

**Project #22-018
Wal Mart Fuel Station
Located at 1150 South 100 West**

REPORT SUMMARY...

<i>Project Name:</i>	Wal Mart Fuel Station
<i>Proponent/Owner:</i>	Kimley Horn Assoc. / Wal Mart Stores Inc.
<i>Project Address:</i>	1150 South 100 West
<i>Request:</i>	Design Review Permit
<i>Current Zoning:</i>	Commercial (COM)
<i>Date of Hearing:</i>	March 24 th , 2022
<i>Type of Action:</i>	Quasi-Judicial
<i>Submitted By:</i>	Russ Holley, Senior Planner

RECOMMENDATION

Staff recommends that the Planning Commission **approve** a Design Review Permit for Project #22-018 Wal Mart Fuel Station for a 440 SF commercial building and fuel canopy located at 1150 South 100 West: TIN #02-086-0027.

Land use adjoining the subject property

<i>North:</i>	COM: Commercial Uses	<i>East:</i>	COM: Commercial Uses
<i>South:</i>	COM: Commercial Uses	<i>West:</i>	COM: Commercial Uses

Project Proposal

This is a proposal for a new 440 square foot (SF) gas station kiosk building and six (6) fuel pumps with an eighteen-foot-tall canopy overhead. The kiosk building is shown at fourteen (14) feet in height and will have one employee, two bathrooms and a limited amount of retail items for sale. The 0.65-acre project site is the southwest corner of the existing Wal-Mart parking lot. Some re-striping is necessary, but the fuel station does not significantly alter access and vehicular circulation on the property. The proposal also includes a new driveway approach from HWY 89/91 to Wal Mart at the northwest corner of the property.



Figure 1 shows the fuel station design.

Land Use

The Land Development Code (LDC) Table 17.11.030 permits gas stations and convenience stores in the COM zoning district. The COM zoning designation is the City's primary economic zone and permits a wide range of commercial buildings and uses.

Setbacks

The Land Development Code (LDC) requirements for setbacks in the COM zone are as follows (as measured from property lines):

Front:	10'
Side:	8'
Rear:	10'
Parking:	10'

The following setbacks are proposed for the building (as measured from the exterior property lines of the project site, at closest points):

Front (West):	170'
Side (South):	240'
Side (North):	650'
Rear (West):	850'
Parking (West):	NA

As proposed, the project meets minimum setback requirements of the LDC.

Lot Coverage

The LDC 17.10.080 establishes a maximum lot coverage of 60% (building(s) footprint) in the COM zone. The total project site is approximately 22 acres in size. Including the approximate 175,000 SF building and the proposed fuel station, the lot coverage would equal approximately 20% of the lot and complies with maximum coverages in the LDC.

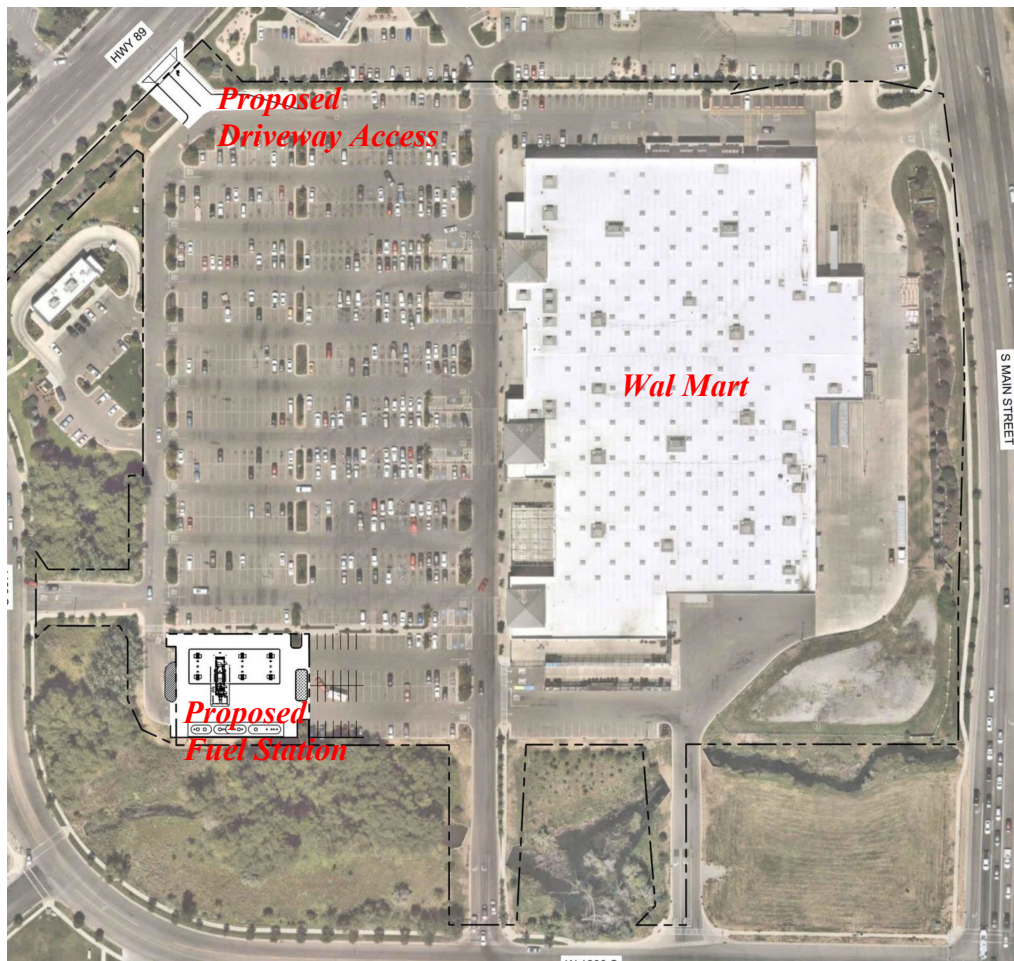


Figure 2 shows the proposed site plan

Building Design

The LDC 17.12.020 limits blank or featureless walls in the COM zone to no more than 40 linear feet. The proposed building shows the primary façade where the employee would interact with the customers on the north side. The side and rear façades contain grab-n-go snack items behind glass doors, ice dispenser and bathrooms. With the proposed windows, doors, and parapet the building shows no blank wall areas greater than 40 feet. Building heights are limited in the COM zone to 40 feet. The proposed metal canopy is the tallest feature at just under 18 feet tall. Signage is shown on the three-foot canopy fascia along with colorways. The proposed building is proposed on the interior of the 22-acre site, so frontage and transparency design requirements are not applicable. As proposed, the building design meets LDC standards.

Pedestrian Circulation

The LDC 17.10.030 requires safe and convenient pedestrian circulation that results in sidewalks connecting streets to building entrances. The site layout places the new fuel center along the main pedestrian entrance from the street to the building. The proposal does not block or alter the existing pedestrian connection. As proposed, the proposed project meets the requirements in the LDC.

Parking Stall Requirements

The LDC 17.31.040 requires one parking stall per every 500 SF of big box retail and one parking stall per every 250 SF of gas station area. The current site contains approximately 800 parking stalls. The proposed fuel station and pump canopy replaces approximately 50 parking stalls for a new total of 750 parking stalls. At 175,000 SF for the big box and 440 SF for the gas station, the LDC would require 352 parking stalls. As proposed, the project meets the parking requirements in the LDC.

