



Project #18-002
Juniper Systems West Addition
Located at 1132 West 1700 North

REPORT SUMMARY...

Project Name: Juniper Systems West Addition
Proponent / Owner: Mike Stettler, Stettler Construction / Juniper Systems Inc
Project Address: 1132 West 1700 North
Request: Design Review Permit
Current Zoning: Industrial Park (IP)
Type of Action: Quasi-Judicial
Date of Hearing: January 11, 2018
Submitted By: Amber Pollan, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **conditionally approve** a Design Review Permit for Project #18-002, Juniper Systems West Addition, to construct a new 52,390 sf addition to the west side of the existing building on 10.89 acres located at 1132 West 1700 North in the Industrial Park (IP) zone; TIN 04-154-0003, 04-154-0004.

Current Land Use adjoining the subject property

<i>North:</i>	IP: Industrial uses, 1700 North	<i>East:</i>	IP: Industrial uses
<i>South:</i>	IP: undeveloped property	<i>West:</i>	IP: undeveloped property, 1200 West

PROPOSAL

The proposal includes the construction of a 52,390 SF addition to the existing Juniper Systems office and manufacturing facility. The addition includes a two-story office area with storage, employee break areas, a manufacturing space and development of new landscaping, storm water retention area, and parking. The Land Development Code (LDC) table §17.17.030 permits a manufacturing of goods in the IP zoning district and the project already received a Conditional Use Permit in 2003 for office use with the original construction.

LOGAN CITY GENERAL PLAN

The Future Land Use Plan (FLUP) identifies the area as Industrial Park (IP). Section 3.11 of the Logan General Plan describes the Industrial Park area as intended for employment and production uses with related offices, services, and storage. The developments should have large well-designed buildings, attractive landscaping, and buffer any negative impacts such as noise, storage, or heavy equipment. This site has been developed in accordance with the Industrial Park guidelines and this addition is also appropriate to the IP designation.

SITE DESIGN

Site Layout and Lot Coverage

The Industrial Park zone design standards are intended to provide for buildings with easily discernible entrances, utility areas to be screened, and the building to be designed to be compatible with the area with variety in forms and elevations. The existing building is oriented to 1700 North and the proposal adds a prominent entry feature. A small parking area is added to the front to access the public entry. Parking areas in front of buildings are permitted in the IP zone. The addition is located on an adjacent lot to the west which will necessitate the combining of the lots. The full Juniper Systems property will have a total of 10.89 acres in size. The LDC 17.19.120 establishes a maximum lot coverage of 50% building(s) footprint. The existing and proposed building footprint is 80,154 SF, which is a lot coverage of approximately 17% of the site and complies with allowances in the LDC.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the IP zone are as follows (as measured from property lines):

Front:	20' (min)
Corner:	20' (min)
Side:	20' (min)
Rear:	10' (min)
Parking:	30' (min)

The following setbacks are proposed (as measured from the exterior property lines of the project site, at closest points):

Front (1700 North):	75'
Corner (1200 West):	165'
Side (E of existing bldg):	163'
Rear (S):	400'
Parking:	43'

As proposed, the project is compliant with setbacks.

Vehicle and Pedestrian Access & Circulation

The site has an existing vehicle access from 1700 North to the parking and delivery area of the site. The proposed developed will add an access 150' from the intersection of 1200 West and 1700 North which will loop through the site to allow for additional receiving docks and emergency services to access the entire site. A pedestrian access is provided around the building and a sidewalk will be added from the main entrance to the public sidewalk.

Open Space & Landscaping

The LDC 17.19.120 requires 10% open space and an additional 10% useable outdoor space. Generally, open space consists of landscaping (plant material) and usable outdoor space consists of decks, patios and other similar outdoor improvements. The full property is 10.89 acres or 474,196 SF which would require a minimum of 47,420 SF of landscaping and outdoor space for a total of 94,840 SF open space to be provided. The proposed project indicates approximately 67,876 SF of developed landscaping and 189,183 SF of wetlands, which is 53.7% of the site and meets the LDC requirement as submitted. Staff recommends a condition for a Performance Landscaping Plan to be submitted with the building permit, which will include the required number of tree and shrub plantings.

Parking Placement and Ratios

The site has an existing parking area with 139 stalls that serves the existing building. The parking area is being expanded with 60 more stalls and a parking area in front of the building addition provided with 12 stalls. There is a total of 211 stalls proposed on site. The applicant provided a summary of the parking needs for the site in the packet. Between the existing and new office space there is 47,680 SF of office area which requires one stall per 300 SF. This is a parking requirement of 159 stalls. There is manufacturing space in the existing building and an additional 19,474 SF of area being added. The largest shift of employees for the manufacturing areas will be 50 people. The applicant is proposing one stall per employee on the largest shift, or 50 stalls to meet the manufacturing parking requirement. This is a requirement of a total of 209 stalls with 211 stalls being provided. Bike parking is not required for a manufacturing use. As proposed with a minimum of 209 parking stalls, the site meets the parking requirements of the LDC.

