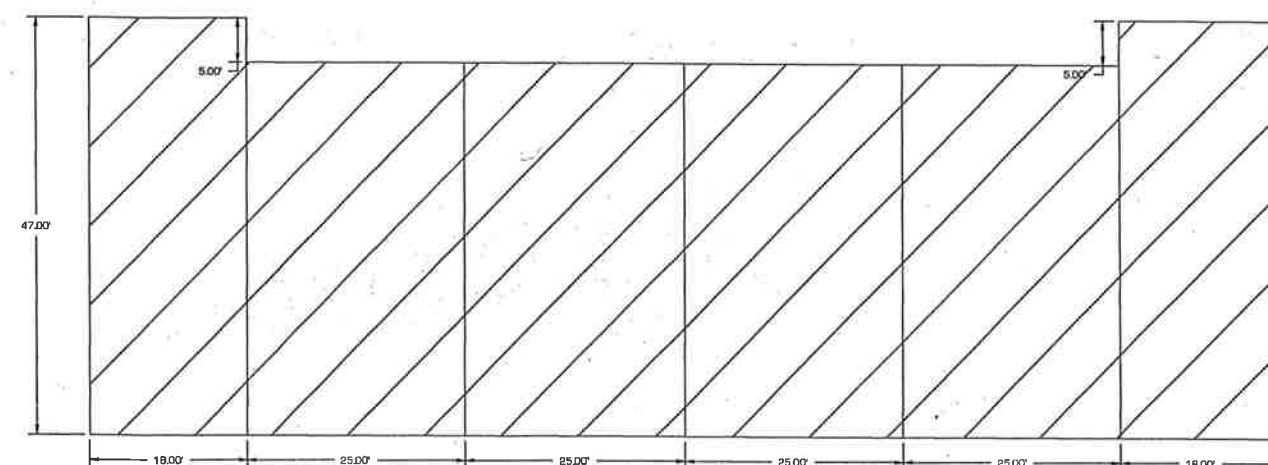
D-A-A-D BUILDING



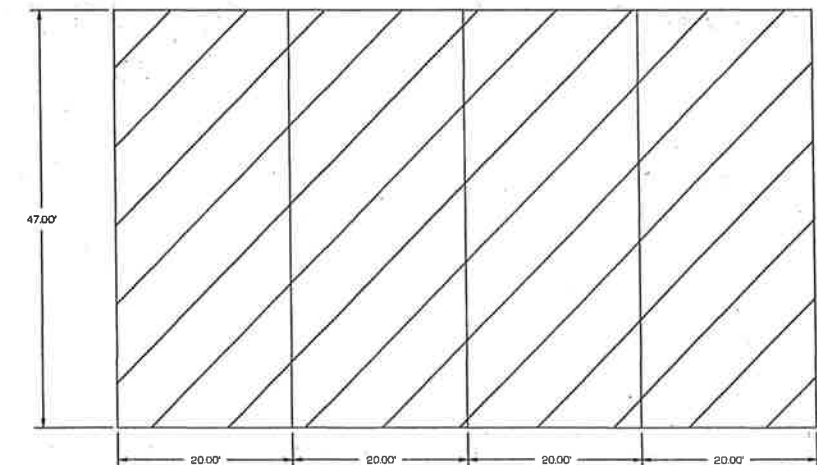
F-A-A-F BUILDING



A-A-A-A BUILDING



D-A-A-A-D BUILDING



C-C-C-C BUILDING

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PRELIMINARY PLAT

WOODMOORE POINTE SUBDIVISION  
LOCATION: 1800 SOUTH 1100 WEST, LOGAN, UTAH 84321  
PROPERTY OF: WESETHEL, LLC  
PREPARED FOR: VISIONARY HOMES

REVISION BLOCK	NO.	DATE	DESCRIPTION



SCALE: 1" = 60'	DRAWN BY: C-BOWN
DATE: 8/24/2018	PROJECT #: 18-131



SCALE: 1"=50'

1800 SOUTH

1100 WEST

WETLAND  
BOUNDARY

On-site Landscape		
	Required	Provided
Site (acres)	na	1
Site Trees	320	32
Site Shrubs	800	*80

\*Planting beds to have a minimum of 800 shrubs (shrubs not shown on plan) with 25% min evergreen.



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VISIONARY HOMES  
WOODMOORE POINTE  
LOGAN, UT  
LANDSCAPE SCHEMATIC PLAN

[illegible]