Open Space and Landscaping

The LDC 17.10.030 requires 10% open space and an additional 10% useable outdoor space of the project site. The LDC 17.28 generally describes open space as landscaped areas, decks, patios and other similar outdoor amenities. The LDC requires a minimum of 20 trees and a combination of 50 shrubs, flowers and ornamental grasses per acre of land in the COM zone. The proposed fuel station does not reduce the amount of landscaping or outdoor space as only existing asphalt parking stalls are removed. The proposed driveway at the northwest corner is shown over existing landscaping. That landscape will need to be replaced or accounted for in the open space and landscape plan prior to construction. As conditioned with an open space and landscaping analysis showing compliance either based on the project site or on the overall property, the project complies with the requirements in the LDC.

Lighting

The LDC 17.30.090 requires adequate lighting that adds aesthetic quality and improves safety while mitigating unnecessary glare, sky glow and light trespass. The LDC limits freestanding pole height to 32 feet and luminaire fixtures on buildings and canopies to be concealed source, down-cast and shielded from neighboring properties. Light measurements are required to range between 0.5 – 4.0-foot candles, so areas are sufficiently safe, but not excessively bright. As submitted, no exterior lighting has been shown. As conditioned, the project meets the requirements of the LDC.

AGENCY AND CITY DEPARTMENT COMMENTS

Comments were solicited from the following departments or agencies:

• Environmental	• Water
• Light and Power	• Engineering

PUBLIC COMMENTS

Notices were mailed to property owners within 300 feet of the subject property. As of the time of this report, no comments have been received.

PUBLIC NOTIFICATION

Legal notices were published in the Herald Journal on 3/12/22, posted on the City's website and the Utah Public Meeting website on 3/14/22 and mailed out to adjacent property owners within 300' on 3/07/22.

RECOMMENDED CONDITIONS OF APPROVAL

This project is subject to the proponent or property owner agreeing to comply with the following conditions as written, or as may be amended by the Planning Commission.

1. All standard conditions of approval will be recorded with the Design Review and are available in the Community Development Department.
2. The Utah Department of Transportation (UDOT) will need to approve the proposed north driveway onto HWY 89/91.
3. Open space and landscaping shall comply with LDC standards of 20 % and 20 trees per acre for either the overall site or just the 0.65-acre gas station location.
4. The sidewalk connecting the building to 100 West shall not be blocked or altered for this project.
5. The building and canopy design are approved as submitted.
6. A minimum of 352 parking stalls shall be provided on-site
7. No new open storm-water detention basins shall be placed in the yard between the building and the adjoining streets.
8. All dumpsters shall be visually screened or buffered from public streets by using fencing, walls and landscaping.
9. Rooftop mechanical and/or building wall mechanical equipment shall be placed out of view from the street or screen from view from the street.
10. Exterior lighting, including gas canopy lighting, shall be concealed source, down-cast and shall not illuminate or cast light onto adjacent properties.
11. Standard streetscape improvements will be required along Main Street with driveway access being limited to the joint access agreements located to the north of this site.
12. No signs are approved with this Design Review Permit. All signage shall be approved and permitted by staff in accordance with the Land Development Code.
13. No fences are approved with this Design Review Permit. All fences shall be approved and permitted by staff in accordance with the Land Development Code.
14. Prior to issuance of a Building Permit, the Director of Community Development shall receive a written memorandum from each of the following departments or agencies indicating that their requirements have been satisfied:
 - a. *Environmental—contact 716-9760*
 - Garbage placement was not indicated on plans. Haul through the store to compactor or contact Environmental for possible alternatives.
 - b. *Water—contact 716-9622*
 - The buildings water main needs to have a RP (ASSE1013) installed and tested on the water main after the water meter, as it enters the building before any branch offs or possible connections inside or outside of building. Properly sized drain required to serve the backflow assemblies dump port.
 - All landscape irrigation system's fed from Logan City water must have a high hazard rated backflow assembly installed and tested. All backflow assemblies must be tested within 10 days of turning in water to them and annually thereafter.
 - Fire suppression systems that are connected to Logan City water (with no added chemicals) must have a minimum DC (ASSE1015) installed and tested. Fire risers and B/F assemblies must be installed as per Logan City standards.

- All points of use of water must comply with the 2018 IPC and State of Utah Amendments and the Utah Admin Code 309-305 during and after construction. (Cooling, heating, processing, treating, chemicals and irrigating etc.) Project shall comply with all current plumbing codes, Utah State Amendments, Utah Division of Drinking Water rules and regulations including, but not limited to, those pertaining to backflow protection and cross connection prevention

c. Engineering – contact 716-9160

- The site plan does not completely show existing utilities. A more complete review of plans will be performed at time of building permit application.
- The site plan shows a 1.5" water service. The City offers 1-inch or 2-inch meters. The waterline from the main to the meter must match the selected meter size. Water meter location shall be approved by Logan City.
- Site plan shows an oil water separator, however, plans provided do not show drainage area to the separator and associated collection, catch basins, and piping flow. At a minimum, all areas around the pumps needs to drain to the oil water separator.
- Other drainage comments will be addressed at plan review for building permit.
- Based on current criteria from State Storm Water Standards, development is not increasing impervious area by more than 10%, therefore, no additional storm water detention/retention ponds or retention of the 90% storm event is required.
- The project is located within close proximity of Spring Creek, a water of the State. Provide protection from pollutants during and post construction.
- The proposed new access onto Highway 89 will need to be evaluated through the Cache Access Management Plan (CAMP).

d. Fire – contact 716-9515

- Logan City Light and Power; Requires 1-Line Diagram, A Logan City Load Data Sheet, A Digital Site Plan In Auto CAD (DWG) Format and PUE's Public Utility Easement 10' Easement On All Property Lines That Face A Road Way, And A 5' Easement On All Other Property Lines. Contact Matt with Logan Light and Power for Power Location and a meet on site.

RECOMMENDED FINDINGS FOR APPROVAL FOR THE DESIGN REVIEW PERMIT

The Planning Commission bases its decisions on the following findings supported in the administrative record for this project:

1. The proposed project is compatible with surrounding land uses and will not interfere with the use and enjoyment of adjacent properties because of the building design, site layout, materials, landscaping, and setbacks.
2. The Design Review Permit conforms to the requirements of Title 17 of the Logan Municipal Code.
3. The proposed project provides adequate open space and useable outdoor space in conformance with Title 17.
4. The proposed project provides adequate off-street parking.
5. The project meets the goals and objectives of the COM designation within the Logan General Plan by providing services near high capacity roadways and is designed in way for easy circulation of both pedestrian and vehicles.
6. The proposed project complies with maximum height, density and building design standards and is in conformance with Title 17.
7. The project met the minimum public noticing requirements of the Land Development Code and the Municipal Code.
8. Main Street provides access and are adequate in size and design to sufficiently handle all traffic modes and infrastructure related to the land use.