BUILDING DESIGN

Building Height & Elevations

The LDC 17.19.070 limits building height in the IP zone to 48 feet. The building has a maximum building height of 29'. The elevations generally provide variation by windows, openings, and changes in color and material.

In the IP zone, blank wall lengths of 40' are prohibited. Breaks are provided by windows, changes in materials, and wall modulation. The LDC also requires a minimum of 30% transparency/fenestration on street-facing, ground-floor facades. The ground floor north elevation facing 1700 North is at approximately 70% transparency (windows). The west elevation facing 1200 West is at 22% transparency with windows and doors. The west elevation includes manufacturing space which limits the extent that windows can be used. This elevation

is also 165' from 1200 West and much of that space will be undeveloped wetlands. Due to the distance from 1200 West and needs of the manufacturing space, Staff recommends the use of landscaping along the drive area between the building and 1200 West to soften the building façade.

Materials

The LDC 17.18.060 states that building materials should be compatible with the architectural style and design of the building and that a mix of materials should be used on all visible building elevations. The proposed building materials include masonry with CMU block with various finishes and colors. The block creates horizontal bands and variety. It will match the existing building. As proposed, the project meets the building material requirements of the Land Development Code.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Engineering/Public Works	• Business Licensing
• Light and Power	• Fire
• Environmental	• Building Safety
• Water/Cross Connection	• City Forester

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on December 31, 2017, and the Utah Public Meeting website on January 2, 2018. Public notices were mailed to all property owners within 300 feet of the project site on December 22, 2017.

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. Pedestrian walkways will connect the entrances to the public sidewalk.
3. A performance landscaping plan, prepared in accordance with §17.39 of the LDC, shall be submitted for approval to the Community Development Department prior to the issuance of the building permit. The plan shall include the following:
 - a) Open Space and Useable Outdoor areas shall total a minimum of 94,840 SF or 20% of the developed site area.
 - b) A total minimum number of 20 trees and 50 shrubs, perennials and grasses shall be provided per acre of newly developed property.
 - c) Shrubs, grasses and perennials shall be planted around storm water, garbage dumpsters and parking areas to visually screen these utilitarian areas from public view.
 - d) Varieties and sizes of all plant material shall be specified on the plan and plant quantities shall be per LDC §17.39.050 and include a minimum of 25% evergreen varieties for year-round visual interest.
4. Landscaping elements to be added along the drive on the west side of the building to soften the elevation and provide additional interest.
5. A Boundary Line Adjustment is required to be submitted and approved by the Public Works Department to combine the lots for development.
6. Weather protection required for ground floor entrances.

7. All dumpsters and mechanical equipment shall be visually screened or buffered from public streets by either the use of landscaping, fencing or walls.
8. Exterior lighting shall be concealed source, down-cast and reviewed and approved prior to the issuance of a building permit and shall comply with current LDC regulations.
9. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
10. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
11. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Fire – Contact 435-716-9515*
 - i. May require fire sprinklers and fire alarms depending on building use and type of construction.
 - b. *Light and Power – Contact 435-716-9722*
 - i. The contractor will be responsible for running power to their property if not already there, as well as stubbing conduit to neighboring properties.
 - ii. Public utility easements (PUEs) are required to be recorded on all property lines. 10' PUE on all property lines facing a road and 5' on all other property lines.
 - c. *Environmental – Contact 435-716-9760*
 - i. Dumpster location must be maintained to allow for a minimum of 60' straight-on access.
 - d. *Engineering - Contact 435-716-9160*
 - i. Provide water shares or in lieu of fee for increased water demand
 - ii. The 1" water line shown shall be installed as a 1" line with a meter, setter and barrel per City standards. Meter, setter and barrel shall be located in park strip.
 - iii. All existing sewer service lines from existing buildings which will be under new building shall be replaced/upgrade with pipe and fittings as required by IPC.
 - iv. Provide storm water design per current Logan City Design Standards. This shall include implementation of Low Impact Design and retention of the 90% storm event.
 - v. Any storm water which discharges to wetland area or if wetland area is to be used as storage, shall meet all pretreatment requirements from the Corps before discharge occurs.
 - e. *City Forester – Contact 435-716-9749*
 - i. Parkstrip and street trees required on right-of-way frontage. Street trees required at an average of 30' on center on frontage. Coordinate species and location with the City Forester. No street trees allowed in the 40' sight distance triangle at the intersection.
 - f. *Water – Contact 435-716-9627*
 - i. Existing building currently has passing backflow assemblies on water main, landscape irrigation, two separate fire suppression systems.
 - ii. If a new fire line is required for this addition it will require a DC (ASSE1015) on the fire riser and be tested.
 - iii. If any backflow assembly is relocated it will need to be retested.
 - iv. If addition has its own water line, it will require its own RP (ASSE1013) installed and tested as it enters the building before any branch offs or connections, also all points of use need back flow protection per 2015 IPC and Utah state amendments.
 - g. *Business Licensing– Contact 716-9230*
 - i. A Business License amendment will be required prior to operation.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, materials, landscaping, and setbacks to adjacent development.
2. The design review permit substantially conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The project meets the goals and objectives in the General Plan for the Industrial Park (IP) area.
4. The project development utilizes existing utilities, infrastructure, and roadways.
5. The orientation and position of the building along 1700 North complies with setbacks, entrance requirements, and the intent of the building frontage guidelines.
6. Building elevations, as proposed and conditioned, provide substantial conformance with the transparency/ fenestration and building articulation requirements.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. 1700 North and surrounding existing and proposed roadways provide access and are adequate in size and design to sufficiently handle automobile traffic related to the land use.