PROJECT #: 18-131  
REVIEWER: J. HENDRICKSON  
PROJECT MANAGER:  
DESIGNED BY: J. HENDRICKSON  
ISSUED: 09.11.18

LANDSCAPE  
SCHEMATIC

SHEET 1 OF 1



## SECTION 17, TOWNSHIP 11 NORTH, RANGE 1 EAST

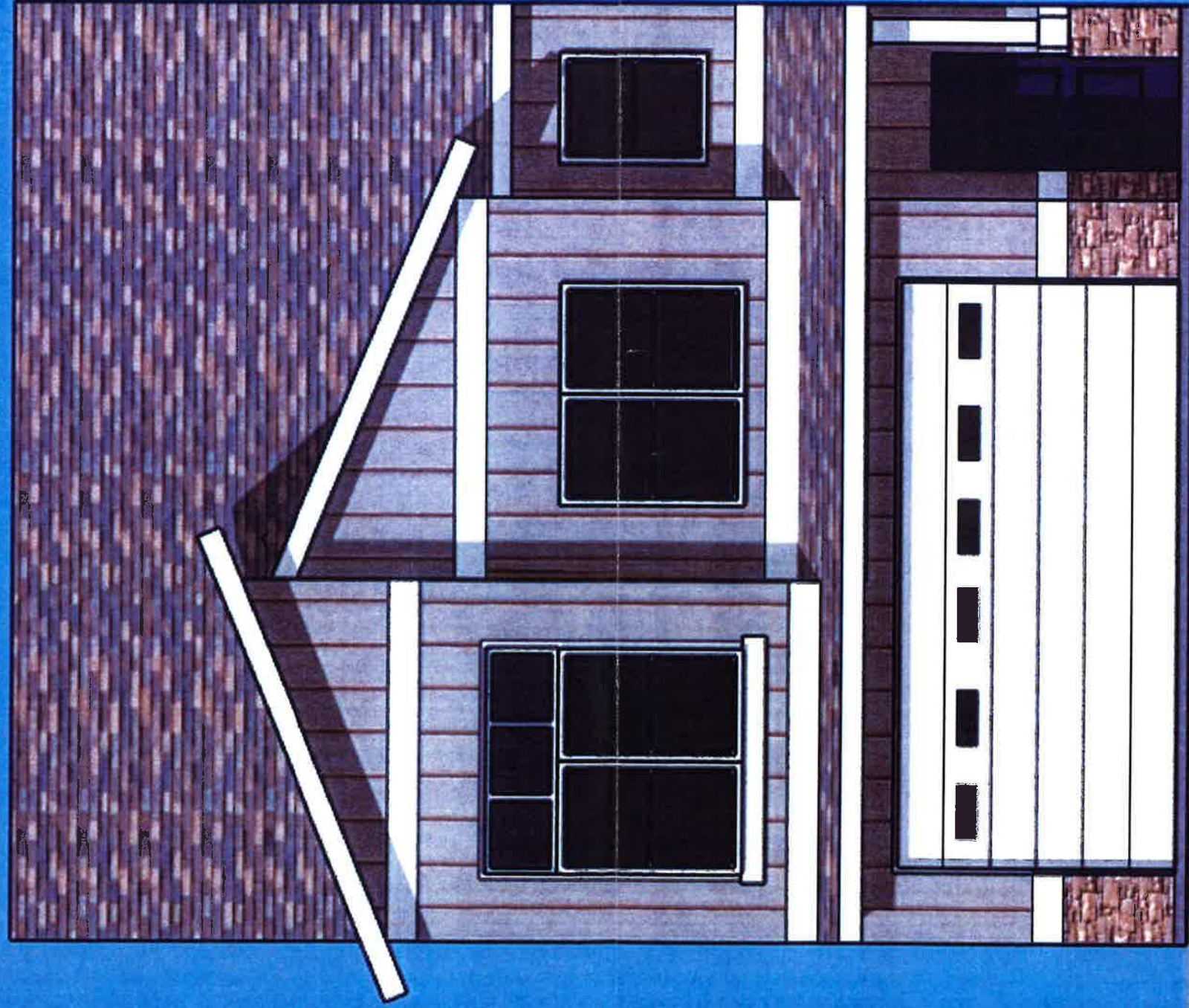


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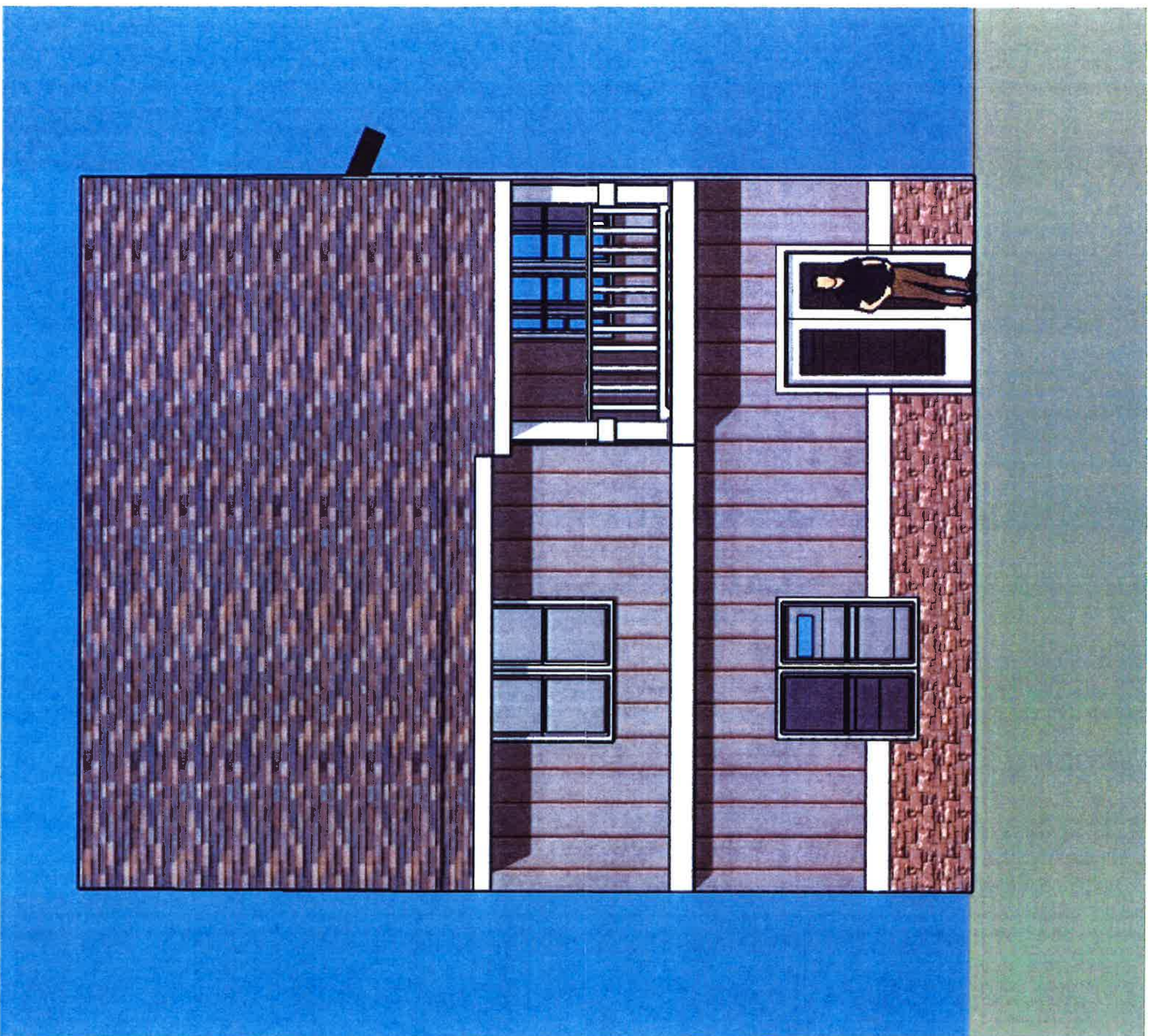
SCALE: 1" = 60'	DRAWN BY: C.BOWN
DATE: 8/24/2018	PROJECT #: 18-131