APPLICATION FOR PROJECT REVIEW

For Staff Only				
<input checked="" type="checkbox"/> Planning Commission		<input type="checkbox"/> Land Use Appeal Board		<input type="checkbox"/> Administrative Review
Date Received 2/3/22	Received By	Scheduled Meeting Date MAR. 24	Zone COM/Woodruff	Application Number PC 22-018
Type of Application (Check all that apply): <input checked="" type="checkbox"/> Design Review <input type="checkbox"/> Conditional Use <input type="checkbox"/> Subdivision <input type="checkbox"/> Administrative Design Review <input type="checkbox"/> Code Amendment <input type="checkbox"/> Appeal <input type="checkbox"/> Zone Change <input type="checkbox"/> Other				
PROJECT NAME WM Fuel Logan, UT #4272				
PROJECT ADDRESS 1150 S. 100. W. Logan, UT 84321			COUNTY PLAT TAX ID # 02-086-0027	
AUTHORIZED PROJECT REPRESENTATIVE FOR OWNER Kimley Horn and Associates			PHONE # 714.786.6322	
MAILING ADDRESS 1100 W. Town and Country Road, Suite 700		CITY Orange	STATE CA	ZIP 92868
EMAIL ADDRESS Ryan.Alvarez@kimley-horn.com				
PROPERTY OWNER OF RECORD Wal-Mart Stores Inc.			PHONE # 901.495.8714	
MAILING ADDRESS PO Box 8050		CITY Bentonville	STATE AR	ZIP 72712-8055
EMAIL ADDRESS				
DESCRIBE THE PROPOSED PROJECT AS IT SHOULD BE NOTICED AND PRESENTED (Include as much detail as possible - attach a separate sheet if needed) A proposed new Walmart Fuel Station at 1150 S. 100 W. Logan, UT 84321 in the existing Walmart SuperCenter parking lot. The proposed project consists of the demolition of existing asphalt, demolition of curbed landscape islands, the re-stripping of adjacent existing parking stalls, proposed concrete pavement, a 440 square foot kiosk			Total Lot Size (acres) 0.65 AC	
			Size of Proposed New Building (square feet) 440 S.F.	
			Number of Proposed New Units/Lots	

for the sale of convenience goods, underground fuel storage tanks, and an overhead canopy covering the fuel station pumps and a portion of the kiosk. The station will be consistent with the existing architectural characteristic of the Walmart SuperCenter, surrounding buildings and zoning code. The canopy above the Kiosk and 6 fuel pumps will be about 18 ft tall and the kiosk around 14 ft tall. The fuel station is not a member only or "club" gasoline station and the fuel pumps will be accessed from all entry points. There is not a designated "queuing" area typically seen at "club" fuel stations.

The project will also include the addition of a new driveway entrance along Highway 89.

I certify that the information contained in this application and all supporting plans are correct and accurate. I also certify that I am authorized to sign all further legal documents and permit on behalf of the property owner.

Signature of Property Owner's Authorized Project Representative



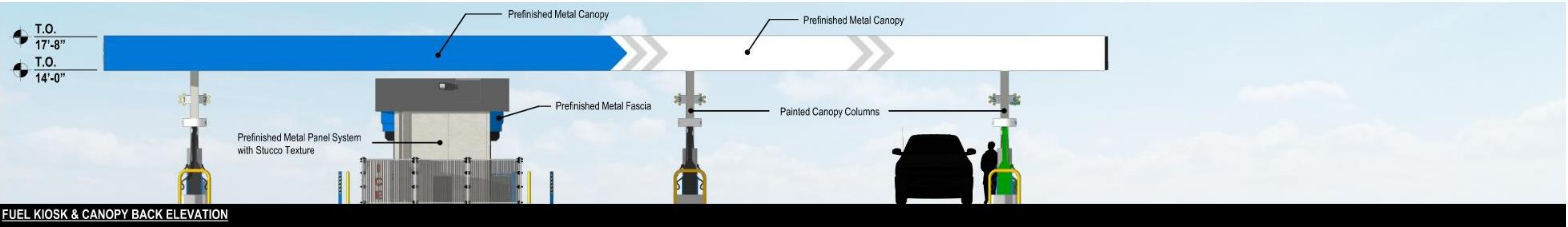
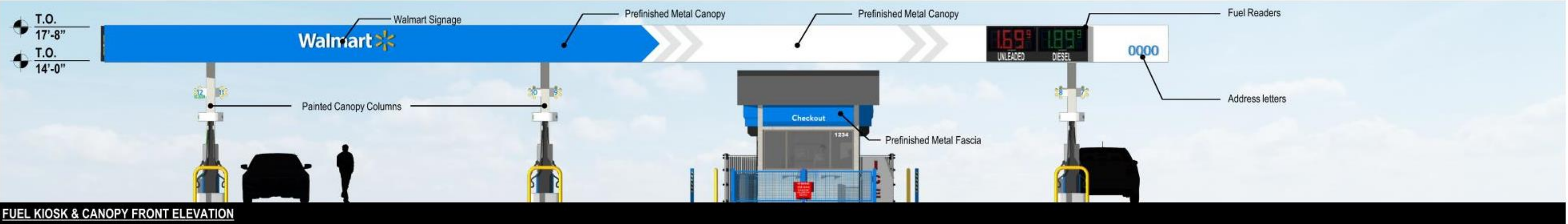
I certify that I am the property owner on record of the subject property and that I consent to the submittal of this project. I understand that all further legal documents and permits will be sent to my authorized agent listed above.








Signature of Property Owner

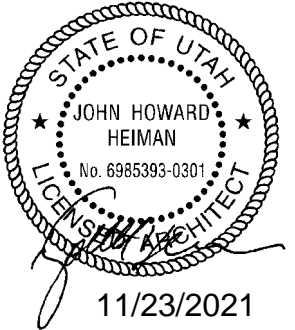


APPLICATION MUST BE ACCURATE AND COMPLETE

NO SITE ACTIVITY MAY OCCUR UNTIL AFTER APPROPRIATE COMMITTEE APPROVAL -

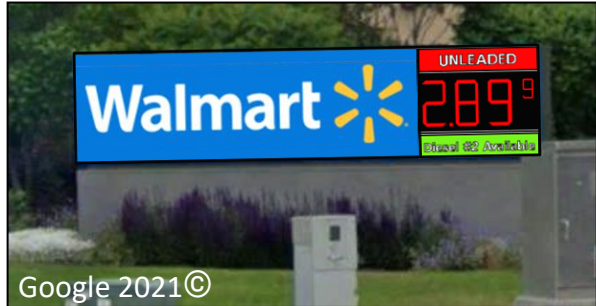


						
PANTONE 285C	BLACK	COLOR MATCH SW# 7674 PEPPERCORN	COLOR MATCH SW# 7019 GAUNTLET GRAY	COLOR MATCH SW# 7015 REPOSE GRAY	PANTONE 427C	PURE WHITE