This staff report is an analysis of the application based on adopted city documents, standard city development practices, and available information. The report is to be used to review and consider the merits of the application prior to and during the course of the Planning Commission meeting. Additional information may be revealed by participants at the Planning Commission meeting which may modify the staff report and become the Certificate of Decision. The Director of Community Development reserves the right to supplement the material in the report with additional information at the Planning Commission meeting.



APPLICATION FOR PROJECT REVIEW

☒ Planning Commission ☐ Land Use Appeal Board ☐ Administrative Review

Date Received 12-11-17	Received By RH	Receipt Number	Zone IP	Application Number PC 18-002
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Zone Change <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Variance <input type="checkbox"/> 4950' Design Review <input type="checkbox"/> Other _____				
PROJECT NAME Juniper Systems West Addition				
PROJECT ADDRESS 1132 West 1700 North, Logan Ut 84321				COUNTY PLAT TAX ID # 04 - 154 - 0004 04 154 0003
AUTHORIZED AGENT FOR PROPERTY OWNER (Must be accurate and complete) Mike Stettler, Stettler Construction				MAIN PHONE # 994-9999
MAILING ADDRESS 700 East 1400 North, Logan Ut 84321		CITY	STATE	ZIP
EMAIL ADDRESS mike@stettlercompanies.com				
PROPERTY OWNER OF RECORD (Must be listed) DeVon Labrum, Juniper Systems				MAIN PHONE # 435.753.1881
MAILING ADDRESS 1132 West 1700 North, Logan Ut 84321		CITY	STATE	ZIP
EMAIL ADDRESS devon@junipersys.com				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE PRESENTED (Include as much detail as possible - attach a separate sheet if needed) Juniper Systems is proposing a 52,390 sqft addition to the wet of their current building. This will include a new front entry off of 1700 North, new upper office area and a large manufacturing floor and shipping receiving area at the south of the building. Additional parking has been added south of the existing and at the new front door, for visitor parking. A drive has been added west of the addition and allows for full access around the site. The west property has wetlands that a mitigation process has been completed, a part of this is the remaining property west of the new drive will become enhanced wetlands. - NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -				Total Lot Size (acres) 10.89 acres
				Size of Proposed New Building (square feet) 52,390 sqft
				Number of Proposed New Units/Lots NA
I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permits on behalf of the property owner.		Signature of Property Owner's Authorized Agent 		
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.		Signature of Property Owner 		



11 December 2017

Logan City
290 North 100 West, Logan Ut 84321
RE: Juniper Systems West Addition, design review application

To whom it may concern,

With this letter, Juniper Systems is asking the City of Logan to proceed with design review for the West addition of our Logan City Campus, located at 1132 West 1700 North. This application for review is being submitted by Naylor Wentworth Lund Architects and Stettler Construction. If you should have any questions, please do not hesitate to call; 435.753.1881.

Sincerely,

A handwritten signature in black ink that reads 'Devon D. Labrum'.

DeVon Labrum, President & CEO
Juniper Systems

**Logan City – Application for Project Review, Design Review Permit
December 11, 2017**

Juniper Systems West Addition, 1132 W 1400 North, Logan Utah

included

- 8.5x11 plat map, attached; parcels are currently being combined into one to allow west addition
- Vicinity map shown on sheet C1.0
- Water analysis from Logan City, attached
- Scaled site plan, sheet C1.0
- Dimensions on site plan and building elevations
- Colored elevations and conceptual rendering
- Parking Lot design and Dimensions, new parking at South East of property and north of new addition
- Fire access off new west drive, no turn around needed with full access through site to existing east drive, refer to C1.0
- Existing and New Hydrants, refer to C2.0
- Site Utilities, refer to C2.0
- This property is not with-in the 100 year floor plain
- Wetland delineation shown on C1.0. Also attached is the document created for use with the Army Corp from Bio-west for the mitigation and adding of wetlands on the West part of the property
- Total parking on site = 211
 - Total office area = 47,680sqft @ 1 stall per 300 = 159 stalls
 - Largest manufacturing shift = 50 at 1 stall per = 50 stalls
 - Total stalls required = **209 stalls**