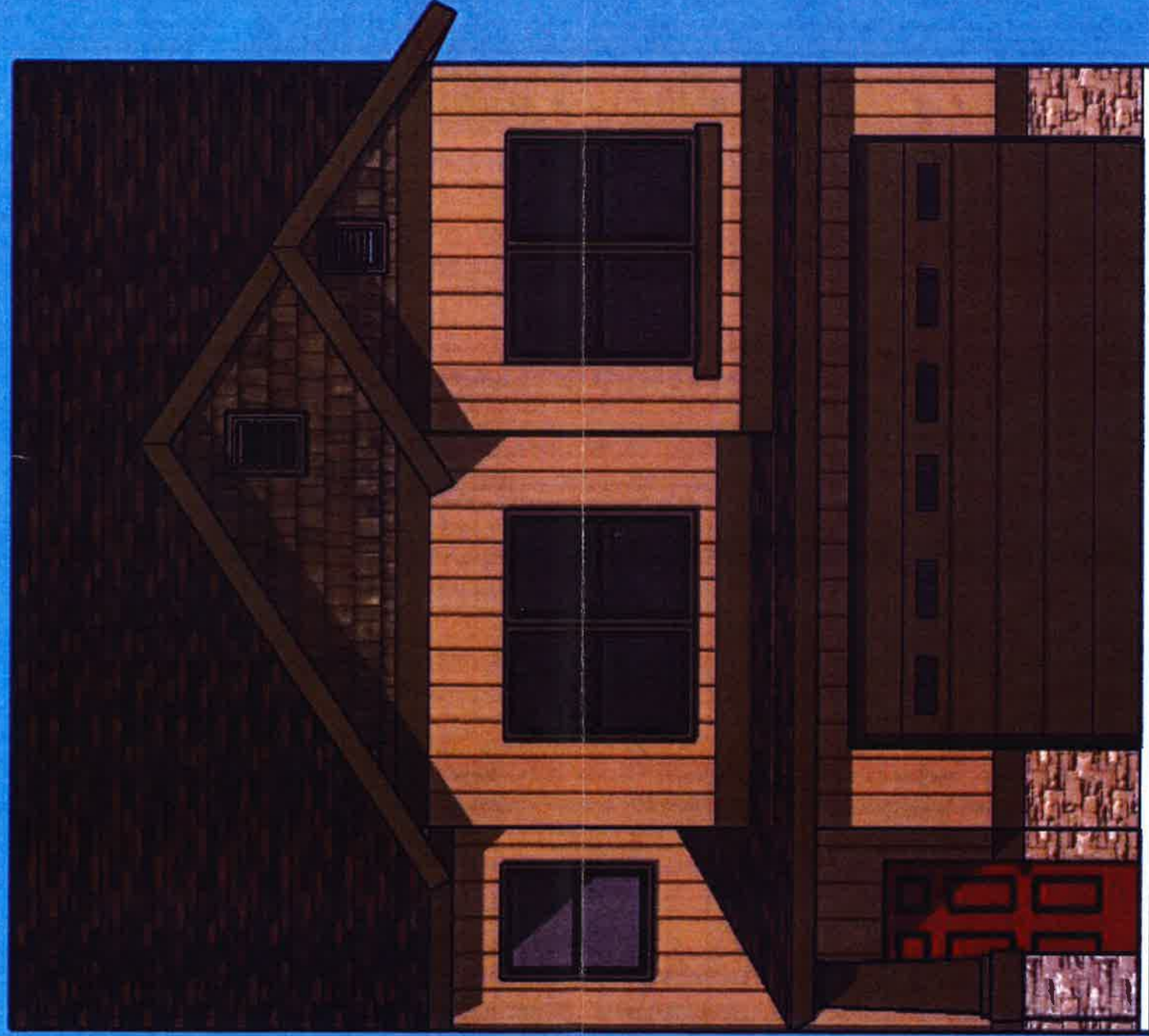


PLAN A



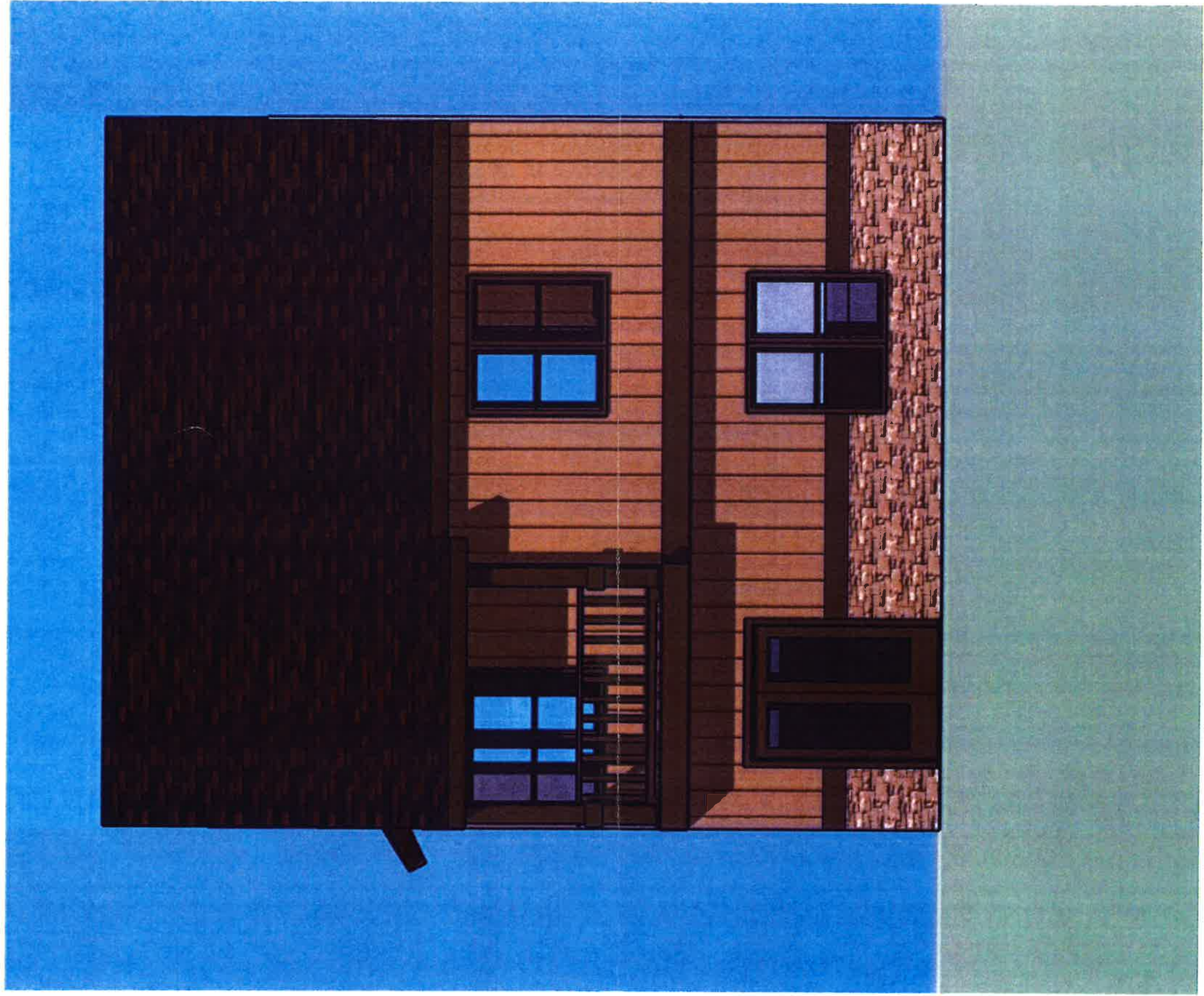