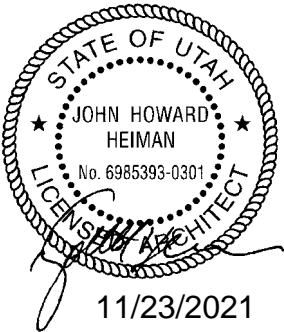


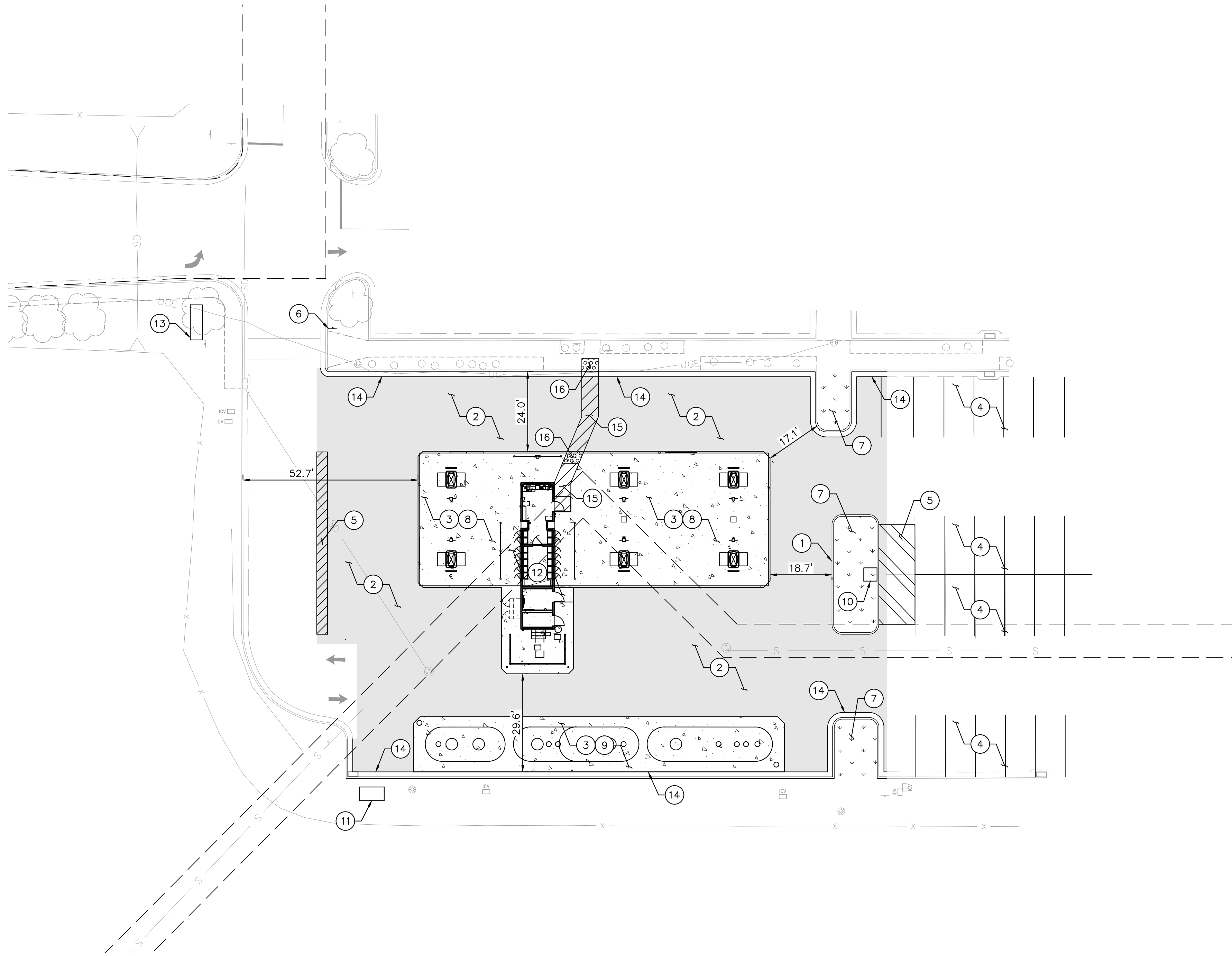


Existing Sign



Proposed Sign





LEGEND

	PROPERTY LINE
	EASEMENT LINE
	HEAVY DUTY ASPHALT PAVING
	LANDSCAPING
	CONCRETE PAVEMENT
	TRUNCATED DOMES

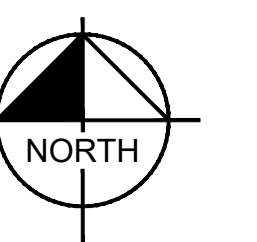
CONSTRUCTION NOTES

- 1 PROPOSED CONCRETE CURB.
- 2 PROPOSED HEAVY DUTY ASPHALT PAVEMENT.
- 3 PROPOSED CONCRETE PAVEMENT.
- 4 PROPOSED REGULAR PARKING.
- 5 STRIPE WHITE 4" STRIPE, 60 DEGREES, SPACED AT 36" O.C.
- 6 PROPOSED STOP SIGN ON POST.
- 7 PROPOSED LANDSCAPING.
- 8 PROPOSED CANOPY.
- 9 PROPOSED UNDERGROUND GAS TANKS. ONE 20,000 GAL UNL, ONE 20,000 GAL SPLIT (12,000 UNL/8,000 PRM), AND ONE 10,000 GAL DSL.
- 10 PROPOSED AIR PEDESTAL.
- 11 PROPOSED VAPOR RECOVERY LOCATION/PAD.
- 12 PROPOSED 440 KIOSK.
- 13 PROPOSED PYLON SIGN.
- 14 PROPOSED CURB AND GUTTER.
- 15 PROPOSED ACCESSIBLE PATH OF TRAVEL.
- 16 PROPOSED TRUNCATED DOMES.

WALMART FUEL STATION - STORE #4272

1150 S 100 W, LOGAN, UT 84321

DESIGN CIVIL SITE PLAN



GRAPHIC SCALE IN FEET
0 10 20 40
SCALE: 1" = 20'
WHEN PRINTED AT FULL
SIZE 24"x36"

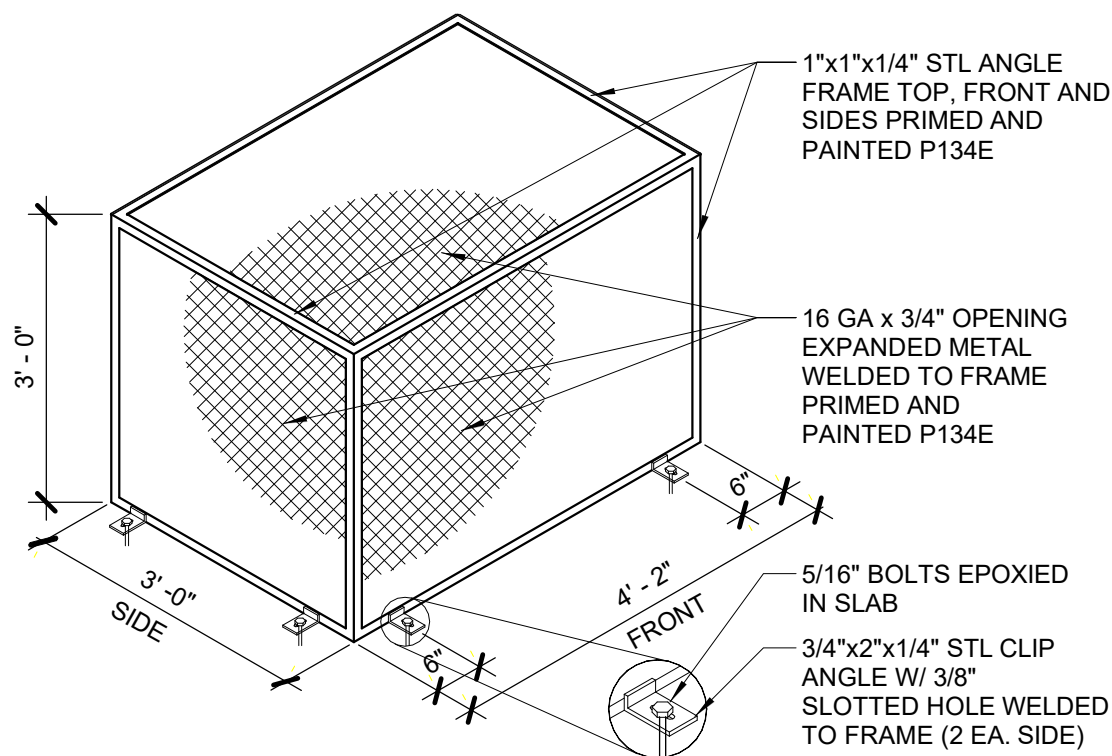
Kimley»Horn

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.
1100 W TOWN AND COUNTRY RD, SUITE 700, ORANGE, CA 92668
PHONE: 714-939-1030 FAX: 714-938-9488