Juniper Systems West Addition
1132 West 1700 North
Logan Ut
84321

Design Review Application

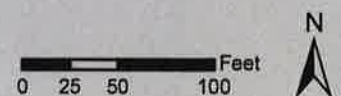
December 11, 2017



- Sample Point
- Proposed Building Footprint
- ▬ Project Boundary
- Emergent Wetland Enhancement Area = 2.44 ac
- Seasonal Emergent Wetland Pond = 0.5 ac
- Stormwater Treatment Pond = 0.3 ac
- Upland Converted to Wetland = 0.37 ac
- Wetland Impact Area = 0.46 ac

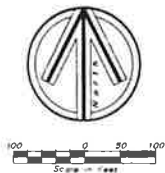
Juniper Systems Building Expansion

Map Created by BT Drawn by AC
Map Dated: December 1, 2017

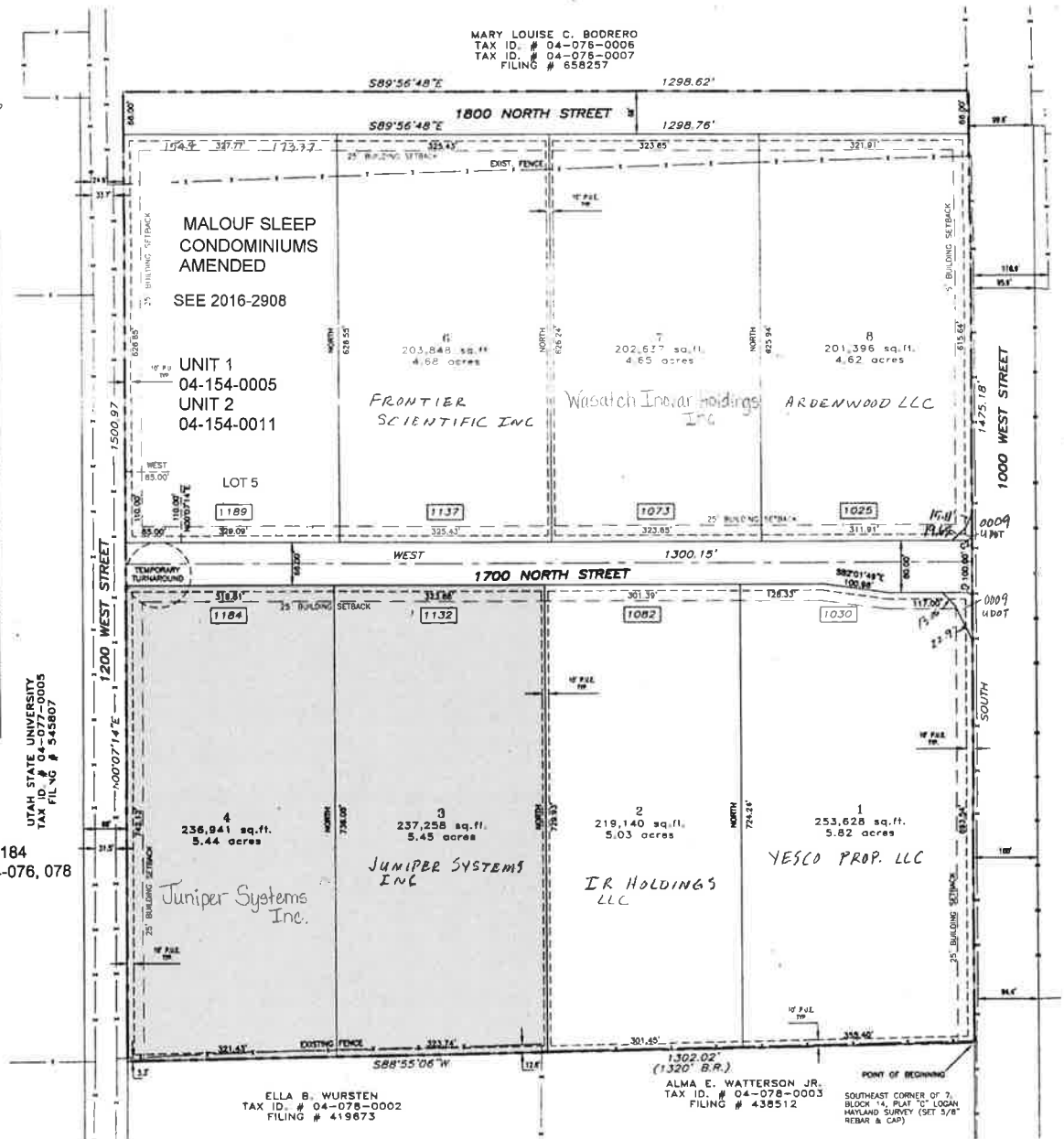


04-154

Tax Unit 27



PARCEL NO. = 04-154-LOT NO.
i.e. LOT 1 = 04-154-0001



MEMORANDUM

To: Bill Young, City Engineer
Craig Humphries, Fire Marshall
File

From: Cameron Draney, P.E.