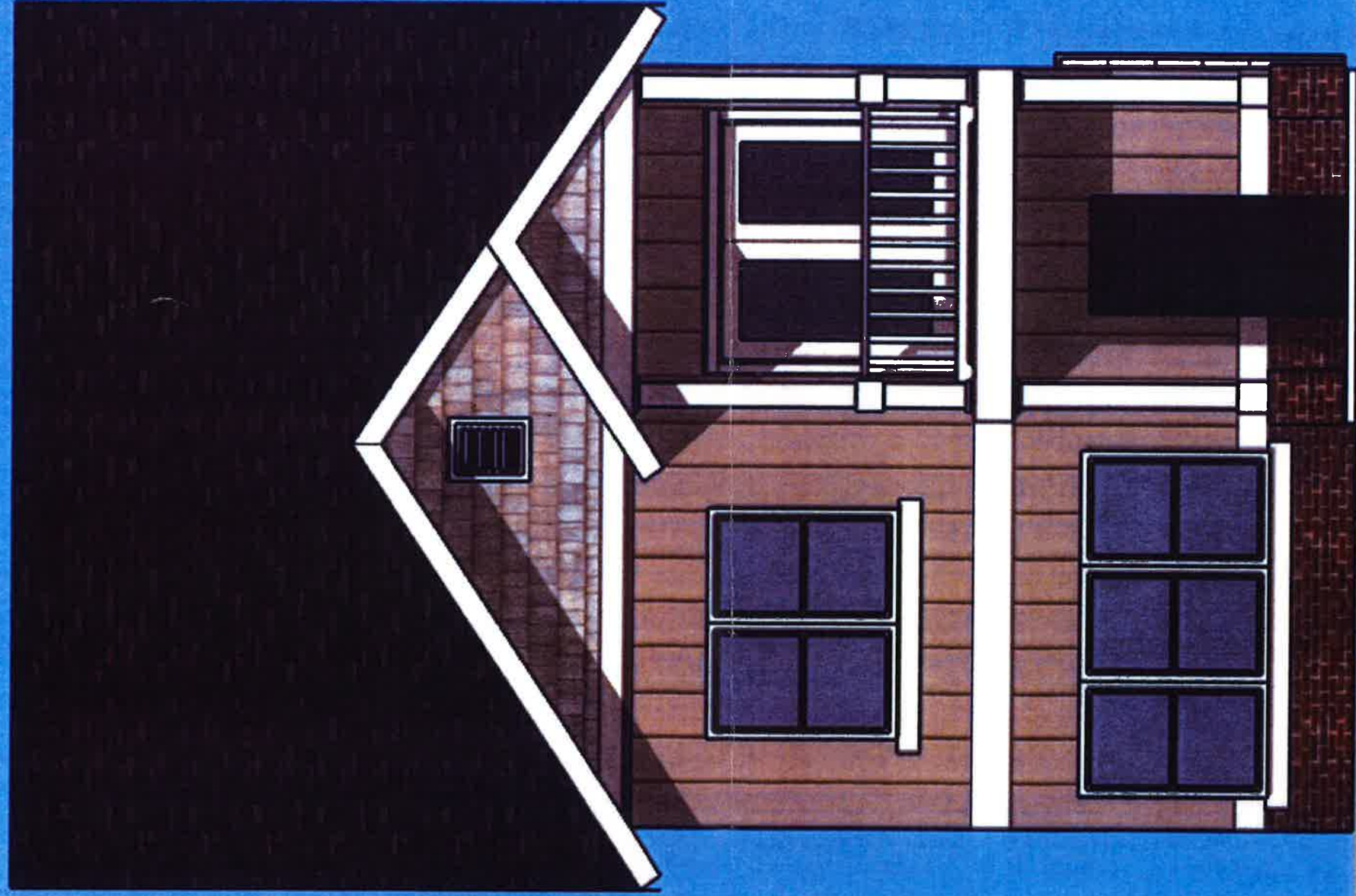


PLAN B



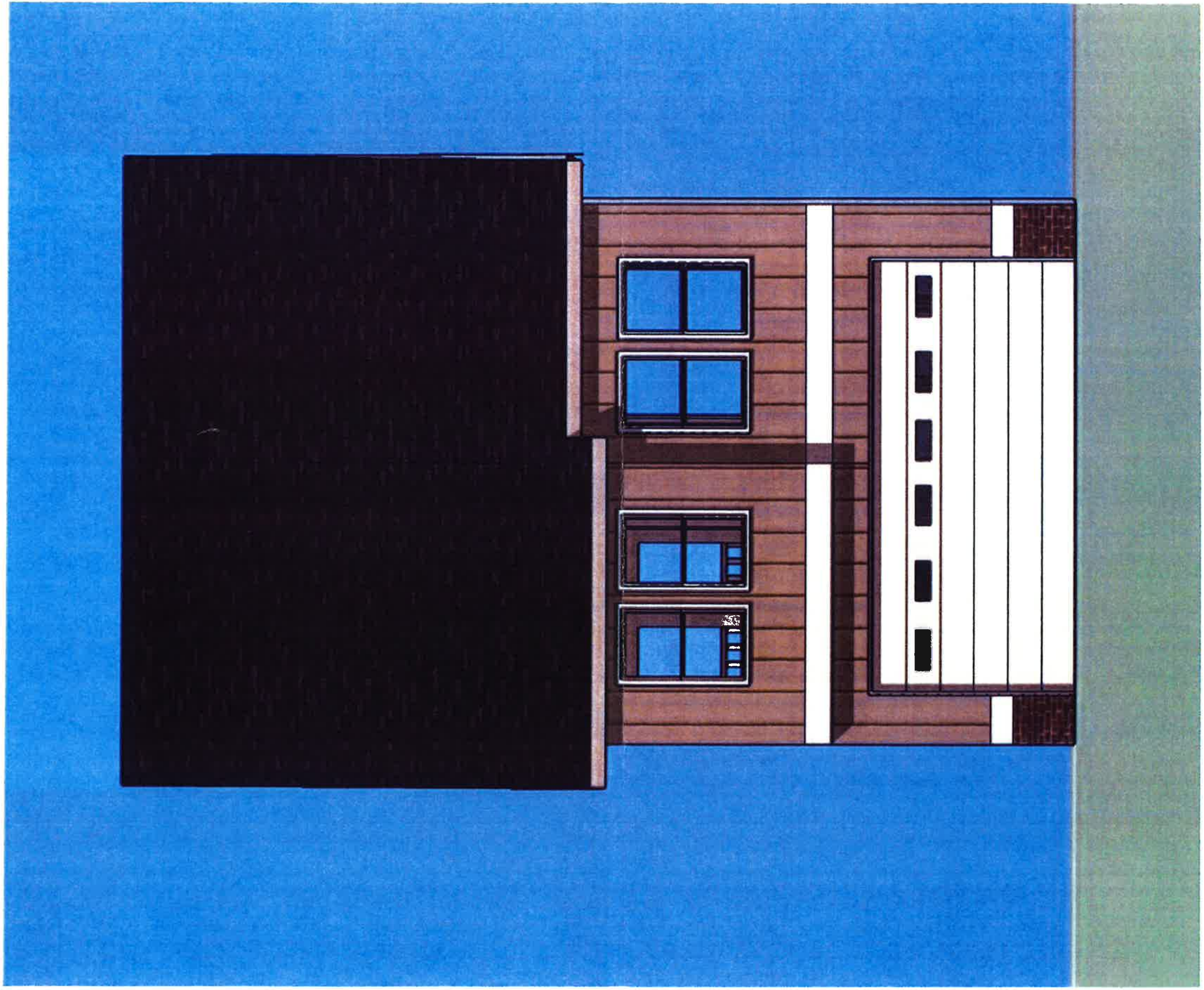




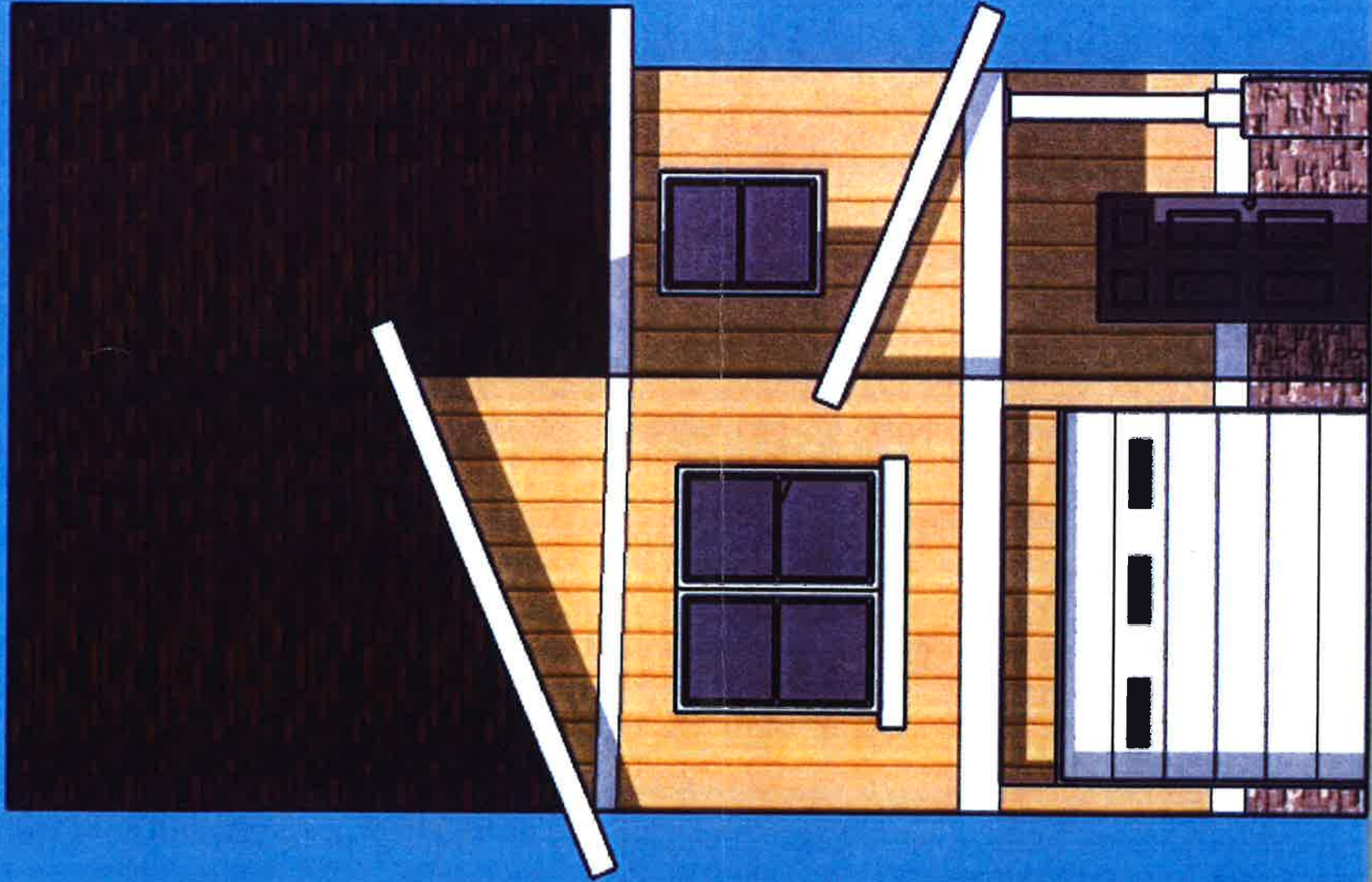