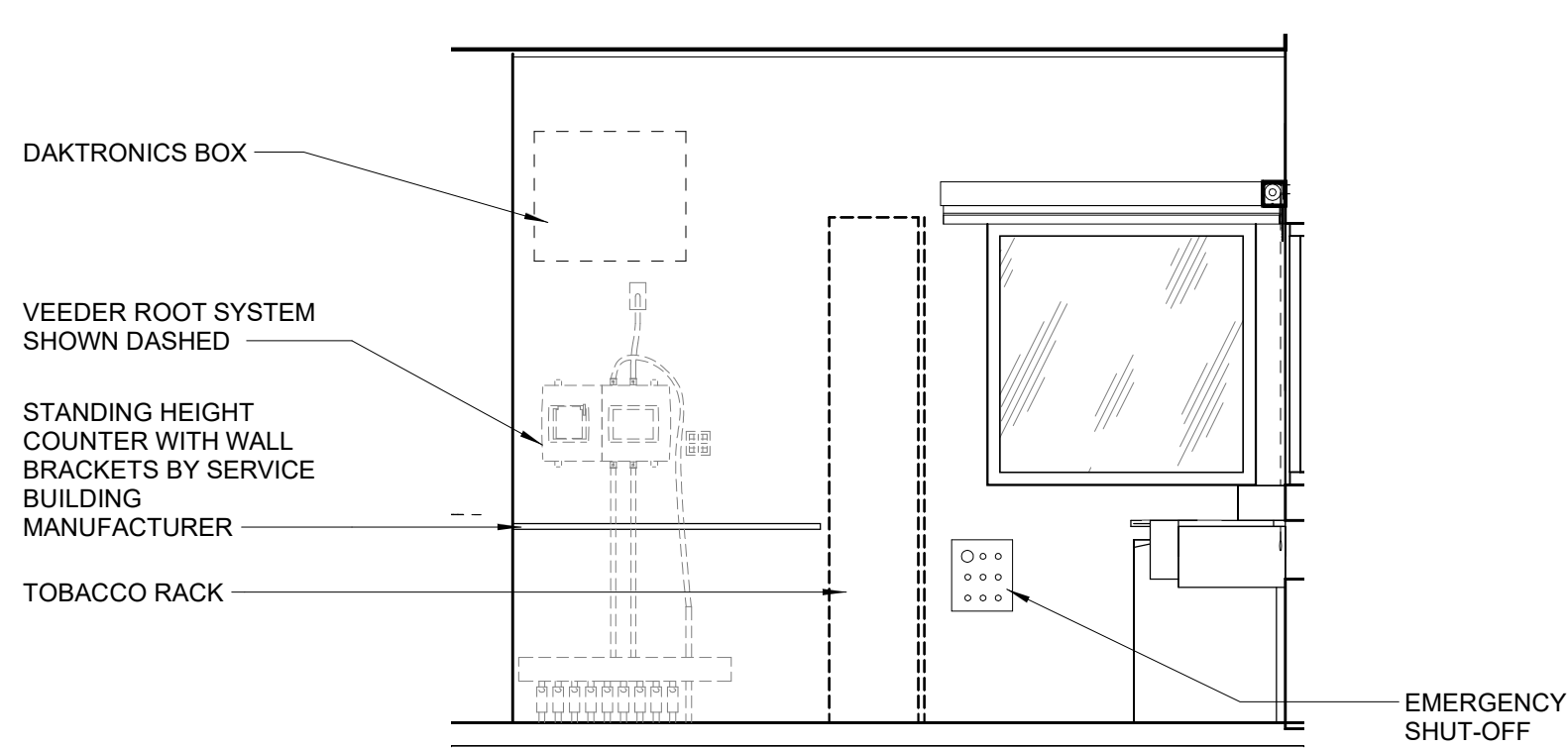
COLOR LEGEND		WINDOW TREATMENT SCHEDULE			
P76	"MEDIUM WAL-MART BLUE" #076	WDS NUMBER	QUANTITY	MANUFACTURER	MODEL
		2		HUNTER DOUGLAS	RB 500 - END BRACKET W/ FASCIA
		1		HUNTER DOUGLAS	RB 500 - END BRACKET W/ FASCIA
					4'-10" L MANUAL SHADE
					8'-4" L MANUAL SHADE

FUEL STATION FIXTURE LEGEND		
PLAN MARK	QUANTITY	DESCRIPTION
		NOTES

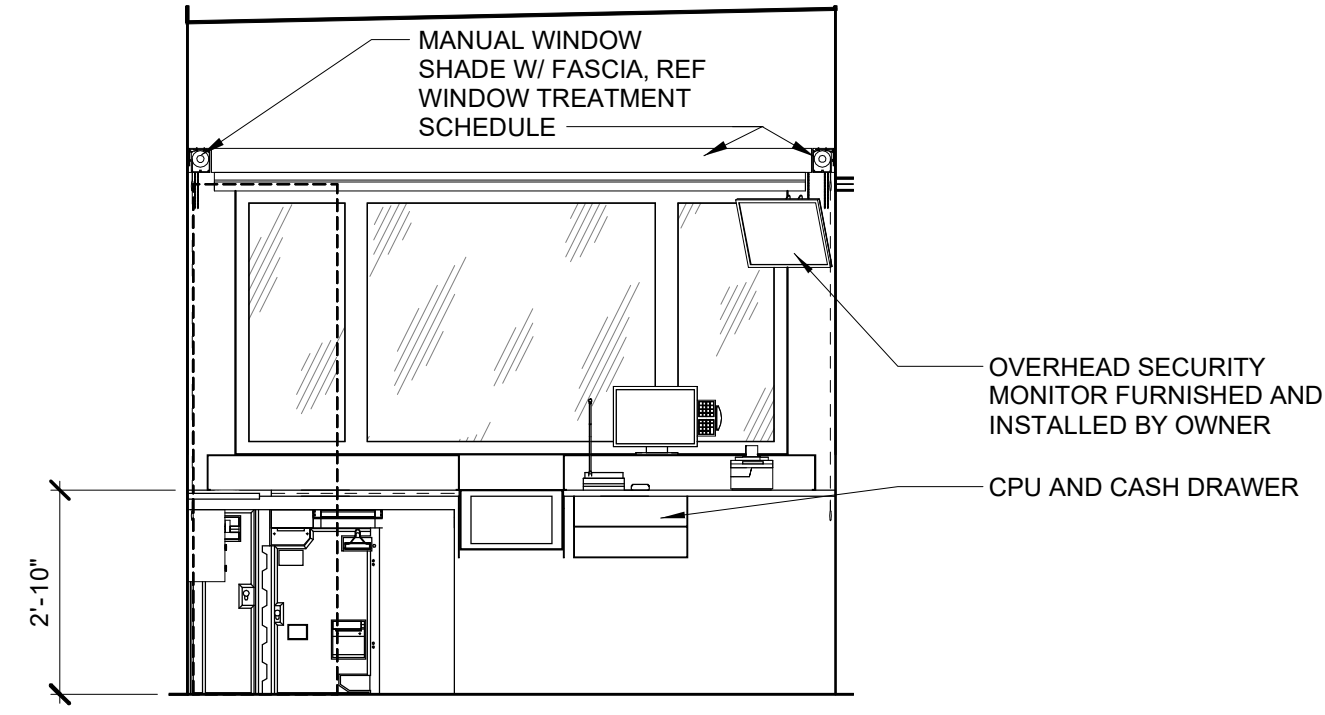
SHEET NOTES	
1. REFER TO MEP FOR ADDITIONAL INFORMATION. REF SHEET FST6 FOR EQUIPMENT ITEMS (FLXXX) NOT SCHEDULED HERE.	
2. 2A-40B/C, 13 LB MINIMUM RATED FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. IN ACCORDANCE WITH NFPA 10. FIRE EXTINGUISHER LOCATIONS AND SIZE SHALL BE APPROVED BY THE OFFICE OF THE FIRE MARSHAL PRIOR TO OCCUPANCY.	
3. KIOSK, EXTERIOR FINISHES, WALL PANELS (INCLUDING PAINT), AND ROOF PANELS ARE BY SERVICE BUILDING MANUFACTURER. REFER TO SERVICE BUILDING MANUFACTURER DRAWINGS FOR ADDITIONAL INFORMATION.	
4. REFER TO SHEET FSA2.1 FOR KIOSK FINISHES AND ADDITIONAL INFORMATION PROVIDED BY SBM.	