Date: December 7, 2017

RE: 1132 West 1700 North - Juniper Systems Addition

Logan City has developed a calibrated water model that is used to evaluate the ability to deliver water in accordance to Utah State Code (R309-105-9. Minimum Water Pressure). In accordance with these rules, we are required to meet the following requirements for new development:

1. Pressures not less than 20 psi during conditions of fire flow and fire demand experienced during peak day demand.
2. Pressures not less than 30 psi during peak instantaneous demand (without fire flows)
3. Pressures not less than 40 psi during peak day demand (without fire flows)
4. The addition of new development can not reduce the residual pressure at any service connection in the system to below 20 psi under any conditions.

Table 1 summarizes our peaking factors and demands for the referenced project used in the impact evaluation.

Table 1 - Summary of Model Parameters

Description	Value	Source
Peak Day Factor	1.8	Culinary Water System Master Plan (CWSMP), April 2007, pg 2-9.
Peak Hour	2.4	CWSMP, April 2007, pg 2-9.
Instantaneous Peak Factor	3.5	Review of system wide SCADA.
Lowest Water Demand Factor	0.5	Review of system wide SCADA
Fire Flow Required	2000 gpm	Estimated (Actual per IFC Table B105.1)
Water Demand of Project	(not provided) gpm	Estimated Average Day

The evaluation assumes that all of the flows come directly off of the existing City water system at the given locations. This evaluation does not include any losses in hydrant lines, service lines, fire lines, private lines, or any piping other than the City's distribution system.

Results

Table 2 summarizes the modeled results at the existing identified fire hydrant.

Table 2 - Results at existing FH00309 at approx 1130 West 1700 North

Condition	With PRVs	
	gpm	psi
Peak Day	NA	115 (static)
Fire Flows*	2,000	100
Maximum Avail Flows	5,829	20

* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

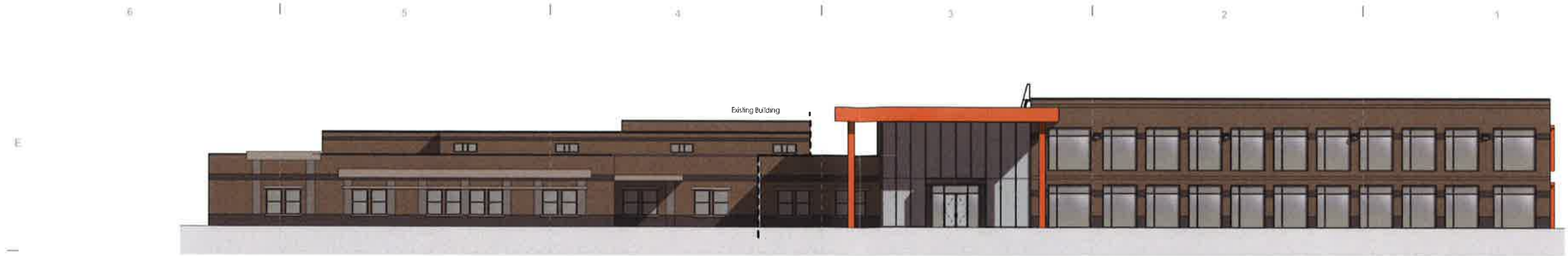
Table 3 summarizes the modeled results available at the City main line in the street.

Table 3 - Results at existing 12" mainline at approx 1132 West 1700 North

Condition	With PRVs	
	gpm	psi
Peak Day	NA	115 (static)
Fire Flows*	2,000	102
Maximum Avail Flows	6,405	20

* Fire flows are additive with Peak Day flows for total flow at the farthest point effecting the proposed development. Negative pressures represent a flow that is not possible under the analyzed conditions.