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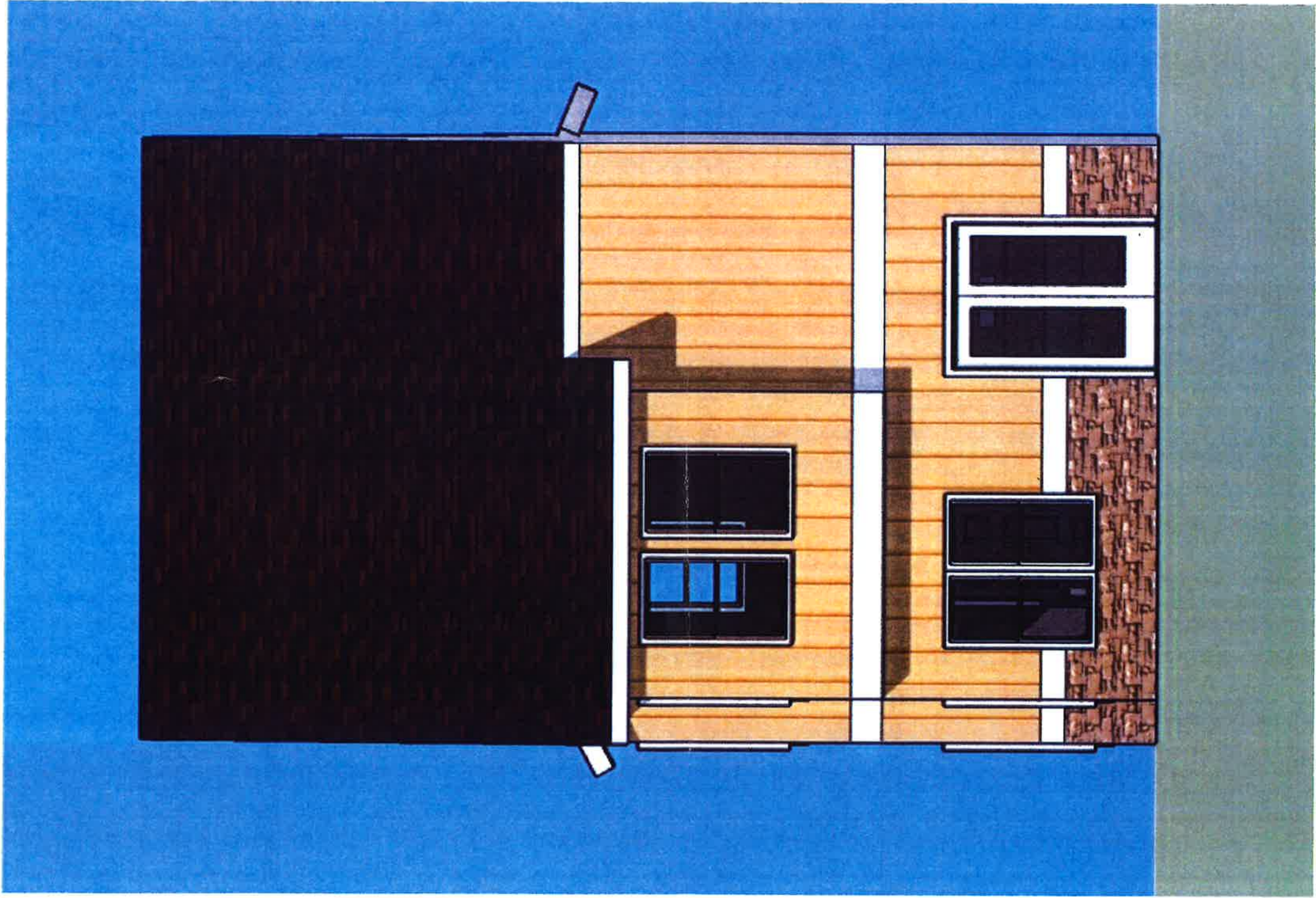