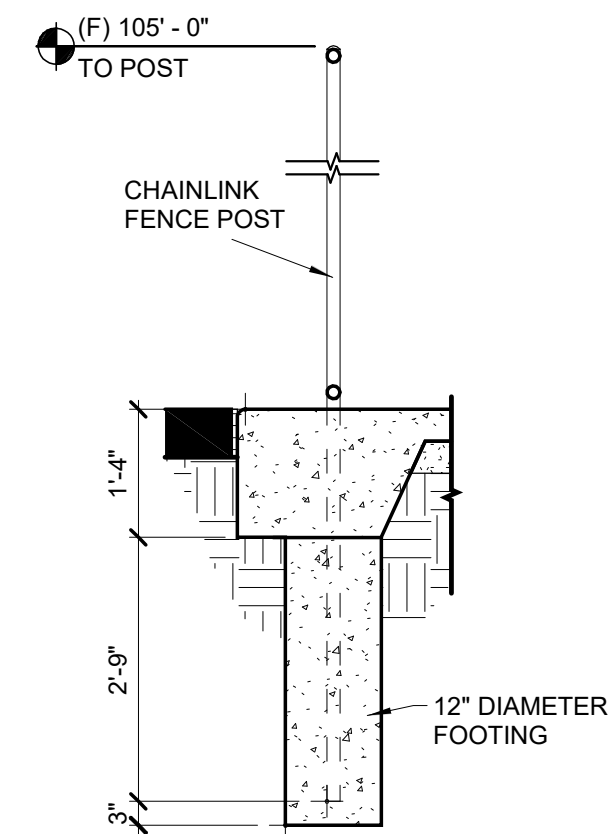
11 CONDENSING UNIT CAGE DETAIL
1/2" = 1'-0"



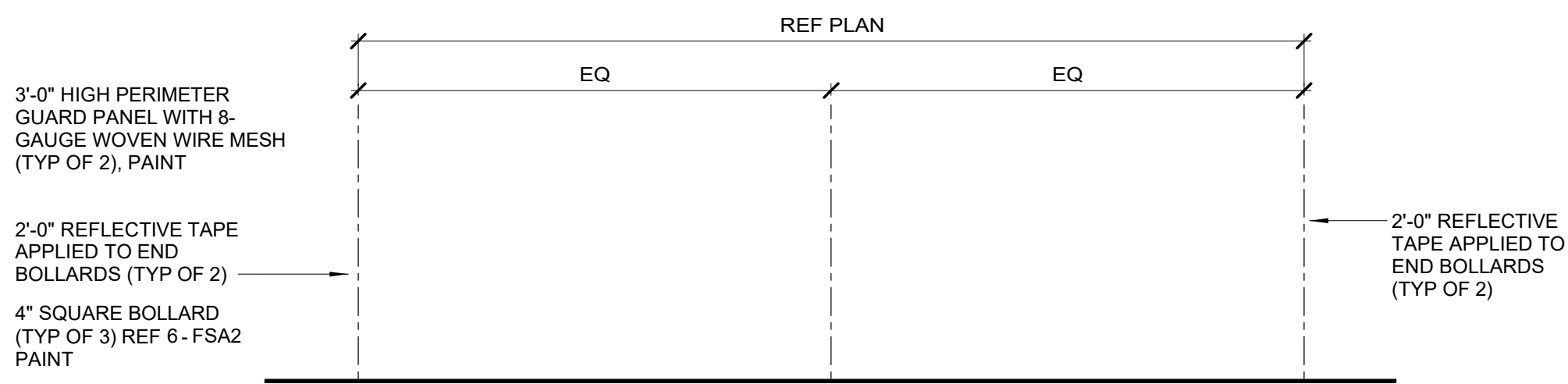
10 FRONT OFFICE ELEVATION
3/8" = 1'-0"



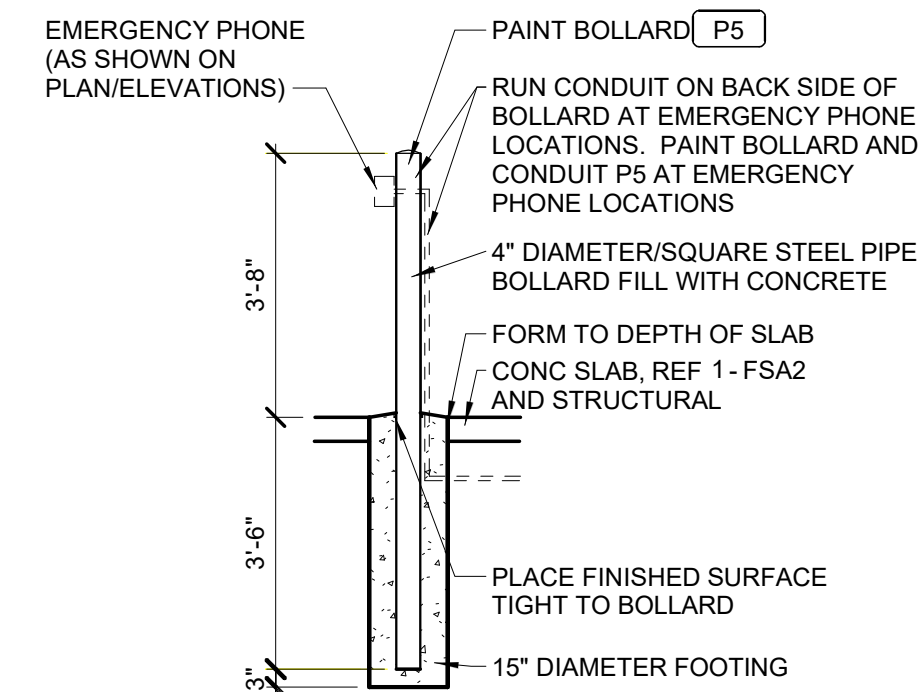
9 COUNTER ELEVATION
3/8" = 1'-0"