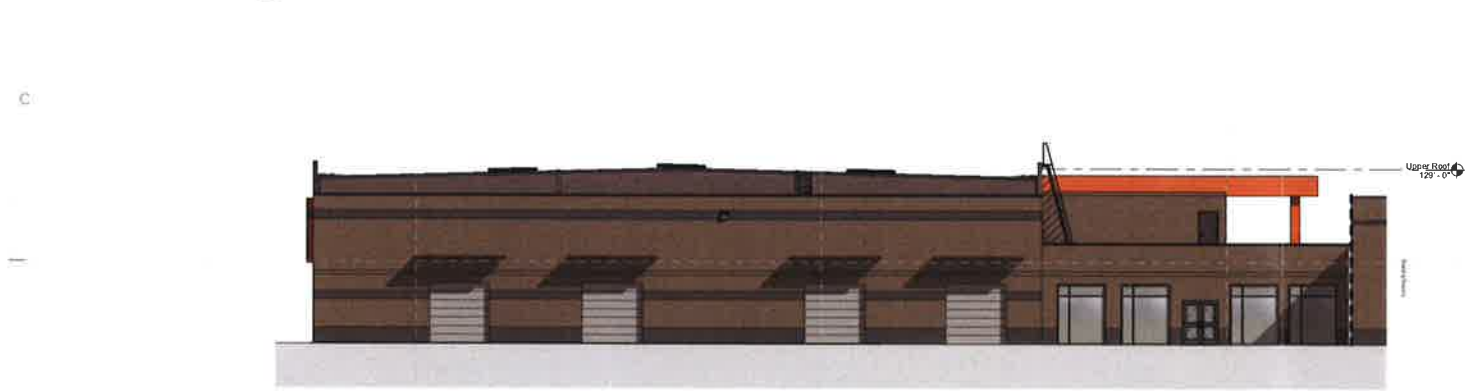
This information provides three points from which the developer's consultant can create a pressure versus flow curve to match the actual values. The actual design fire flow must be obtained from the Fire Marshall prior to completing the hydraulic analysis.



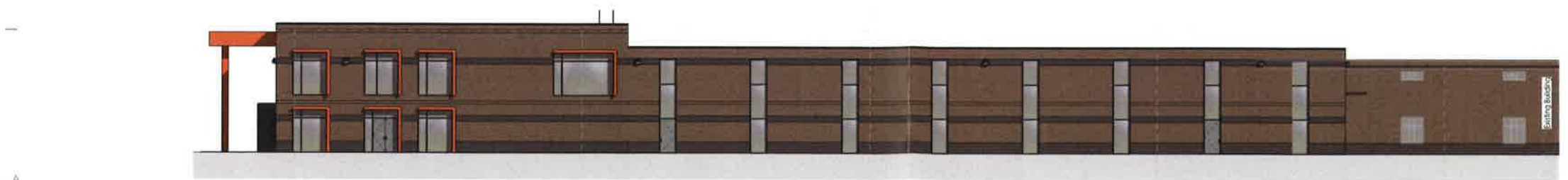
1 North Elevation
Scale: 1" = 12'-0"



2 East Elevation
Scale: 3/32" = 1'-0"



3 South Elevation
Scale: 3/32" = 1'-0"