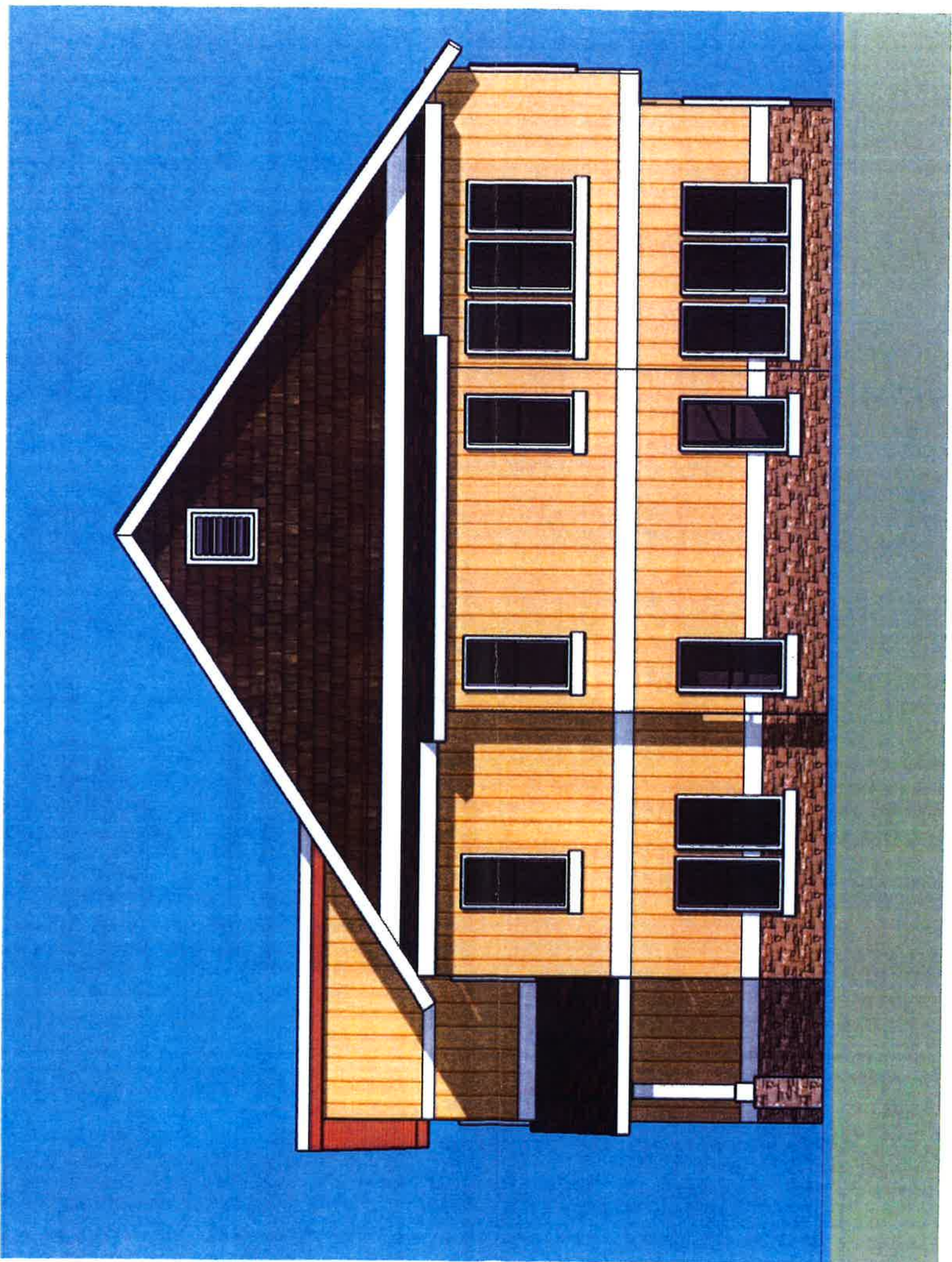


PLAN D

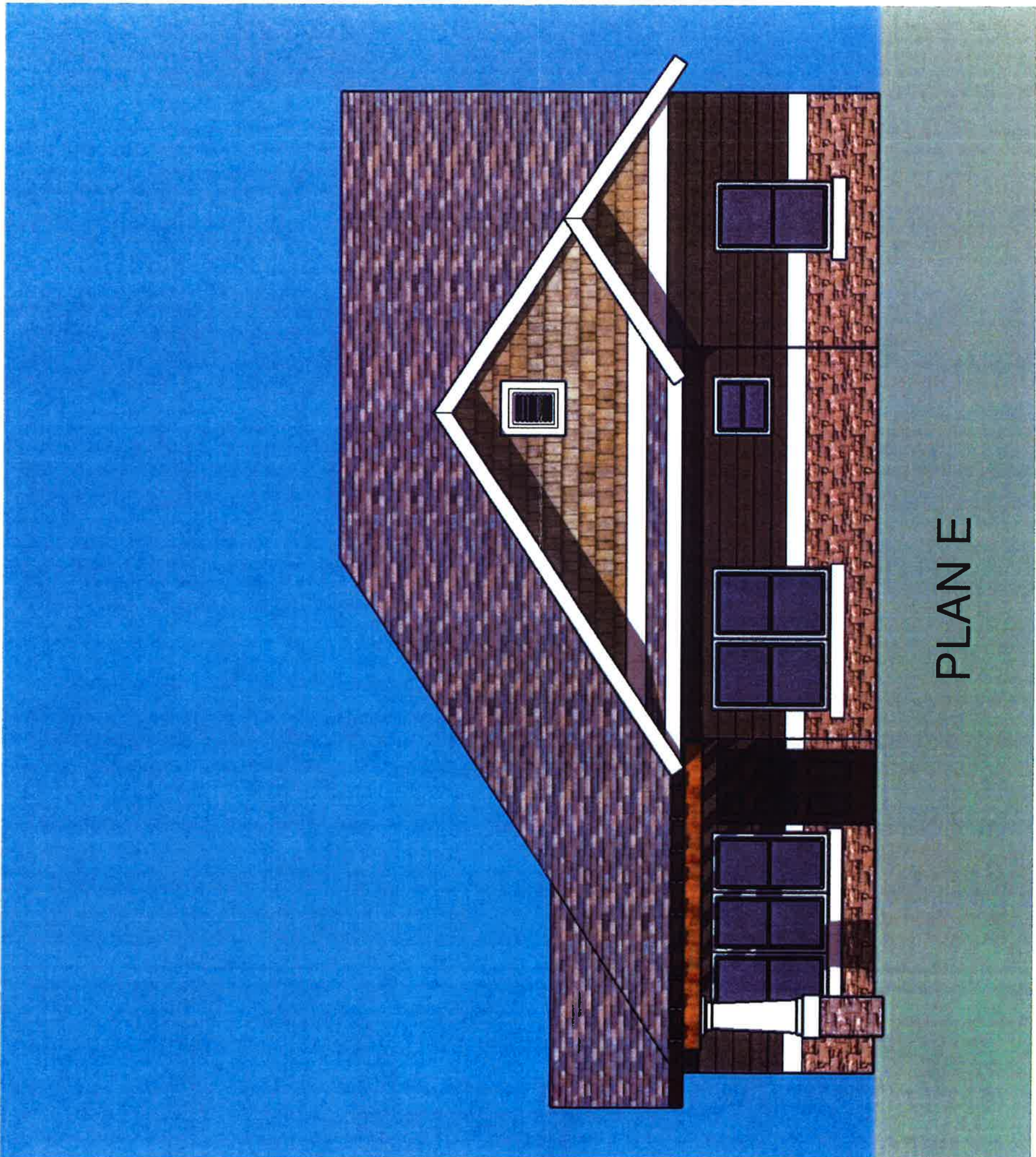