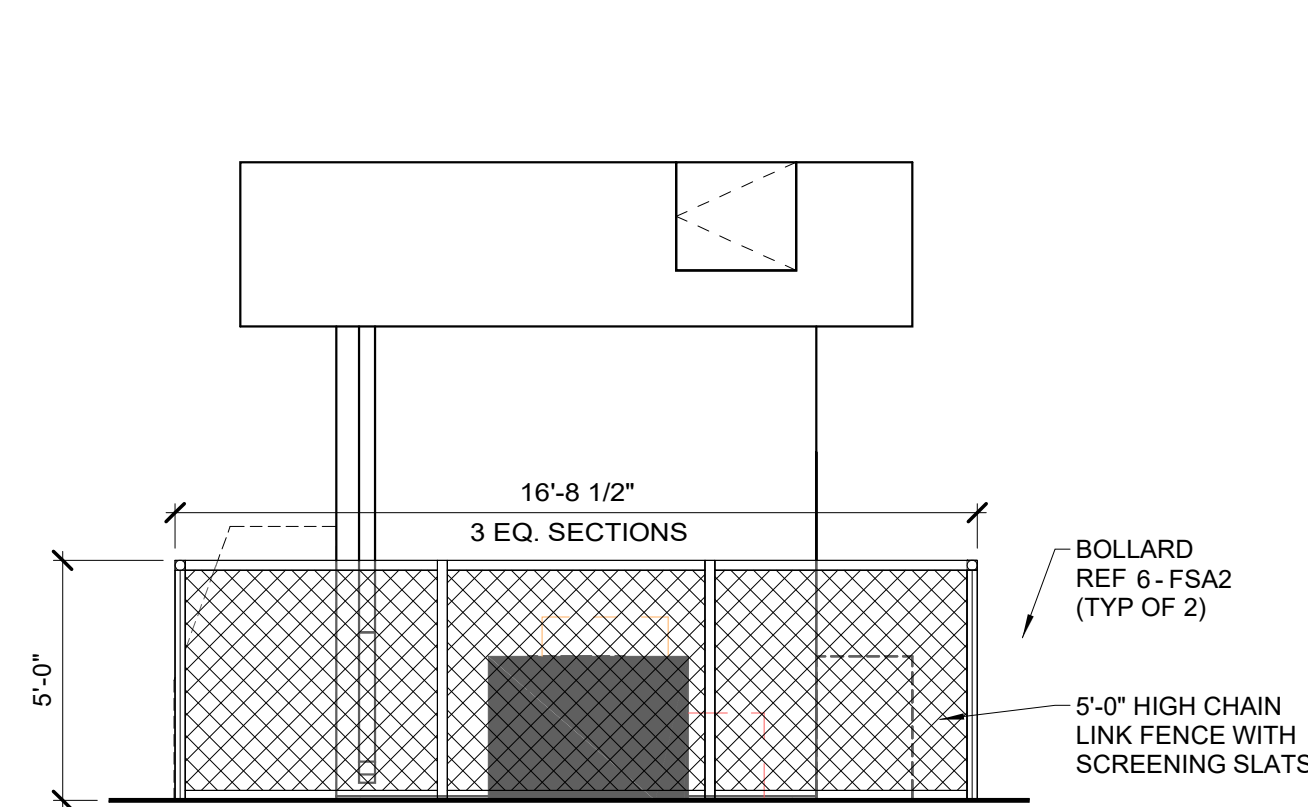
8 SCREEN WALL SECTION
1/2" = 1'-0"



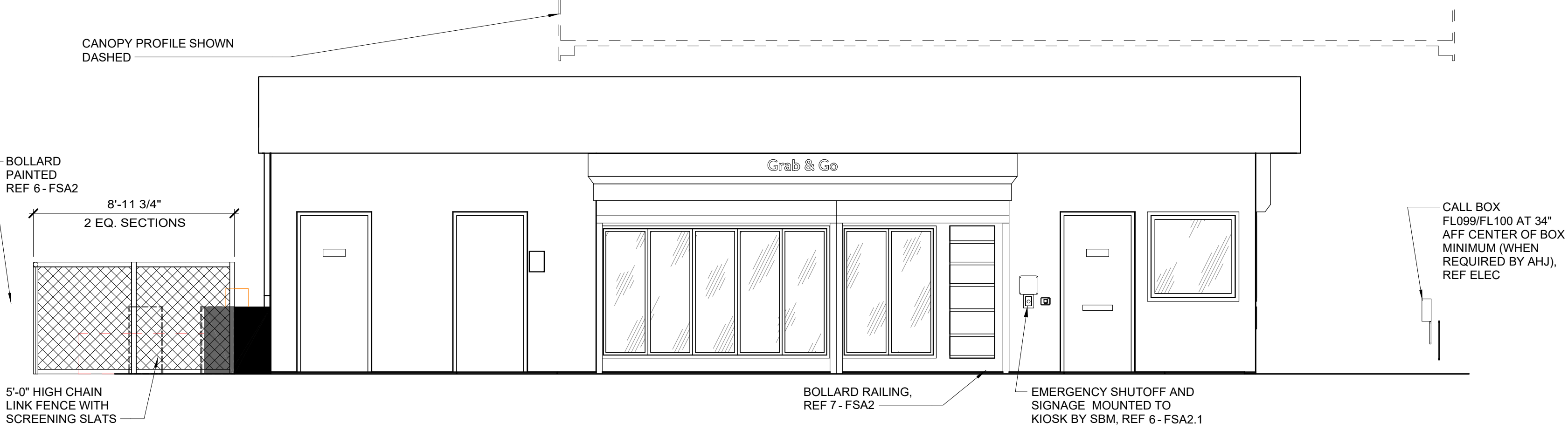
7 BOLLARD RAILING ELEVATION
3/8" = 1'-0"



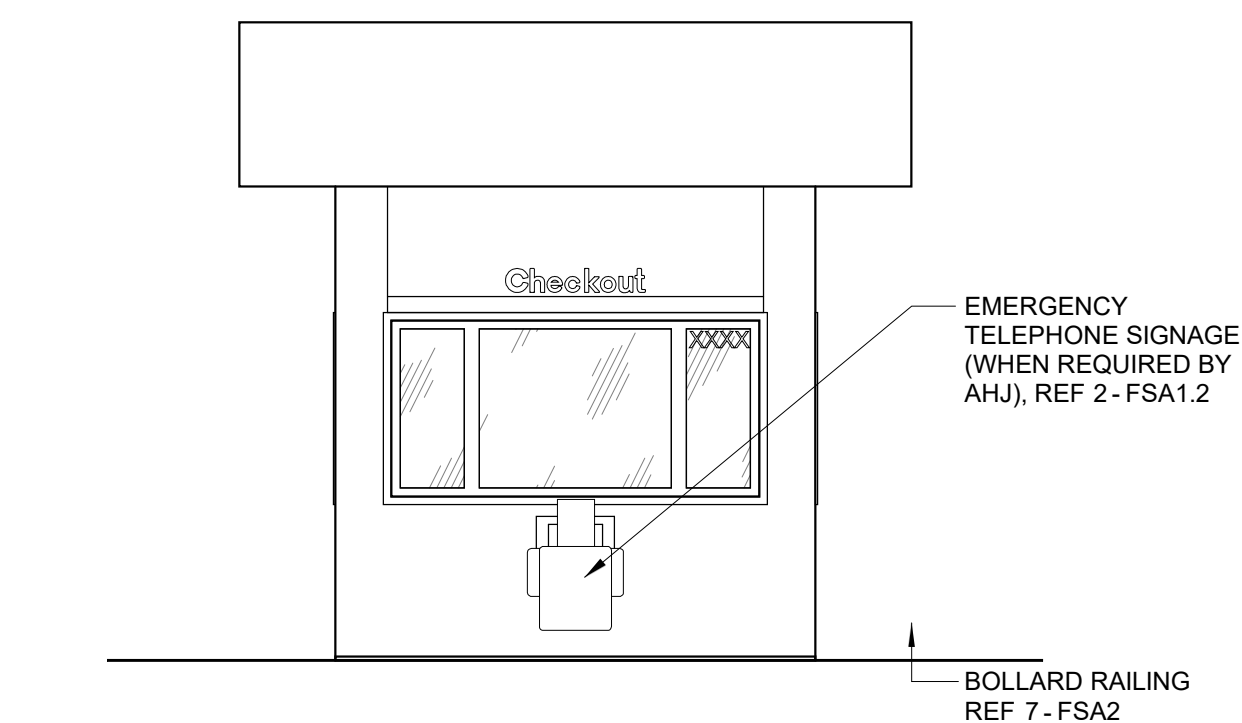
6 BOLLARD
3/8" = 1'-0"