4 West Elevation
Scale: 3/32" = 1'-0"



Stamp

Naylor
Wentworth
Lund
Architects



723 West Pacific Ave. Ste. 101
Salt Lake City, Utah 84104
Tel: 801.555.5555
Fax: 801.555.5555

Project Name
Juniper
Systems, Inc.
2018 West
Addition

1332 West 1200 North
Lehi, Utah 84043

Project Phase
Construction
Documents

No.	Description	Date

Project Number
127.004

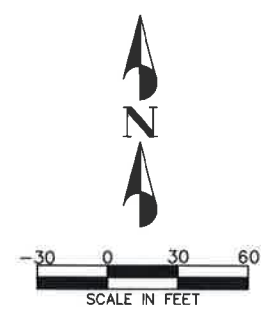
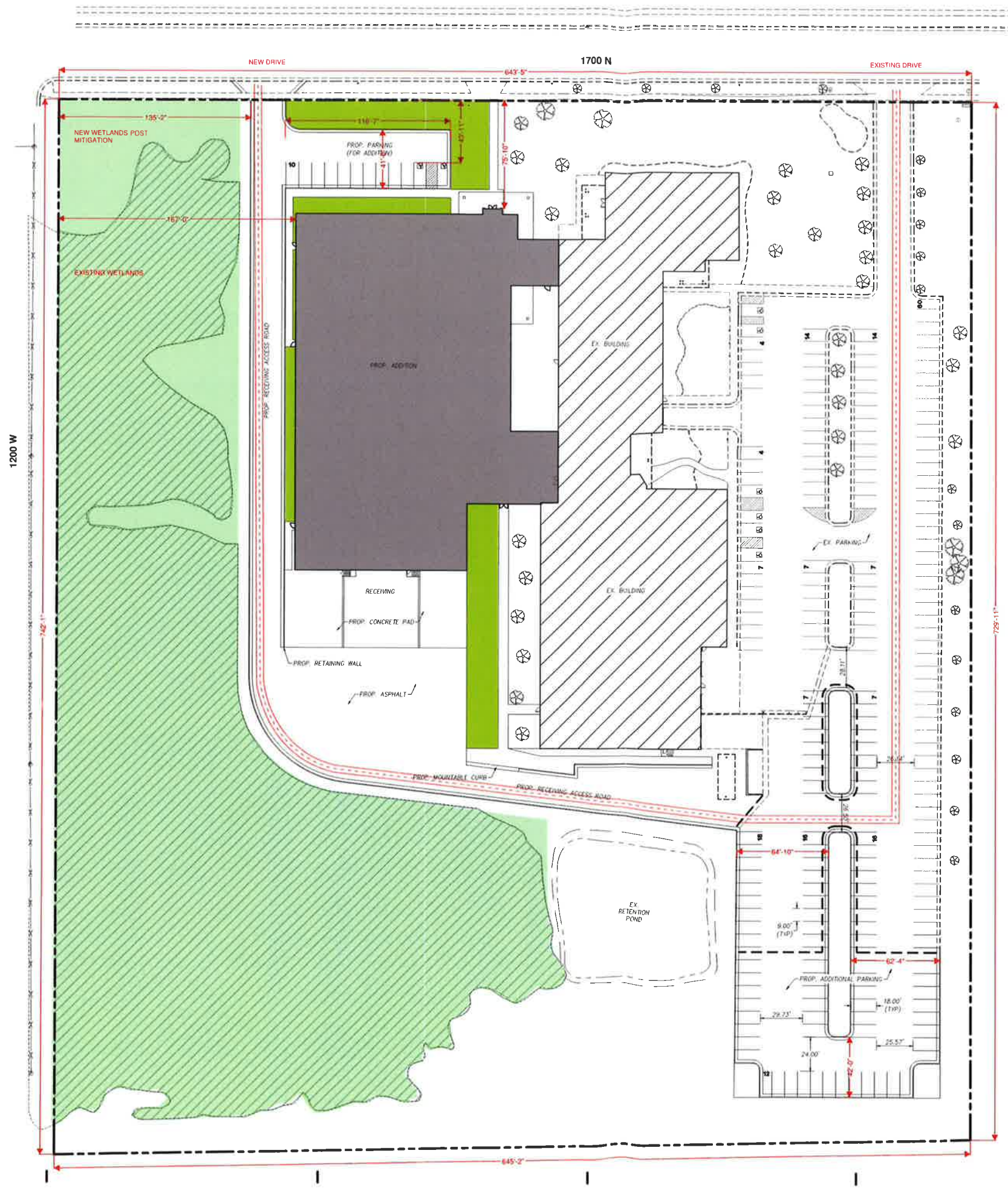
Project Issue Date
Dec. 11 2017