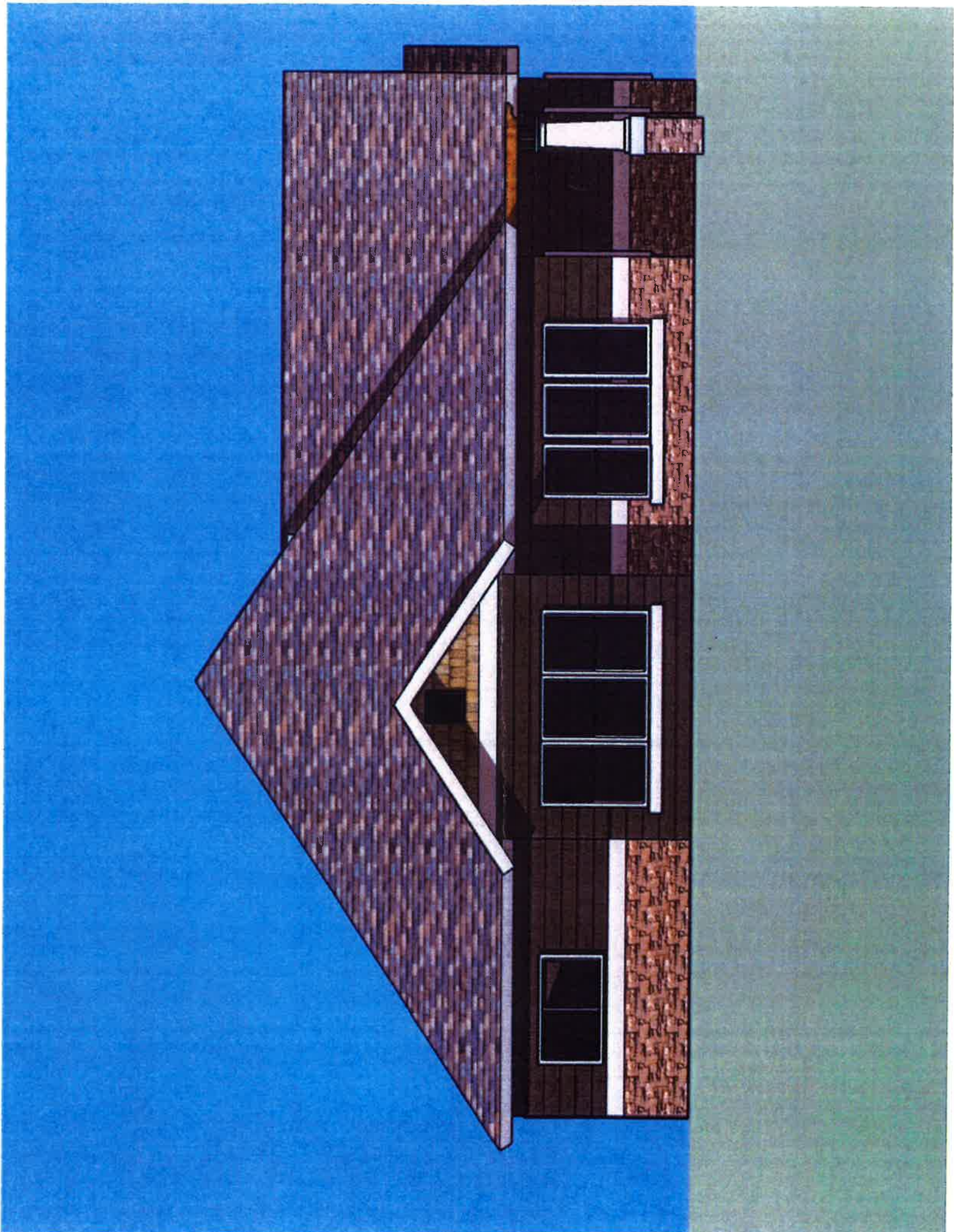




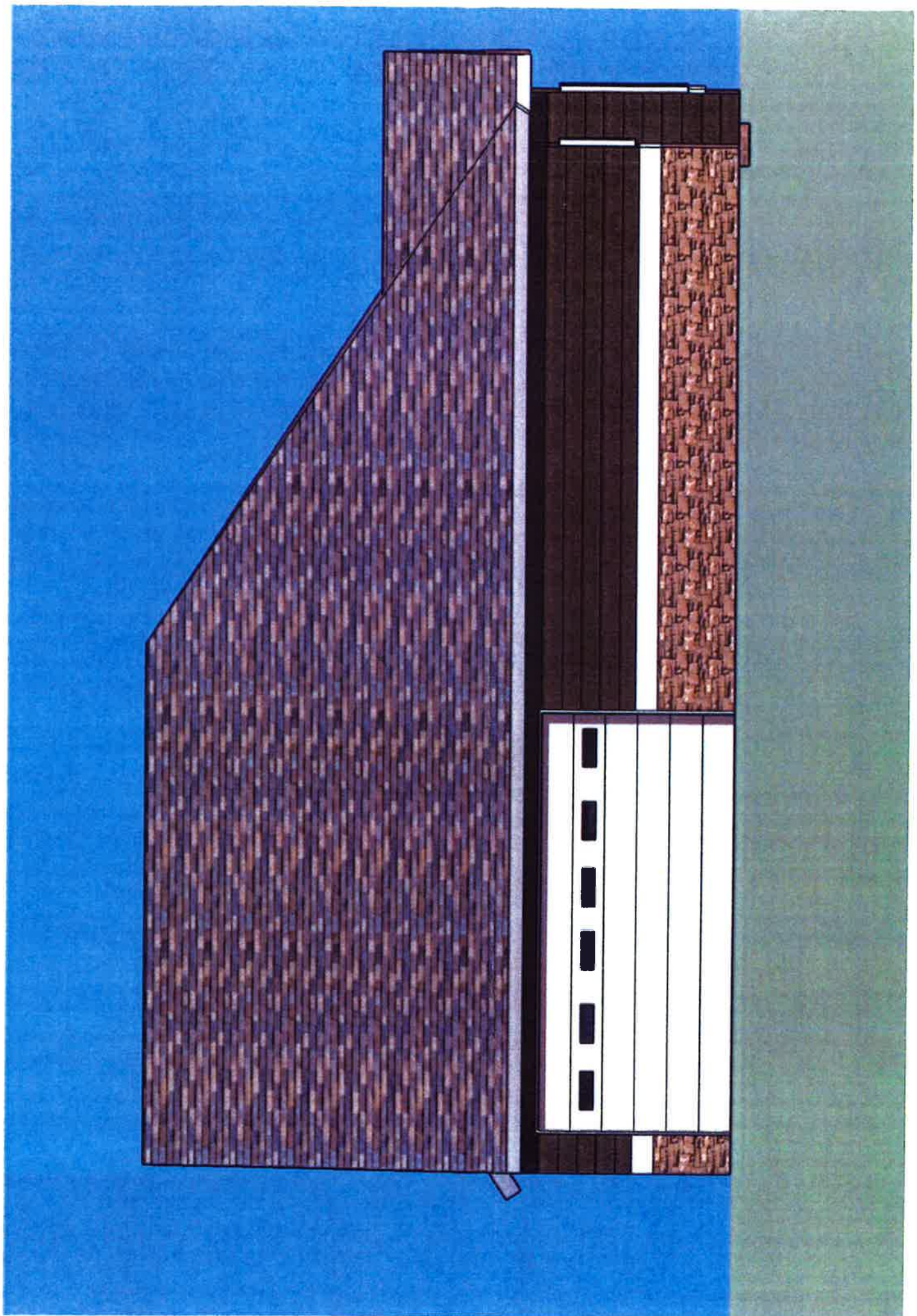