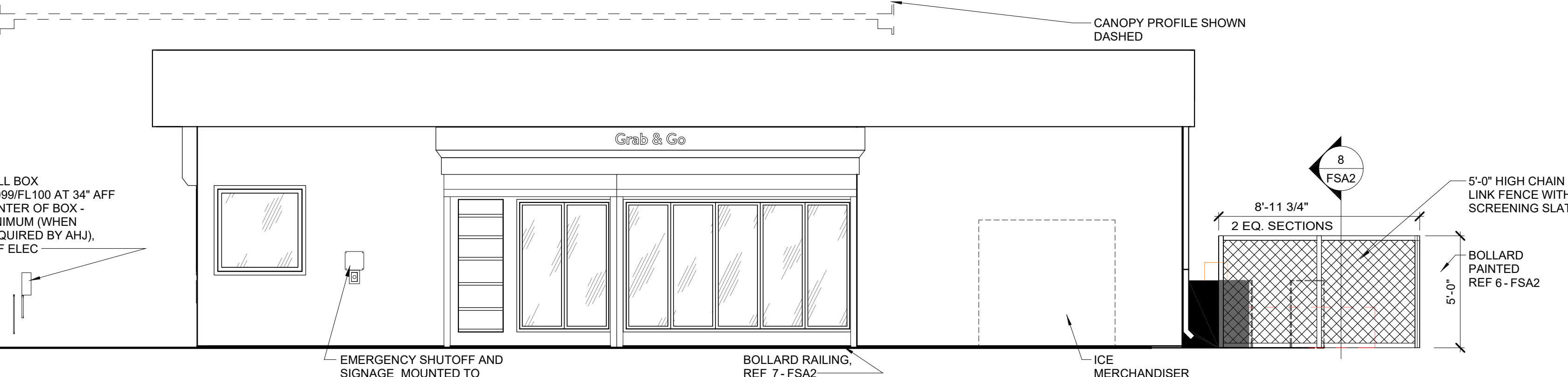
5 REAR ELEVATION
1/4" = 1'-0"



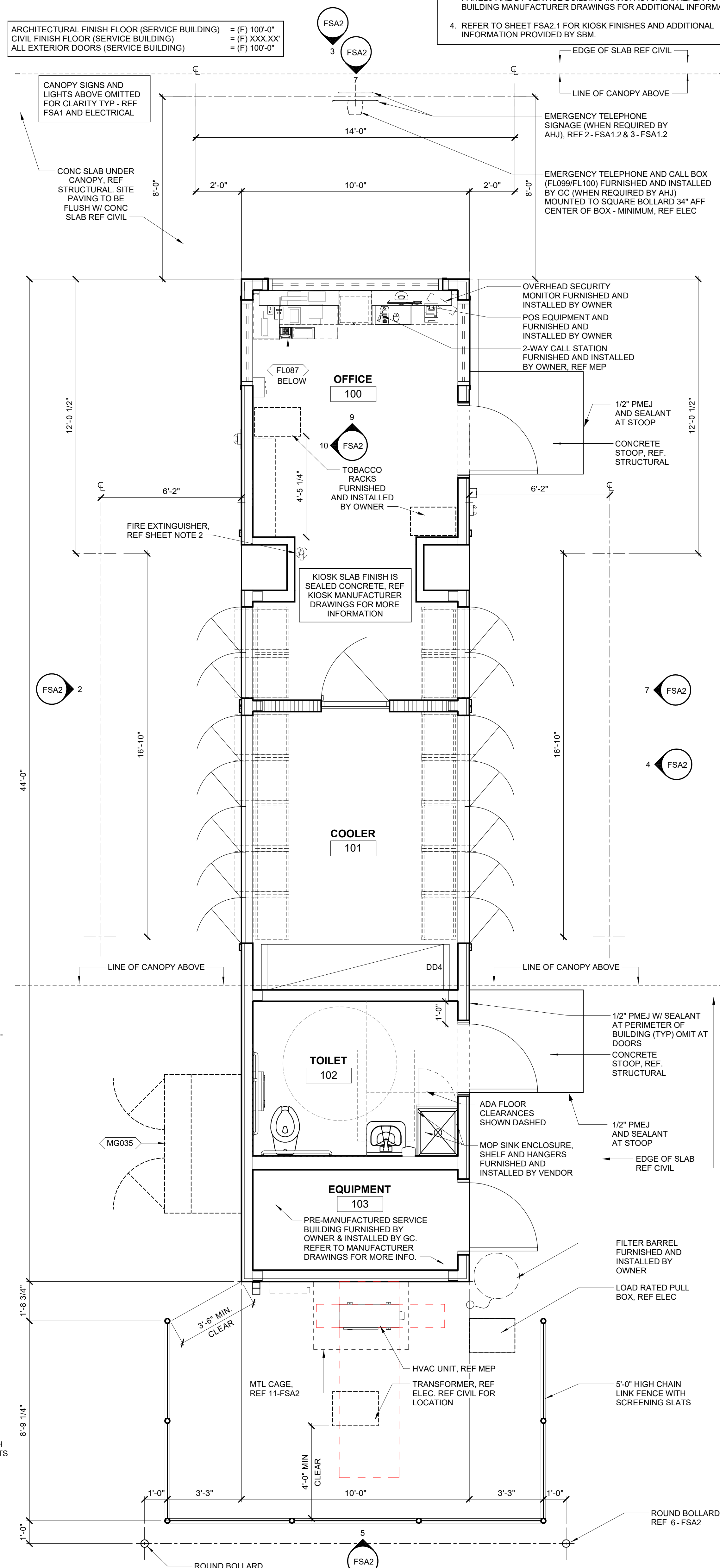
4 RIGHT ELEVATION
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"



1 KIOSK PLAN
3/8" = 1'-0"

STIPULATION FOR REUSE
THIS DRAWING WAS PREPARED FOR
USE BY A SPECIFIC CLIENT AT
THE REQUEST OF THE CLIENT. IT
DOES NOT REPRESENT A GENERAL
STATEMENT OF FACT OR AN
OPINION. IT IS NOT TO BE USED
FOR ANY OTHER PROJECT OR
PURPOSE WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.
THE ARCHITECT ASSUMES NO
RESPONSIBILITY FOR THE
ACCURACY OF THE INFORMATION
PROVIDED BY THE CLIENT.

CONSULTANTS

Walmart
CITY, STATE
STORE NO: 0000-00
JOB NUMBER: XXXXXXXX | PHOTO: SUP-0440-00

ISSUE BLOCK	
4	03/27/20
5	04/24/20
6	05/29/20
7	07/31/20
8	08/28/20
9	09/25/20
10	10/30/20
11	12/04/20
12	01/29/21
13	02/26/21
14	03/26/21
15	06/25/21
16	08/27/21

CHECKED BY:	Checker
DRAWN BY:	Author
FILE NAME:	440-FSA2
PROTO CYCLE:	122719
DOCUMENT DATE:	08/27/21

NOT FOR CONSTRUCTION

SERVICE BUILDING
PLANS AND
ELEVATIONS

SHEET:
FSA2