Sheet Title
Exterior Elevations

Sheet Number

A201

NOT FOR CONSTRUCTION



- LEGEND**
- EXISTING CURB & GUTTER
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING CONCRETE
 - EXISTING ROOF OVERHANG
 - EXISTING PARKING
 - PROPOSED CURB & GUTTER
 - PROPOSED BUILDING PAD
 - PROJECT BOUNDARY
 - PROPOSED WETLANDS BOUNDARY
 - PROPOSED SAWCUT LINE
 - EXISTING PARKING

PARKING SUMMARY

EXISTING PARKING

PARKING STALLS = 133
ADA PARKING STALLS = 6
TOTAL PARKING STALLS = 139

PROPOSED PARKING

PARKING STALLS = 203
ADA PARKING STALLS = 8
TOTAL PARKING STALLS = 211

AREA SUMMARY

AREA	SQUARED FEET	ACREAGE	PCT (%)
LANDSCAPED	64,876	1.49	13.7%
EXISTING BUILDING	40,503	0.93	8.5%
PROPOSED BUILDING	39,651	0.91	8.4%
INTERIORS	139,353	3.20	29.4%
WETLANDS/UNDEVELOPABLE	189,183	4.36	40.0%
TOTAL	474,196	10.89	100.0%

- NEW WETLANDS POST MITIGATION
- EXISTING WETLANDS
- NEW LANDSCAPE AREA
- FIRE ACCESS ROAD



Stamp

Naylor
Wentworth
Lund
Architects

223 West Pacific Ave. Ste 101
Salt Lake City, Utah 84104
Tel: 801.363.5958
Fax: 801.363.5968

PEPG CONSULTING LLC

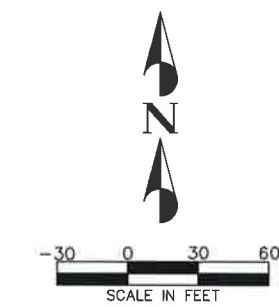
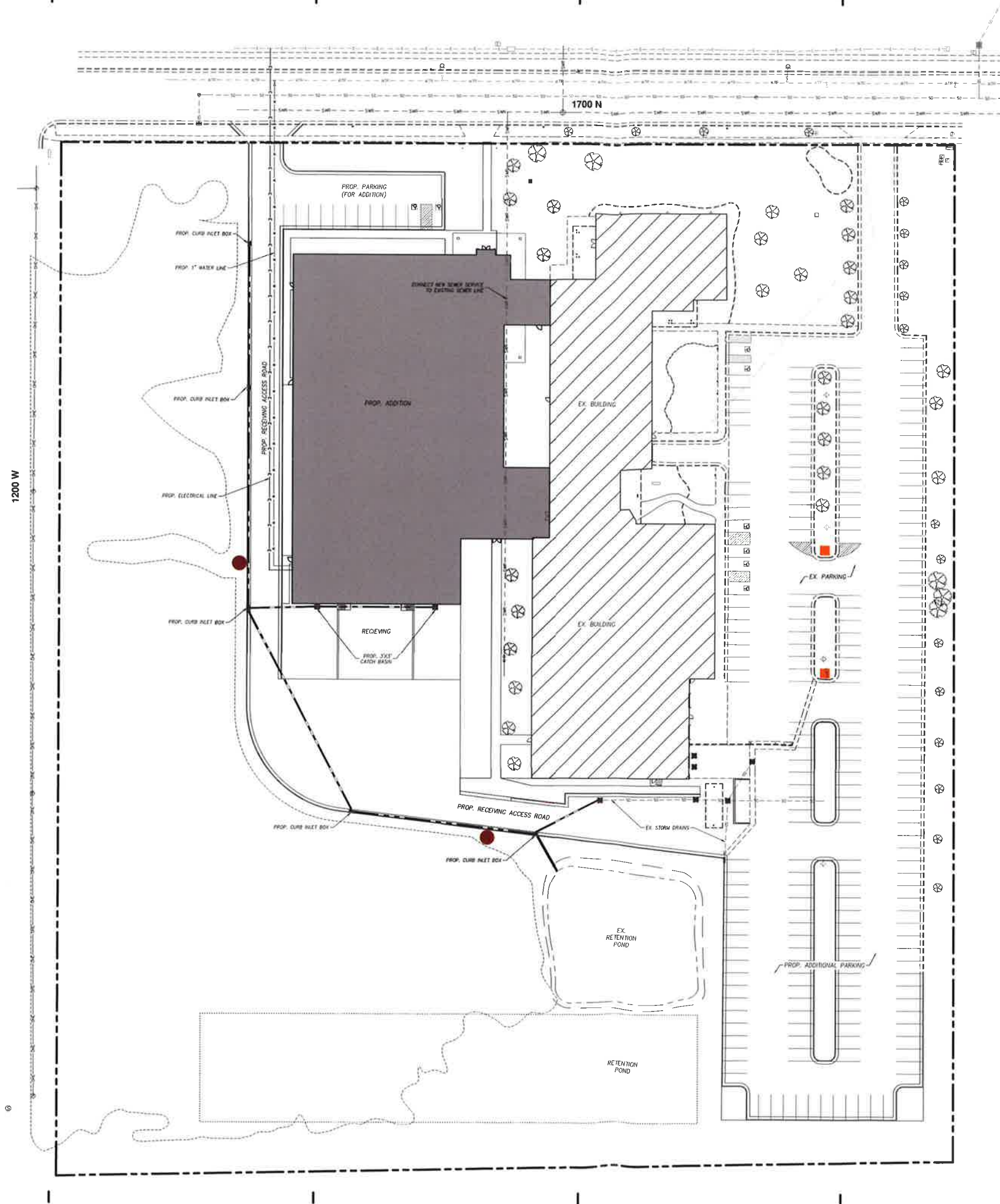
4025 SOUTH 300 WEST • SANDY, UT 84070
PHONE: (801) 582-2521 • FAX: (801) 582-2529

Project For
Juniper Systems, Inc.
2018 West Addition

1132 West 1700 North
Logan, Utah 84321

NOT FOR CONSTRUCTION

Project Phase		
Construction Documents		
No.	Description	Date
Project Number 127.004		
Project Issue Date Dec. 11 2017		
Sheet Title Site Plan		
Sheet Number C1.0		



- LEGEND**
- EXISTING CURB & GUTTER
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING STORM DRAIN LINE
 - EXISTING UNDERGROUND ELECTRICAL
 - EXISTING OVERHEAD ELECTRICAL
 - EXISTING CONCRETE
 - PROPOSED CURB & GUTTER
 - PROPOSED WATER LINE
 - PROPOSED SEWER LINE
 - PROPOSED STORM DRAIN LINE
 - PROPOSED ELECTRICAL LINE
 - PROPOSED CONCRETE
 - PROJECT BOUNDARY
 - PROPOSED WETLANDS BOUNDARY

- EXISTING HYDRANT
- NEW HYDRANT

Stamp

**Naylor
Wentworth
Lund
Architects**

223 West Pacific Ave. Ste 101
Salt Lake City, Utah 84104
Tel: 801.525.5229
Fax: 801.355.3960

**PEPG
CONSULTING
LLC**

4025 SOUTH 330 WEST • SALT LAKE CITY, UT 84119
PHONE: (801) 363-2501 • FAX: (801) 363-2501

Project For

**Juniper
Systems, Inc.**

**2018 West
Addition**

1132 West 1700 North
Logan, Utah 84321

NOT FOR CONSTRUCTION

Project Phase
**Construction
Documents**

No.	Description	Date

Project Number
127.004

Project Issue Date
Dec. 11 2017

Sheet Title
Utility Plan

Sheet Number
C2.0