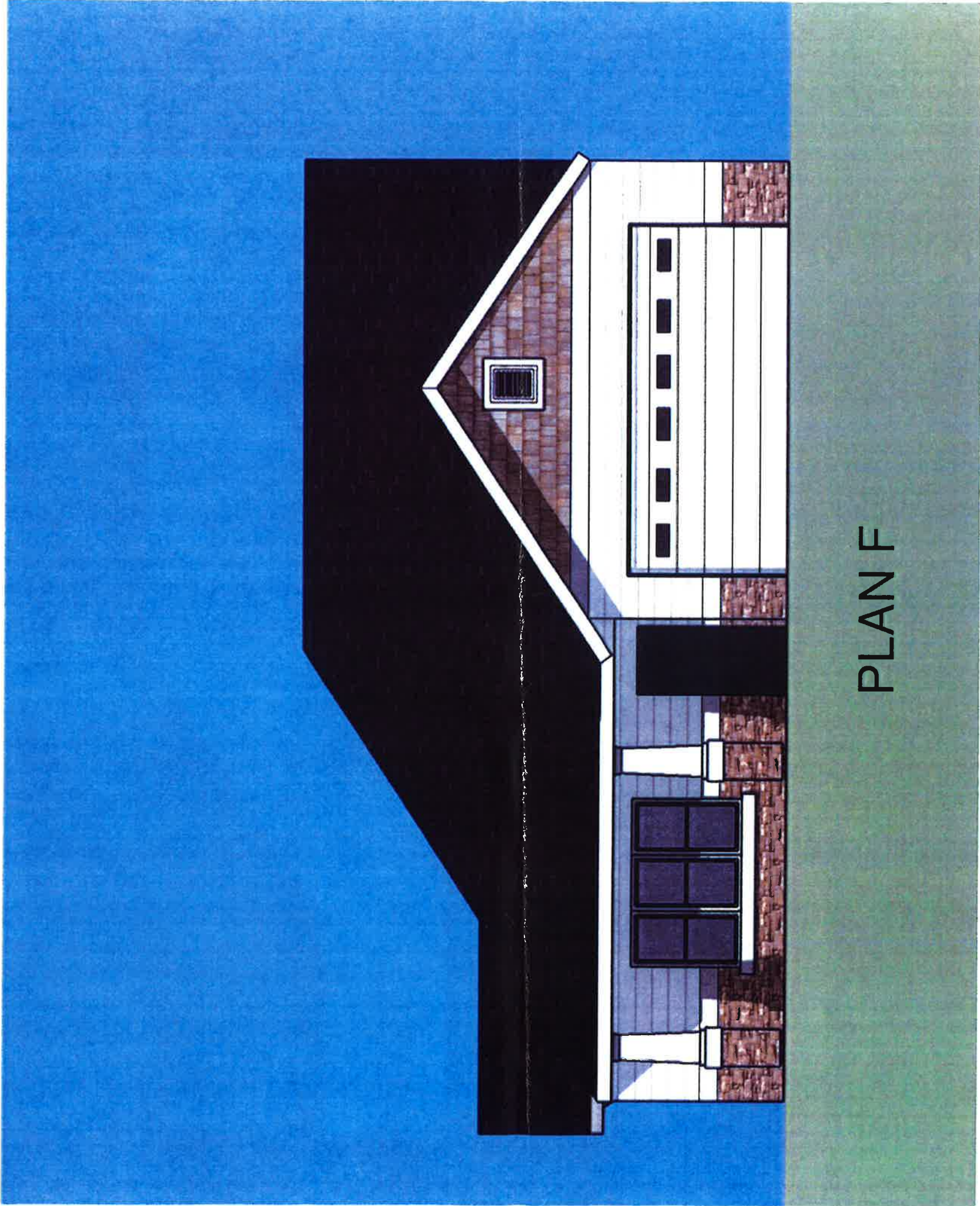












PLAN F



